

Location of Construction: 125 PRESUMPSCOT ST	Owner Name: PRESUMPSCOT STREET PROPE	Owner Address: PO BOX 403	Phone:
Business Name:	Contractor Name: Reagan & Company	Contractor Address: 106 Merrill Rd. Gray	Phone (207) 653-6353
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

6/3/2008-jmb: Earle called back to confirm it is a demising wall, he thinks they are trying to get a B use in the adjacent space. I emailed Mark G. At Cubellis for revised wall type detail. Bathroom count is ok

6/5/2008-jmb: Received revision of fire rated wall type C from architect, ok to issue



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>125 Persumscott Street</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>405 A 002</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Persumscott Property</u> Address <u>4 City Center</u> City, State & Zip <u>Portland</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Persumscott Property</u> Address <u>Same</u> City, State & Zip	Cost Of Work: \$ <u>225,000.</u> C of O Fee: \$ <u>0</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>12g Unit Manufacture</u>		
If vacant, what was the previous use?		
Proposed Specific use: <u>Office or Storage rooms. Office + Treatment Rooms</u> Change of Use		
Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>Build office walls and 7 tenant wall, remodel rest rooms, new carpet & VET, new HVAC, ceiling etc.</u>		
Contractor's name: <u>Reagan & Company</u>		
Address: <u>106 Merrill Rd</u>		Cell <u>3293441</u>
City, State & Zip: <u>Gray ME 04039</u>		Telephone: <u>6576353</u>
Who should we contact when the permit is ready: <u>Earle Reagan</u>		Telephone: _____
Mailing address: <u>106 Merrill Rd Gray ME 04039</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

Blk Fee 2,270.00
CofO 75.00
Total 2,345.00

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

G-5

Signature: Earle C Reagan Date: 5/1/08

MAY - 1 2008

This is not a permit; you may not commence ANY work until the permit is issued



Certificate of Design Application

From Designer: MARK GLASSER
 Date: 04.28.08
 Job Name: PEDIATRIC DEVELOPMENT CENTER
 Address of Construction: ROUNDHOUSE, 125 PRESUMPSCOT ST.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) B BUSINESS
 Type of Construction TYPE 5, SLAB-BRICK FRAME
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC? EXISTING
 Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED
 Supervisory alarm System? YES EXISTING Geotechnical /Soils report required? (See Section 1802.2) N/A

Structural Design Calculations

Submitted for all structural members (1603.1, 1603.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)
 Basic wind speed (1809.3)
 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
 Wind exposure category (1609.4)
 Internal pressure coefficient (AS 1.1)
 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 Min force wind pressures (7603.1.1, 1609.6.3.1)

Earth design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)
 Seismic use group ("Category")
 Spectral response coefficients, S_D & S_0 (1615.1)
 Site class (1615.15)

Live load reduction
 Roof live loads (1603.1.2, 1607.11)
 Roof snow loads (1603.3, 1608)
 Ground snow load, P_g (1608.2)
 If $P_g > 10$ pst, flat roof snow load, p_f
 If $P_g > 10$ pst, snow exposure factor, e_s
 If $P_g > 10$ pst, snow load importance factor, i_s
 Roof thermal factor, t_r (1608.4)
 Sloped roof snowload, p_s (1608.4)
 Seismic design category (1616.3)
 Basic seismic force resisting system (1617.6.2)
 Response modification coefficient, R , and
 deflection amplification factor, C_d (1617.6.2)
 Analysis procedure (1616.6, 1617.5)
 Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

Flood Hazard area (1612.3)
 Elevation of structure

Other loads

Concentrated loads (1607.4)
 Partition loads (1607.5)
 Misc loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.15, 1609.16.1, 1604)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



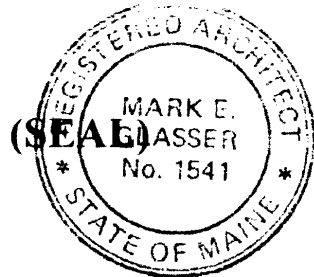
Accessibility Building Code Certificate

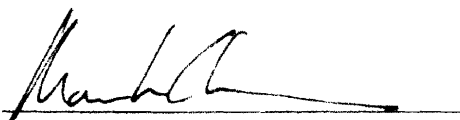
Designer: MARK GLASSER

Address of Project: ROUNDHOUSE, 125 PRESUMPSCOT ST.

Nature of Project: INTERIOR TENANT FIT-OUT IN AN EXISTING
BUILDING INCL CONSTRUCTION OF NEW PARTITIONS
NEW BATHROOMS • KITCHENETTE • NEW FINISHES

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: PRINCIPAL

Firm: CUBELLIS

Address: 281 SUMMER ST.
BOSTON, MA 02210

Phone: 617-338-0009

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

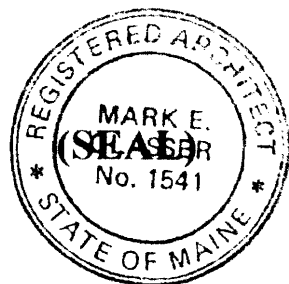
Date: 04.28.08

From: MARK GLASSER / CUBELLIS

These plans and / or specifications covering construction work on:

ROUNDHOUSE, 125 PRESUMSCOT ST. - INTERIOR
TENANT FIT-OUT FOR PEDIATRIC DEVELOPMENT CENTER

Have been designed and drawn up by the undersigned, a Maine registered Architect / ~~Engineer~~ according to the **2003 International Building Code** and local amendments.



Signature: 

Title: PRINCIPAL

Firm: CUBELLIS

Address: 281 SUMMER ST.

BOSTON, MA 02210

Phone: 617-338-0009

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Jeanie Bourke - RE: 125 Presumpscot - Pediatric Development Center

From: "Cathy Pacheco" <cpacheco@Cubellis.Com>
To: <jmb@portlandmaine.gov>
Date: 6/4/2008 2:24 PM
Subject: RE: 125 Presumpscot - Pediatric Development Center
CC: <stillotson@ademanagement.com>, "Julie Tupper" <Julie.Tupper@Haworth.com>, "Mark Glasser" <mglasser@Cubellis.Com>

Ms. Bourke:

In response to your inquiry to Mark Glasser, attached please find Bulletin 01 with attached sketches CSK01 and CSK02 showing the correct detail for Partition Type "C", which demises the Pediatric Development Center space. Please contact us should you have any additional questions.

Thank you,

Cathy Pacheco

"As of March 7, 2008, we have moved. Please note our new address below."

Cathy Pacheco, IIDA
Interior Design

cubellis
281 Summer Street
Boston, MA 02210
direct 617-603-2156
t 617-338-0009
f 617-338-0088
www.cubellis.com

From: Mark Glasser
Sent: Wednesday, June 04, 2008 12:51 PM
To: Cathy Pacheco
Subject: FW: 125 Presumpscot - Pediatric Development Center

fyi

Mark Glasser, AIA
Principal, Architecture and Interior Design

From: Jeanie Bourke [mailto:JMB@portlandmaine.gov]
Sent: Tuesday, June 03, 2008 2:29 PM

To: Mark Glasser

Subject: 125 Presumpscot - Pediatric Development Center

Hi Mark,

I am reviewing the plans for this project and noticed that the wall type "C" which is the demising wall is not listed for 1 hour rating. It is my understanding that the adjacent space use is unknown at this time. The GPDW is not called out.

Can you please send a pdf detail on this wall type?

Thanks

Jeanie Bourke

Inspection Services Division Director

City of Portland

Planning & Development Dept./ Inspections Division

389 Congress St. Rm 315

Portland, ME 04101

jmb@portlandmaine.gov

(207)874-8715



architects
interior designers
engineers

BULLETIN 01

Attn: Jerry Ade	Date: 06.04.08
	Bulletin No: 01
Company: Ade Property Management	Project Name: Pediatric Development Center
Address: 4 City Center Portland, ME	Project Location: Presumpscot St., Portland, ME
	Project No: 080543

The changes noted below amend the construction documents dated 04.23.08, issued for construction. The general contractor must submit pricing to Owner and Architect and receive approval in writing from Owner prior to starting work.

Reason for Issue:

Clarification of Partition Types:

Partition Type "C" has been revised to be 1-hour rated. Partition Type "D", acoustic, non-rated, has been added. Refer to CSK01 and CSK02, attached, for additional information.

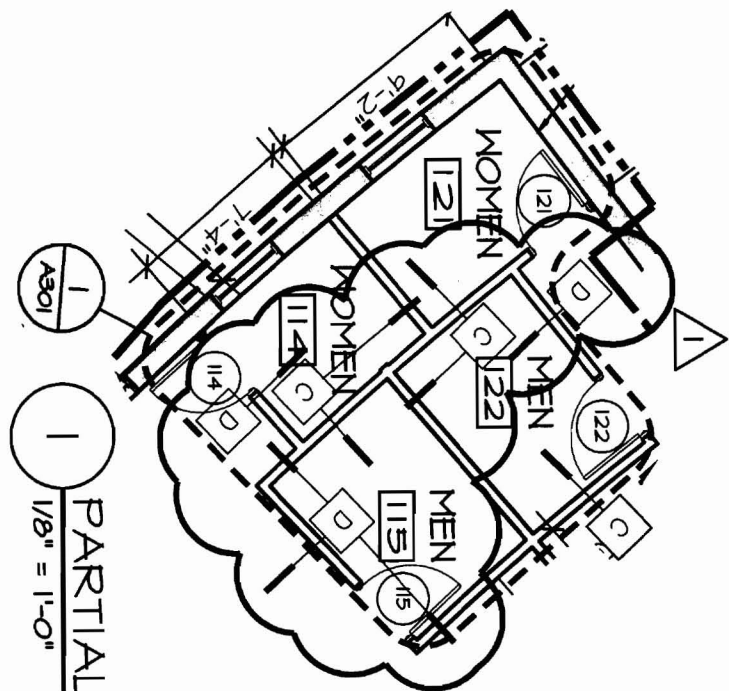
Attachments:

CSK01 and CSK02 both dated 06.04.08.

Prepared By: Cathy Pacheco
Distribution: Jeanie Bourke/Division Director, Portland Inspectional Services
Mark Glasser/Cubellis
Julie Tupper/Haworth

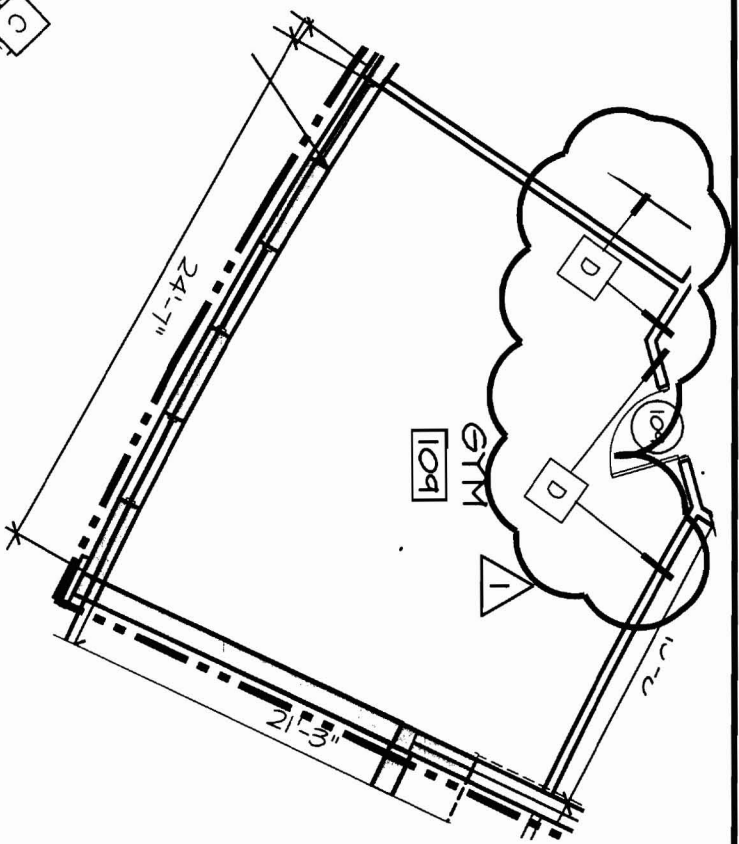
281 Summer Street
Boston, MA 02210
t 617 338 0009
f 617 338 3130


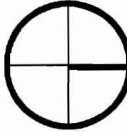
www.cubellis.com



1
 1/8" = 1'-0"
 PARTIAL PLAN AT RESTROOMS

2
 1/8" = 1'-0"
 PARTIAL PLAN AT GYM



CSK02 080543	 www.cubellis.com NATIONAL EXPERTISE · LOCAL PRESENCE	TITLE REVISED PARTITION PLAN	PROJECT PEDIATRIC DEV. CENTER PRESUMPCOT ST. PORTLAND, ME	PROJECT NORTH 	NO	DATE	REVISIONS
		DATE 06.04.08	DRAWN BY CP		CHECKED BY MG	OWNER ADE PROPERTY MANAGEMENT	

NO	DATE	REVISIONS

PROJECT NORTH

PROJECT
**PEDIATRIC DEV. CENTER
 PRESUMPSCOT ST.
 PORTLAND, ME**

OWNER
ADE PROPERTY MANAGEMENT

TITLE
**PARTITION TYPE
 REVISED DETAILS**

CHECKED BY
MG

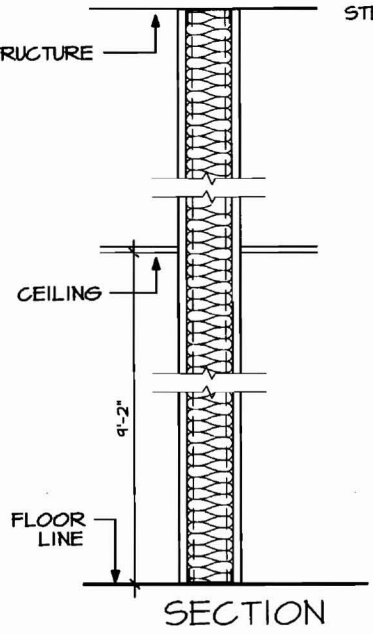
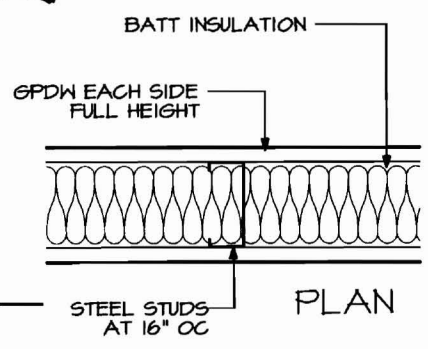
www.cubellis.com

NATIONAL EXPERTISE · LOCAL PRESENCE

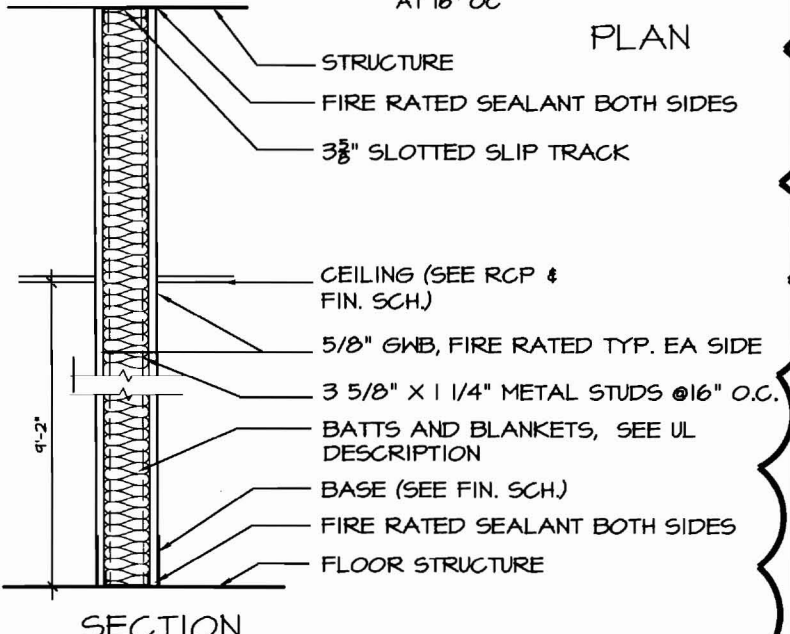
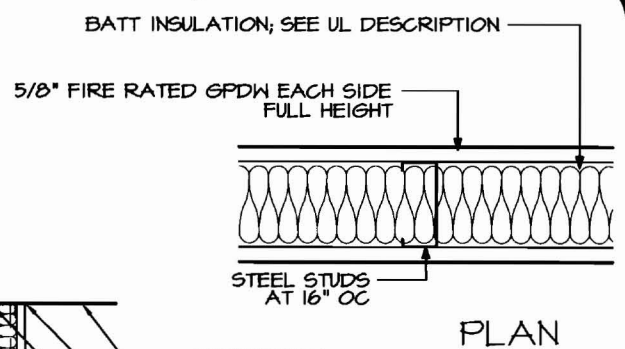
DATE
06.04.08

DRAWN BY
CP

**CSK01
 080543**



3 5/8" STL STUDS W 3 1/2" ACOUSTICAL BATT INS	D
NON-RATED	



3 5/8" STL STUDS W 3 1/2" BATT INSULATION	C
1 HOUR RATED UL RATING: U465	

C:\PediatricDevelopmentCenter\080543\W\SINB00.Dwg (int) 080543_1001.dwg
 ALL RIGHTS RESERVED
 NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CUBELLIS ASSOCIATES, INC.



PEDIATRIC DEVELOPMENT CENTER

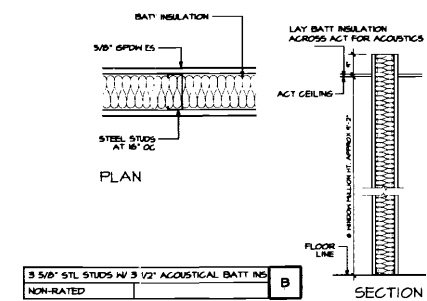
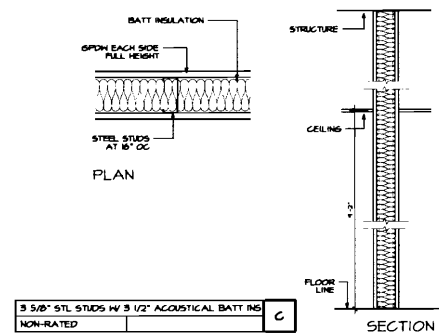
ROUNDHOUSE
PRESUMPCOT STREET
PORTLAND, ME

LIST OF DRAWINGS

ISSUE	DATE	DRAWING NUMBER	DRAWING TITLE
A	04.23.08	T001	TITLE SHEET
A	04.23.08	T002	CODE INFORMATION AND GENERAL NOTES
A	04.23.08	A001	DEMOLITION PLAN AND NOTES
A	04.23.08	A101	CONSTRUCTION PLAN AND NOTES
A	04.23.08	A201	ELEVATIONS, SECTIONS AND DETAILS
A	04.23.08	A301	ENLARGED PLAN AND TYPICAL ADA COMPLIANT DETAILS
A	04.23.08	A401	REFLECTED CEILING PLAN AND NOTES
A	04.23.08	A801	DOOR AND FRAME INFORMATION
A	04.23.08	A901	FINISH PLAN AND NOTES
A	04.23.08	A911	OUTLET LOCATION PLAN AND NOTES

ISSUE HISTORY

ISSUE	DATE	REV
A	04.23.08	ISSU CON

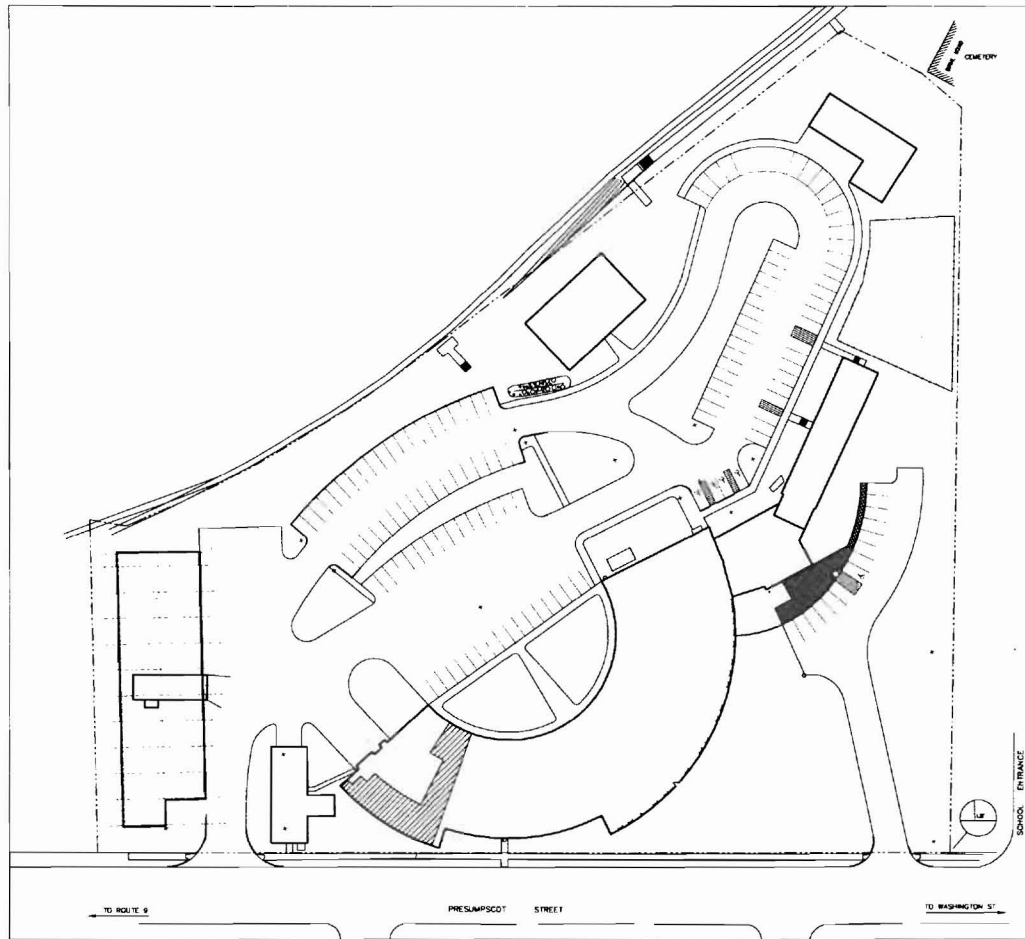



NOTE: LAY 3'-0" BATT INSULATION ABOVE ACT THROUGHOUT.

NOTE: ALL WALLS TO BE TYPE B UNLESS OTHERWISE NOTED.

1ST FLOOR KEY PLAN

NTS



 = AREA OF WORK

CODE SUMMARY

PROJECT SCOPE OF WORK:

THE WORK SCOPE FOR THIS PROJECT CONSISTS OF INTERIOR TENANT FIT OUT IN AN EXISTING BUILDING. THE WORK SCOPE INCLUDES CONSTRUCTION OF NEW PARTITIONS, NEW BATHROOMS, NEW KITCHEN AREA & FINISHES.

THE PROJECT IS DESIGNED TO INTERNATIONAL BUILDING CODE, 2003 EDITION:

- USE GROUP - 'B' - BUSINESS
- PROJECT SIZE: 3,103 SF, 1 STORY. BUILDING SIZE: 32,104 SF, 1 STORY
- TYPE OF CONSTRUCTION: TYPE 5 - SLAB - BRICK FRAME
- FIRE SUPPRESSION: FULLY SPRINKLERED

GENERAL NOTES

- ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS STARTED. CONTRACTOR SHALL OBTAIN PERMITS BEFORE STARTING WORK, AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES UPON COMPLETION, AND AS REQUIRED.
- THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS AND SPECIFICATIONS, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION-AIA DOCUMENT A201 (1997 EDITION), OWNER-CONTRACTOR AGREEMENTS AND ALL ADDENDA ISSUED PRIOR TO AND ALL PLAN CHANGES ISSUED AFTER EXECUTION OF THE CONTRACT.
- ALL DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY; NOTES ON ONE SHEET ARE TO BE APPLIED TO ALL RELATED DRAWINGS AND DETAILS.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, SUPERVISION, TOOLS, EQUIPMENT, MATERIALS AND SUPPLIES REQUIRED FOR DEMOLITION, TEMPORARY/NEE CONSTRUCTION OF FLOORS, PARTITIONS, CEILINGS, DOORS/FRAMES/HARDWARE, MILLWORK, FABRICATION, FINISHES, ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND REPLACEMENT/RELOCATION OF EXISTING ELEMENTS, FOR MODIFICATIONS TO THE EXISTING FACILITY AS DEFINED OR IMPLIED IN THE DRAWINGS AND SPECIFICATIONS.
- THE PURPOSE OF THE DRAWINGS AND SPECIFICATIONS IS TO FIX AND DEFINE THE FUNCTIONAL, VISUAL AND PERFORMANCE INTENT OF THE PROJECT. IN ANY AND ALL CASES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL, MECHANICAL AND DIMENSIONAL STABILITY OF THE WORK.
- UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING; ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCUREMENT AND PAYMENT OF ALL REQUIRED PERMITS AND SHALL GIVE ALL NOTICES NECESSARY AND INCIDENT TO THE DUE AND LAWFUL EXECUTION OF THE CONTRACT.
- THE CONTRACTOR HAS CONTROL AND CHARGE OF, AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND FOR ACTS OR OMISSIONS BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, AND FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS - CHANGE ORDERS SHALL NOT BE ALLOWED DUE TO IGNORANCE OF EXISTING CONDITIONS OR INTERFERENCE/COORDINATION WITH WORK OF OTHER TRADES.
- IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE COSTLIER OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING, FROM THE OWNER.
- BEGINNING WORK SHALL CONSTITUTE ACCEPTANCE OF THE JOB SITE CONDITIONS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL REPORT CONDITIONS THAT CANNOT BE ACCOMMODATED BY ORDINARY MEANS WITHOUT DESIGN CHANGES PRIOR TO BID SUBMISSION; REPORT EVIDENCE OF DETERIORATION, DAMAGES FOUND OR THAT OCCUR DURING THE WORK, OBTAIN ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH REVISIONS TO AFFECTED WORK.
- ALL DIMENSIONS ARE TO THE FACE OF DRYWALL OR MASONRY UNLESS NOTED OTHERWISE.
- DRAWINGS MAY BE DISTORTED AND ARE NOT TO BE SCALED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR LINES AND MEASUREMENTS FOR THE WORK.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE OWNER AND ARCHITECT WITH A SCHEDULE OF WORK AND A LIST OF ALL SUBCONTRACTORS (INCLUDING CONTRACT AMOUNT, ADDRESS, PHONE/FAX NUMBER AND E-MAIL ADDRESS FOR EACH).
- THE CONTRACTOR SHALL SUBMIT PROGRESS SCHEDULE IN EASY-TO-READ GRAPHIC TERMS AT THE PRE-CONSTRUCTION CONFERENCE - SHOW BEGINNING DATE AND FINAL COMPLETION DATE OF EACH PHASE - SHOW BEGINNING AND COMPLETION DATES FOR MAJOR ELEMENTS OF THE WORK WITHIN EACH PHASE - BREAK DOWN MAJOR ELEMENTS TO DEFINE CRITICAL PARTS - SHOW DATES OF CONTRACTOR SUBMITTALS AND PERIOD ALLOTTED FOR REVIEW BY ARCHITECT - UPDATE AND SHOW ALL CHANGES, INCLUDING PERCENTAGE COMPLETION, MAJOR CHANGES IN SCOPE, MODIFIED ACTIVITIES, REVISED PROJECTIONS OF PROGRESS AND COMPLETION, AND OTHER IDENTIFIABLE CHANGES - SUBMIT A REVISED COPY AT EACH PROGRESS MEETING - SHOW DATES FOR RECEIPT OF OWNER SUPPLIED ITEMS AND SERVICES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND MANDATED PRECAUTIONS TO INSURE THE SAFETY OF THE STRUCTURE, ITS INHABITANTS, CONSTRUCTION/MAINTENANCE PERSONNEL, AND THE GENERAL PUBLIC.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED OSHA MANDATES.
- NO ALCOHOLIC BEVERAGES, ILLEGAL DRUGS, OR SMOKING SHALL BE ALLOWED WITHIN THE JOB SITE PREMISES, NOR PERSONS UNDER THE INFLUENCE OF SUCH SUBSTANCES - THE CONTRACTOR SHALL BE RESPONSIBLE TO ENFORCE SAME ON ALL SUBCONTRACTORS.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND NOISE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO ADEQUATELY PROTECT THE ADJOINING PROPERTIES, THE PUBLIC, CONSTRUCTION PERSONNEL, AND BUILDING OCCUPANTS.
- ALL DEMOLITION, TEMPORARY AND PERMANENT CONSTRUCTION MUST BE SCHEDULED IN COORDINATION WITH THE OPERATIONS OF THE BUILDING AND OWNER.
- GENERAL CONTRACTOR SHALL REFERENCE/COORDINATE LANDLORD BUILDING STANDARDS AND/OR REQUIREMENTS.

25) BEFORE STARTING ANY WORK UTILITIES OR FIRE PROTECTION BY WATER, HEAT, GAS) THAT WILL TEMPORARILY INTERRUPT SERVICE WITHIN THE BUILDING NOTIFY THE BUILDING MANAGEMENT APPROVAL AT LEAST 7 DAYS IN ADVANCE OF THE WORK. ADVANCE NOTICE IN ADVANCE TO THE BUILDING MANAGEMENT APPROVAL AT LEAST 7 DAYS IN ADVANCE OF THE WORK. ADVANCE NOTICE IN ADVANCE TO THE BUILDING MANAGEMENT APPROVAL AT LEAST 7 DAYS IN ADVANCE OF THE WORK.

26) THE CONTRACTOR SHALL FURNISH SUPERVISION - THE PROJECT SUPERVISOR SHALL BE ON-SITE THROUGH THE COMPLETION OF THE PROJECT.

27) THE CONTRACTOR SHALL MAINTAIN PREMISES AND PAY FOR COMMUNITY AND FAX TRANSMITTAL DURING THE CONSTRUCTION PERIODS.

28) THE CONTRACTOR AND HIS SUPERVISOR SHALL BE REQUIRED TO ATTEND PROJECT MEETINGS WHEN REQUIRED BY THE OWNER OR MINUTES OF SUCH MEETINGS.

29) THE CONTRACTOR SHALL EMPLOY QUALITY CONTROL:

- SITE MEETINGS: CONTRACTOR SHALL ATTEND AND WRITE MEETING MINUTES DIRECTED BY OWNER. CONTRACTOR MUST BE PRESENT, UNLESS WAIVED.
- INSTALLATION, EXCEPT AS MORE SPECIFICALLY INDICATED IN THESE DRAWINGS, SHALL BE IN STRICT ACCORDANCE WITH GENERAL ACCEPTED INSTALLATION PRACTICES IN STRICT COMPLIANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
- WHEN EVALUATING APPEARANCE, DESIGN INTENT, THE WORDS "ACCEPTED", "MATCHING", "ALIGNED", "JUDGMENT" SHALL MEAN "ACCEPTABLE" TO THE ARCHITECT OR OWNER.

30) CONTRACTOR SHALL PROVIDE SUBMITTALS TO BE PROVIDED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. INDICATE DATES WHEN SUBMITTALS ARE REQUIRED AND ALLOW ADEQUATE LEAD TIME (MINIMUM) WITHOUT IMPACT TO THE PROJECT.

- 31) SUBMIT SAMPLES, THREE SETS (3) SHEETS AND SCHEDULES FOR ARCHITECT FOR THE FOLLOWING:
- FINISH MATERIALS
 - DOORS, FRAMES AND HARDWARE
 - CEILING SYSTEMS
 - MILLWORK
 - PLUMBING FIXTURES AND EQUIPMENT
 - LIGHT FIXTURES
 - REFER TO MEP/FP DRAWINGS FOR REQUIREMENTS

32) NO SUBSTITUTIONS WILL BE ALLOWED UNLESS APPROVED BY THE ARCHITECT.

33) THE ARCHITECT'S APPROVAL OF PRODUCT DATA AND SAMPLES DOES NOT CONSTITUTE ACCEPTANCE OF THE CONTRACTOR'S RESPONSIBILITY FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK.

34) DETAILS NOT SHOWN ARE SIMILAR TO THOSE SHOWN.

35) NAME PLATES AND OTHER IDENTIFIERS SHALL BE AFFIXED ON EXPOSED SURFACES INSTALLED IN THE FINISHED SPACE.

36) WHERE ALTERATIONS OCCUR (JOIN, REMOVE, PATCH, REPAIR OR REPLACE) AS IS REQUIRED BY THE LEAVE IN AS GOOD A CONDITION AS POSSIBLE AT THE COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK.

37) THE CONTRACTOR SHALL MAINTAIN SANITARY FACILITIES, TOILETS, AND SHOWERS, REQUIRED FOR THE PROPER EXECUTION OF THE WORK.

38) THE CONTRACTOR SHALL PROTECT CONNECTIONS, LIGHTING AND DISTURBANCE OF THE WORK AND SHALL REMOVE AT THE END OF THE WORK.

39) THE CONTRACTOR SHALL PROTECT HEATING AND VENTILATION FOR PROTECTION OF THE WORK, WORKING OCCUPIED AREAS.

40) AVAILABLE STORAGE SPACE - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORK AND SHALL REMOVE AT THE END OF THE WORK.

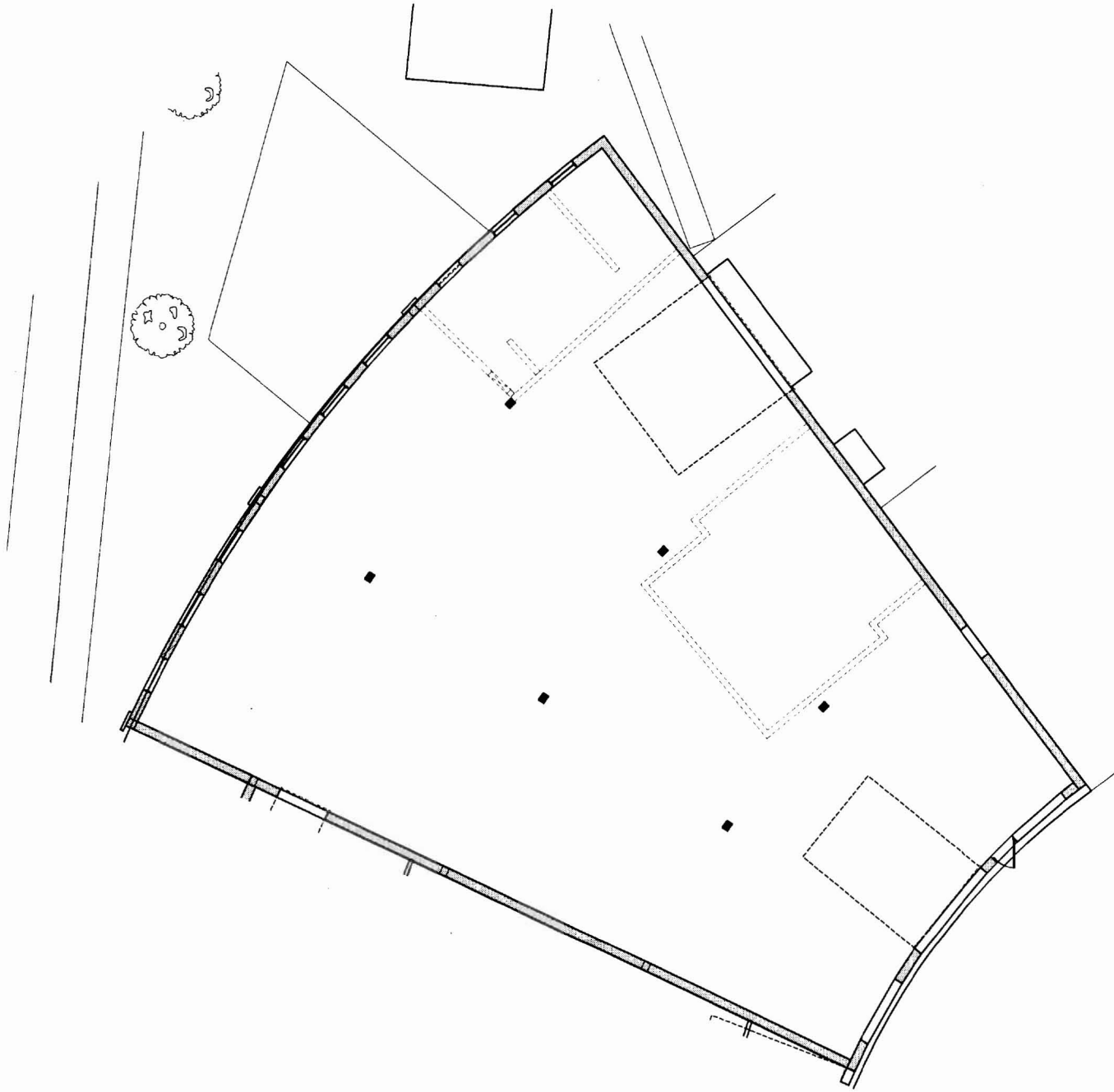
41) THE CONTRACTOR SHALL PROVIDE SECURITY AT ALL TIMES - LOCK DOWN THE JOB SITE BY THE CONTRACTOR.

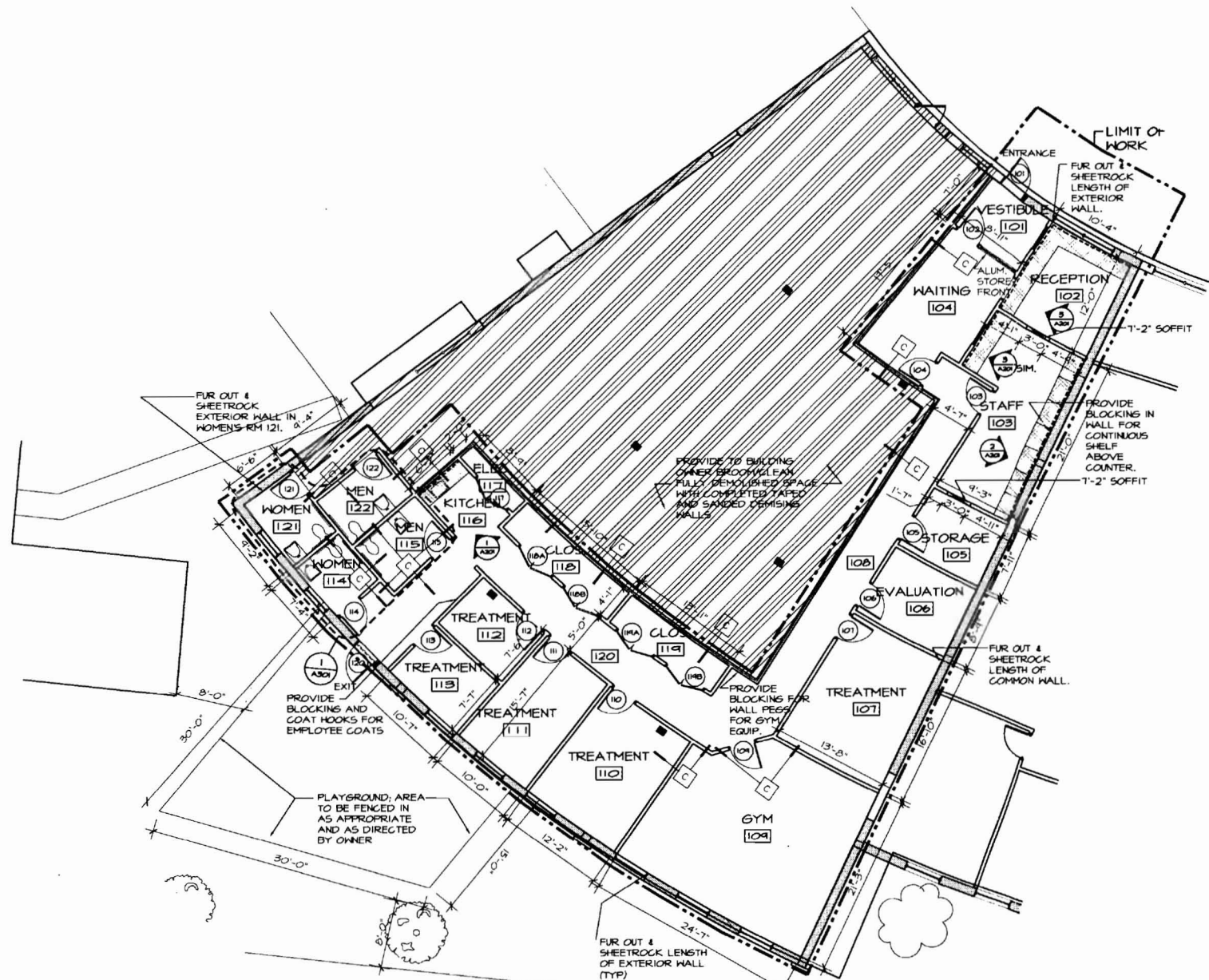
42) THE CONTRACTOR SHALL CONDUCT OPERATIONS TO PREVENT AND MINIMIZE VEHICULAR TRAFFIC AND OBSTRUCTION.

43) THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A NEAT AND ORDERLY MANNER. ACCUMULATIONS OF WASTE MATERIALS SHALL BE REMOVED ON A SCHEDULED BASIS. LOCAL AUTHORITIES' REGULATIONS SHALL BE FOLLOWED.

COPYRIGHT (C) BY CUBELLUS ASSOCIATES INC. ALL RIGHTS RESERVED
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC,
MECHANICAL, PHOTOCOPIING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF CUBELLUS ASSOCIATES INC.
ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF CUBELLUS ASSOCIATES INC. SHALL RENDER IT INVALID AND UNUSABLE.

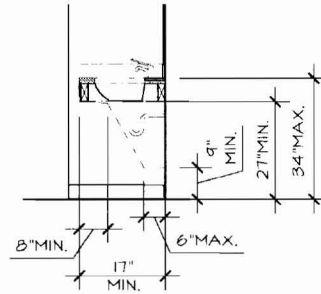
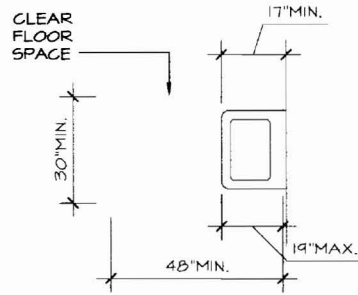
1
1/8" = 1'-0"
DEMOLITION PLAN





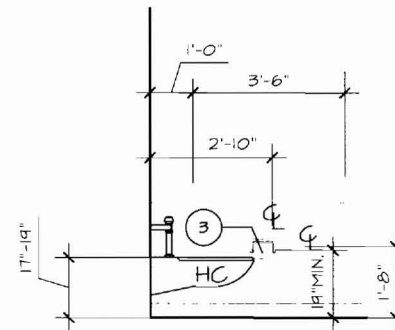
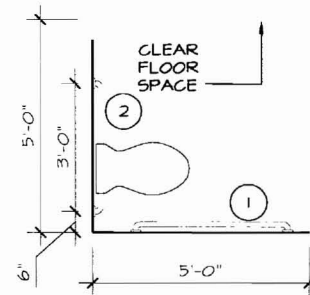
1 CONSTRUCTION PLAN
1/8" = 1'-0"

COMPILED BY: C. J. COOPER, P.E., RESIDENT ENGINEER, N.C. STATE DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, 100 EAST 10TH STREET, RALEIGH, NC 27601. THIS DRAWING WAS PREPARED BY: J. W. HARRIS, P.E., ARCHITECT, 100 EAST 10TH STREET, RALEIGH, NC 27601. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

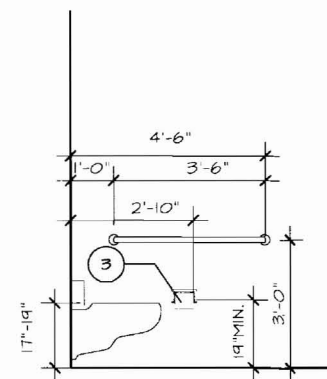
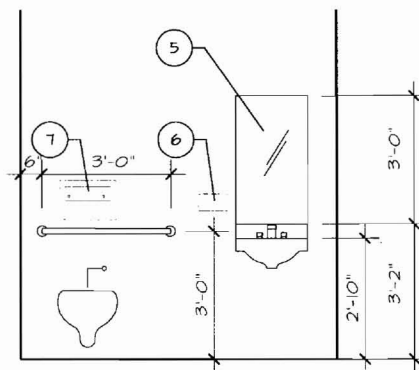


LAVATORIES & SINKS

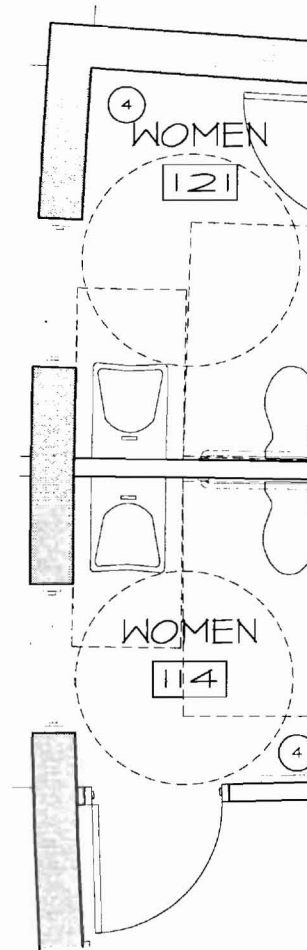
- EXPOSED PIPES TO BE INSULATED
- FAUCETS TO COMPLY WITH ICC/ANSI A117.1-2003
- BOTTOM EDGE OF MIRROR TO BE MOUNTED NO HIGHER THAN 40" AFF



ACCESSIBLE STALL



3 ADA COMPLIANT BATHROOM DETAILS (TYP.)
1/2" = 1'-0"



1 ENLARGED B.
1/2" = 1'-0"

ACCESSORIES

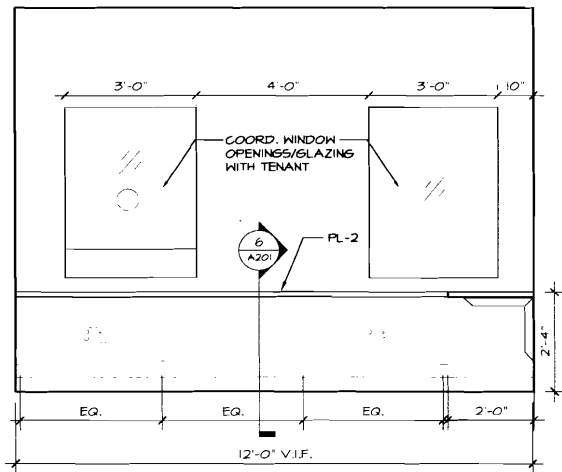
NO.	DESCRIPTION
1	42" GRAB BAR
2	36" GRAB BAR
3	TOILET PAPER HOLDER
4	TOWEL DISPENSER/WA
5	MIRROR
6	SOAP DISPENSER
7	TOILET SEAT COVER I

NOTE: TOILET ROOM DIMENSIONS TO BE IN ACCORDANCE WITH ADA.

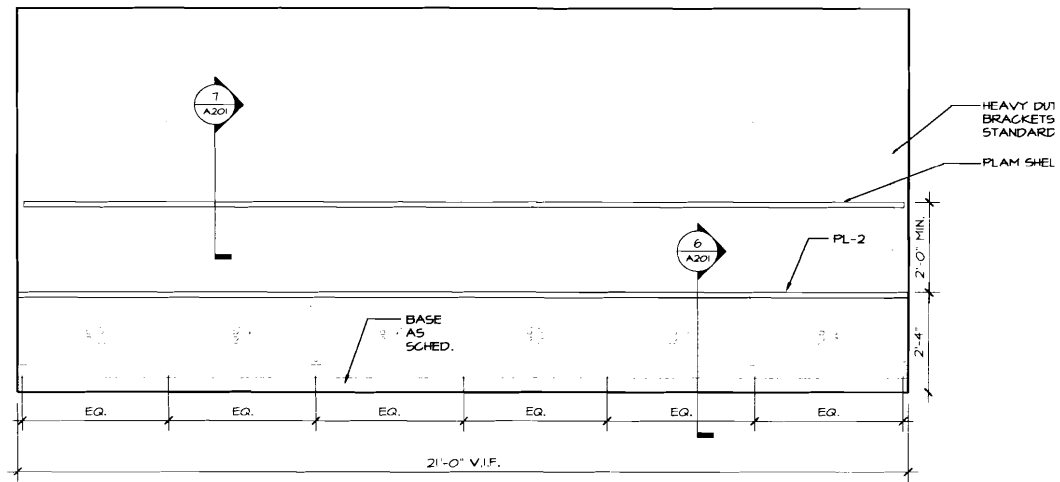
NOTE: TOILET ROOM ACCESSORIES TO BE IN ACCORDANCE WITH ADA APPROVED EQUAL.

NOTE: CONTRACTOR TO PROVIDE ACCESSIBLE UNDERSINK STORAGE.

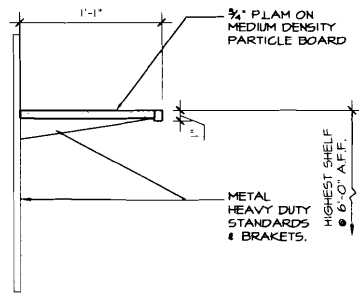
2 ACCESSORIES
N/A



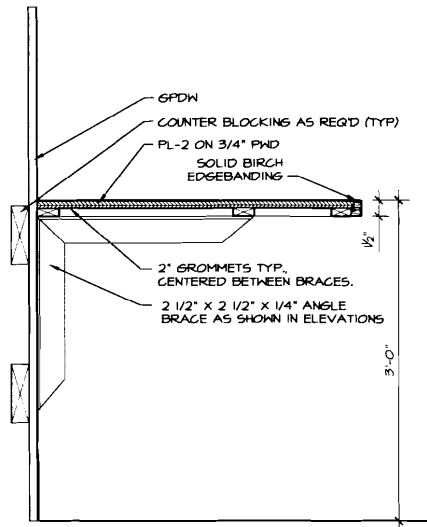
3 ELEVATION AT RECEPTION 102 COUNTER
1/2" = 1'-0"



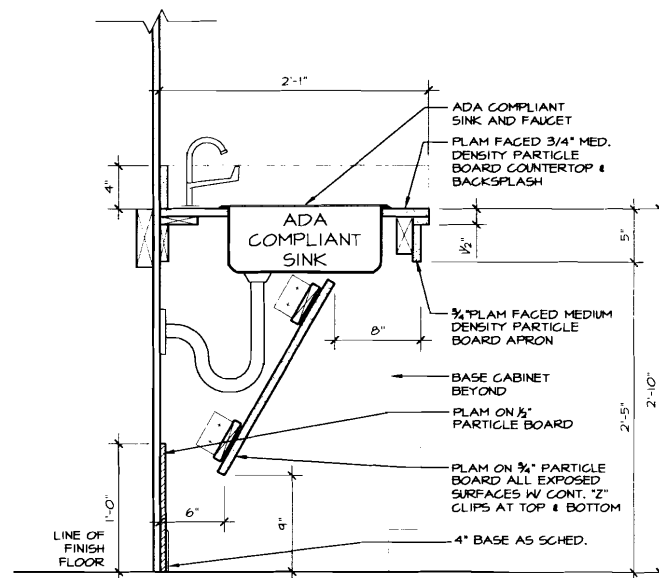
2 ELEVATION AT STAFF AREA 103
1/2" = 1'-0"



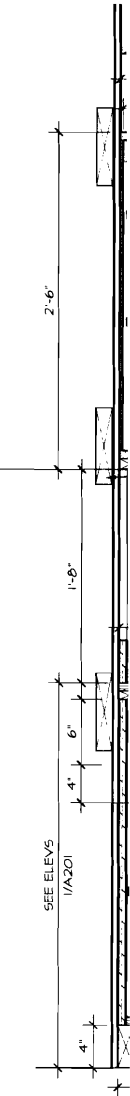
7 SHELF SECTION
1/2" = 1'-0"



6 COUNTER SECTION
1/2" = 1'-0"

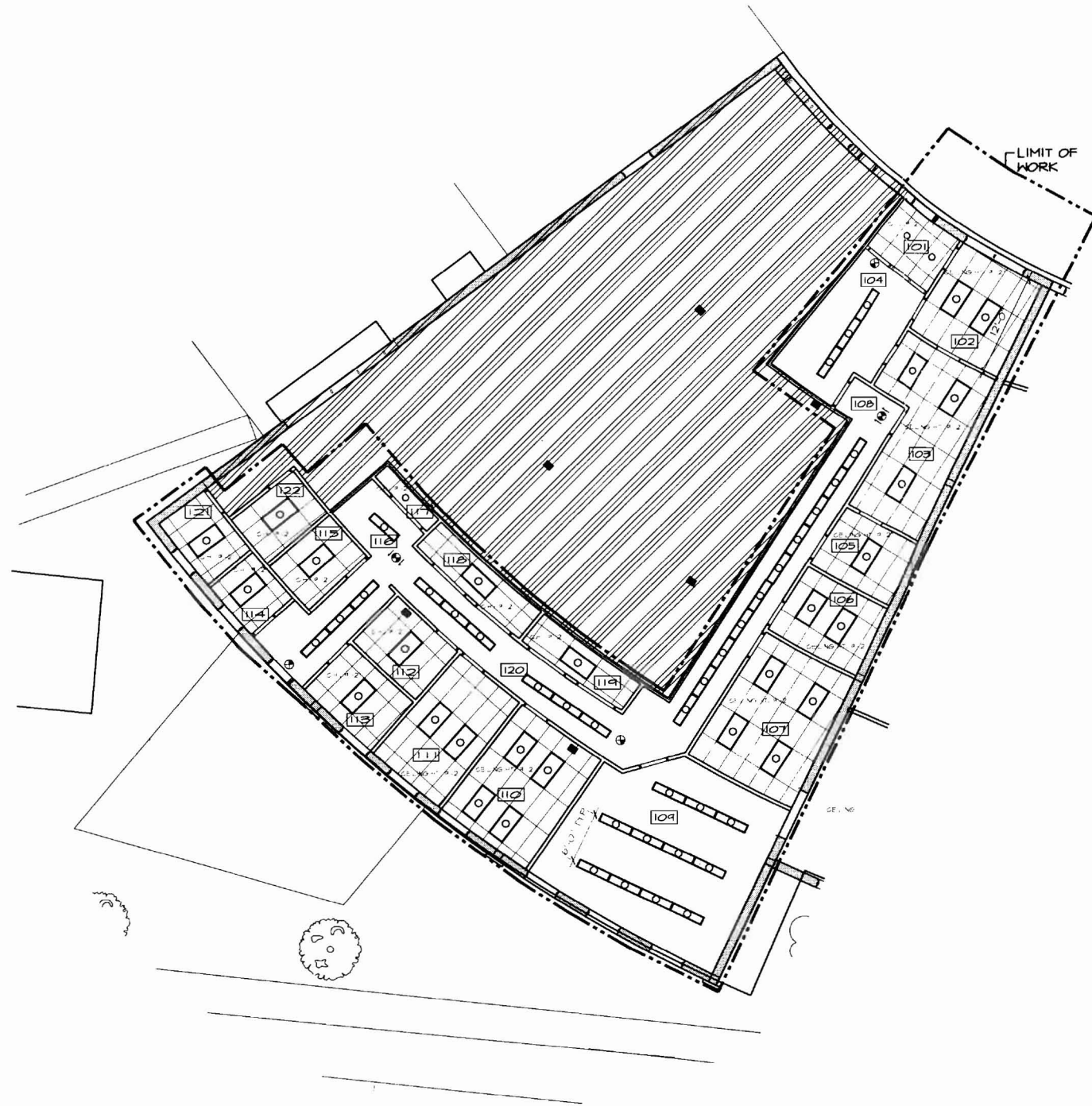


5 SECTION THROUGH ADA SINK CABINET
1/2" = 1'-0"



NO.	MATERIAL	MANUFACTURER	STYLE	REMARKS/LOCATION
A	2X4	BUILDING STANDARD	2X4 PARABOLIC - BLDG. STANDARD	PARABOLIC THROUGHOUT U.O.N.
B	DOWN LIGHT	BUILDING STANDARD	6" RECESSED - BLDG. STANDARD	
C	NOT USED			
D	PENDANT	BUILDING STANDARD	FOCAL POINT OR EQUIV. "ELYTRA"	SUSPENDED HIGH IMPACT FLUORESCENT
E	EXIT SIGN		BUILDING STANDARD	

2 LIGHT FIXTURE SCHEDULE
NA



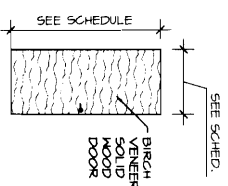
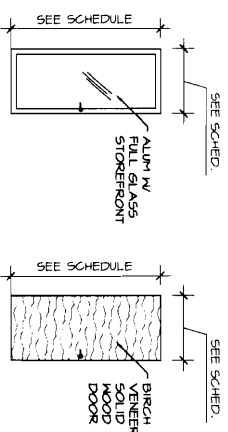
1 REFLECTED CEILING PLAN
1/8" = 1'-0"

COPYRIGHT (C) BY CUBELLIS ASSOCIATES INC. ALL RIGHTS RESERVED.
 NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC,
 MECHANICAL, PHOTOCOPIING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF CUBELLIS ASSOCIATES INC.
 ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF CUBELLIS ASSOCIATES INC. SHALL RENDER IT INVALID AND UNUSABLE.

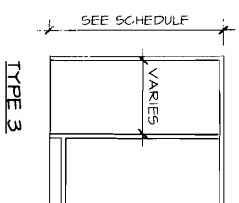
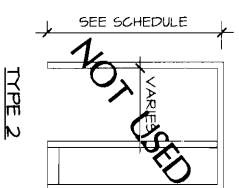
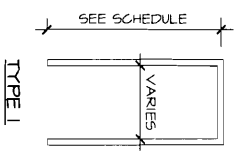
DOOR AND HARDWARE SCHEDULE

NO.	SYMBOL	DESCRIPTION	QTY	UNIT	DATE	BY	CHK	APP
1	1	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
2	2	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
3	3	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
4	4	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
5	5	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
6	6	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
7	7	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
8	8	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
9	9	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
10	10	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
11	11	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
12	12	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
13	13	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
14	14	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
15	15	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
16	16	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
17	17	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
18	18	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
19	19	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
20	20	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	
21	21	ALUM. W/ FULL GLASS STOREFRONT	1	EA	11/15/07	WJ	WJ	
22	22	BIRCH VENEER MOULD DOOR	1	EA	11/15/07	WJ	WJ	

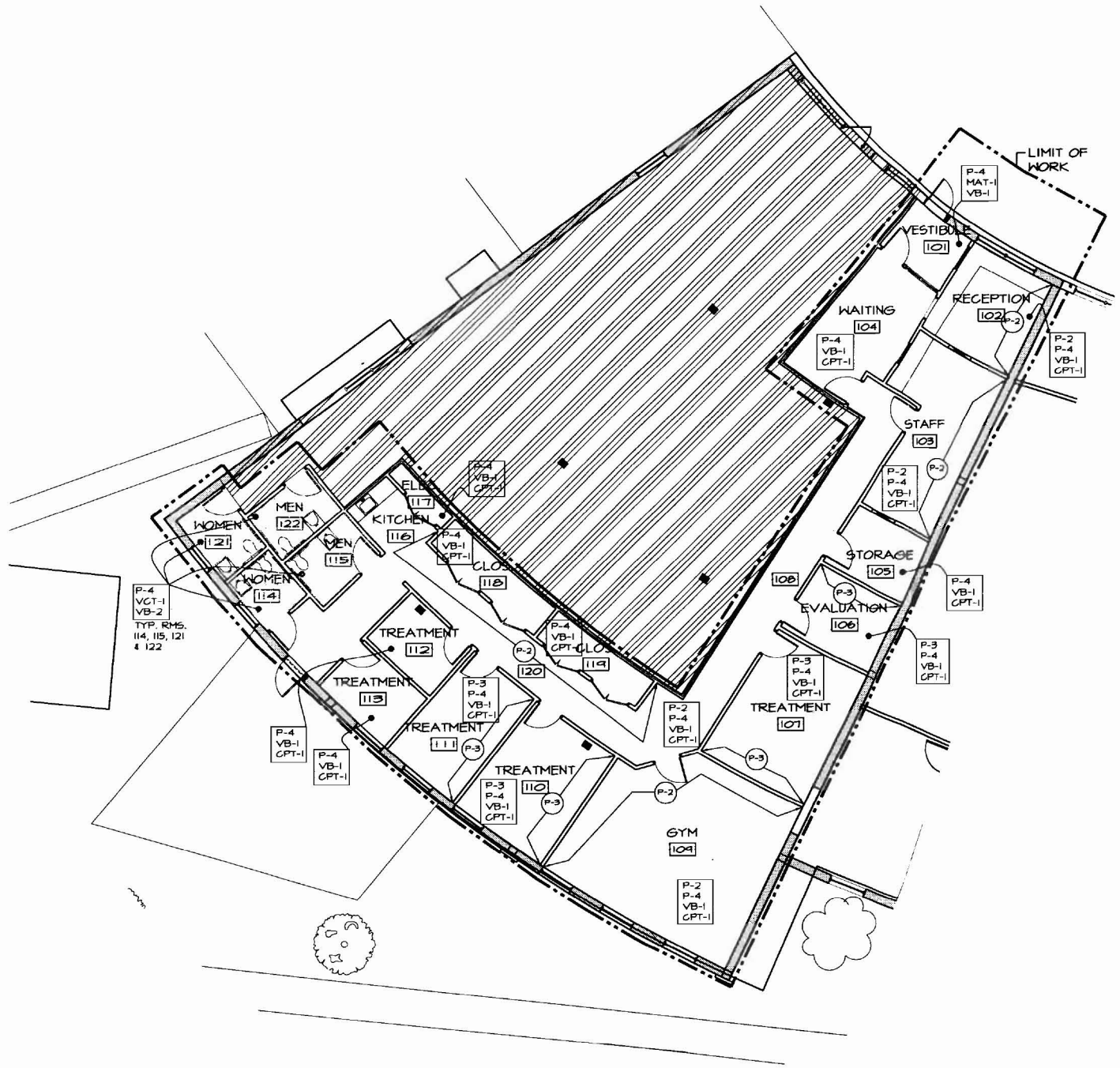
DOOR TYPES



DOOR FRAME TYPES



NOTE: FIELD VERIFY ALL FRAME OPENING DIMENSIONS BEFORE FABRICATION.



1 FINISH PLAN
1/8" = 1'-0"

1 OUTLET LOCATION PLAN
1/8" = 1'-0"

