

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 070232

PERMIT ISSUED

MAR 21 2007

This is to certify that PRESUMPCOT STREET PROPERTIES LLC / Reagan & Company

has permission to Change of use from light industrial to office w/retail fitup for site # 6

AT 125 PRESUMPCOT ST 425 A002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services closed-in. **OUR NOTICES REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cross

Health Dept. _____

Appeal Board _____

Other _____
 Department Name

Jamie Burke 3/20/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

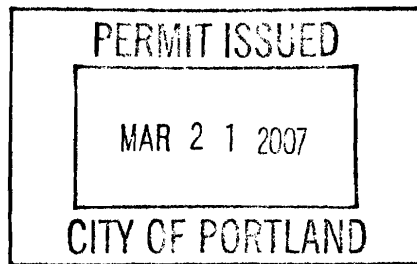
City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0232	Issue Date:	CBL: 425 A002001
-----------------------	-------------	---------------------

Location of Construction: 125 PRESUMPSCOT ST	Owner Name: PRESUMPSCOT STREET PROPE	Owner Address: PO BOX 403	Phone:
Business Name:	Contractor Name: Reagan & Company	Contractor Address: 106 Merrill Rd. Gray	Phone: 2076536353
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: RS (TM)
Past Use: Commercial / Light Industrial	Proposed Use: Commercial / Office. Change of use from light industrial to office w/ tenant fitup for suite # 6 <i>Randhouse Building.</i>	Permit Fee:	Cost of Work: \$0.00
Proposed Project Description: Change of use from light industrial to office w/ tenant fitup for suite # 6		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	CEO District: 4
		INSPECTION: Use Group: <i>B</i> Type: <i>2A</i> <i>IBC-2003</i>	
		Signature: <i>Greg Cross</i>	Signature: <i>APR 3/20/07</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: dmartin	Date Applied For: 03/07/2007	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews	Zoning Appeal	Historic Preservation
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OR w/conditions</i> Date: <i>3/12/07</i> <i>APM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>APM</i>
		Date: _____		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0232	Date Applied For: 03/07/2007	CBL: 425 A002001
------------------------------	--	----------------------------

Location of Construction: 125 PRESUMPSCOT ST	Owner Name: PRESUMPSCOT STREET PROPE	Owner Address: PO BOX 403	Phone:
Business Name:	Contractor Name: Reagan & Company	Contractor Address: 106 Merrill Rd. Gray	Phone: (207) 653-6353
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial / Office (Office of the Courts) Change of use from light industrial to office w/ tenant fitup for suite # 6 in Round House Building	Proposed Project Description: Change of use from light industrial to office w/ tenant fitup for suite # 6 in Round House Building
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/12/2007

Note: Parking was established for whole site by planning department.

Ok to Issue:

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 03/20/2007

Note:

Ok to Issue:

- 1) A minimum of 8.5 x 11 copy of the revised floor plan is required when issued.
- 2) Approved based on the revised plan of 3/20/07 for an additional WC in the women's bathroom. This calculation is based on occupant load for office/employee although it works for public use as well.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 03/12/2007

Note:

Ok to Issue:

- 1) Sprinkler system compliance letter required.

Comments:

3/12/2007-dmartin: Called Earl on 3/6 to ask what area of bldg need the change of use. He came in on 3/9 to give us the info.

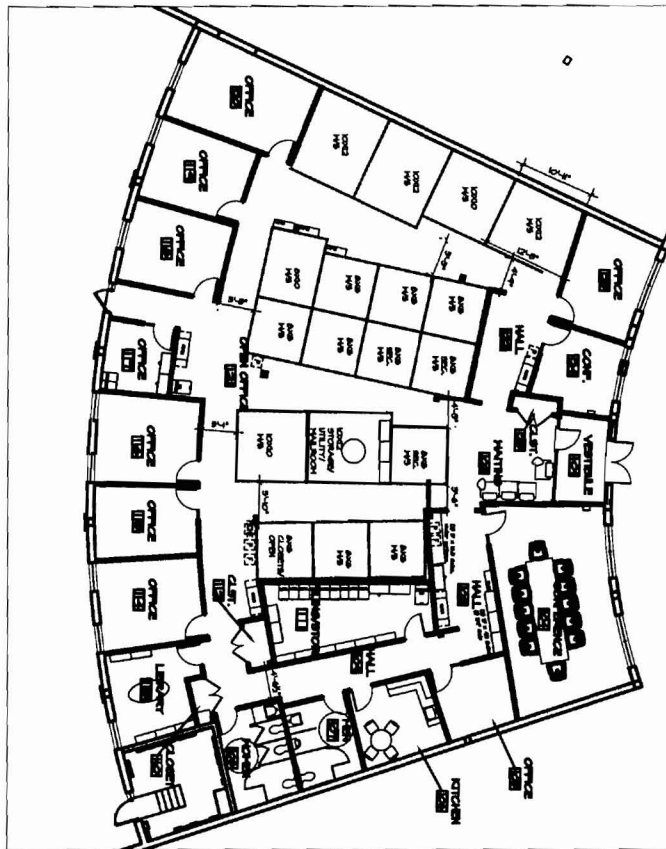
3/12/2007-amachado: Filled out site plan exemption form for change of use over 5,000 square feet.

3/19/2007-ldobson: Received Site Plan Exemption - Gave to Jeanie w/ permit

3/19/2007-jmb: Left vmail w/Earle R. And Julie T. For questions on fixture count, floor drains, H2O fountain, and discrepancy on construction type.

3/20/2007-jmb: Julie T. Called, discussed the codes and occupant load for a office/employee use, this office area is not for public use She agreed to add one WC for the women's. She sent a revised plan to indicate, ok to issue

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAR 20 2007
 RECEIVED



(N) FURNITURE PLAN

03/14/03	A921			TITLE FURNITURE PLAN	PROJECT NUMBER ADMIN. OFFICE OF THE COURTS PORTLAND, ME		DATE 03/14/03	INVOICE 03/14/03
		DRAWN BY [Signature]	CHECKED BY [Signature]	SCALE AS SHOWN	PROJECT NUMBER [Grid of empty boxes]			

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

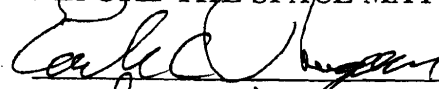
A Pre-construction Meeting will take place upon receipt of your building permit.

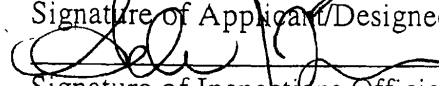
- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of Applicant/Designee 3.21.07
Date


Signature of Inspections Official 3.21.07
Date

CBL: 025-A-2 Building Permit #: 070232



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>125 Presumpscott Street</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>125 A 002</u>	Owner: <u>Ade Property LLC</u>	Telephone:
Less ee/Buyer's Name (If Applicable) <u>Admin. Office of the Courts</u>	Applicant name, address & telephone: <u>Reason & Company 106 Merrill Rd Gray, ME 04039 207 657 6353</u>	Cost Of Work: \$ <u>275,000</u> Fee: \$ <u>2,845.00</u> C of O Fee: \$ _____
Current Specific use: <u>Legal Ind.</u>	If vacant, what was the previous use? _____	
Proposed Specific use: _____		
Project description: <u>Legal Ind space for office use. Change of Use</u>		
Contractor's name, address & telephone: <u>Reason & Company 106 Merrill Rd Gray, ME 04039 207-657-6353 cell 329-3441</u>		
Who should we contact when the permit is ready: <u>Earle</u>		Phone: <u>329-3441</u>
Mailing address: <u>106 Merrill Rd Gray ME 04039</u>		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Earle C. Reason

Date: 3/5/07

This is not a permit; you may not commence ANY work until the permit is issued.

March 1, 2007

City of Portland
Fire Prevention Officer
Portland, ME

Re: Administrative Office of the Courts

Dear Sir/Madam:

Please review below Fire Dept requirements as required at permitting stage.

Project Architect: Rodney Burnett – 711 Atlantic Ave. – Boston, MA 02111 or
PO Box 580 – Portland, ME 04112

Use of structure – B Business (IBC), Business (NFPA101)

Square Footage of tenant fit-up – 7,180 SF

Occupant Load: 30 persons

Fire Protection – Existing building is a fully sprinklered building – Design Build. Documents conforming to NFPA13 Light Hazard to be submitted by General Contractor's engineer/subcontractor.

Suppression & Detection Systems – Design Build. Documents to be submitted by General Contractor's engineer/subcontractor.

Life Safety Plan

Fire resistance ratings of all means of egress – Does not apply – Exits directly to outside

Travel Distance from most remote point to exit – 50'

Location of Fire Extinguishers – See drawing A101

Location of emergency lights – Design Build. Documents to be submitted by General Contractor's engineer/subcontractor.

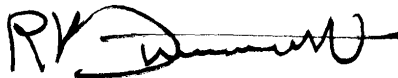
Location of exit signs – see drawing A401

NFPA 101 Code Summary:

Code applies to new construction/renovation area in part of an existing business use building. Change of use from industrial to business office. Existing doors minimum 34" clear width provided. Existing doors locked from exterior, open from interior without key or special knowledge.

Please call if there is any question.

Regards,



Rodney Burnett
Project Architect

cc: Julie Tupper, Sr. Project Mgr.



CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Room 315
 Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
 Department of Planning & Urban Development
 Division of Housing & Community Service

FROM: RODNEY BURNETT - CUBELLIS

RE: Certificate of Design

DATE: 3/1/07

These plans and/ or specifications covering construction work on:

FIT-UP OF MULTI-TENANT, 1 STORY BUILDING
APPROX 7,100 SF.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.

(SEAL)

Signature: RD Burnett

Title: ARCHITECT #1325

Firm: CUBELLIS

Address: 711 ATLANTIC AVENUE
BOSTON, MA 02111

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Room 315
 Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: RODNEY BURNETT

Address of Project: PRESUMSCOT STREET

Nature of Project: FIT-UP OF MULTI-TENANT - 1 STORY
BLDG - APPROX 7,180 SF

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: R. Burnett

Title: ARCHITECT

Firm: CUBELLIS

Address: 111 ATLANTIC AVE
BOSTON, MA 02111

Phone: 617-338-0009

NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.



Application for Barrier-Free Permit

State Fire Marshal's Office
52 State House Station
Augusta, Maine 04333-0052

Tel: 207-626-3870
Fax: 207-287-6251

SHADED AREAS ARE FOR OFFICE USE ONLY (8-25-04)



Project Name: ADMIN. OFFICE OF THE COURTS
 Street Location: PRESUMPSOT ST Town Location: PORTLAND
 County: CUMBERLAND State: ME Zip Code: 04103

New Building:

Renovation:

Change of Use:

Project Cost: \$150,000 Fee (fee schedule is on back) \$50. =

Design Professional's Name: ROD BURNETT
 Mailing Address: 711 ATLANTIC AVE
 Town: BOSTON State: MA Zip Code: 02111
 Maine Registration Number: 1325
 Design Professional's Signature: R. Burnett Date: March 1, 2007

Approved for Permit: Date: _____ Plan Reviewer: _____

Comments:

LOG #	DATE PLANS RECEIVED	REVIEW FEE	DATE FEE RECEIVED	CHECK #	PLAN REVIEWER	DATE PERMIT ISSUED	PERMIT #

FROM DESIGNER: BOONBY BOONBYDATE: 3/1/07Job Name: ADMINISTRATIVE OFFICE OF THE COURTSAddress of Construction: PRESUMPT ST. - PORTLAND, ME 041032003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) B-BUSINESSType of Construction 2A PROTECTEDWill the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC Y

Is the Structure mixed use? _____ if yes, separated or non separated (see Section 302.3) _____

Supervisory alarm system? _____ Geotechnical/Soils report required? (See Section 1802.2) _____

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members
(100.1, 100.1.1)DESIGN LOADS ON CONSTRUCTION DOCUMENTS
(1603)

Uniformly distributed floor live loads (7603.11, 1607)

Floor Area Use Loads Shown

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

Design option utilized (1603.1.1, 1609.6)

Basic wind speed (1609.3)

Building category and wind importance factor, I_w (Table 1604.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2.2)

Main force wind pressures (7603.1.1, 1609.6.2.1)

Earthquake design data (1603.1.5, 1614-1629)

Design option utilized (1614.1)

Seismic use group ("Category") (Table 1604.5, 1616.2)

Spectral response coefficients, S_D & S_1 (1615.1)

Site class (1615.1.6)

Live load reduction
(1603.1.1, 1607.9, 1607.10)

Roof live loads (1603.1.2, 1607.11)

Roof snow loads (7603.7.3, 1608)

Ground snow load, P_g (1608.2)If $P_g > 10$ psf, flat-roof snow load, P_f
(1608.3)If $P_g > 10$ psf, snow exposure factor, C_e
(Table 1608.3.1)If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)Roof thermal factor, C_t (Table 1608.3.2)Sloped roof snowload, P_s (1608.4)

Seismic design category (1616.9)

Basic seismic force-resisting system
(Table 1617.2.2)Response modification coefficient, R ,
and deflection amplification factor, C_d
(Table 1617.6.2)

Analysis procedure (1616.8, 1617.5)

Design base shear (1617.4, 1617.6.1)

Flood loads (1603.1.6, 1612)

Flood hazard area (1612.3)

Elevation of structure

Other loads

Concentrated loads (1607.4)

Partition loads (1607.5)

Impact loads (1607.8)

Misc. loads (Table 1607.8, 1607.9.1,
1607.7, 1607.12, 1607.13, 1610,
1611, 2404)

ISSUE/REVISION DATE

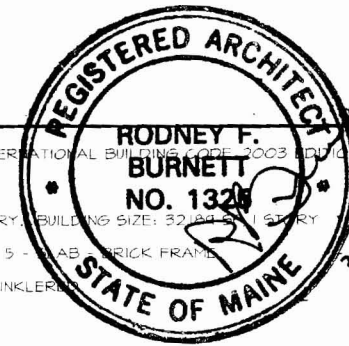
1 2/28/07 ISSUE FOR PRICING

LIST OF DRAWINGS

T001 TITLE SHEET
 A001 DEMOLITION PLAN
 A101 CONSTRUCTION PLAN/DOOR SCHED./WALL TYPES
 A201 DETAILS: ELEVATIONS & SECTIONS
 A202 DETAILS: EXTERIOR WALL SECTIONS
 A203 DETAILS: ELEVATIONS & SECTIONS
 A401 REFLECTED CEILING PLAN
 A701 ADA BATHROOMS
 A901 FINISH PLAN
 A911 OUTLET/TEL/DATA LOCATION PLAN

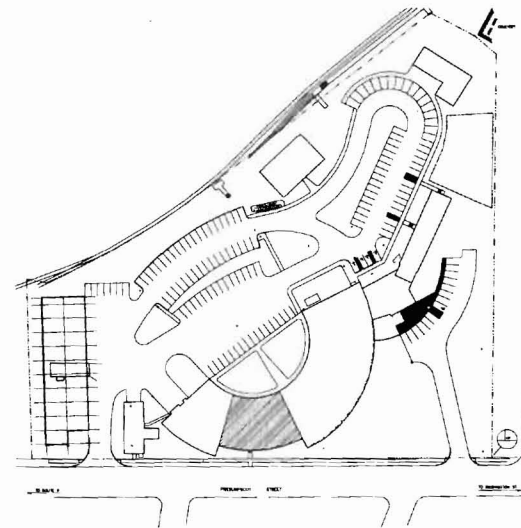
CODE SUMMARY

PROJECT IS DESIGNED TO: INTERNATIONAL BUILDING CODE 2003 EDITION
 USE GROUP: BUSINESS
 PROJECT SIZE: 7,180 SF, 1 STORY BUILDING SIZE: 32,180 SF, 1 STORY
 TYPE OF CONSTRUCTION: TYPE 5 - MASONRY BRICK FRAME
 FIRE SUPPRESSION: FULLY SPRINKLERED



GENERAL NOTES


- GENERAL CONTRACTOR SHALL PROVIDE ANY MECHANICAL WORK REQUIRED ON A DESIGN BUILD BASIS, REBALANCE SYSTEM WHEN COMPLETE.
- GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WORK ON A DESIGN BUILD BASIS.
- GENERAL CONTRACTOR SHALL PROVIDE ALL FIRE PROTECTION WORK ON A DESIGN BUILD BASIS.
- PER DESIGN BUILD SCOPE OF WORK SHALL MEET ALL APPLICABLE STATE AND CITY CODE REQUIREMENTS.
- ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS INITIATED. DETAILS PRESENT BEFORE STARTING WORK AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES BEFORE COMPLETION AND AS REQUIRED.
- THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS & SPECIFICATIONS, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
- UNLESS OTHERWISE NOTICED IN THE DRAWINGS FOR EQUIVALENTS AS BEING NOT IN CONTRACT, THE EXISTING ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT. THE GENERAL CONTRACTOR SHALL OBTAIN APPROVALS OF ALL REGULATORY AGENCIES BEFORE COMPLETION AND AS REQUIRED.
- GENERAL CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE, CONSTRUCTION PROGRAM, RESPONSIBILITY AND CONSTRUCTION SEQUENCING METHOD AND PROGRAM.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND OBTAINING ALL PERMITS, INSURANCE, REQUIRED TESTS AND UTILITY CONNECTIONS UNLESS OTHERWISE NOTICED.
- GENERAL CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE FOR PERMITS AND PERMITS FEE PROVISION AS NECESSARY AND AS REQUIRED BY THE LOCAL JURISDICTIONS AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT SITE.
- CONTRACTOR TO COMPLETE THE AREA OF WORK PRIOR TO STARTING AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL CONDITIONS. DO NOT SCALE THESE DRAWINGS.
- BEFORE TO CLOSING ANY WALLS OR CEILING, ALL SYSTEMS SHALL BE INSPECTED AND SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY CONTRACTOR'S ENGINEERS AND BY OTHER AUTHORIZED PERSONNEL AND APPROVED TO MAKE THE PROPER INSTALLATION AND FUNCTION.
- THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FINISH, RECEPTACLE OR BUILDING OBJECT UP UNTIL THE TIME HE/SHE SHALL APPROVE THE WALLS OR CEILING TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO THE INSPECTIONS APPROVAL SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
- AT MR. CONSTRUCTION PROVIDE ONE PRIMER COAT AND TWO TOP COATS OF PAINT WITH COLOR AND FINISH TO MATCH ADJACENT SURFACES. PROVIDE VINYL BASE TO MATCH BUILDING SPECIFICATIONS.
- SUBMIT SAMPLES, SHOP DRAWINGS, CUT SHEETS & SCHEDULES FOR ARCHITECT REVIEW & APPROVAL FOR THE FOLLOWING:
 - PAINT & VINYL BASE
 - DOORS, FRAMES, HARDWARE
 - MILLWORK
 - CEILING SYSTEMS
 - LIGHT FIXTURES
- IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS THE CONTRACTOR OR TRADE RESPONSIBLE CONTRACTOR SHALL BE OBLIGED TO THE CONTRACT DOCUMENTS UNLESS OTHERWISE STATED IN WRITING FROM THE OWNER.
- GENERAL CONTRACTOR SHALL MAINTAIN WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP THE PREMISE CLEAN OF DEBRIS, EXCESS MATERIALS, ETC.
- CHANGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE PAID UNLESS THE WORK AND THE AMOUNT ARE AGREED TO BY THE OWNER IN WRITING BEFORE THE WORK IS DONE. BASED UPON UNIT PRICINGS.
- AS REQUIRED BY CODE, EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSURANCE OF THAT PORTION OF WORK.
- ALL DIMENSIONS ARE TO THE FACE OF DRYWALL OR MASONRY UOIN.
- GRAVITY CONTROL:
 - A SITE PREPARED CONTRACTOR TO CONDUCT SITE SURVEY AND MARK PRELIMINARY POINTS AS REQUIRED BY OWNER. CONSTRUCTION AND ALL SUB-CONTRACTORS MUST BE PRESENT UNLESS ADVISED BY OWNER.
 - INSTALLATION, EXCEPT AS MORE STRINGENT REQUIREMENTS ARE INDICATED ON THESE DRAWINGS AND IN THESE NOTES, SHALL BE GENERALLY ACCEPTED, WORKMANLY, STAINLESS AND INSTALL PRECISE AS IN STRICT CONFORMANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
 - WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTENT, THE WORK SHALL BE VISUALLY INSPECTED, INCLUDING, ALIGNED AND SIMILAR TERMS OF JERSEY SHALL MEAN ACCEPTABLE, ETC. IN THE OPINION OF THE ARCHITECT OR OWNER.

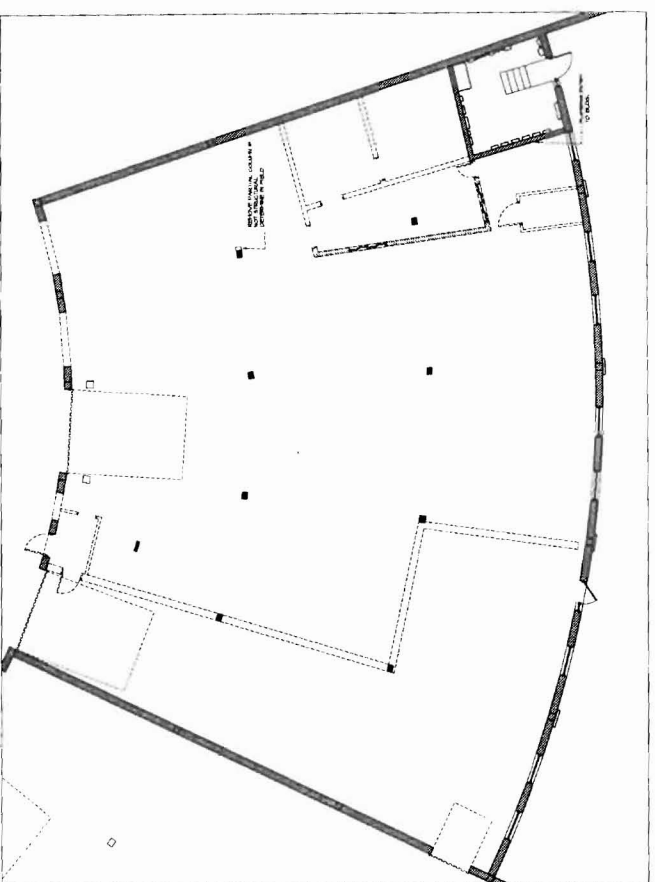


LOCATION PLAN

PROJECT NORTH	
ADMIN. OFFICE OF THE COURTS PRESHAWSCOT STREET PORTLAND, ME	
TITLE	TITLE SHEET
DATE	2/27/07
SCALE	1/8" = 1'-0"
DRAWN BY	JAT
CHECKED BY	JAT
cubellis ARCHITECTS 1000 BROADWAY PORTLAND, ME 04101 TEL: 603.761.1111 WWW.CUBELLIS.COM	
T001	
061483	

I, Rodney F. Burnett, Registered Architect, No. 1326, State of Maine, hereby certify that I am the author of the drawings and specifications herein, and that I am a duly licensed and registered architect in the State of Maine.

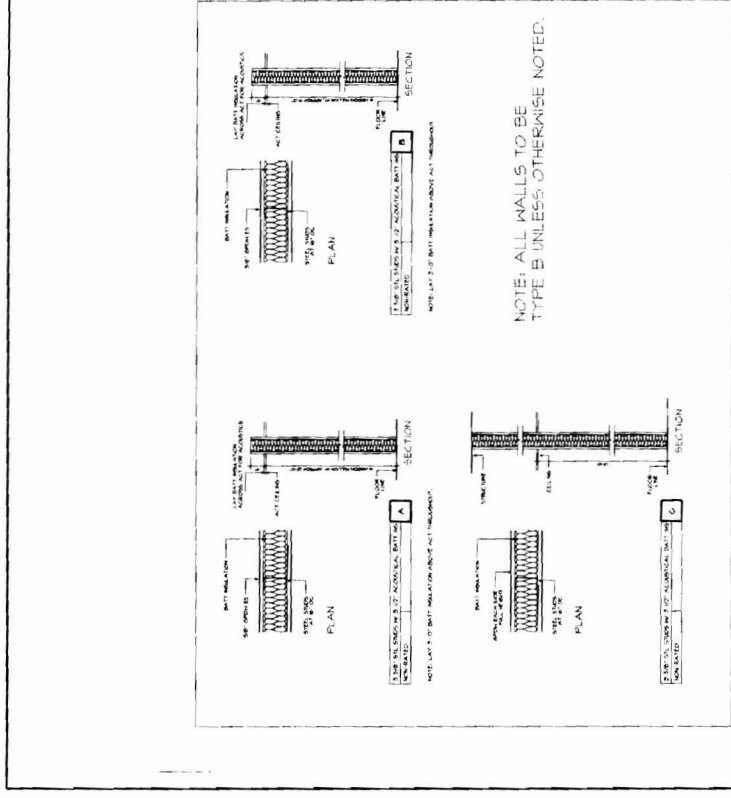
DATE 2/27/07	DRAWN BY www.cubellis.com	SCALE 1/8" = 1'-0"	OWNER ADMIN. OFFICE OF THE COURTS PORTLAND, ME	PROJECT NORTH 	NO. DATE REVISION
A001					
061483					



1 DEMOLITION PLAN
(REV. 2/27/07)

REGISTERED ARCHITECT STATE
 RODA BURTON
 NO. 31577

NOTES:
 1.) DEMO CEMENT FLOOR AS NEEDED, POUR TO INFILL TO MAKE ENTIRE FLOOR LEVEL.
 2.) DEMO BLOCK WALL AT MEZZANINE
 3.) DEMO DOORS & WINDOWS AS SHOWN.



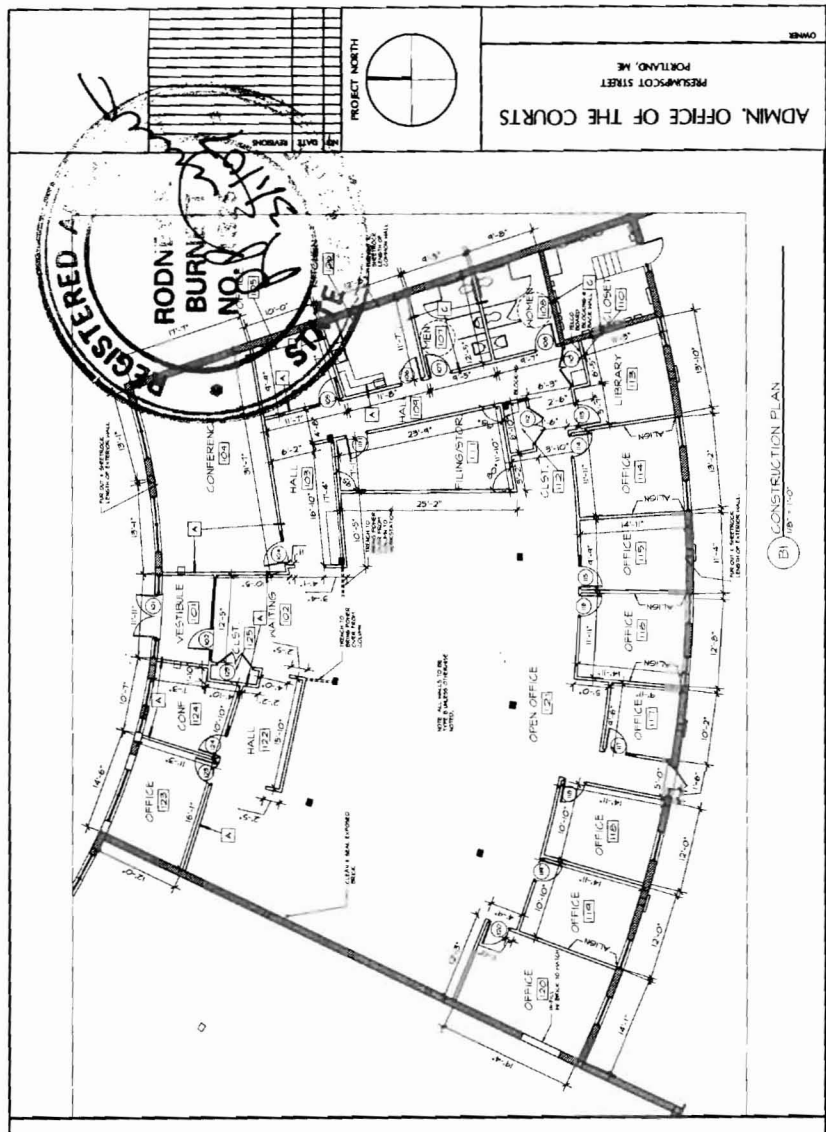
(B2) WALL TYPES

DOOR AND FRAME SCHEDULE

NO.	DOOR		FRAME		MATERIAL	EL. NOTES
	SIZE	HT.	THK.	HT.		
101	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
102	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
103	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
104	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
105	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
106	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
107	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
108	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
109	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
110	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
111	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
112	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
113	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
114	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
115	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
116	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
117	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
118	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
119	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
120	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
121	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
122	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
123	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
124	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3
125	3'-0" x 7'-0"	7'-0"	1 3/4"	4 1/2"	AL	3

NOTE: FIELD VERIFY ALL FRAME OPENING DIMENSIONS BEFORE FABRICATION.

(A7) DOOR TYPES & SCHEDULE



CONSTRUCTION LEGEND

- NEW CONSTRUCTION
- BUILDING SHELL PARTITIONS

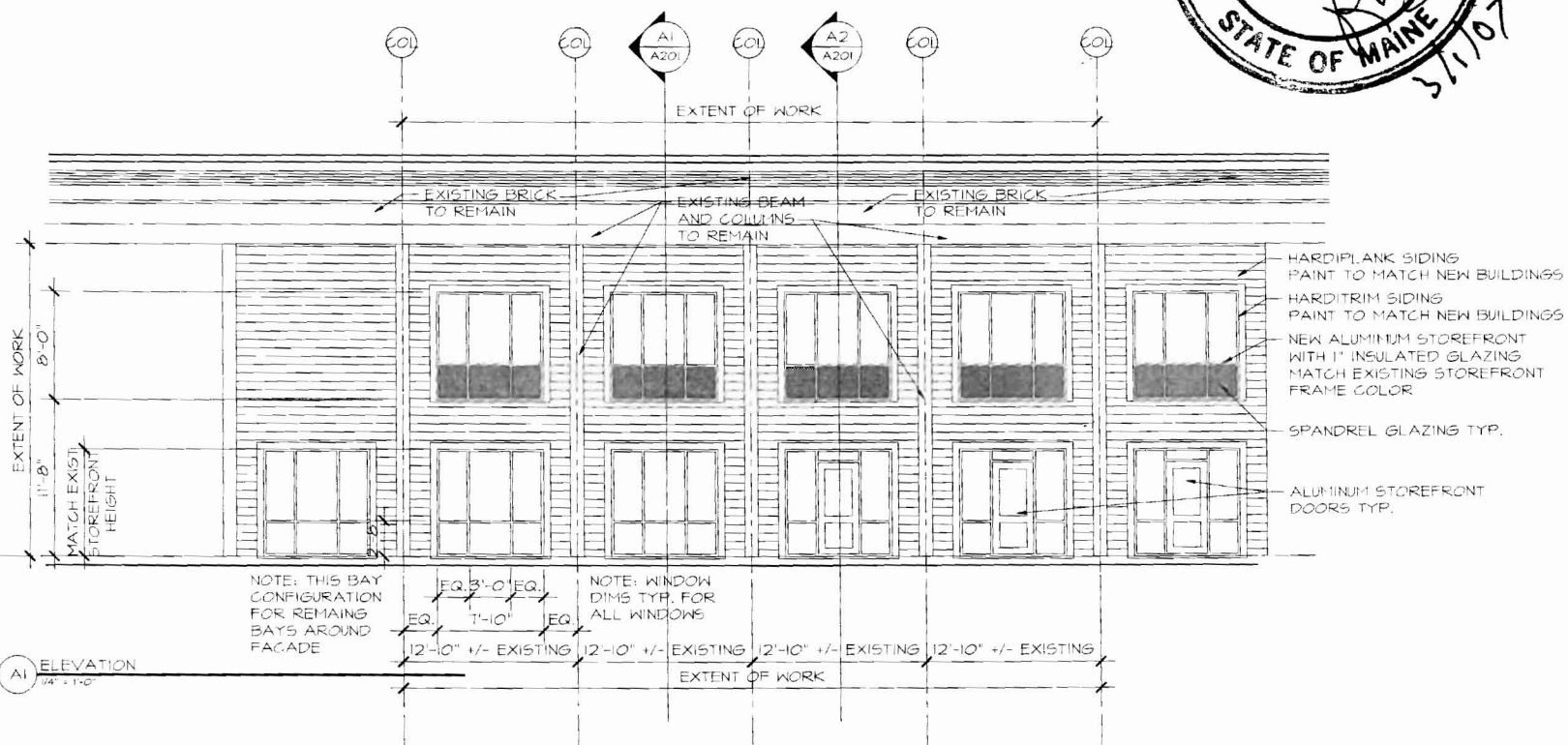
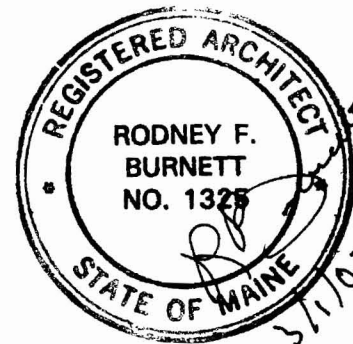
CONSTRUCTION NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
2. PRIOR TO COMMENCING ANY WORK, THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES IN THEIR OWNINGS.
3. PRIOR TO COMMENCING ANY WORK, THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES IN THEIR OWNINGS.
4. PROVIDE FIRE RATED GLASS AT ALL ENTRANCES TO WALLS.
5. PROVIDE FIRE RATED GLASS AT ALL ENTRANCES TO WALLS.
6. PROVIDE FIRE RATED GLASS AT ALL ENTRANCES TO WALLS.
7. PROVIDE FIRE RATED GLASS AT ALL ENTRANCES TO WALLS.
8. DOORS TO MATCH 9" FROM ADJACENT WALL ON INSIDE SIDE OF DOOR.
9. MAINTAIN RATED CONSTRUCTION AT ALL PENETRATIONS IN RATED WALLS.
10. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES IN THEIR OWNINGS.
11. ALL DIMENSIONS ARE TO FACE OF WALL UNLESS OTHERWISE NOTED.
12. UPON IN BATHROOMS TO BE ADJUSTURE RESISTANT FINISHES.
13. ALL ELECTRICAL OUTLETS IN BATHROOMS & KITCHENS TO BE GFI.
14. SWITCH & OUTLET PLATES TO BE ALUMINUM "HIGHLIGHT".
15. PROVIDE EXHAUST FAN (MECHANICALLY CONTROLLED) IN CLOSET 110.
16. CONFIRM SETBACK WITH OWNER.

(A1) CONSTRUCTION NOTES & LEGEND

DATE: 2/27/07
BY: [Signature]
SCALE: AS SHOWN
OWNER: ADMIN. OFFICE OF THE COURTS
PROJECT: ADMIN. OFFICE OF THE COURTS
TITLE: CONSTRUCTION PLAN

A101
061483



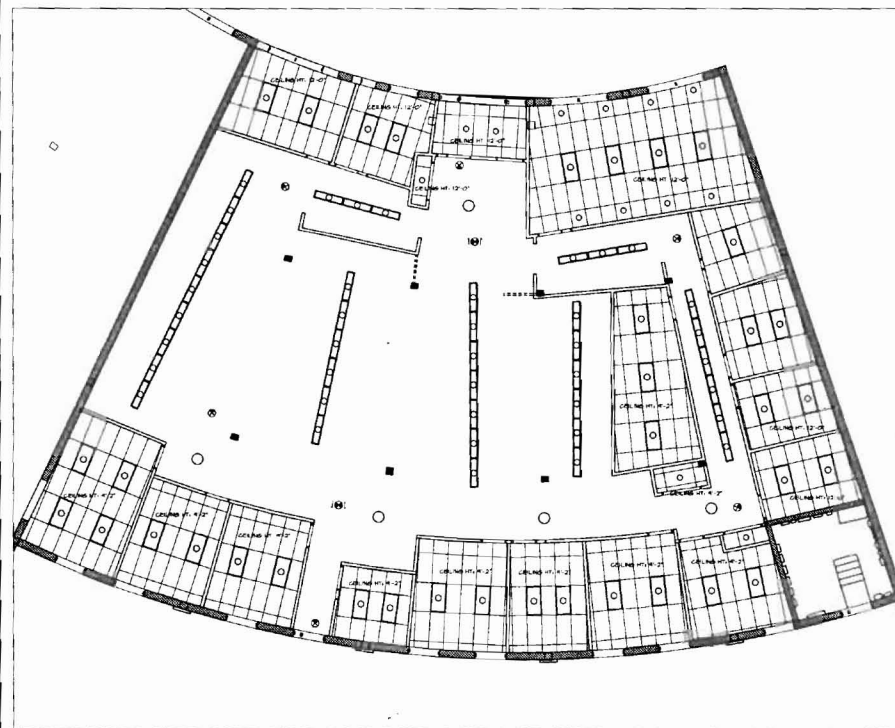
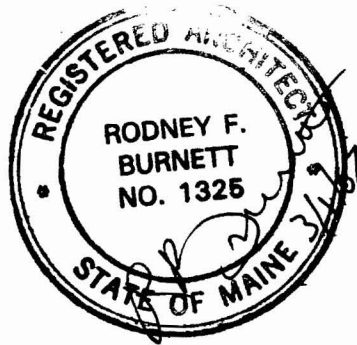
ADMIN. OFFICE OF THE COURTS
PRESUMSCOT STREET
PORTLAND, ME

TITLE
EXTERIOR
ELEVATION

DATE 2/27/07
DRAWN BY JAT
CHECKED BY JAT
SCALE AS NOTED

A203

061483



C1 REFLECTED CEILING PLAN
1/8" = 1'-0"

REFLECTED CEILING LEGEND

- 2x4 FLUORESCENT LIGHT FIXTURE
- COMPACT FLUORESCENT DOWNLIGHT
- INDUSTRIAL FIXTURE
- PENDANT FIXTURE
- EXIT SIGN
- 2x4 ACOUSTIC CEILING PANEL SYSTEM

REFLECTED CEILING NOTES

1. THIS PLAN IS FOR CEILING FIXTURE LOCATIONS ONLY. REFER TO MEP ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2. NEW SPRINKLER HEADS, LIGHT FIXTURES, DIFFUSERS AND ANY CEILING MOUNTED ITEMS SHALL BE CENTERED IN CEILING PANELS AND SHALL BE COORDINATED WITH MEP ENGINEERING DRAWINGS.
3. ALL SUSPENDED CEILING HEIGHTS TO BE 9'-6" A.F.F. UNLESS OTHERWISE NOTED.

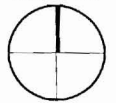
B1 RCP LEGEND & NOTES
NA

NO.	MATERIAL	MANUFACTURER	STYLE	REMARKS/LOCATION
A	2x4	--	2x4 PARABOLIC - CAMPUS STANDARD	PARABOLIC THROUGHOUT U.G.H.
B	DOWN LIGHT	--	6" RECESSED - CAMPUS STANDARD	
C	DOWN LIGHT	--	INDUSTRIAL METAL HALIDE	TO MATCH BUREAU OF MOTOR VEHICLE
D	PENDANT	FOCAL POINT OR EQUIV.	ELYTRA	SUSPENDED HIGH IMPACT FLUORESCENT
E	EXIT SIGN	--	CAMPUS STANDARD	

A1 LIGHT FIXTURE SCHEDULE
NA

NO.	DATE	REVISION

PROJECT NORTH



ADMIN. OFFICE OF THE COURTS

PRESUMPSCOT STREET
PORTLAND, ME

OWNER

TITLE
REFLECTED CEILING
PLAN

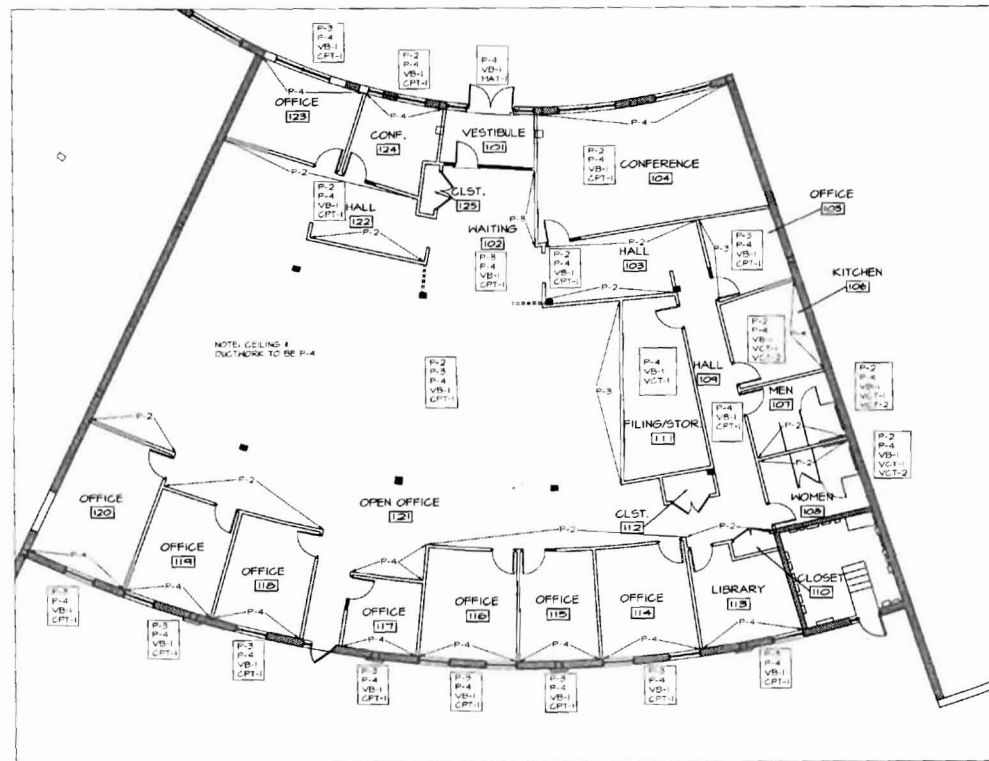
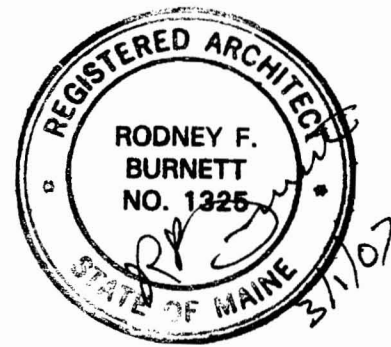
SCALE
1/8" = 1'-0"

cabellis
ARCHITECTS
www.cabellis.com

CHECKED BY
DRAWN BY JAT
DATE 2/27/09

A401

061483



FINISH SCHEDULE					
NO.	MATERIAL	MANUFACTURER	MFR. NUMBER/STYLE	COLOR	REMARKS/LOCATION
WALL FINISHES					
P-1	PAINT	BENJAMIN MOORE	HC-69	WHITALL BROWN	DOOR TRIM THROUGHOUT U.O.N.
P-2	PAINT	BENJAMIN MOORE	2136-60	HARBOR HAZE	ACCENT AS NOTED
P-3	PAINT	BENJAMIN MOORE	2145-40	FERRWOOD GREEN	ACCENT AS NOTED
P-4	PAINT	BENJAMIN MOORE	DC-40	ALBESCENT	ACCENT AS NOTED
BASE					
VB-1	VINYL BASE	JOHNSONITE	47	BROWN	THROUGHOUT LIMIT OF WORK U.O.N.
VB-2	VINYL BASE	JOHNSONITE	189	OCEAN	BATHROOMS 107 & 108 & KITCHEN 106
FLOOR COVERINGS					
CPT-1	CARPET	BIGELOW	FAIRFIELD II	3224-TERRA CLAY	THROUGHOUT LIMIT OF WORK U.O.N.
MAT-1	WALK-OFF MAT	MA'S-INC	07	CHARCOAL	ENTRY VESTIBULE 101
VCT-1	VINYL TILE	AZROCK	V-965	NIGHT SKY	BATHROOMS 107, 108 & ACCENT @ KITCHEN 106
VCT-2	VINYL TILE	AZROCK	V-937	PINE MEADOW	ACCENT @ KITCHEN 106
					*NOTE-KITCHEN 106 TO RECEIVE 2'-2" CHECKERED PATTERN @ FLOOR: VCT-1 & VCT-2
CEILING TILE					
CT-1	CEILING TILE	ARMSTRONG	2X4		THROUGHOUT LIMIT OF WORK U.O.N.
MILLWORK FINISHES					
PL-1	LAMINATE	WILSONART	D488-07	PEARL DUST LS	CABINET FRONTS @ KITCHEN 106
PL-2	LAMINATE	NEVAMAR	INDIX ROCK	RK6001T	COUNTER TOPS @ KITCHEN 106 & HALL 103

A2 FINISH SCHEDULE

A1 FINISH PLAN
1/8" = 1'-0"

NO.	DATE	REVISIONS

PROJECT NORTH



ADMIN. OFFICE OF THE COURTS

PRESBURY STREET
PORTLAND, ME

TITLE
FINISH PLAN

cubellis
ARCHITECTS
www.cubellis.com
DATE 2/27/07

SCALE
VF-1'-0"

CHECKED BY
DRAWN BY
DATE

A901

061483



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>125 Presumpscott Street</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>425 A 002</u>		Owner: <u>Adv Property LLC</u>
Telephone:		
Lessee/Buyer's Name (If Applicable) <u>Admin. Office of The Courts</u>		Applicant name, address & telephone: <u>Rouge & Company</u> <u>106 Merrill Rd</u> <u>Gray, ME 04039</u> <u>207 657 6353</u>
Cost Of Work: <u>\$ 275,000.</u>		Fee: <u>\$ 2,845.00</u>
C of O Fee: \$ _____		
Current Specific use: <u>Light Ind.</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Project description: <u>Light Ind space for office use.</u> <u>Change of Use</u>		
Contractor's name, address & telephone: <u>Rouge & Company</u> <u>106 Merrill Rd</u> <u>Gray, ME</u> <u>207-657-6353</u> cell <u>329-3441</u> <u>04039</u>		
Who should we contact when the permit is ready: <u>Earl</u>		
Mailing address: _____ Phone: <u>329-3441</u>		
<u>106 Merrill Rd</u> <u>Gray ME 04039</u>		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Earl C. Rouge

Date: 3/5/07

This is not a permit; you may not commence ANY work until the permit is issued.

ISSUE/REVISION DATE

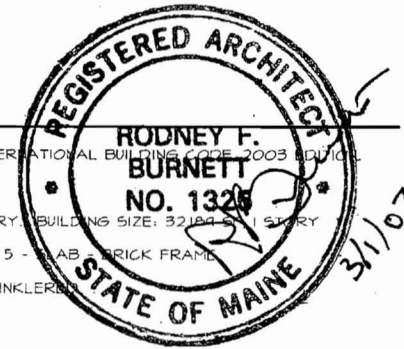
1 2/28/07 ISSUE FOR PRICING

LIST OF DRAWINGS

T001 TITLE SHEET
 A001 DEMOLITION PLAN
 A101 CONSTRUCTION PLAN/DOOR SCHED./WALL TYPES
 A201 DETAILS: ELEVATIONS & SECTIONS
 A202 DETAILS: EXTERIOR WALL SECTIONS
 A203 DETAILS: ELEVATIONS & SECTIONS
 A401 REFLECTED CEILING PLAN
 A701 ADA BATHROOMS
 A901 FINISH PLAN
 A911 OUTLET/TEL/DATA LOCATION PLAN

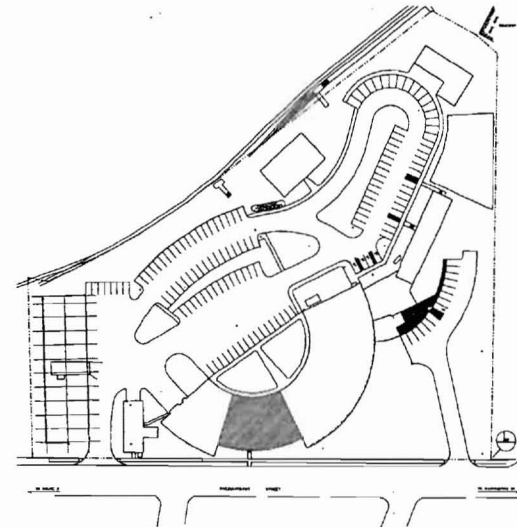
CODE SUMMARY

PROJECT IS DESIGNED TO: INTERNATIONAL BUILDING CODE 2003 ADULT
 USE GROUP: BUSINESS
 PROJECT SIZE: 7,180 SF, 1 STORY BUILDING SIZE: 32,180 SF, 1 STORY
 TYPE OF CONSTRUCTION: TYPE 5 - LAB BRICK FRAME
 FIRE SUPPRESSION: FULLY SPRINKLERED



GENERAL NOTES

1. GENERAL CONTRACTOR SHALL PROVIDE ANY MECHANICAL WORK REQUIRED ON A DESIGN BUILD BASIS. REDUCED VENT SYSTEM WHEN COMPLETE.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WORK ON A DESIGN BUILD BASIS.
3. GENERAL CONTRACTOR SHALL PROVIDE ALL FIRE PROTECTION WORK ON A DESIGN BUILD BASIS.
4. MEP DESIGN BUILD SCOPE OF WORK SHALL MEET ALL APPLICABLE STATE AND CITY CODE REQUIREMENTS.
5. ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS STARTED. OBTAIN PERMITS BEFORE STARTING WORK AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES UPON COMPLETION AND AS REQUIRED.
6. THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS & SPECIFICATIONS. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
7. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.
8. CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SEQUENCING METHODS AND TECHNIQUES.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING AND OBTAINING ALL PERMITS, INSPECTIONS, REQUIRED TESTS AND UTILITY CONNECTIONS UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT PLACE.
11. CONTRACTOR TO INSPECT THE AREA OF WORK PRIOR TO STARTING AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL CONDITIONS. DO NOT SCALE THESE DRAWINGS.
12. PRIOR TO CLOSING ANY WALLS OR CEILINGS, ALL SYSTEMS (HVAC, PLUMBING, ELECTRICAL) SHALL BE INSPECTED, AND WHERE REQUIRED, TESTED BY CONTRACTOR'S INSURERS AND BY PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
13. THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FIXTURE, RECEPTACLE OR BUILT-IN OBJECT UP UNTIL THE TIME THE OWNER SHALL APPROVE THE WALLS OR CEILINGS TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO THE INSPECTOR'S APPROVAL SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
14. AT MEH CONSTRUCTION PROVIDE ONE PRIMER, COAT AND TWO TOP COATS OF PAINT WITH COLOR AND FINISH TO MATCH ADJACENT SURFACES. PROVIDE VINYL BASE TO MATCH BUILDING SPECIFICATIONS.
15. SUBMIT SAMPLES, SHOP DRAWINGS, CUT SHEETS & SCHEDULES FOR ARCHITECT REVIEW & APPROVAL FOR THE FOLLOWING:
 - a. PAINT: VINYL BASE
 - b. DOORS, FRAMES, HARDWARE
 - c. FLOORING
 - d. CEILING SYSTEMS
 - e. LIGHT FIXTURES
16. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITINGS FROM THE OWNER.
17. GENERAL CONTRACTOR SHALL HARBOR WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP THE PREMISE CLEAN OF DEBRIS, RUBBISH, EXCESS MATERIALS, ETC.
19. CHARGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE HONORED UNLESS THE WORK AND THE AMOUNT ARE AGREED TO BY THE OWNER IN WRITING BEFORE THE WORK IS DONE, BASED UPON UNIT PRICING.
20. AS REQUIRED BY CODE, EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSPECTION OF THAT PORTION OF WORK.
21. ALL DIMENSIONS ARE TO THE FACE OF DRYWALL OR MASONRY U.D.N.
22. QUALITY CONTROL:
 - A. SITE MEETINGS: CONTRACTOR TO CONDUCT SITE MEETINGS AND WRITE MEETING MINUTES AT FREQUENT AS DIRECTED BY OWNER. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE PRESENT UNLESS WAIVED BY OWNER.
 - B. INSTALLATION: EXCEPT AS MORE STRINGENT REQUIREMENTS ARE INDICATED ON THESE DRAWINGS AND IN THESE NOTES, COMPLY WITH GENERALLY ACCEPTED INDUSTRY STANDARDS AND INSTALL PRODUCTS IN STRICT COMPLIANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
 - C. WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTENT, THE WORKS ACCEPTABLE IF: VISIBLE, UNVISIBLE, HORIZONTAL, ALIGNED AND SIMILAR TERMS OF ADJACENT SHALL MEAN ACCEPTABLE, ETC., IN THE OPINION OF THE ARCHITECT OR OWNER.

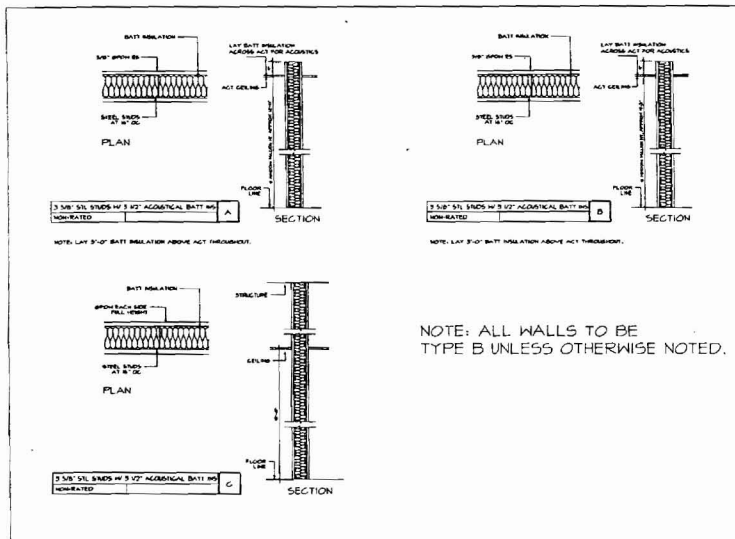


LOCATION PLAN

INTERIOR CONSTRUCTION:
 ADMINISTRATIVE OFFICE OF THE COURTS

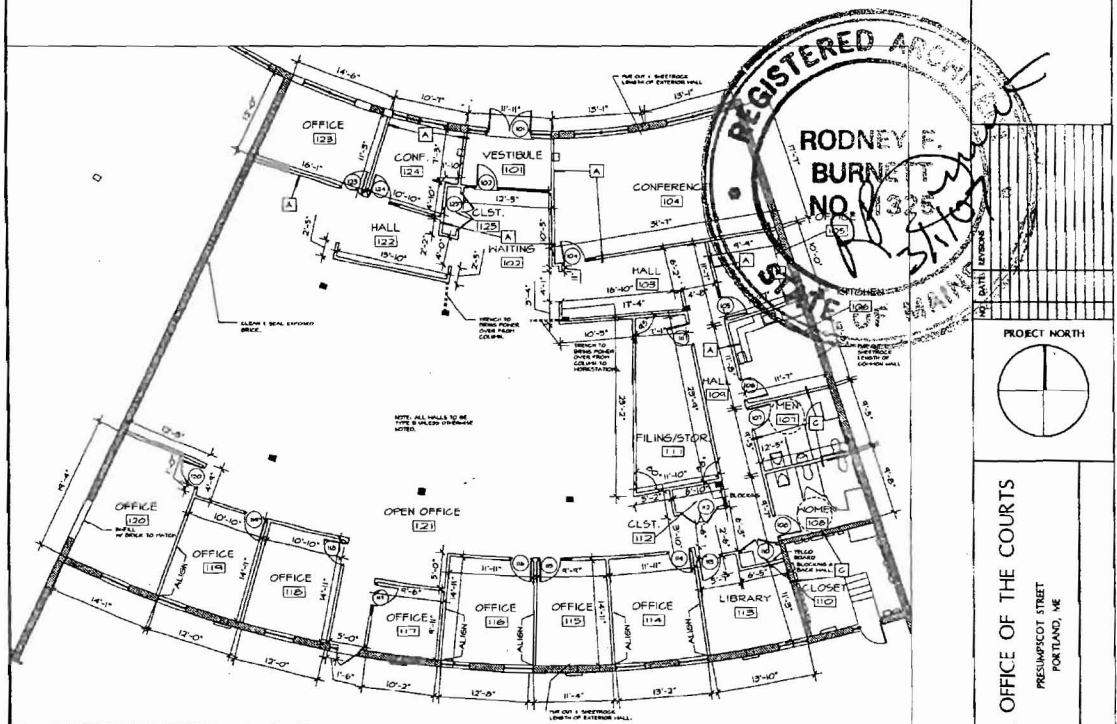
P:\JMS\Tappan\ADMIN. OFFICE OF THE COURTS\T001.dwg
 COPYRIGHT © BY CUBELLIS ASSOCIATES, INC. ALL RIGHTS RESERVED.
 THIS DRAWING IS THE PROPERTY OF CUBELLIS ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CUBELLIS ASSOCIATES, INC.

DATE	ISSUED BY	PROJECT NORTH	OWNER	SCALE	DATE	CHECKED BY	DATE
			ADMIN. OFFICE OF THE COURTS 175 WASHINGTON STREET PORTLAND, ME	VP-1-C'	2/27/07	JAT	2/27/07
TITLE SHEET					T001		
061483							



NOTE: ALL WALLS TO BE TYPE B UNLESS OTHERWISE NOTED.

B2 WALL TYPES



B1 CONSTRUCTION PLAN
1/8" = 1'-0"



PROJECT NORTH
ADMIN. OFFICE OF THE COURTS
PRESUMPTCOT STREET
PORTLAND, ME

OWNER

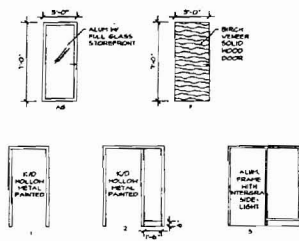
CONSTRUCTION PLAN

SCALE
1/8" = 1'-0"

DATE
2/27/07

A101

061483



NOTE: FIELD VERIFY ALL FRAME OPENING DIMENSIONS BEFORE FABRICATION.

DOOR AND FRAME SCHEDULE

No.	DOOR			FRAME		NOTES
	WD	HGT	THK	MATL	EL	
101 PR	3'-0"	7'-0"	1 3/4"	AG	TEMP	AL 3 ---
102 PR	3'-0"	7'-0"	1 3/4"	AG	TEMP	AL 3 ---
104	3'-0"	7'-0"	1 3/4"	---	---	---
105	3'-0"	7'-0"	1 3/4"	---	---	---
106	3'-0"	7'-0"	2"	F	---	HM 1 ---
107	3'-0"	7'-0"	2"	F	---	HM 1 ---
108	3'-0"	7'-0"	2"	F	---	HM 1 ---
110	3'-0"	7'-0"	1 3/4"	F	---	HM 3 ---
111	3'-0"	7'-0"	2"	F	---	HM 1 ---
112 PR	2'-6"	7'-0"	1 3/4"	F	---	HM 2 ---
113	3'-0"	7'-0"	2"	F	---	HM 1 ---
114	3'-0"	7'-0"	2"	F	---	HM 1 ---
115	3'-0"	7'-0"	1 3/4"	---	---	---
116	3'-0"	7'-0"	2"	F	---	HM 1 ---
117	3'-0"	7'-0"	1 3/4"	---	---	---
118	3'-0"	7'-0"	2"	F	---	HM 1 ---
119	3'-0"	7'-0"	2"	F	---	HM 1 ---
120	3'-0"	7'-0"	2"	F	---	HM 1 ---
123	3'-0"	7'-0"	2"	F	---	HM 1 ---
124	3'-0"	7'-0"	1 3/4"	---	---	---
125 PR	2'-6"	7'-0"	1 3/4"	F	---	HM 2 ---

A2 DOOR TYPES & SCHEDULE

CONSTRUCTION LEGEND

- NEW CONSTRUCTION
- BUILDING SHELL PARTITIONS

CONSTRUCTION NOTES

1. CONTRACTOR TO INSPECT THE AREA OF WORK PRIOR TO STARTING AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL CONDITIONS DO NOT SCALE THESE DRAWINGS.
2. PRIOR TO CLOSING ANY WALLS OR CEILINGS, ALL SYSTEMS (MECH, PLUMBING, ELECTRICAL) SHALL BE INSPECTED, AND WHERE REQUIRED, TESTING BY CONTRACTOR'S ENGINEERS AND BY PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
3. PROVIDE FIRE RATED BLOCKING AT ALL LOCATIONS OF MILLWORK, SHELVES OR OTHER ITEMS INDICATED TO BE MOUNTED TO WALLS.
4. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE MARSHAL.
5. MILLWORK TO CONFORM TO ARCHITECTURAL WOODWORK INSTITUTE QUALITY STANDARDS - PREMIUM GRADE.
6. PARTITIONS SHALL BE PLUMB, SQUARE, STRAIGHT AND PARALLEL OR PERPENDICULAR TO THE CORE.
7. CONFIRM KEYING WITH OWNER.
8. DOORS TO MAINTAIN 6" FROM ADJACENT WALL ON HINGED SIDE OF DOOR U.D.N.
9. MAINTAIN RATED CONSTRUCTION AT ALL PENETRATIONS IN RATED WALLS.
10. THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FUTURE, RECEPTACLE OR BUILT-IN OBJECT UP UNTIL THE TIME HE/SHE SHALL APPROVE THE WALLS OR CEILING TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO THE INSPECTOR'S APPROVAL SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
11. ALL DIMENSIONS ARE TO FACE OF WALL U.D.N.
12. GOWN IN BATHROOMS TO BE MOISTURE RESISTANT. PROVIDE CEMENTITIOUS TILE BACKER BOARD AT SHOWER SURROUNDS.
13. ALL ELECTRICAL OUTLETS IN BATHROOMS & KITCHEN TO BE GFI.
14. SWITCH & OUTLET PLATES TO BE ALMOND THROUGHOUT.
15. PROVIDE EXHAUST FAN (THERMOSTATICALLY CONTROLLED) IN CLOSET 110.

A1 CONSTRUCTION NOTES & LEGEND



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Reason Company
Applicant

March 12, 2012
Application Date

146 Main St, Portland, ME 04101
Applicant's Mailing Address

146 Main St, Portland, ME 04101
Project Name/Description

Eric Evans 329-2111
Consultant/Agent/Phone Number

146 Main St, Portland, ME 04101
Address of Proposed Site

CBL: 125-3-102

Description of Proposed Development:

Handyman services, including painting, carpentry, and electrical work.
to be performed at 146 Main St, Portland, ME 04101.

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment
(Yes, No, N/A)

Planning Office
Use Only

✓

✓

✓

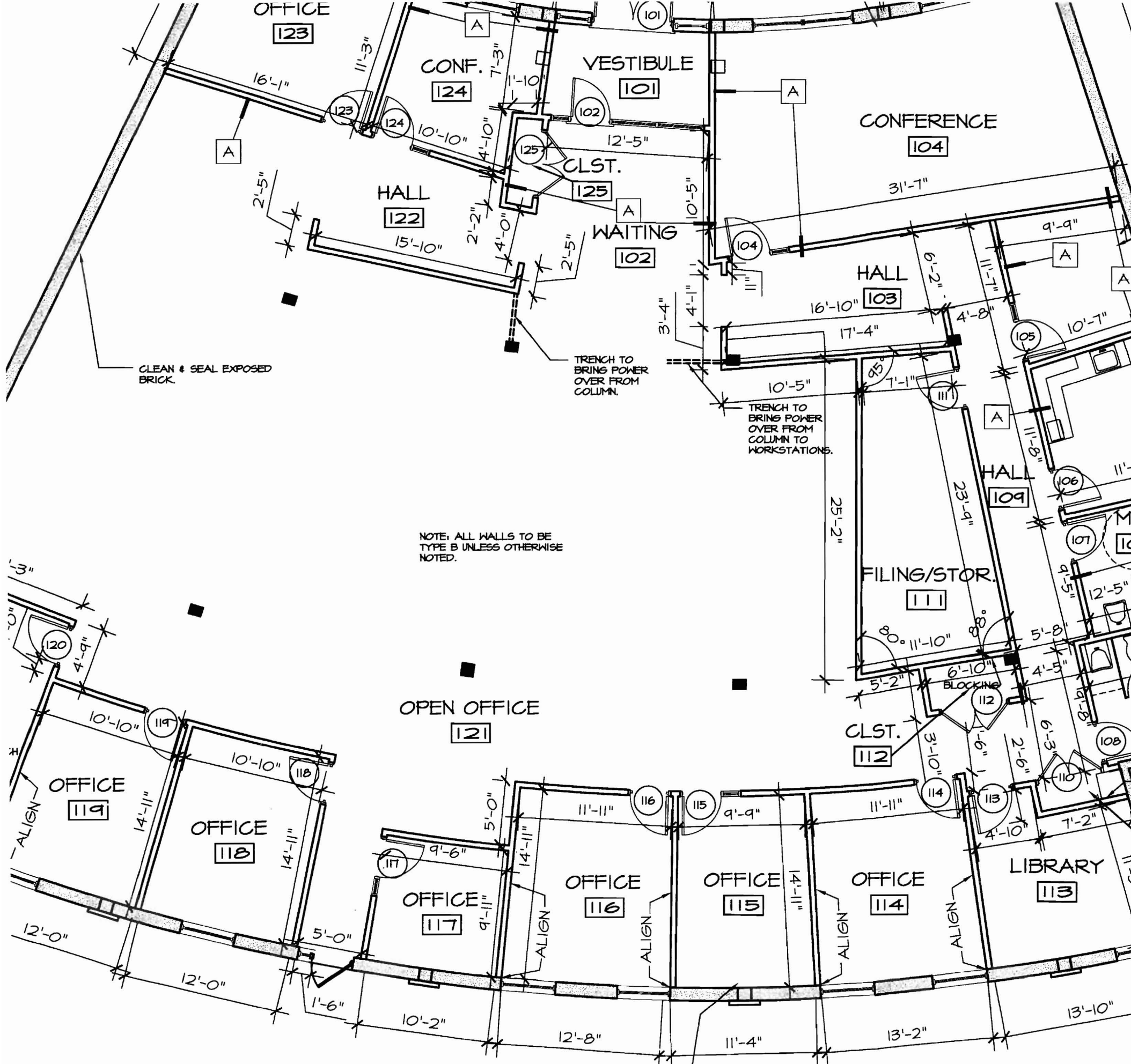
✓

✓

✓

✓

✓



CLEAN & SEAL EXPOSED BRICK.

TRENCH TO BRING POWER OVER FROM COLUMN.

TRENCH TO BRING POWER OVER FROM COLUMN TO WORKSTATIONS.

NOTE: ALL WALLS TO BE TYPE B UNLESS OTHERWISE NOTED.

FUR OUT & SHEETROCK LENGTH OF EXTERIOR WALL.

