

424-A-005001

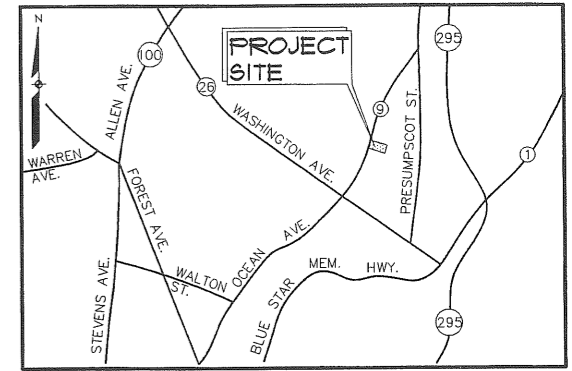
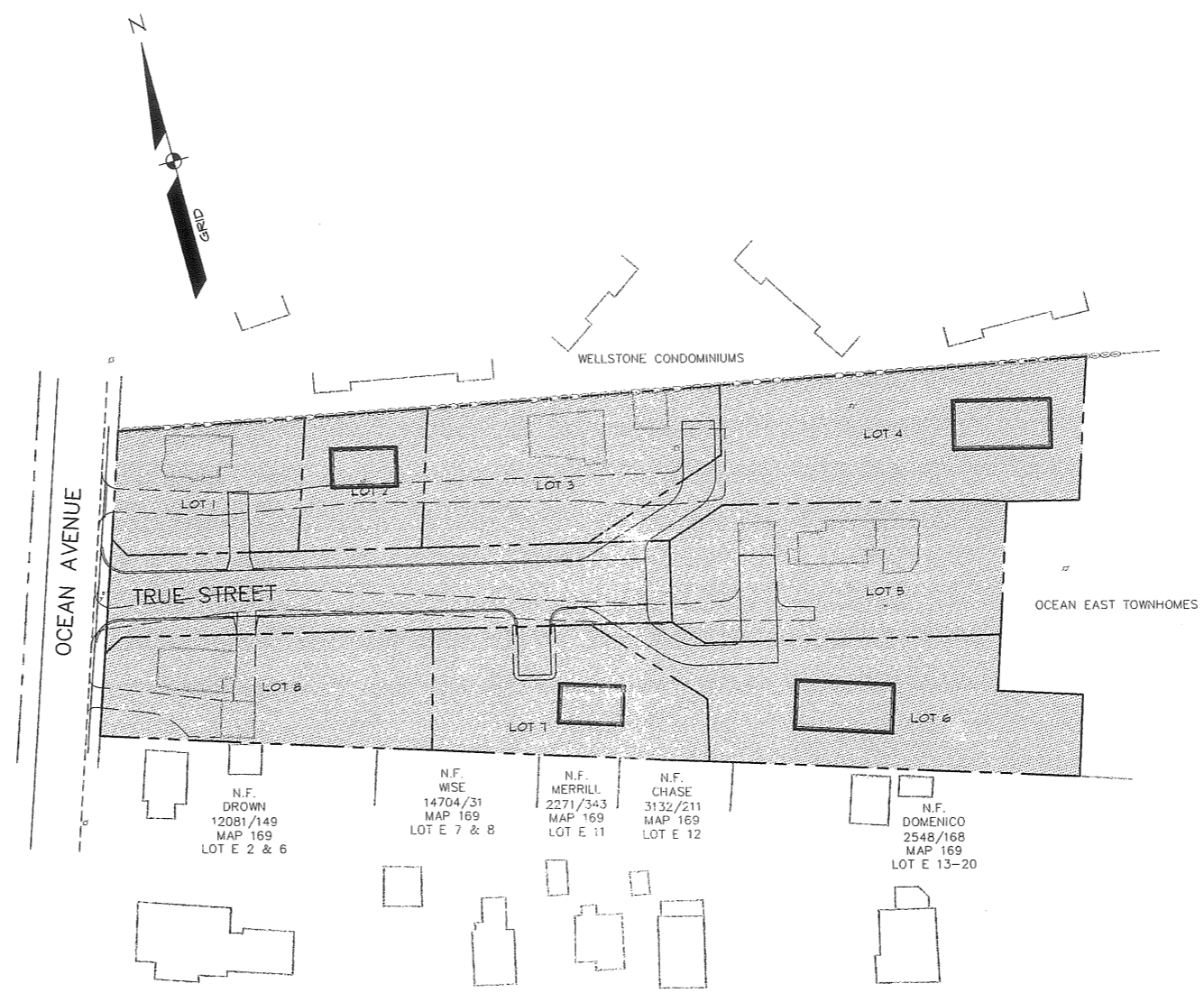
41-41 True st, Portland, Maine

True Street Subdivision

Sniper Todd R.

# TRUE STREET SUBDIVISION

TRUE STREET, PORTLAND, MAINE



LOCATION MAP N.T.S.

**APPLICANT/RECORD OWNER:**

**TRUE STREET  
NEIGHBORHOOD**

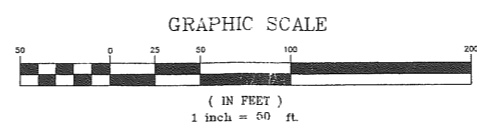
41 TRUE STREET  
PORTLAND, MAINE 04101

**ENGINEER:**

**Sebago Technics**  
 Engineering Expertise You Can Build On  
 One Chobol Street  
 Westbrook, Me 04098-1339  
 Tel (207) 856-0277

**TRUE STREET SUBDIVISION  
SHEET INDEX:**

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SUBDIVISION PLAN
4	GRADING & DRAINAGE PLAN
5	UTILITIES PLAN
6	LANDSCAPE PLAN
7	DETAILS
8	DETAILS
9	DETAILS



CERTIFICATION

THIS SURVEY PLAN CONFORMS TO THE  
 MAINE BOARD OF LICENSURE  
 FOR PROFESSIONAL LAND  
 SURVEYORS STANDARDS

*Richard W. Eaton*  
 RICHARD W. EATON P.L.S. # 2075

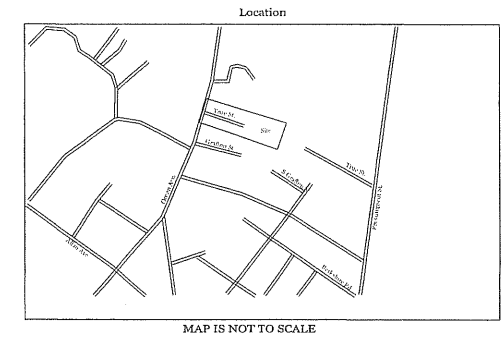
LEGEND

- ⊙ 5/8" REBAR SET WITH CAP
- REBAR/IRON PIPE FOUND
- ⊕ UTILITY POLE
- N.F. NOW OR FORMERLY

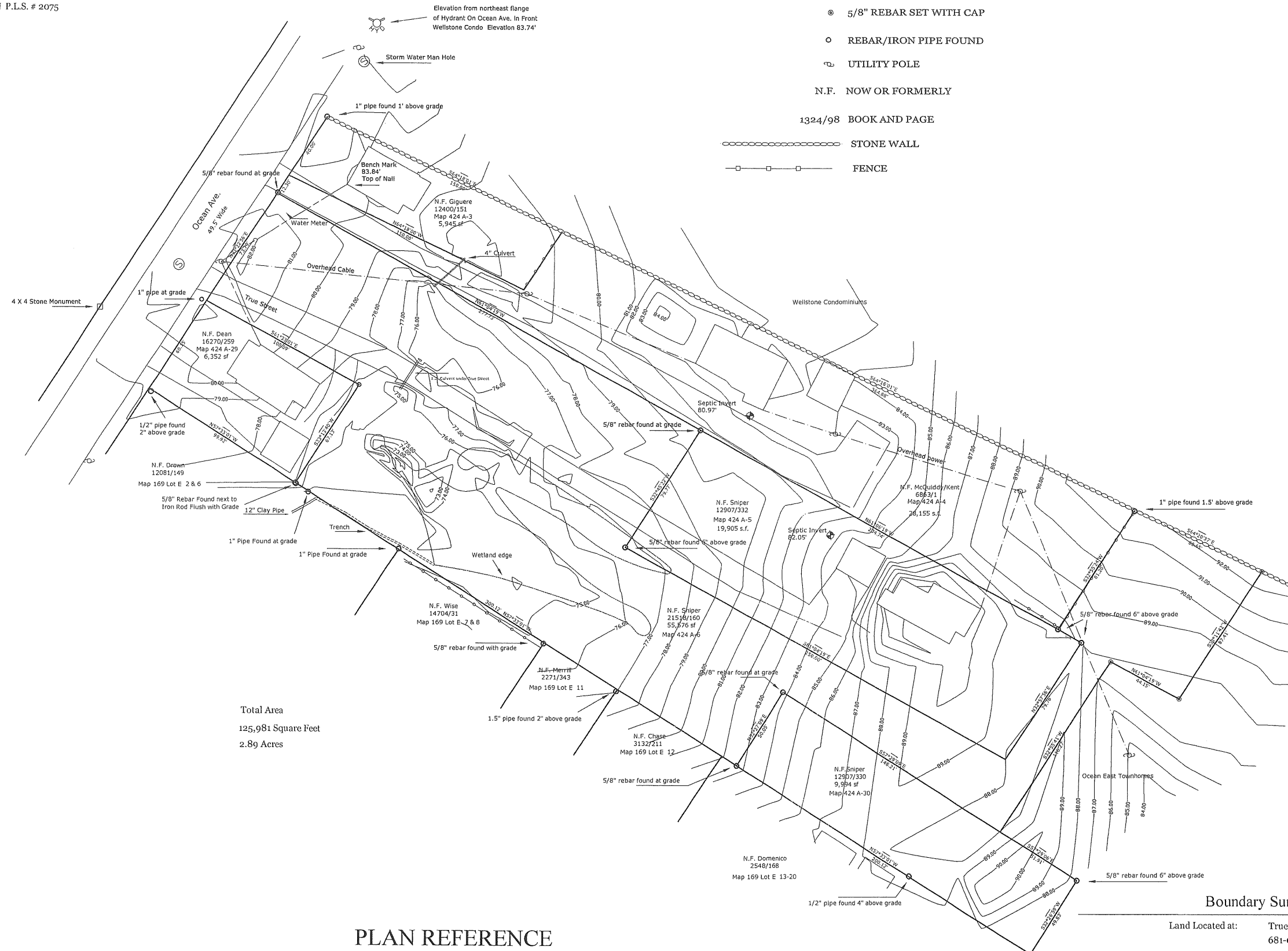
1324/98 BOOK AND PAGE

— — — — — STONE WALL

— □ — □ — □ — □ — FENCE



MAP IS NOT TO SCALE



Total Area  
 125,981 Square Feet  
 2.89 Acres

STATE OF MAINE  
 \_\_\_\_\_, SS REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_  
 AT \_\_\_\_\_ H \_\_\_\_\_ M \_\_\_\_\_ AND  
 RECORDED IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTEST: \_\_\_\_\_ REGISTER

Sheet 2 of 8

Boundary Survey With Existing Conditions

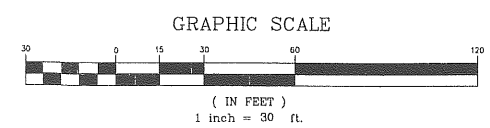
Land Located at: True Street and  
 681-693 Ocean Ave. Portland, Maine 04103

Land Owned By: Nicholas Kent & Amanda McQuiddy/Kent  
 691 Ocean Ave. Portland Me. 04103  
 Kelly & Todd Sniper  
 41 True Street, Portland Maine. 04103  
 Stacy Dean  
 681 Ocean Ave. Portland Me. 04103  
 Marc Giguere  
 693 Ocean Ave. Portland Me. 04103

Deed Reference: Book 21518 Page 160 Book 12907 Page 330-333  
 Book 6863 Page 1 Book 16270 Page 259  
 Book 12400 Page 151

PLAN REFERENCE

- 1) Townhouse at Ocean East at Ocean Ave. & Presumpscot Street, Portland, Maine Dated July 17th 2002 By Coffin Engineering Recorded in Plan Book 204 Page 48
- 2) Wellstone Condominium on Ocean Ave. Portland Maine Dated 4/23/84 By Sebago Technics Recorded in Plan Book 144 Page 61
- 3) The Adams Farm by Percy Richardson C.E. Dated January 16, 1911 Recorded in Plan Book 12 Page 33
- 4) Ocean Ave. Street Information at Portland Engineering Office Vault



**R. W. EATON ASSOCIATES**  
 LAND SURVEYING & REAL ESTATE  
 58 PLEASANT STREET, WESTBROOK, MAINE 04092

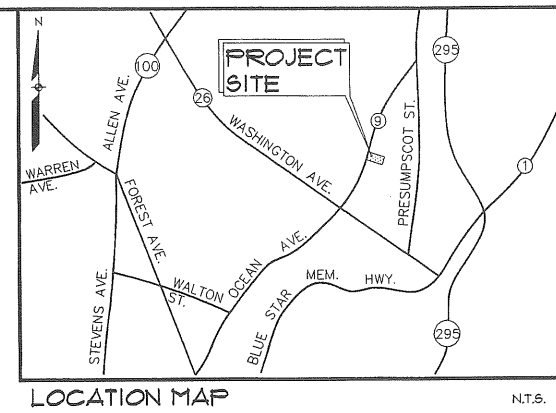
PHONE: 207-854-2402 FAX: 856-7167 E-MAIL: RWEATON@MAINE.RR.COM

April 15th 2005, Revised September 27th 2007

SCALE: 1:30
DRAWN BY: R.W.E.
CHECKED BY: R.W.E.
CAD FILE: 229E.DWG
PROJ #: 229
ORIG DATE: 04-15-05
1 REV DATE: 10-08-07
2 REV DATE: 00-00-00
3 REV DATE: 00-00-00

LINE	BEARING	LENGTH
L3	N76°06'43"W	75.16
L4	S13°53'11"W	15.00
L5	S14°20'00"W	30.91
L6	N13°53'11"E	30.00
L7	S76°06'43"E	30.00
L8	N13°53'11"E	30.00

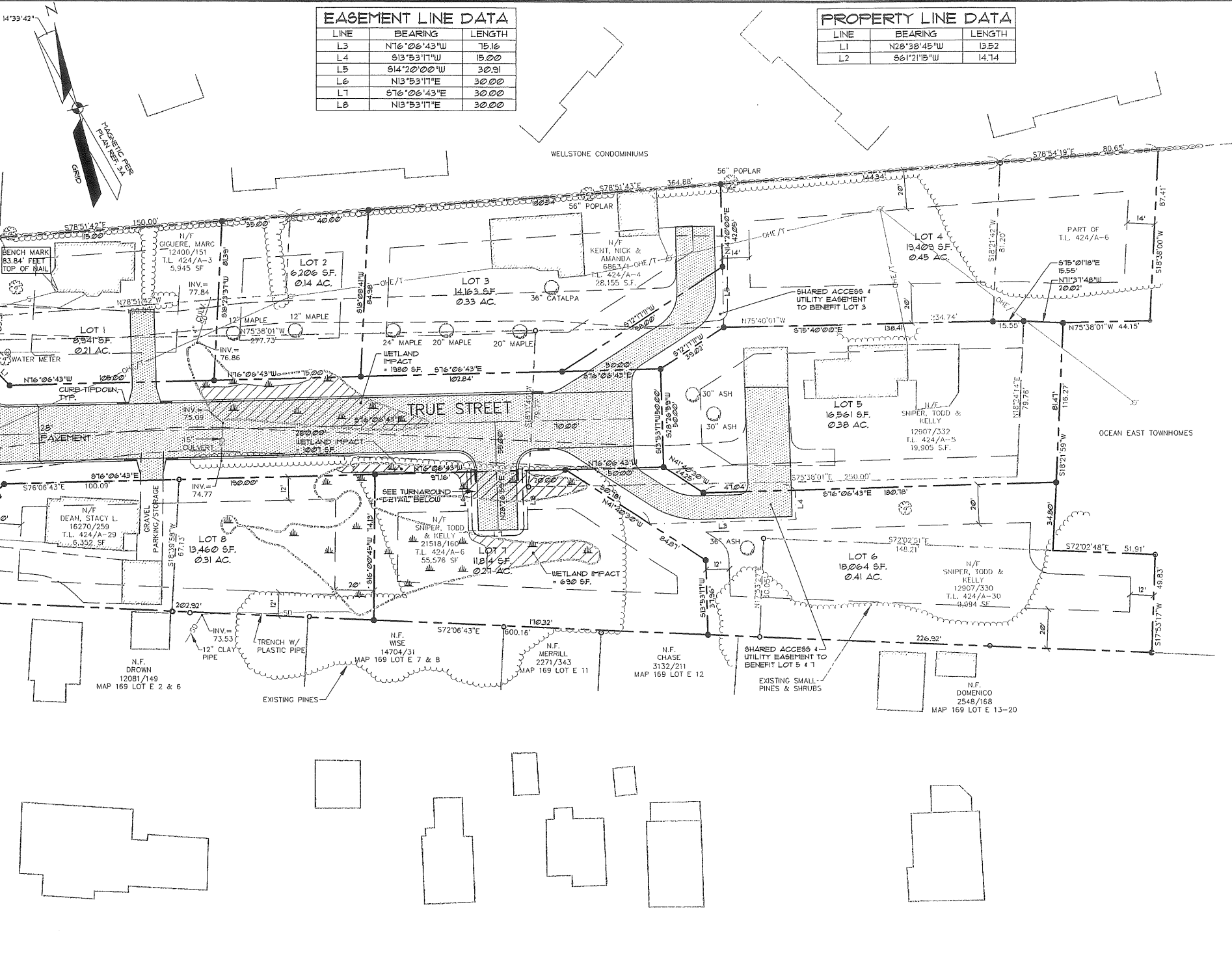
LINE	BEARING	LENGTH
L1	N28°38'45"W	13.52
L2	S61°21'15"W	14.74



**GENERAL NOTES:**

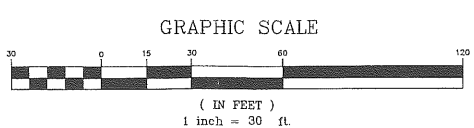
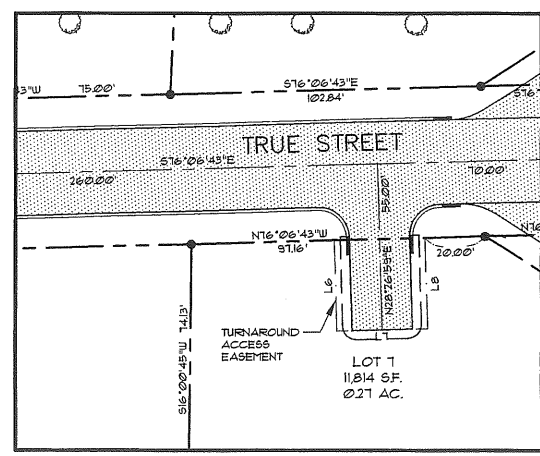
- APPLICANT AND RECORD OWNERS:  
A. TODD AND KELLY SNIPER, 41 TRUE STREET TRUE STREET NEIGHBORHOOD  
B. MARC GIGUIERE, 693 OCEAN AVENUE  
C. NICK AND AMANDA KENT, 691 OCEAN AVENUE  
D. STACEY DEAN AND ROYCE GOULD, 681 OCEAN AVENUE
- DEED REFERENCES:  
12400/01 (GIGUIERE) 16270/259 (DEAN), 6863/1 (KENT), 21816/01, 12807/330, 12807/332 (SNIPER).
- TAX ASSESSORS REFERENCE: M424 L A-3 (GIGUIERE), M424 L A-29 (DEAN), M424 L A-4 (KENT), M424 L A-5, M424 L A-6, M424 L A-30 (SNIPER).
- PLAN REFERENCES:  
A. TRUE STREET, EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 29, 2005 BY R.W. EATON ASSOCIATES, 59 PLEASANT STREET, WESTBROOK, MAINE 04092.  
B. TRUE STREET, SUBDIVISION PLAN, REVISED SEPTEMBER 29, 2005 BY R.W. EATON ASSOCIATES, 59 PLEASANT STREET, WESTBROOK, MAINE 04092.
- WETLANDS SHOWN AS DELINEATED BY MARK CENCI IN APRIL 2005.
- TOTAL LOT AREA: 7.85 ACRES (ALL SUBJECT PARCELS)
- ZONING DISTRICT: R-B RESIDENTIAL ZONE
- SPACE AND BULK CRITERIA (FOR RESIDENTIAL, NON-PRUD):  
MIN. LOT SIZE: 6,000 SF.  
MIN. LOT AREA PER DU: 3,000 SF.  
MIN. STREET FRONTAGE: 50 FT.  
MIN. FRONT YARD:  
1. PRINCIPAL OR ACCESSORY: 20 FT.  
2. NO GREATER THAN AVG. DEPTH OF FRONT YARDS ON EITHER SIDE OF THE LOT FOR LOTS OF RECORD AS OF 6/8/01 THAT ARE LESS THAN 100 FEET DEEP: 20 % OF DEPTH  
MIN. REAR YARD:  
1. PRINCIPAL OR ATTACHED ACCESSORY WITH GROUND COVERAGE (G.C.) GREATER THAN 100 SF: 20 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF: 9 FT.  
MIN. SIDE YARD:  
1. PRINCIPAL OR ACCESSORY WITH G.C. GREATER THAN 100 SF, SETBACK:  
A. 1 STORY: 8 FT.  
B. 1-1/2 STORY: 10 FT.  
C. 2 STORY: 14 FT.  
D. 2-1/2 STORY: 14 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF: 9 FT.  
MIN. SIDE YARD ON SIDE STREET (PRINCIPAL OR ACCESSORY): 15 FT.  
MAX. LOT COVERAGE: 40%  
MAX. STRUCTURE HEIGHT:  
1. PRINCIPAL OR ATTACHED ACCESSORY: 35 FT.  
2. ACCESSORY DETACHED: 18 FT.
- WAIVERS:  
A. THE APPLICANTS REQUEST A WAIVER OF THE LAND USE CODE, CHAPTER 14, ARTICLE 4, SEC. 14-498, SUBSECTION 8, PARAGRAPH A REQUIRING THE CONSTRUCTION OF SIDEWALKS IN A SUBDIVISION, SETBACK  
B. TOTAL IMPACTED WETLAND AREA: 3671 SQ. FT.
- PROJECT IMPACTS:  
A. TOTAL DISTURBED AREA: 0.455 ACRES  
B. TOTAL IMPACTED WETLAND AREA: 3671 SQ. FT.
- THIS PLAN IS BASED SOLELY UPON A BOUNDARY SURVEY PERFORMED BY R.W. EATON ASSOCIATES FOR PREPARATION OF PLANS REFERENCED IN NOTE 3 ABOVE.
- THE INTERIOR LOT COMPUTATIONS WERE COMPLETED BY SEBAGO TECHNICS, INC. UNDER THE SUPERVISION OF THE SIGNING PROFESSIONAL. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE WITH THE EXCEPTION THAT NO REPORT OF SURVEY HAS BEEN PREPARED, NO NEW LEGAL DESCRIPTION HAS BEEN PREPARED AND THAT THE PROPOSED MONUMENTATION SHOWN HEREON MAY OR MAY NOT BE SET BY THE SIGNING PROFESSIONAL OR SEBAGO TECHNICS.
- SUBJECT PARCELS ARE NOT WITHIN ANY FLOODPLAIN AND ARE CLASSIFIED AS ZONE 'X' PER FEMA MAP 230051 0001C.
- BEARINGS & NORTH ORIENTATION SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE USING (HARN) DATUM. CONTOURS & ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.  
THE MAGNETIC NORTH ORIENTATION SHOWN HEREON IS BASED UPON PLANS REFERENCED IN NOTE 3 ABOVE.
- SEBAGO TECHNICS UTILIZED THE PROPERTY LINES DEPICTED ON PLANS REFERENCED IN NOTE 3 AND ROTATED THESE PROPERTY LINES ONTO GRID NORTH NAD 1983 MAINE WEST ZONE TO CONFORM WITH CITY OF PORTLAND SUBDIVISION PLAN REQUIREMENTS.
- EXISTING STRUCTURES ON LOTS 1, 3, 5, 6 & 8 ARE GRANDFATHERED AND EXEMPT FROM SETBACK REQUIREMENTS FROM EXISTING PROPERTY LINES.

ELEVATION FROM NORTHEAST FLANGE OF HYDRANT OCEAN AVE. IN FRONT OF WELLSTONE CONDO 83.74'



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
○	MONUMENT	○
○	IRON PIPE/ROD	○
○	DRILLHOLE	○
▭	BUILDING	▭
▨	WETLANDS	▨
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
○	CONFERRER TREE	○
---	TREELINE	---



**STATE OF MAINE**

RECEIVED \_\_\_\_\_ COUNTY SS REGISTRY OF DEEDS  
AT \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ AND RECORDED IN  
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTRAR

**APPROVAL -  
CITY OF PORTLAND  
PLANNING BOARD**

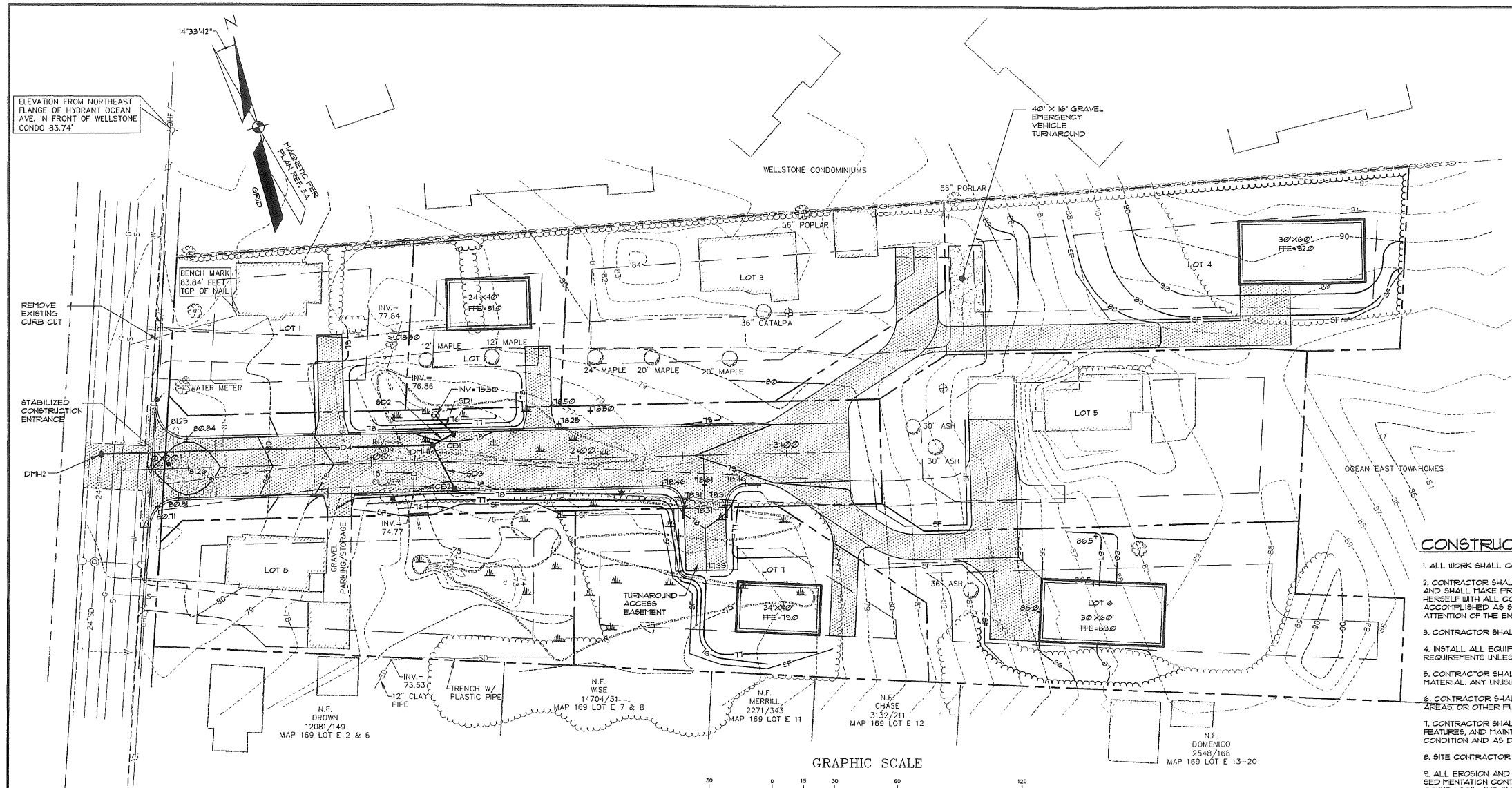
DATE \_\_\_\_\_ SCALE \_\_\_\_\_  
04-04-06 1"=30'  
DATE \_\_\_\_\_ SCALE \_\_\_\_\_  
04-04-06 1"=30'  
DATE \_\_\_\_\_ SCALE \_\_\_\_\_  
04-04-06 1"=30'

SUBDIVISION PLAN  
OF  
TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
TRUE STREET NEIGHBORHOOD  
41 TRUE STREET  
PORTLAND, ME 04101

REV.	DATE	BY	STATUS
1	09-19-05	DAVID C. ST. CLAIR, JR.	ISSUED TO CLIENT FOR REVIEW
2	10-25-05	DAVID C. ST. CLAIR, JR.	ISSUED SKETCH PLAN TO CITY
3	03-28-06	DAVID C. ST. CLAIR, JR.	REVISED HAMMERHEAD DESIGN
4	11-30-07	DAVID C. ST. CLAIR, JR.	ISSUED TO CLIENT FOR REVIEW
5	04-09-08	DAVID C. ST. CLAIR, JR.	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
6	06-14-08	DAVID C. ST. CLAIR, JR.	REVISED PER CITY COMMENTS

**Sebago Technics**  
Engineering Expertise You Can Build On  
100 Commercial Street  
Portland, ME 04101  
Tel: (207) 865-0277

PROJECT NO. 05207  
FIELD BOOK  
DESIGN  
CHKD  
DRAWN  
RAM  
BCM

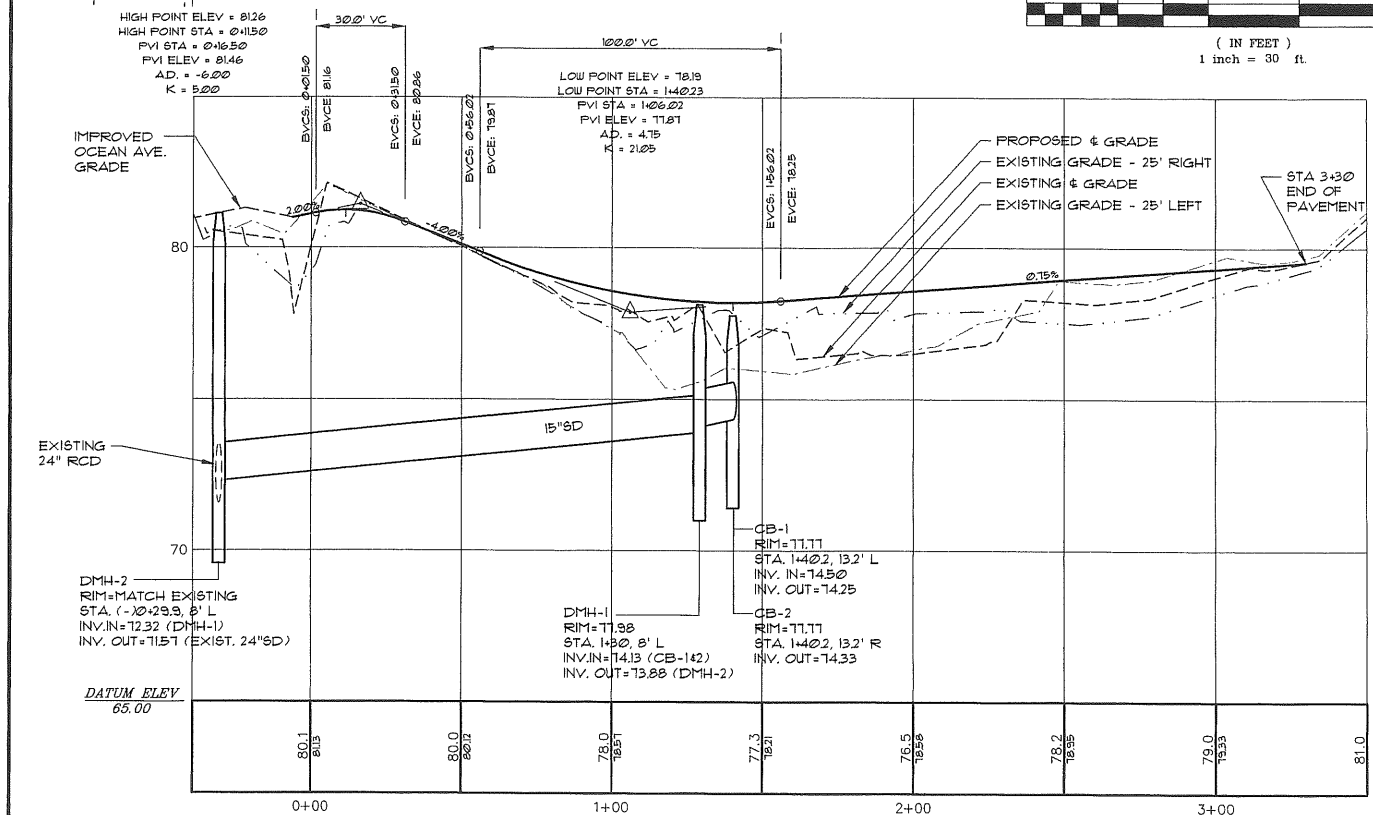
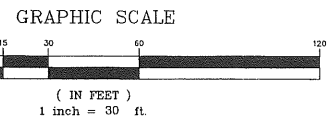


**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	GRAVEL ROAD	---
---	CURELINE	---
---	TREELINE	---
---	CONTOURS	---
---	30.20 SPOT GRADE	+30.20
---	STONE WALL	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
○	GAS	○
○	WATER	○
○	GATE VALVE	○
○	HYDRANT	○
○	POTABLE WELL	○
○	SEWER	○
○	FORCE MAIN	○
○	SEWER MH	○
○	STORM DRAIN	○
○	UNDERDRAIN	○
○	CATCH BASIN	○
○	DRAINAGE MH	○
○	CULVERT	○
○	OVERHEAD ELEC. & TEL.	○
○	UNDERGROUND ELEC. & TEL.	○
○	TRANSFORMER PAD	○
○	LIGHT POLE/WALL	○
○	UTILITY POLE	○
○	GUY	○
○	SILT FENCE	○
○	RIPRAP	○

**CONSTRUCTION NOTES**

- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD. REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE GEMSEK AND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 336-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY, AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL PAVEMENT JOINTS SHALL BE SAUCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
- THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL OUTSIDE OF THE LIMITS OF CLEARING MAY BE NECESSARY TO REMOVE DEAD OR DYING TREES OR TREE LIMBS. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.
- ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SMH'S, CB'S, HYDRANTS, ETC. IN CONJUNCTION WITH DESIGN AND/OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS, INC. BY OTHERS. PRIOR TO ANY CONSTRUCTION EXCAVATION, TEST BORINGS, DRILLING, ETC. DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.



**DRAINAGE STRUCTURE TABLE**

ID.	TYPE	RIM	PIPE	INVERT ELEV.
CB-1	E	71.71	12"	74.50 (FROM SWALE) 74.25 (TO DMH)
CB-2	E	71.71	12"	74.33 (TO DMH)
DMH-1	-	71.98	12"	74.13 (FROM CB-1) 4 2) 73.88 (TO DMH-2)
DMH-2	-	81.15	24"	71.57 (EXISTING MAIN) 72.32 (FROM DMH-1)

**STORM DRAIN PIPE TABLE**

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
SD 1	12	FVC	10	0.100
SD 2	12	FVC	8	0.015
SD 3	12	FVC	20	0.010
SD 4	15	FVC	15.6	0.010

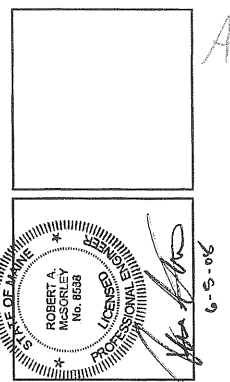
**SEWER STRUCTURE TABLE**

ID.	TYPE	RIM	PIPE	INVERT ELEV.
SMH-1	A	79.48	8"	74.60 (TO EXIST. SMH)

**SAN. SEWER PIPE TABLE**

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
S1	8"	FVC	344'	0.010

**PROFILE:**  
 HORIZ. SCALE: 1" = 30'  
 VERT. SCALE: 1" = 3'



REV.	DATE	BY	STATUS
1	04-04-06		ISSUED SKETCH PLAN TO CITY
2	03-28-06		ISSUED HAMMERHEAD DESIGN
3	11-30-07		ISSUED TO CLIENT FOR REVIEW
4	04-09-08		ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
5	05-14-08		REVISED PER PWD COMMENTS
6	06-04-08		REVISED PER CITY OF PORTLAND COMMENTS

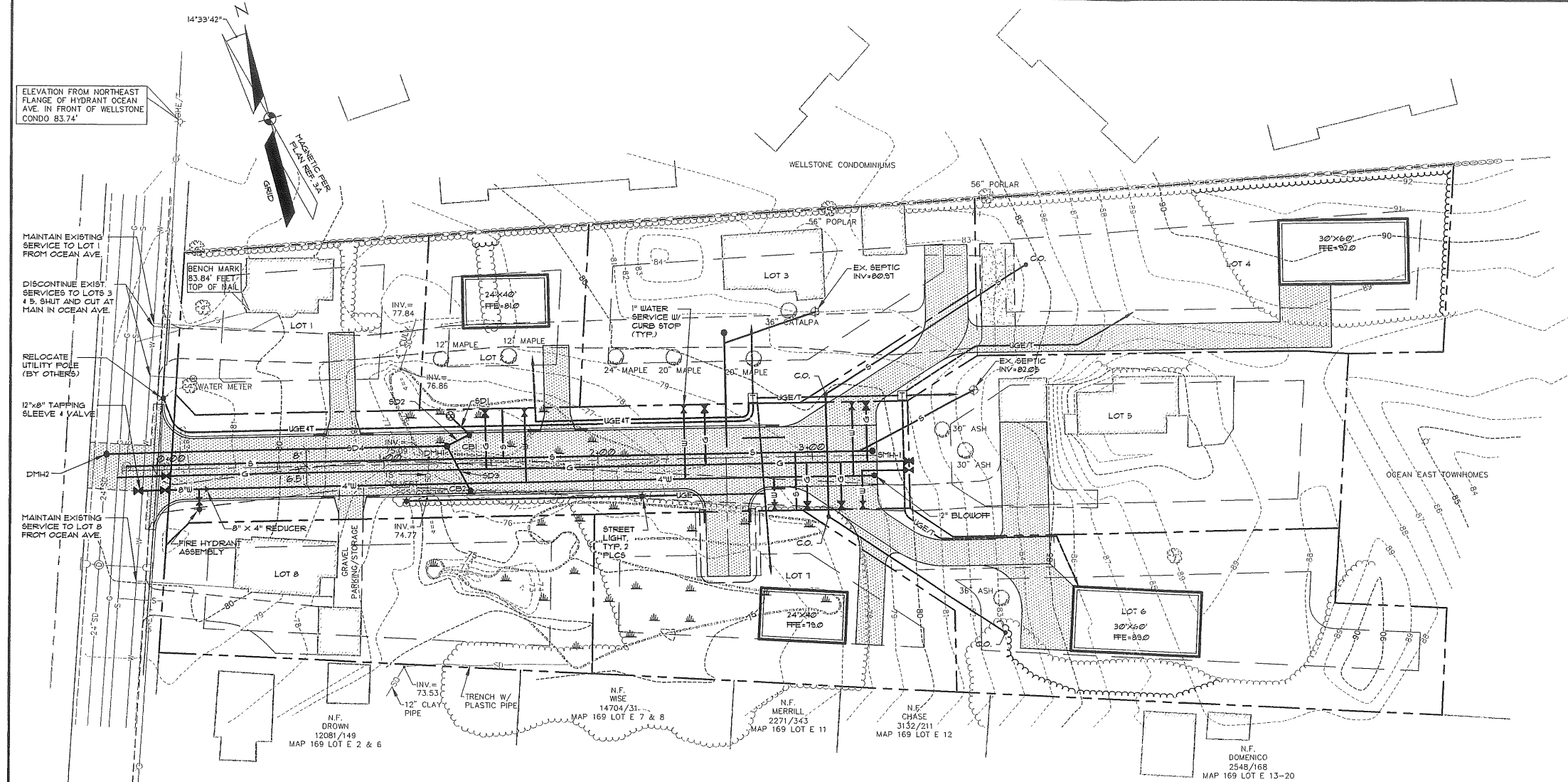
**Sebago Technics**  
 Engineering, Excavation, You Can Build On  
 One Oxbow Street  
 Westbrook, ME 04098-1339  
 Tel: (207) 856-0277

PROJECT NO. 05207  
 FIELD BOOK DESIGN CHKD DRAWN  
 DDB DDB BCM

**GRADING & DRAINAGE PLAN**  
 OF:  
**TRUE STREET SUBDIVISION**  
 TRUE STREET  
 PORTLAND, MAINE  
 FOR:  
**TRUE STREET NEIGHBORHOOD**  
 41 TRUE STREET  
 PORTLAND, ME 04101

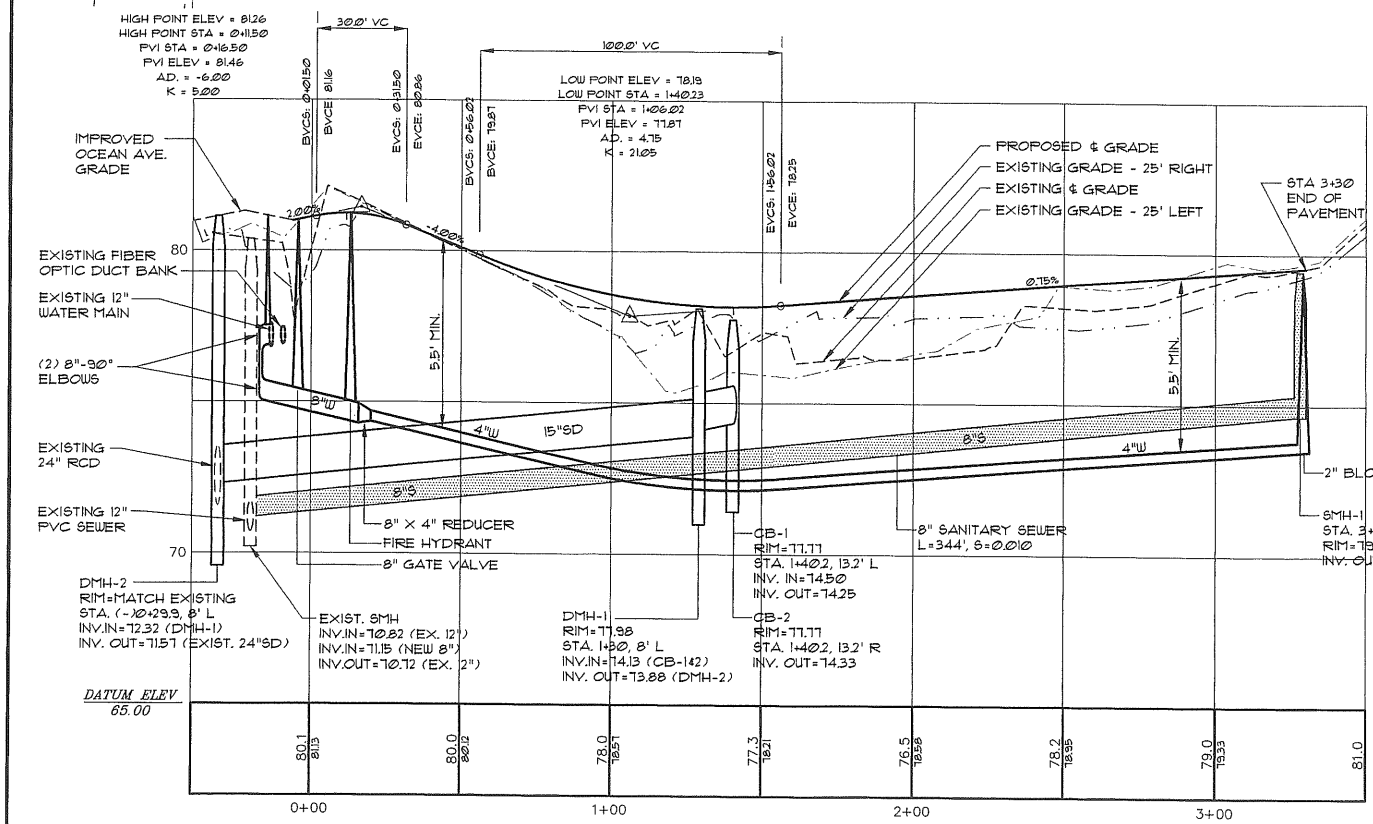
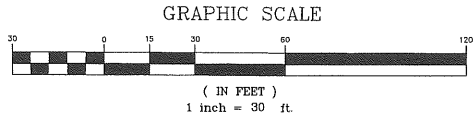
DATE: 04-04-06  
 SCALE: 1" = 30'

SHEET 4 OF 9



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOURS	---
---	SPOT GRADE	---
---	STONE WALL	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
○	GAS	○
○	WATER	○
○	GATE VALVE	○
○	HYDRANT	○
○	POTABLE WELL	○
○	SEWER	○
○	FORCE MAIN	○
○	SEWER MH	○
○	STORM DRAIN	○
○	UNDERDRAIN	○
○	CATCH BASIN	○
○	DRAINAGE MH	○
○	CULVERT	○
○	OVERHEAD ELEC. & TEL.	○
○	UNDERGROUND ELEC. & TEL.	○
○	TRANSFORMER PAD	○
○	LIGHT POLE/WALL	○
○	UTILITY POLE	○
○	GUY	○
○	SILT FENCE	○
○	RIPRAP	○



**DRAINAGE STRUCTURE TABLE**

ID.	TYPE	RIM	PIPE	INVERT ELEV.
CB-1	E	77.77	12"	74.50 (FROM SWALE) 74.25 (TO DMH-1)
CB-2	E	77.77	12"	74.33 (TO DMH-1)
DMH-1	-	77.98	12"	74.13 (FROM CB-1 & 2) 73.88 (TO DMH-2)
DMH-2	-	81.15	24"	71.51 (EXISTING MAIN) 72.32 (FROM DMH-1)

**STORM DRAIN PIPE TABLE**

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
SD 1	12	FVC	10	0.010
SD 2	12	FVC	8	0.015
SD 3	12	FVC	20	0.010
SD 4	15	FVC	156	0.010

**SEWER STRUCTURE TABLE**

ID.	TYPE	RIM	PIPE	INVERT ELEV.
SMH-1	A	79.48	8"	74.60 (TO EXIST. SMH)

**SAN. SEWER PIPE TABLE**

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
S1	8"	FVC	344'	0.010

**PROFILE:**  
 HORIZ. SCALE: 1" = 30'  
 VERT. SCALE: 1" = 3'

REVISED PER CITY OF PORTLAND COMMENTS

REV.	DATE	BY	STATUS
6-4-08			REVISED PER CITY OF PORTLAND COMMENTS
5-14-08			REVISED PER PWD COMMENTS
4-9-08			ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
11-30-07			ISSUED TO CLIENT FOR REVIEW
03-28-06			REVISED HAMMERHEAD DESIGN
10-25-05			ISSUED SKETCH PLAN TO CITY
9-19-05			ISSUED TO CLIENT FOR REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

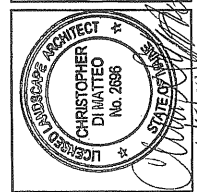
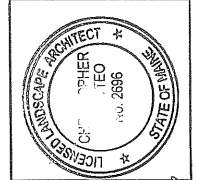
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 Engineering Expertise You Can Build On  
 One Oxbow Street  
 Westbrook, Me 04098-1339  
 Tel (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN BCM  
 05207 DDB DDB DDB

**UTILITY PLAN**  
 OF: **TRUE STREET SUBDIVISION**  
 TRUE STREET  
 PORTLAND, MAINE  
 FOR: **TRUE STREET NEIGHBORHOOD**  
 41 TRUE STREET  
 PORTLAND, ME 04101

DATE: 04-04-06 SCALE: 1" = 30'

SHEET 5 OF 9

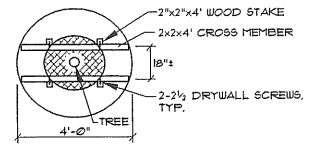
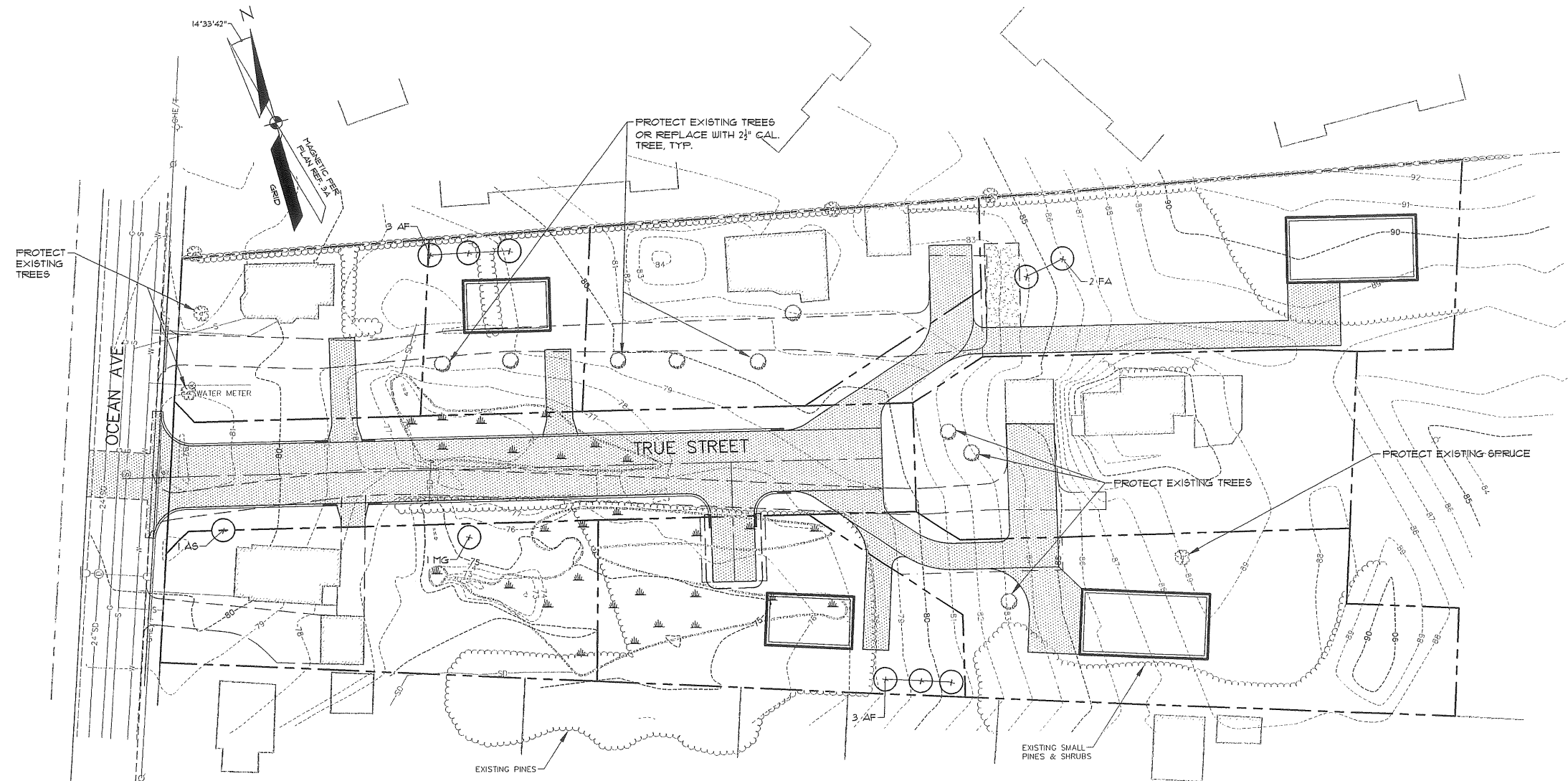


**LANDSCAPE NOTES**

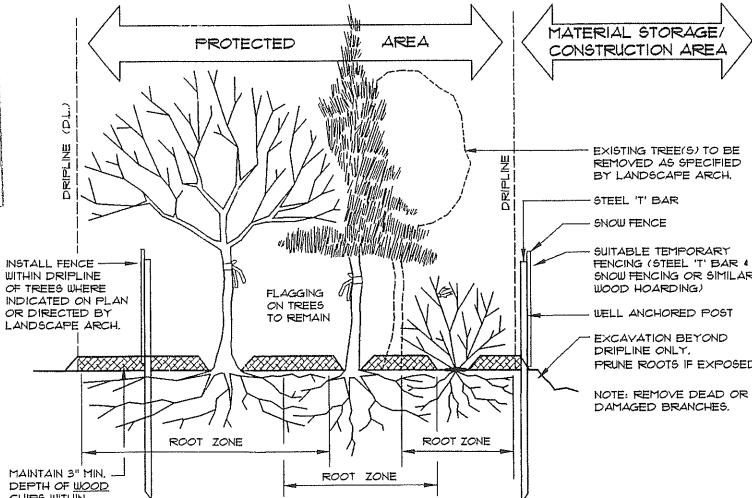
1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, FRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODDED OR SEEDED. PLANTING AREAS SHALL RECEIVE 12" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

REV.	DATE	BY	STATUS
C	6-4-08	RAM	REVISED PER CITY OF PORTLAND COMMENTS
E	5-14-08	RAM	REVISED PER PWD COMMENTS
L	4-9-08	RAM	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
D	11-30-07	RAM	ISSUED TO CLIENT FOR REVIEW
C	03-28-06	RAM	REVISED HAMMERHEAD DESIGN
B	10-25-05	RAM	ISSUED SKETCH PLAN TO CITY
A	9-19-05	RAM	ISSUED TO CLIENT FOR REVIEW

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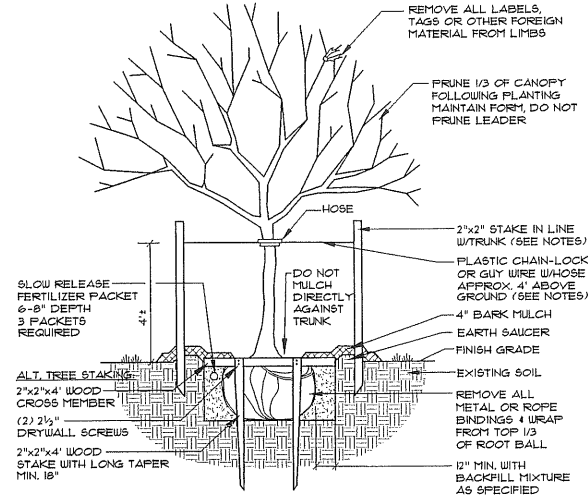


**A.T. TREE STAKING PLAN**  
NOT TO SCALE



NOTE: AS THE MAJOR PORTIONS OF THE ROOT SYSTEMS OF THE PLANT(S) TO BE PROTECTED ARE WITHIN THE DRIFLINE ZONE, THIS ENTIRE AREA SHOULD BE FENCED OFF (TO A MINIMUM HEIGHT OF 4') PRIOR TO CONSTRUCTION AND REMOVED THEREAFTER FOR MAXIMUM PROTECTION. NO VEHICLE TRESPASS, EXCAVATION, FILL, WASTE DISCHARGE OR OR MATERIAL STORAGE SHOULD BE ALLOWED IN THIS ZONE.

**TREE PROTECTION DETAIL**  
NOT TO SCALE  
CROSS-SECTION OF TYPICAL PLANT GROUPING

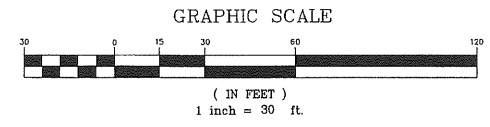


- NOTES:**
1. INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:  
THE TREE IS OF SUBSTANTIAL SIZE.
  2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
  3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
  4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

**DECIDUOUS TREES 2\"/>**

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CONIFEROUS TREE	(X)
---	TREELINE	---



**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AS	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG SUGAR MAPLE	2 1/2" CAL.	1
AF	ABIES FRASERI	FRASER FIR	6'-1' HGT.	6
FA	FRAXINUS AMERICANA 'CHICAGO REGAL'	WHITE ASH	2 1/2" CAL.	2
MG	METASEQUOIA GLYPTOSTROBODES	DAWN REDWOOD	24"-30"	1
	EXISTING TREES TO REMAIN			14
	TOTAL TREES PROVIDED			24
	TOTAL TREES REQUIRED (2 PER LOT)			16

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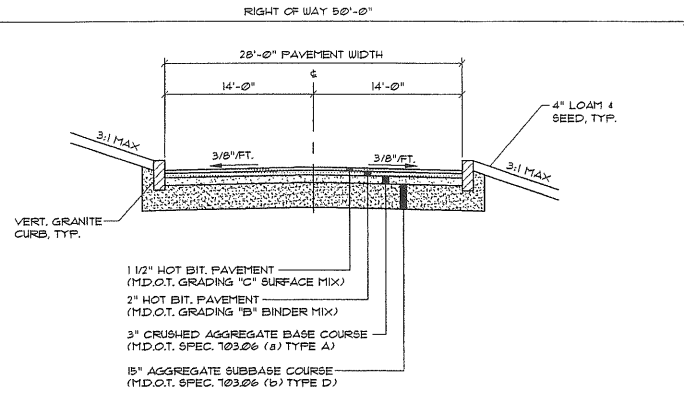
PROJECT NO. 05207  
FIELD BOOK  
DESIGN  
CHKD  
DRAWN  
RAM  
BCM

**LANDSCAPING PLAN**  
OF  
**TRUE STREET SUBDIVISION**  
TRUE STREET  
PORTLAND, MAINE

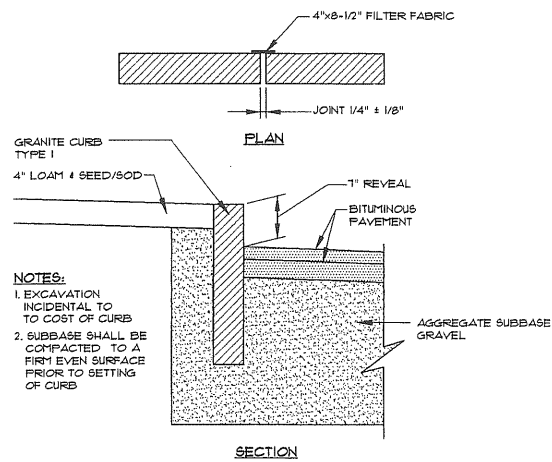
FOR:  
**TRUE STREET NEIGHBORHOOD**  
41 TRUE STREET  
PORTLAND, ME 04101

DATE: 04-04-06  
SCALE: 1"=30'

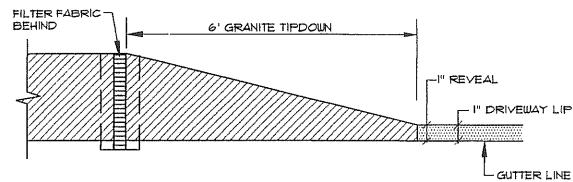
**SHEET 6 OF 9**



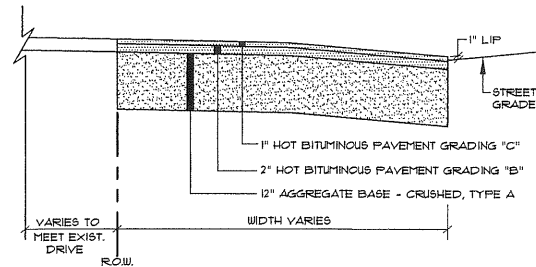
**MINOR RESIDENTIAL STREET SECTION**  
NOT TO SCALE



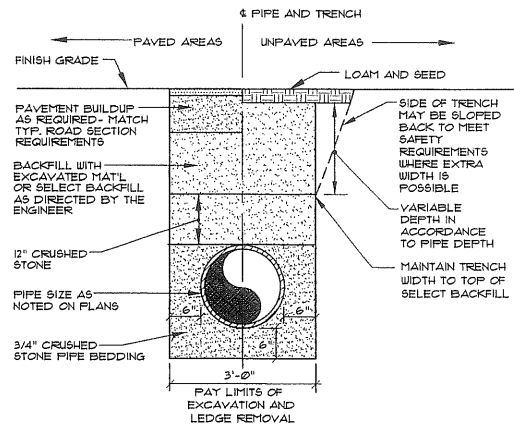
**VERTICAL GRANITE CURB**  
NOT TO SCALE



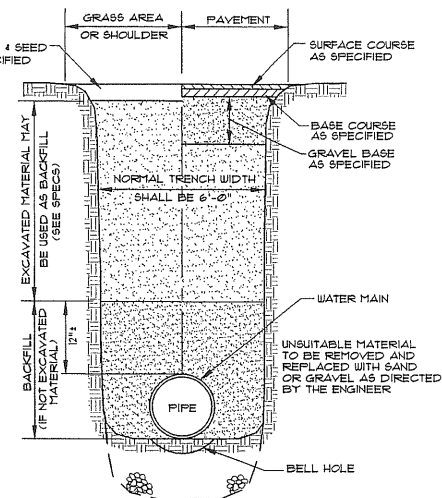
**TYPICAL TIFDOWN CURB INSTALLATION**  
NOT TO SCALE



**BITUMINOUS DRIVEWAY CONSTRUCTION**  
NOT TO SCALE

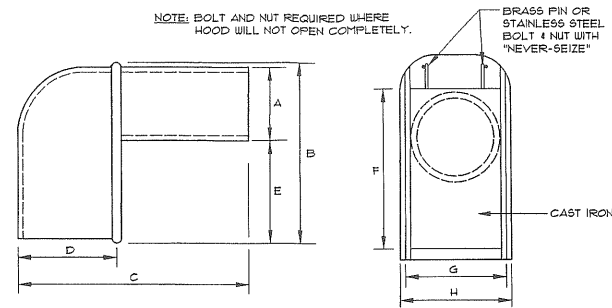


**TYP. TRENCH SECTION WITHIN CITY R.O.W.**  
NOT TO SCALE



**NOTE:**  
ALL D.I. PIPE AND FITTINGS SHALL BE POLY-WRAPPED (POLYETHYLENE ENCASMENT) PER PORTLAND WATER DISTRICT SPECIFICATIONS.

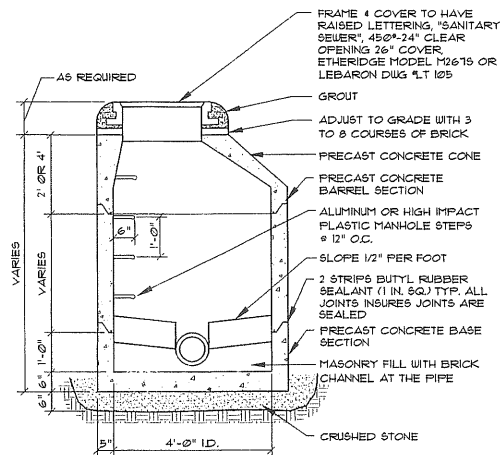
**SECTION THRU EARTH TRENCH**  
NOT TO SCALE



SIZE	A	B	C	D	E	F	G	H
6 IN.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 1/8"	11 5/8"	6 1/2"	1 1/4"
8 IN.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 IN.	9 1/2"	16 1/2"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	10 3/8"
12 IN.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

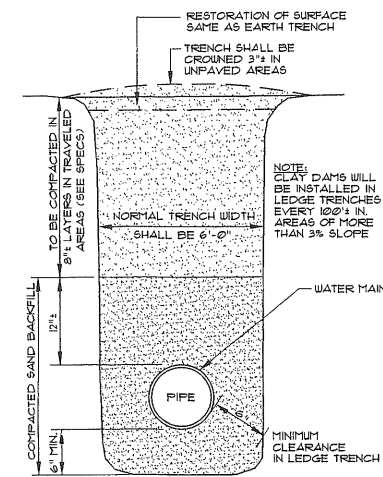
(AS MANUFACTURED BY THE ETHERIDGE FOUNDRY IN PORTLAND, ME.)  
**NOTE:** CONTRACTOR SHALL UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY, OR AN APPROVED EQUIVALENT AS SUPPLIED BY THE LEBARON FOUNDRY, MODEL # L 202 "STANDARD CATCH BASIN TRAP"

**CASCO TRAP**  
NOT TO SCALE



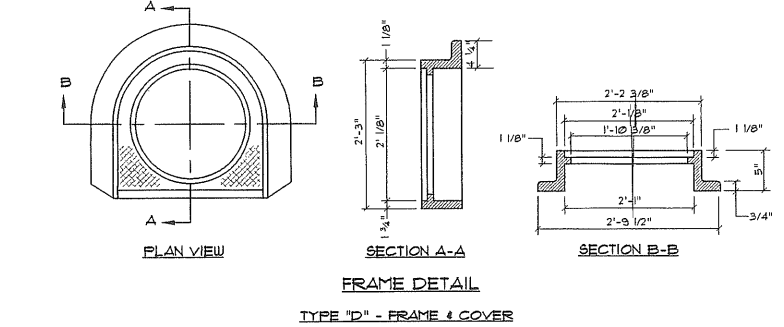
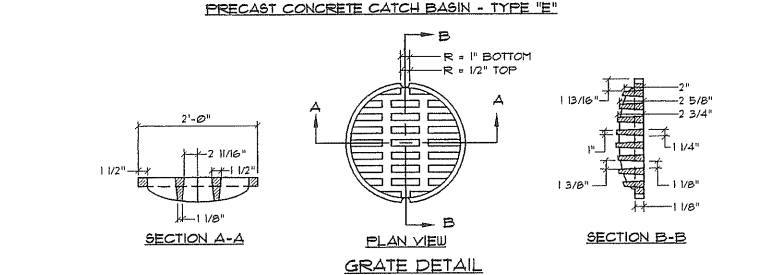
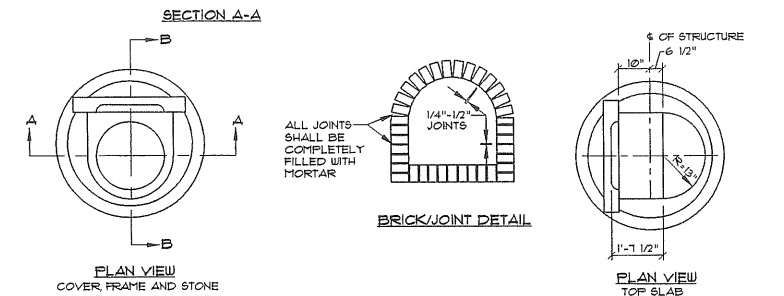
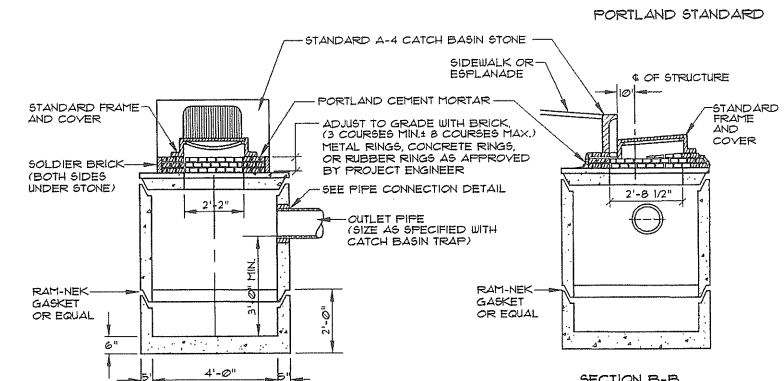
**NOTE:** PIPE CONNECTIONS SHALL BE WATERTIGHT FLEXIBLE BOOT CONNECTORS PROVIDES LEAKPROOF CONNECTION

**PRECAST MANHOLE**  
NOT TO SCALE



**NOTE:**  
ALL D.I. PIPE AND FITTINGS SHALL BE POLY-WRAPPED (POLYETHYLENE ENCASMENT) PER PORTLAND WATER DISTRICT SPECIFICATIONS.

**SECTION THRU LEDGE TRENCH**  
NOT TO SCALE

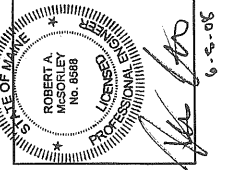


**NOTES:**  
1. 4'-0" ID. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER ID. PROVIDE SHOP DRAWINGS FOR APPROVAL.  
2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.  
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.  
4. CATCH BASIN FRAME AND GRATE TO ACCOMMODATE 2' MIN. GRATE (H-20 LOADING & BICYCLE SAFE). PROVIDE SHOP DRAWINGS FOR ENGINEER'S / OWNER REPRESENTATIVE'S APPROVAL.

**CATCH BASIN W/ GRANITE HEADSTONE**  
NOT TO SCALE

**GENERAL NOTES FOR MANHOLES AND CATCH BASINS**

- ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 50 INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC. C-418-61
- SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
- ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK MASONRY, SURFACE SHALL BE FLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
- CASTINGS SHALL CONFORM TO ASTM DESIGNATION A412-CLASS 35. ALL PARTS OF CASTINGS EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
- MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
- STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED PICK HOLE.
- EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.



REV.	BY:	DATE:	STATUS:
C	RAM	6-4-08	REVISED PER CITY OF PORTLAND COMMENTS
E	RAM	5-14-08	REVISED PER PWD COMMENTS
F	RAM	4-9-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
D	RAM	11-30-07	ISSUED TO CLIENT FOR REVIEW
A	DDB	9-19-05	ISSUED TO CLIENT FOR REVIEW

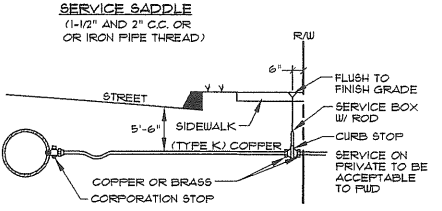
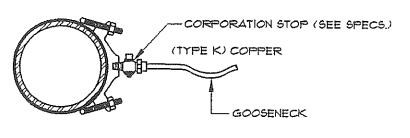
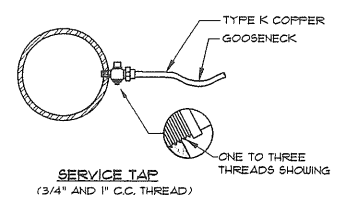
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1339 West Street  
Waterville, ME 04995-1339  
Tel: (207) 856-0277

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
05207	N/A	DDB	DDB	DDB

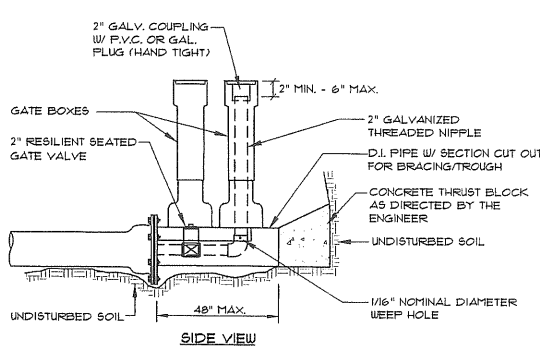
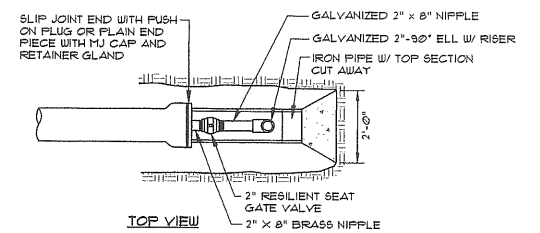
**DETAILS**  
OF:  
**TRUE STREET SUBDIVISION**  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
**TRUE STREET NEIGHBORHOOD**  
41 TRUE STREET  
PORTLAND, MAINE 04101

DATE	SCALE
9-19-05	AS NOTED

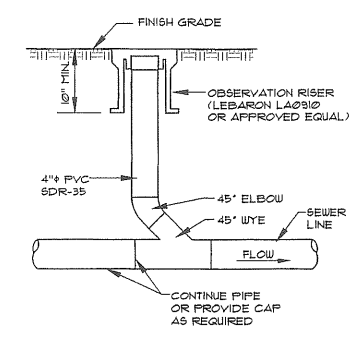




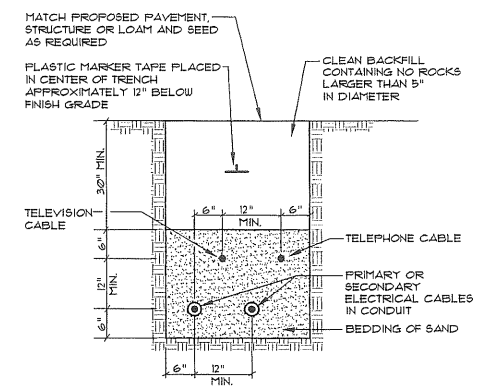
**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



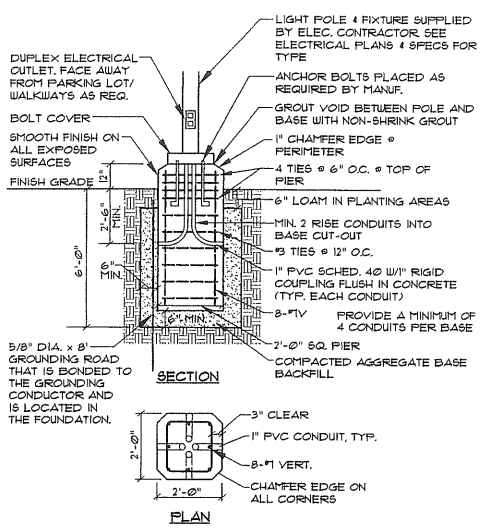
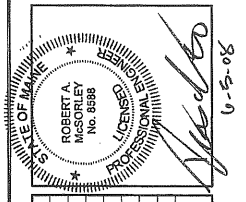
**STANDARD 2" BLOW-OFF**  
NOT TO SCALE



**SEWER CLEANOUT**  
NOT TO SCALE

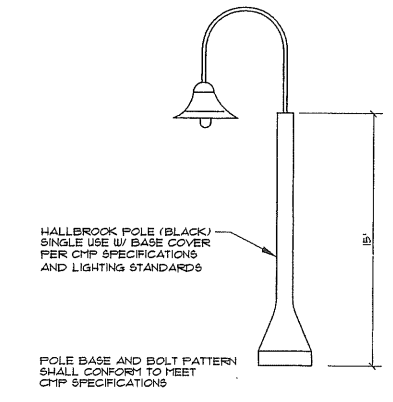


**TYPICAL UNDERGROUND CABLE INSTALLATION**  
NOT TO SCALE

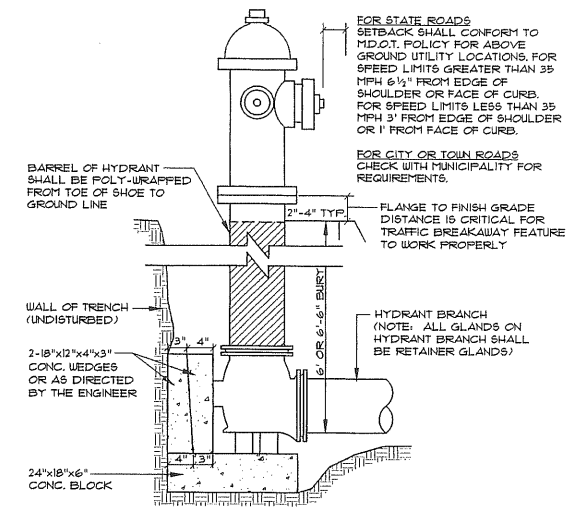


- NOTES:**
1. CONCRETE  $f_c = 4000$  psi.
  2. REIN. STEEL GRADE 60 NEW BARS.
  3. CONCRETE 3/4" AGG. 6 +/- 1% ENTRAINED AIR.
  4. PROVIDE 2 COATS BITUMINOUS DAMPROOFING FOR ALL CONCRETE BELOW GRADE.
  5. INSTALL BASE 3'-0" ABOVE FINISH GRADE IN LOCATIONS WHERE POLES ARE IN PARKING LOT PAVEMENT.
  6. BID ALT. - CONTRACTOR MAY SUBSTITUTE PRECAST CONCRETE LIGHT POLE BASE EQUAL TO ABOVE SPEC.

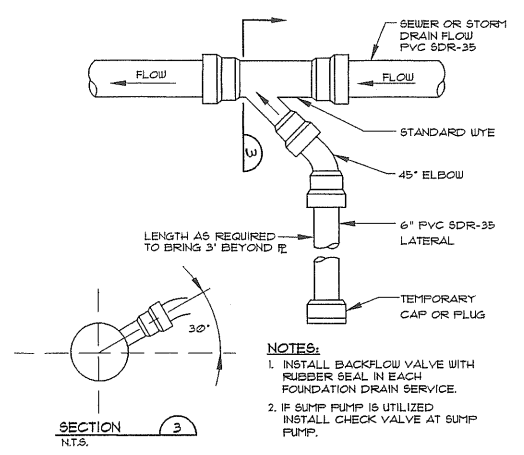
**LIGHT POLE BASE**  
NOT TO SCALE



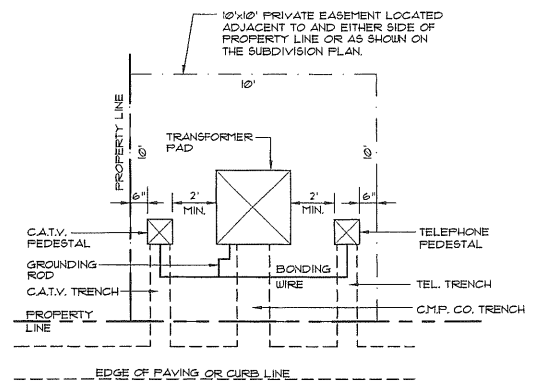
**LIGHT POLE DETAIL**  
NOT TO SCALE



**TYPICAL HYDRANT INSTALLATION**  
NOT TO SCALE



**SEWER / FOUNDATION DRAIN SERVICE CONNECTION**  
NOT TO SCALE



**TRANSFORMER DETAIL**  
NOT TO SCALE

REV.	DATE	BY	STATUS	REVISIONS
G	6-4-08	RAM	REVISED PER CITY OF PORTLAND COMMENTS	
F	5-14-08	RAM	REVISED PER PWD COMMENTS	
E	4-9-08	RAM	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW	
D	11-30-07	RAM	ISSUED TO CLIENT FOR REVIEW	
C	9-19-07	DOB	ISSUED TO CLIENT FOR REVIEW	

**Sebago Technics**  
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One Chase Street  
Westbrook, Me 04098-1339  
Tel (207) 858-0277

PROJECT NO. 05207  
FIELD BOOK N/A  
DESIGN N/A  
CHKD DDB  
DRAWN DDB

**DETAILS**  
OF: TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR: TRUE STREET NEIGHBORHOOD  
41 TRUE STREET  
PORTLAND, MAINE 04101

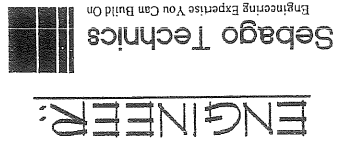
# TRUE STREET SUBDIVISION

## TRUE STREET, PORTLAND, MAINE

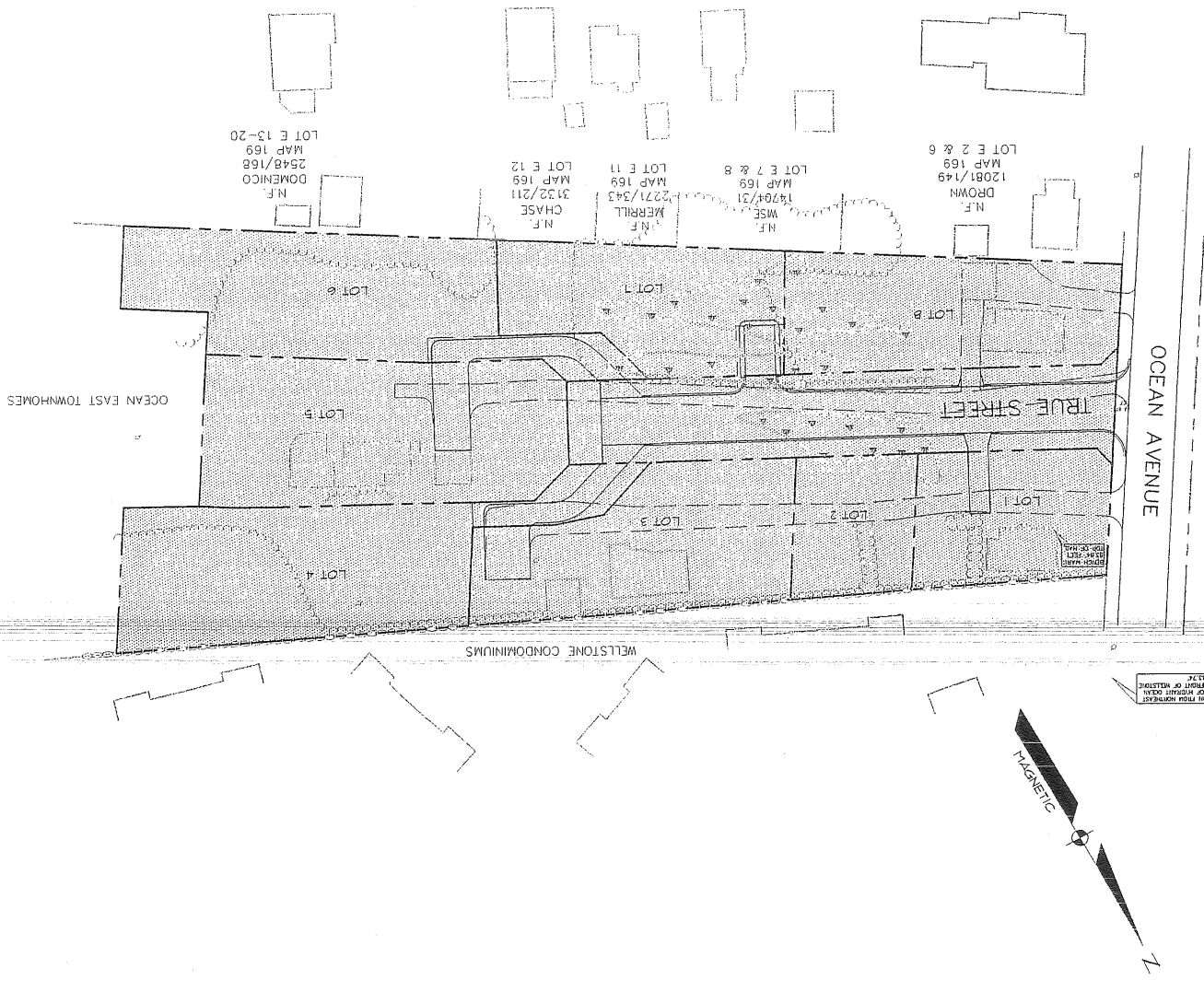
APPLICANT/RECORD OWNER:

TRUE STREET  
NEIGHBORHOOD

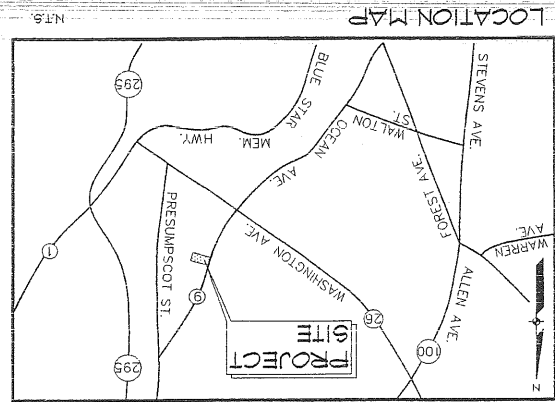
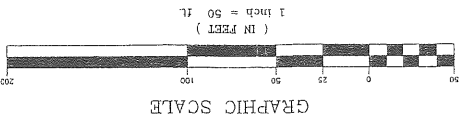
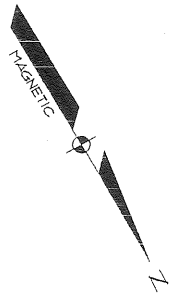
41 TRUE STREET  
PORTLAND, MAINE 04101



Engineering Expertise You Can Build On  
One Concord Street  
Westbrook, ME 04098-1339  
Tel (207) 856-0277



PLEASE REFER TO THE PLAN OF RECORD FOR THE LOCATION OF THE PROPERTY LINE AND THE LOCATION OF THE PROPERTY LINE.



SHEET INDEX:

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SUBDIVISION PLAN
4	GRADING & DRAINAGE PLAN
5	UTILITIES PLAN
6	LANDSCAPE PLAN
7	DETAILS
8	DETAILS
9	DETAILS

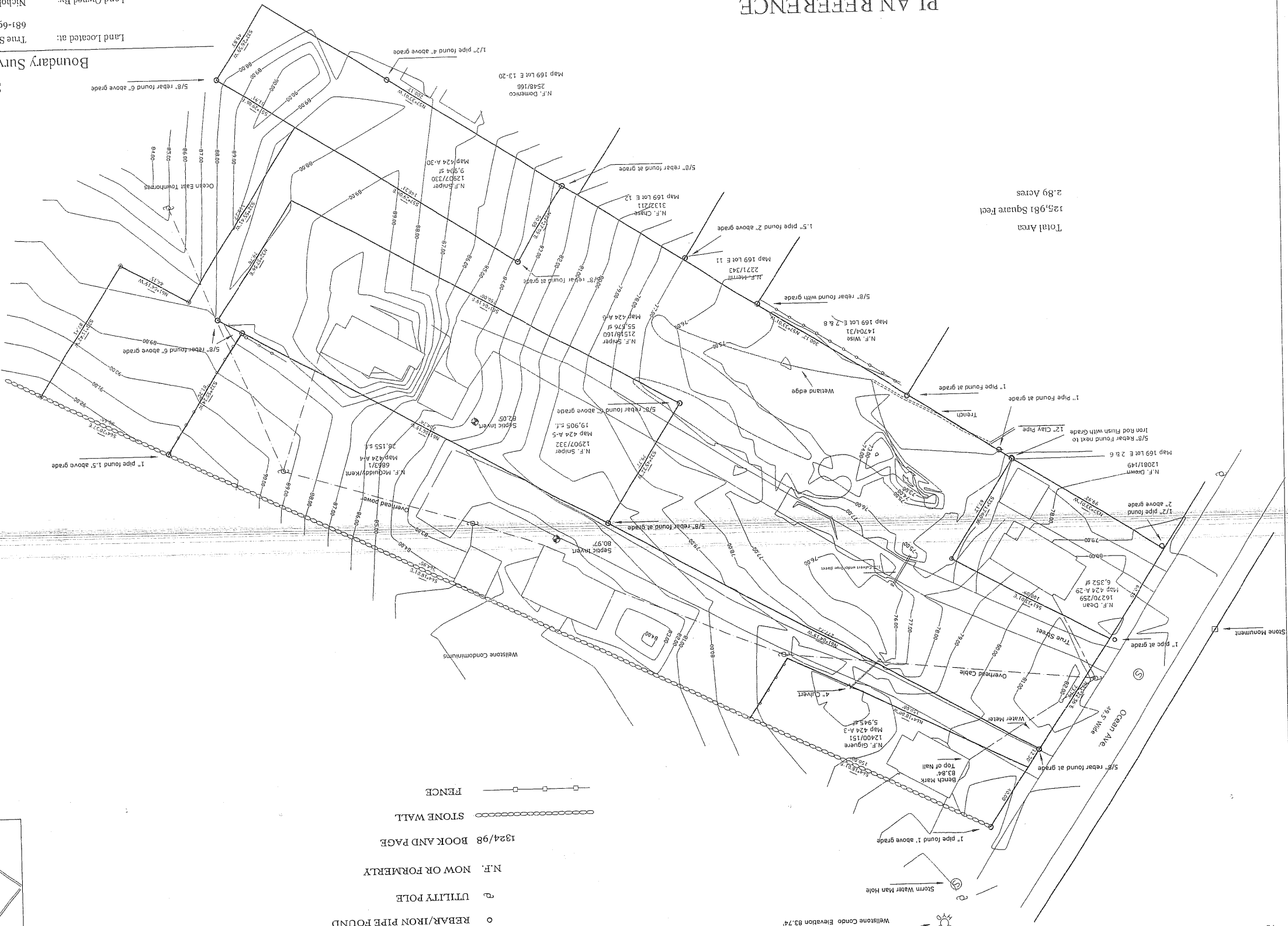
CERTIFICATION  
 THIS SURVEY PLAN CONFORMS TO THE  
 MAINE BOARD OF LICENSURE  
 FOR PROFESSIONAL LAND  
 SURVEYORS STANDARDS  
 RICHARD W. EATON P.L.S. #2075

R. W. EATON ASSOCIATES  
 LAND SURVEYING & REAL ESTATE  
 58 PLEASANT STREET, WESTBROOK, MAINE 04092  
 PHONE: 207-854-2402 FAX: 856-7197 E-MAIL: RWEATON@MAINE.RR.COM  
 April 15th 2005, Revised September 27th 2007

- PLAN REFERENCE**
- 1) Townhouse at Ocean East at Ocean Ave. & Presumpscot Street, Portland, Maine Dated July 17th 2002 By Coffin Engineering. Recorded in Plan Book 204 Page 48
  - 2) Wellstone Condominium on Ocean Ave. Portland Maine Dated 4/23/84 By Sebago Technics Recorded in Plan Book 144 Page 61
  - 3) The Adams Farm by Percy Richardson C.E. Dated January 16, 1911 Recorded in Plan Book 12 Page 33
  - 4) Ocean Ave. Street Information at Portland Engineering Office Vault

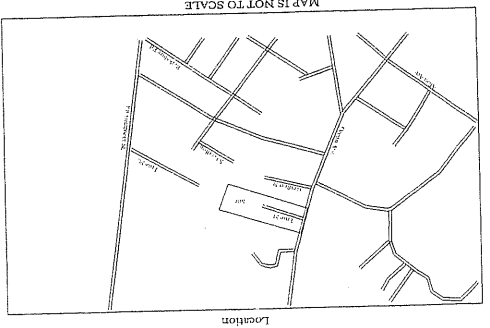
From Plan Reference (1)

Total Area  
 2.89 Acres  
 125,981 Square Feet



**LEGEND**

- 5/8" REBAR SET WITH CAP
- REBAR/IRON PIPE FOUND
- UTILITY POLE
- N.F. NOW OR FORMERLY
- 1324/98 BOOK AND PAGE
- STONE WALL
- FENCE

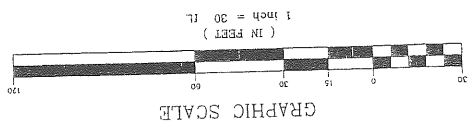


STATE OF MAINE  
 SS REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_  
 AT \_\_\_\_\_ H \_\_\_\_\_ M \_\_\_\_\_ AND \_\_\_\_\_ PAGE \_\_\_\_\_  
 REGISTERED IN PLAN BOOK \_\_\_\_\_  
 ATTEST: \_\_\_\_\_  
 REGISTER

Sheet 2 of 8  
 Boundary Survey With Existing Conditions  
 Land Located at:  
 681-693 Ocean Ave. Portland, Maine 04103

Land Owned By:  
 Nicholas Kent & Amanda McQuiddy/Kent  
 691 Ocean Ave. Portland Me. 04103  
 Kelly & Todd Sniper  
 41 True Street, Portland Maine, 04103  
 Stacy Dean  
 681 Ocean Ave. Portland Me. 04103  
 Marc Giguere  
 693 Ocean Ave. Portland Me. 04103

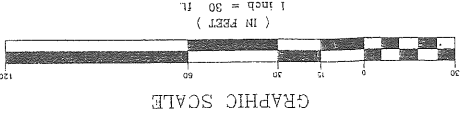
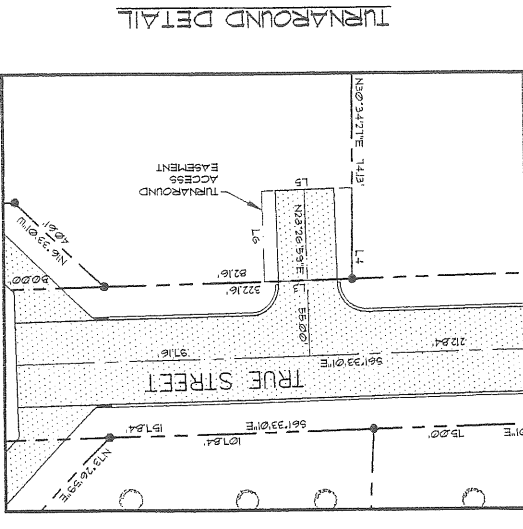
Deed Reference:  
 Book 21518 Page 160 Book 12907 Page 330-333  
 Book 6863 Page 1 Book 16270 Page 259  
 Book 12400 Page 151



SCALE: 1:30  
 DRAWN BY: R.W.E.  
 CHECKED BY: R.W.E.  
 CAD FILE: 229E.DWG  
 PROJ #: 229  
 ORIG DATE: 04-16-05  
 1 REV DATE: 10-08-07  
 2 REV DATE: 00-00-00  
 3 REV DATE: 00-00-00

**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
PROPERTY ROW	---	---
EASEMENT	---	---
CENTRAL LINE	---	---
MONUMENT	---	---
IRON PIPE/ROD	---	---
DRILL HOLE	---	---
BUILDING	---	---
WETLANDS	---	---
WETLANDS	---	---
EDGE PAVEMENT	---	---
GRAVEL ROAD	---	---
CONIFEROUS TREE	---	---
TREELINE	---	---



STATE OF MAINE  
 RECEIVED \_\_\_\_\_ COUNTY SS REGISTRY OF DEEDS  
 AT \_\_\_\_\_ M \_\_\_\_\_ AND RECORDED IN \_\_\_\_\_  
 PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 REGISTRAR \_\_\_\_\_  
 ATTEST \_\_\_\_\_  
 DATE \_\_\_\_\_

APPROVAL  
 CITY OF PORTLAND  
 PLANNING BOARD

SUBDIVISION PLAN  
 OF TRUE STREET SUBDIVISION  
 PORTLAND, MAINE  
 TRUE STREET NEIGHBORHOOD  
 DATE 04-04-06  
 SCALE 1" = 30'  
 SHEET 3 OF 9

THE INTERIOR LOT COMPUTATIONS WERE COMPLETED BY SEBAGO TECHNICS, INC. UNDER THE SUPERVISION OF THE SIGNING PROFESSIONAL. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE STATE OF MAINE BOARD OF LICENSES FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE WITH THE EXCEPTION THAT NO REPORT OF SURVEY HAS BEEN PREPARED. NO NEW LEGAL DESCRIPTION HAS BEEN PREPARED AND THAT THE PROPOSED TOWNSENTATION SHOWN HEREON MAY OR MAY NOT BE SET BY THE SIGNING PROFESSIONAL OR SEBAGO TECHNICS.

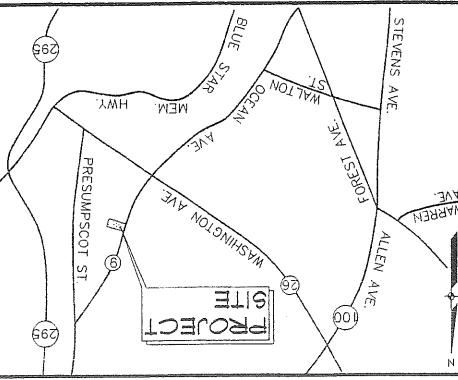
- THIS PLAN IS BASED SOLELY UPON A BOUNDARY SURVEY PERFORMED BY RUL EATON ASSOCIATES FOR PREPARATION OF PLANS REFERENCED IN NOTE 3 ABOVE.
1. THE APPLICANT REQUESTS A WAIVER OF THE LAND USE CODE CHAPTER 14, ARTICLE 4, SECTION 6, PARAGRAPH 1, REQUIRING THE CONSTRUCTION OF SIDEWALKS IN A SUBDIVISION.
  2. THE APPLICANTS REQUEST A WAIVER OF THE MINIMUM SPACE REQUIREMENTS AND SETBACKS FOR RESIDENTIAL ZONE R-5, FOR EXISTING STRUCTURES ONLY AS THEY RELATE TO THE EXISTING PROPERTY LINE, AS DESCRIBED IN THE LAND USE CODE CHAPTER 14, ARTICLE 3, DIVISION 6, SECTION 14-120.
  3. PROJECT IMPACTS:
    - A. TOTAL DISTURBED AREA: 0.455 ACRES
    - B. TOTAL IMPACTED WETLAND AREA: 3334 SQ. FT.

3. WAIVERS:
- A. THE APPLICANT REQUESTS A WAIVER OF THE LAND USE CODE CHAPTER 14, ARTICLE 4, SECTION 6, PARAGRAPH 1, REQUIRING THE CONSTRUCTION OF SIDEWALKS IN A SUBDIVISION.
  - B. THE APPLICANTS REQUEST A WAIVER OF THE MINIMUM SPACE REQUIREMENTS AND SETBACKS FOR RESIDENTIAL ZONE R-5, FOR EXISTING STRUCTURES ONLY AS THEY RELATE TO THE EXISTING PROPERTY LINE, AS DESCRIBED IN THE LAND USE CODE CHAPTER 14, ARTICLE 3, DIVISION 6, SECTION 14-120.
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- A. TOTAL DISTURBED AREA: 0.455 ACRES
  - B. TOTAL IMPACTED WETLAND AREA: 3334 SQ. FT.
1. THIS PLAN IS BASED SOLELY UPON A BOUNDARY SURVEY PERFORMED BY RUL EATON ASSOCIATES FOR PREPARATION OF PLANS REFERENCED IN NOTE 3 ABOVE.

1. APPLICANT AND RECORDED OWNERS:
- A. TRUE STREET EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 29, 2005 BY RUL EATON ASSOCIATES, 50 PLEASANT STREET, WESTBROOK, MAINE 04092.
  - B. TRUE STREET SUBDIVISION PLAN, REVISED SEPTEMBER 29, 2005 BY RUL EATON ASSOCIATES, 50 PLEASANT STREET, WESTBROOK, MAINE 04092.
  - C. ZONING DISTRICT: R-5 RESIDENTIAL ZONE
  - D. SPACE AND BULK CRITERIA (FOR RESIDENTIAL, NON-FRUD.)
  - E. MIN. LOT AREA: 6000 SF
  - F. MIN. FRONT YARD SETBACK: 10 FT.
  - G. MIN. REAR YARD SETBACK: 10 FT.
  - H. MIN. SIDE YARD SETBACK: 10 FT.
  - I. MIN. FRONT YARD SETBACK: 10 FT.
  - J. MIN. REAR YARD SETBACK: 10 FT.
  - K. MIN. SIDE YARD SETBACK: 10 FT.
  - L. MIN. FRONT YARD SETBACK: 10 FT.
  - M. MIN. REAR YARD SETBACK: 10 FT.
  - N. MIN. SIDE YARD SETBACK: 10 FT.
  - O. MIN. FRONT YARD SETBACK: 10 FT.
  - P. MIN. REAR YARD SETBACK: 10 FT.
  - Q. MIN. SIDE YARD SETBACK: 10 FT.
  - R. MIN. FRONT YARD SETBACK: 10 FT.
  - S. MIN. REAR YARD SETBACK: 10 FT.
  - T. MIN. SIDE YARD SETBACK: 10 FT.
  - U. MIN. FRONT YARD SETBACK: 10 FT.
  - V. MIN. REAR YARD SETBACK: 10 FT.
  - W. MIN. SIDE YARD SETBACK: 10 FT.
  - X. MIN. FRONT YARD SETBACK: 10 FT.
  - Y. MIN. REAR YARD SETBACK: 10 FT.
  - Z. MIN. SIDE YARD SETBACK: 10 FT.

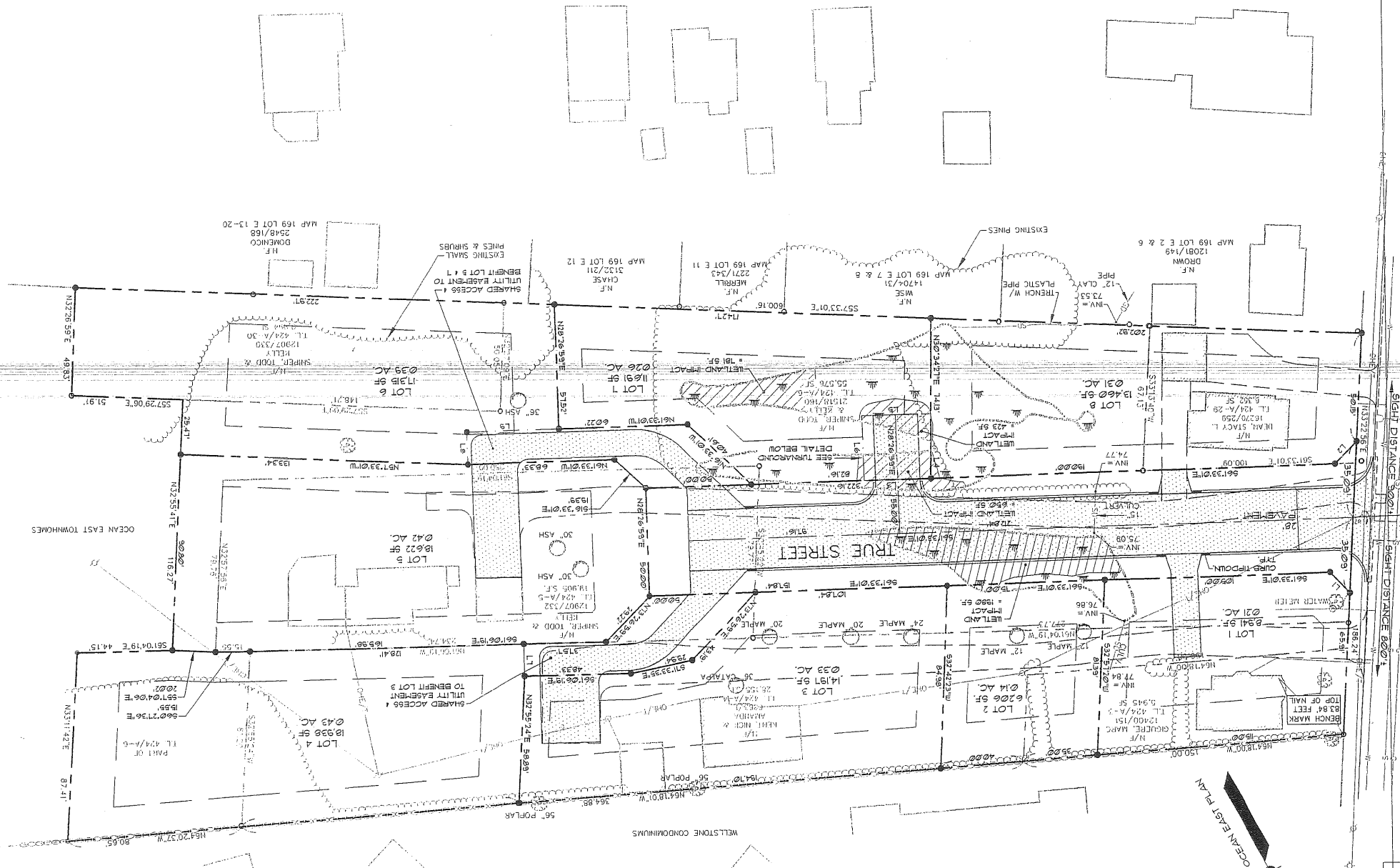
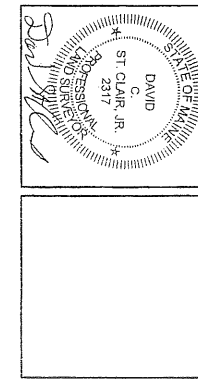
GENERAL NOTES:

1. TAX ASSESSORS REFERENCE: M42 L 2-3 (GARDNER), M42 L 1-13 (DEAN), M42 L 1-4 (KENY), M42 L 4-5, M42 L A-6, M42 L A-30 (SNIPER).
2. PLAN REFERENCES:
  - A. TRUE STREET EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 29, 2005 BY RUL EATON ASSOCIATES, 50 PLEASANT STREET, WESTBROOK, MAINE 04092.
  - B. TRUE STREET SUBDIVISION PLAN, REVISED SEPTEMBER 29, 2005 BY RUL EATON ASSOCIATES, 50 PLEASANT STREET, WESTBROOK, MAINE 04092.
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  - V. MIN. REAR YARD SETBACK: 10 FT.
  - W. MIN. SIDE YARD SETBACK: 10 FT.
  - X. MIN. FRONT YARD SETBACK: 10 FT.
  - Y. MIN. REAR YARD SETBACK: 10 FT.
  - Z. MIN. SIDE YARD SETBACK: 10 FT.
3. DEED REFERENCES: D40081 (GARDNER), 1627029 (DEAN), 68631 (KENY), 218160, D9071330, 12907133 (SNIPER).
4. STAKEY DEAN AND NOTICE SHOULD BE AT OCEAN AVENUE
5. NICK AND ANANDA KENT, 631 OCEAN AVENUE
6. MARC GARDNER, 633 OCEAN AVENUE
7. TUDOR AND BELL, 500 OCEAN AVENUE
8. THESE SETBACKS ARE BASED ON THE EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 29, 2005 BY RUL EATON ASSOCIATES, 50 PLEASANT STREET, WESTBROOK, MAINE 04092.



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 One Chelsea Street  
 Westbrook, ME 04090-1339  
 Tel (207) 684-0277

REV.	BY	DATE	STATUS
A	DD8	9-19-05	ISSUED TO CLIENT FOR REVIEW
B	DD8	10-28-05	REVISED HAMMHEAD DESIGN
C	DD8	03-28-06	REVISED HAMMHEAD DESIGN
D	DD8	11-30-07	ISSUED TO CLIENT FOR REVIEW
E	DD8	4-9-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW



EASEMENT LINE DATA

LINE	BEARING	LENGTH
L1	S28°53'42"W	15.00
L2	S28°26'59"W	15.00
L3	N61°33'01"W	43.10

PROPERTY LINE DATA

LINE	BEARING	LENGTH
L1	N14°05'03"W	13.52
L2	S75°54'58"W	14.74
L3	N61°33'01"W	30.00
L4	S20°34'37"W	30.00
L5	S61°33'01"E	30.00
L6	N28°26'59"E	30.00

ELEVATION FROM NORTHEAST FLANGE OF HOBART OCEAN AVE IN FRONT OF WELSTONE CONDO 63.74

OCEAN AVE

TRUE STREET

WELLSTONE CONDOMINIUMS

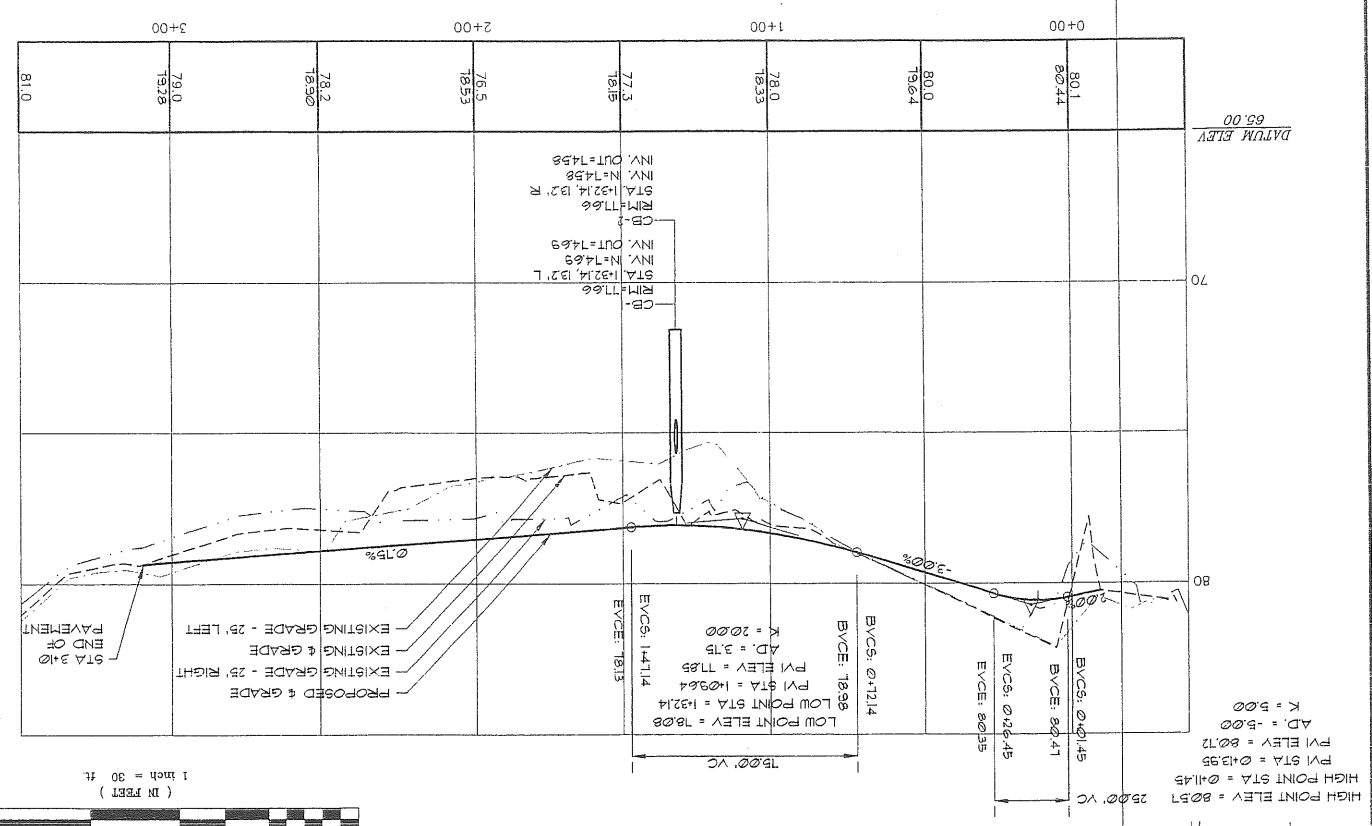
OCEAN EAST TOWNHOMES

DAVID ST. CLAIR, JR.

PROJECT SITE

ELEVATION FROM NORTH EAST  
 AVE. IN FRONT OF WELLSTONE  
 FLAME OF HOBART OCEAN  
 CONDO 83.74

STABILIZED  
 CONSTRUCTION  
 ENTRANCE



HIGH POINT STA = 0+14.5  
 PVI STA = 0+13.95  
 PVI ELEV = 80.17  
 AD = -5.00  
 K = 500

GRAPHIC SCALE  
 1 inch = 30 ft  
 (IN FEET)

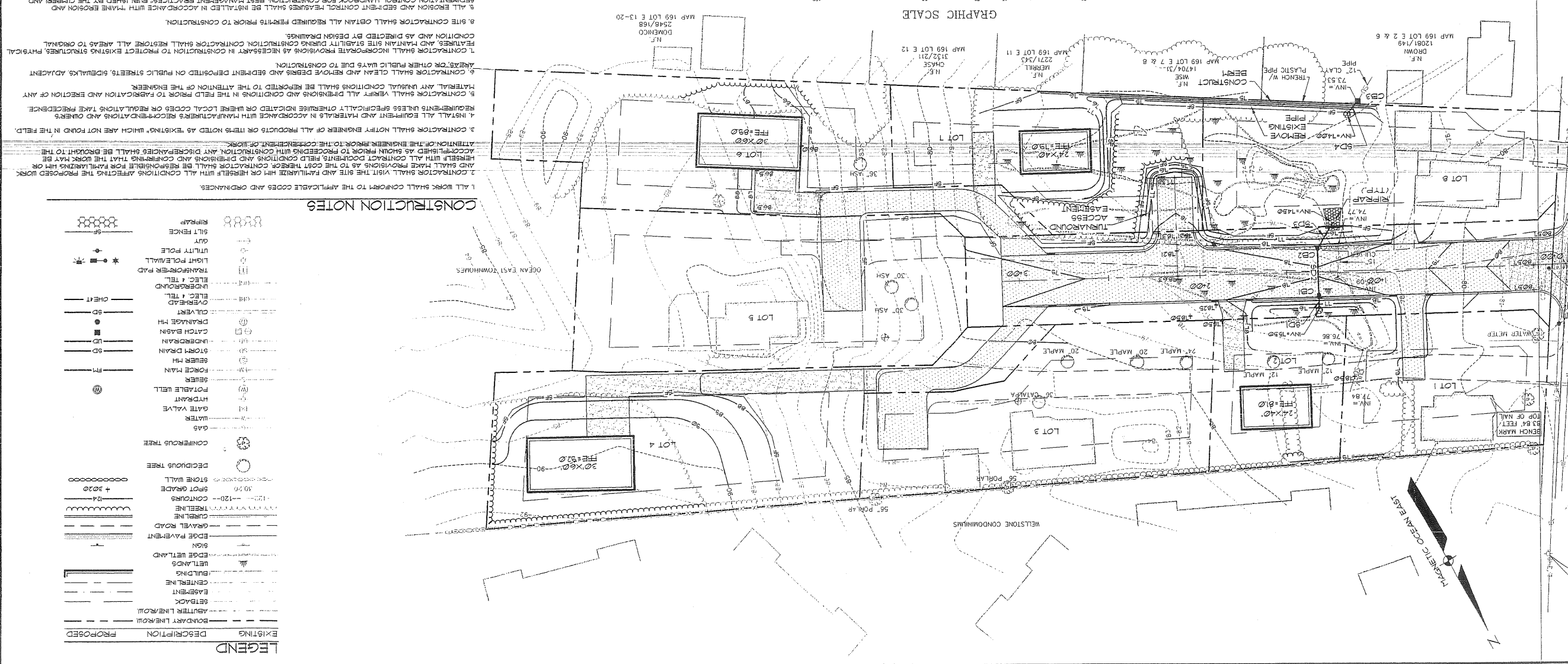
ID.	TYPE	RIM	PIPE	INVERT ELEV.
CB-1	E	11.66	12"	14.69 (FROM SWALE)
CB-2	E	11.66	12"	14.59 (FROM CB 1)
CB-3	YARD DRAIN	15.00	12"	13.65 (FROM WETLAND)
SD 1	12	PVC	8.0	0.00
SD 2	12	PVC	22.5	0.00
SD 3	12	PVC	16.0	0.00
SD 4	10	PVC	7.0	0.00

ID.	TYPE	RIM	PIPE	INVERT ELEV.
SM-H-1	A	18.96	8"	12.67 (TO EXIST. SMH)

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
SI 1	6"	PVC	325'	0.010



**CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING LIGHT OR HEREIN WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR METHODS NOTED AS EXISTING WHICH ARE NOT FOUND IN THE FIELD.
4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNERS REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED ON WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL ACCOMPLISH PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN THE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "THANE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CHESAPEAKE COUNTY SOIL AND WATER CONSERVATION DISTRICT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG DATE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS BEFORE THE COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
11. CONTRACTOR SHALL BE AWARE THAT DIG DATE ONLY NOTICES TO "THANE" UTILITIES ABOUT THE DIG DATE WORKS AND CONTACTING LOCAL UTILITIES, AS WELL AS 166 PUBLIC WORKS SYSTEMS.
12. RESPONSIBILITY OF THE CONTRACTOR TO COMPARTMENTALIZE WITH THE REQUIREMENTS OF 23 MESA 336C-A, SHALL BE THE RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. A UTILITY COMPANY FROM TO PROCEEDING WITH ANY RELOCATION.
13. ALL PAVEMENT MARKS AND STANDARD SIGNALS SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
14. ALL PAVEMENT JOINTS SHALL BE SAUWOT JOINTS TO PROVIDE A DURABLE AND UNIFORM JOINT.
15. NO HOLES, TRENCHES OR EXCAVATIONS SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
16. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
17. THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL, CULMING MAY BE NECESSARY TO REMOVE DEAD OR DYING TREES OR TREE LINES. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROVIDE PROPER FOREST GROWTH.
18. REPAIRS UPON COMPLETION OF CUTS SHALL BE MADE IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
19. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND REPAIRS OF ALL DAMAGED AND DESTROYED MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR ALL SUCH DAMAGED OR DESTROYED MATERIALS AND WORKMANSHIP WHICH APPEARS WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
20. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTORS, WHETHER OR NOT REFERRED TO IN THESE NOTES, SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE TERMS AND CONDITIONS OF THE AGREEMENT OF CONTRACTORS OF THE DRAWINGS.
21. UNDER THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE TERMS AND CONDITIONS OF THE AGREEMENT OF CONTRACTORS OF THE DRAWINGS.
22. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
23. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
24. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT SHOWN ON THESE PLANS.
25. DETAILS ARE INTENDED TO SHOW END RESULT OF MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
26. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION. CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBTAINED BY HISHER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND REPAIRABLE.
27. ALL SURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SHAES, LOCATION, DEPTH AND MATERIAL OF ALL SURFACE UTILITY LINES SHOWN HEREON AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.

**GRADING & DRAINAGE PLAN**  
 TRUE STREET SUBDIVISION  
 TRUE STREET  
 PORTLAND, MAINE  
 FOR: TRUE STREET NEIGHBORHOOD  
 41 TRUE STREET  
 PORTLAND, ME 04101

DATE: 04-04-06  
 SCALE: 1" = 30'

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 05207 DDB DDB DDB ECM

Sebago Technics  
 Engineering Expertise You Can Build On  
 One Canal Street  
 Portland, ME 04101  
 Tel: (207) 856-0277

LEGEND

EXISTING	DESCRIPTION	PROPOSED
(Symbol)	BOUNDARY LINE/ROW	(Symbol)
(Symbol)	SETBACK	(Symbol)
(Symbol)	EASEMENT	(Symbol)
(Symbol)	CENTRAL	(Symbol)
(Symbol)	BUILDING	(Symbol)
(Symbol)	WETLANDS	(Symbol)
(Symbol)	EDGE WETLAND	(Symbol)
(Symbol)	SIGN	(Symbol)
(Symbol)	EDGE PAVEMENT	(Symbol)
(Symbol)	GRAVEL ROAD	(Symbol)
(Symbol)	IRREGULAR	(Symbol)
(Symbol)	CONTOURS	(Symbol)
(Symbol)	SPOT GRADE	(Symbol)
(Symbol)	STONE WALL	(Symbol)
(Symbol)	DECIDUOUS TREE	(Symbol)
(Symbol)	CONIFEROUS TREE	(Symbol)
(Symbol)	GAS	(Symbol)
(Symbol)	WATER	(Symbol)
(Symbol)	GATE VALVE	(Symbol)
(Symbol)	HYDRANT	(Symbol)
(Symbol)	POTABLE WELL	(Symbol)
(Symbol)	SEWER	(Symbol)
(Symbol)	FORCE MAIN	(Symbol)
(Symbol)	SEWER MH	(Symbol)
(Symbol)	STORM DRAIN	(Symbol)
(Symbol)	UNDERDRAIN	(Symbol)
(Symbol)	LAND BASIN	(Symbol)
(Symbol)	CATCH BASIN	(Symbol)
(Symbol)	CULVERT	(Symbol)
(Symbol)	OVERHEAD ELEC. TEL.	(Symbol)
(Symbol)	UNDERGROUND ELEC. TEL.	(Symbol)
(Symbol)	TRANSFORMER PAD	(Symbol)
(Symbol)	UTILITY POLE	(Symbol)
(Symbol)	GUY	(Symbol)
(Symbol)	SILT FENCE	(Symbol)
(Symbol)	RIPRAP	(Symbol)

REV. BY: DATE: STATUS:

REV.	BY:	DATE:	STATUS:
A	DDB	9-18-05	ISSUED TO CLIENT FOR REVIEW
B	DDB	10-25-05	ISSUED CHECKER PLAN TO CITY
C	DDB	03-28-06	REVISED HAMMERHEAD DESIGN
D	RAM	11-30-07	ISSUED TO CLIENT FOR REVIEW
E	RAM	4-9-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW

HIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

ROBERT A. HARRIS  
 No. 0588  
 PROFESSIONAL ENGINEER  
 MAINE

AT 106

20792.dwg TAB:00

ELEVATION FROM NORTHEAST  
FLANGE OF HYDANT OCEAN  
AGE IN FRONT OF WELSTONE  
CONDO 83.74

DISCONTINUE EX  
SERVICES TO  
LOT 3 & 4 SHUT  
AND CUT AT MAIN  
UTILITY POLE  
W/ LIGHT  
FIGURE

TAPPING SLEEVE  
AND 12"x8"  
VALVE

WATER METER

ASSEMBLY  
FIRE  
HYDRANT

MAP 169 LOT E 2 & 6

MAP 169 LOT E 7 & 8

MAP 169 LOT E 12

MAP 169 LOT E 13-20

MAP 169 LOT E 13-20

MAP 169 LOT E 13-20

MAP 169 LOT E 13-20

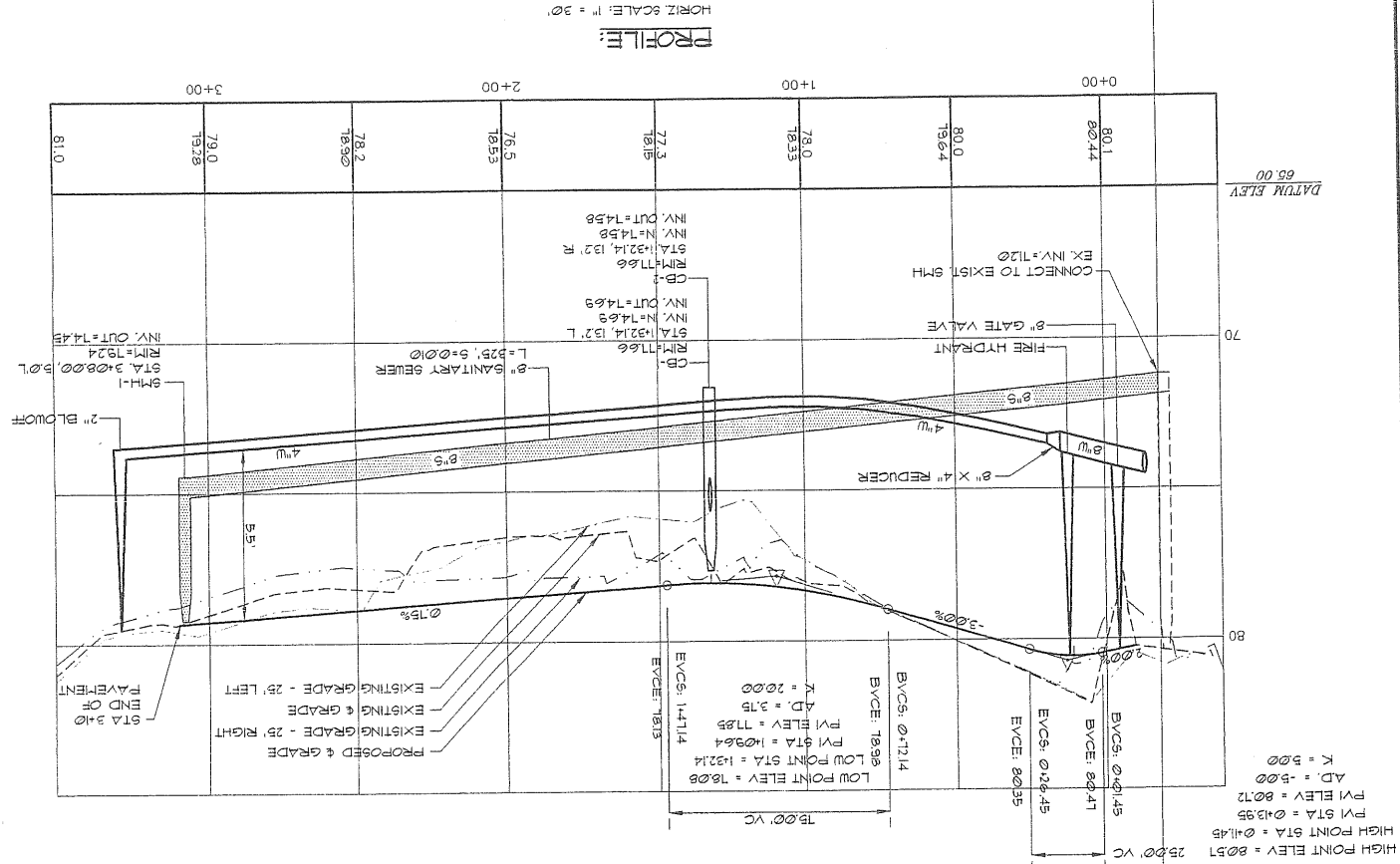
MAP 169 LOT E 13-20

MAP 169 LOT E 13-20

MAP 169 LOT E 13-20

MAP 169 LOT E 13-20

MAP 169 LOT E 13-20



ID	TYPE	RIM	PIPE	INVERT ELEV.	SMH-1
SMH-1	A	78.96	8"	72.67 (TO EXIST. SMH)	

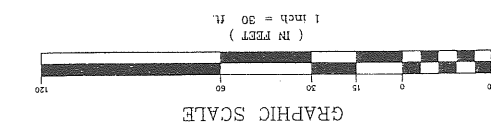
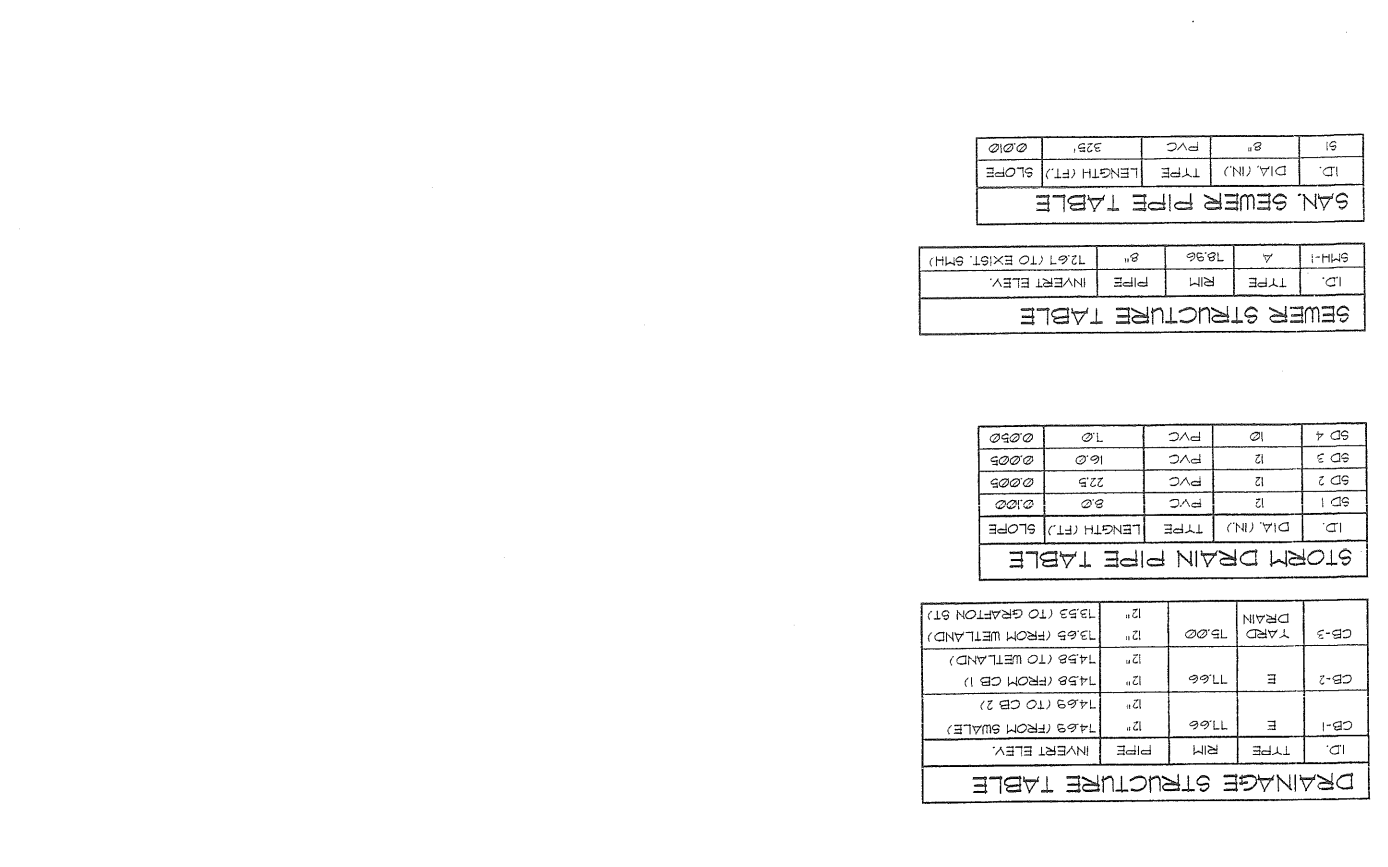
ID	TYPE	RIM	PIPE	INVERT ELEV.
CB-1	E	77.66	12"	74.69 (FROM SWALE)
CB-2	E	77.66	12"	74.58 (FROM CB 1)
CB-3	YARD DRAIN	75.00	12"	73.65 (FROM WETLAND)

ID	DIA (IN)	TYPE	LENGTH (FT)	SLOPE
SD 1	12	PVC	22.5	0.005
SD 2	12	PVC	16.0	0.005
SD 3	12	PVC	17.0	0.005
SD 4	12	PVC	1.0	0.005

ID	TYPE	RIM	PIPE	INVERT ELEV.
CB-1	E	77.66	12"	74.69 (FROM SWALE)
CB-2	E	77.66	12"	74.58 (FROM CB 1)
CB-3	YARD DRAIN	75.00	12"	73.65 (FROM WETLAND)



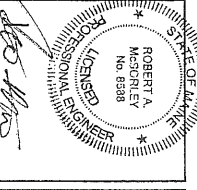
SYMBOL	DESCRIPTION	STATUS
(Symbol)	BOUNDARY LINE/ROW	EXISTING
(Symbol)	BOUNDARY LINE/ROW	PROPOSED
(Symbol)	SETBACK	
(Symbol)	EASEMENT	
(Symbol)	CENTRAL LINE	
(Symbol)	BUILDING	
(Symbol)	WETLANDS	
(Symbol)	EDGE WETLAND	
(Symbol)	SIGN	
(Symbol)	EDGE PAVEMENT	
(Symbol)	GRAVEL ROAD	
(Symbol)	CHURCHLINE	
(Symbol)	CONTIGUOUS	
(Symbol)	SPOT GRADE	
(Symbol)	STONE WALL	
(Symbol)	DECIDUOUS TREE	
(Symbol)	CONIFEROUS TREE	
(Symbol)	GAS	
(Symbol)	WATER	
(Symbol)	GATE VALVE	
(Symbol)	HYDRANT	
(Symbol)	POTABLE WELL	
(Symbol)	SEWER	
(Symbol)	SEWER MAIN	
(Symbol)	SEWER MH	
(Symbol)	STORM DRAIN	
(Symbol)	UNDERDRAIN	
(Symbol)	CATCH BASIN	
(Symbol)	CULVERT	
(Symbol)	OVERHEAD	
(Symbol)	UTILITY POLE	
(Symbol)	TRANSFORMER PAD	
(Symbol)	LIGHT POLEMALL	
(Symbol)	UTILITY POLE	
(Symbol)	SILT FENCE	
(Symbol)	RIPRAP	

UTILITY PLAN  
TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
TRUE STREET NEIGHBORHOOD  
PORTLAND, ME 04101

**Sebago Technics**  
Engineering Experts You Can Build On  
100 Commercial Street  
Portland, ME 04101  
Tel: (207) 866-9277

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
05207		DOB	DOB	BCM

REV.	BY:	DATE	STATUS:
A	RAM	4-9-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
B	RAM	11-30-07	ISSUED TO CLIENT FOR REVIEW
C	DOB	03-28-06	REVISED HAMMERHEAD DESIGN
D	DOB	10-25-05	ISSUED SKETCH PLAN TO CITY
E	DOB	9-19-05	ISSUED TO CLIENT FOR REVIEW



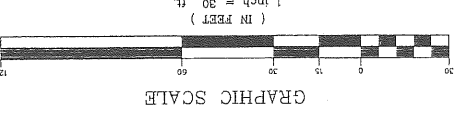
THIS PLAN SHALL NOT BE LOANED, REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS, DELETIONS, OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**LEGEND**

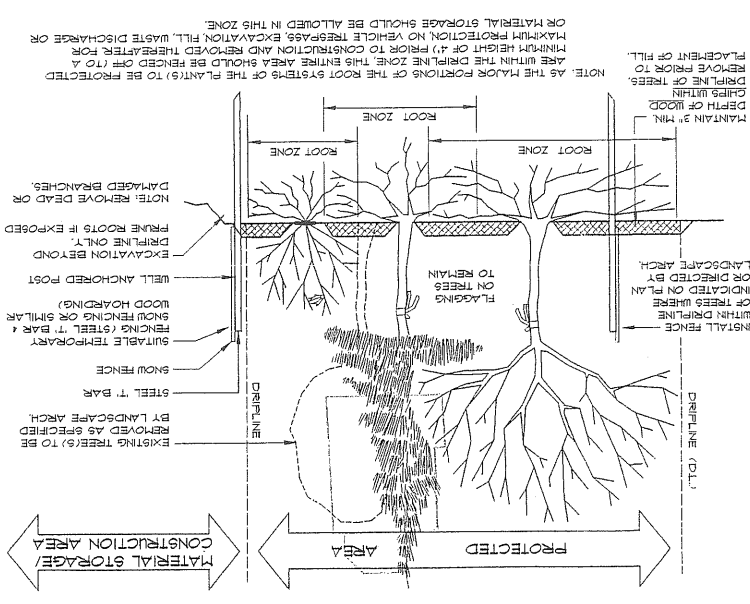
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY ROW
---	---	SETBACK
---	---	EASEMENT
---	---	CENTLINE
---	---	MONUMENT
---	---	IRON PIPE/ROD
---	---	DRIPTHOLE
---	---	BUILDING
---	---	WETLANDS
---	---	LANDSCAPE
---	---	CONIFEROUS TREE
---	---	DECIDUOUS TREE

**PLANT LIST**

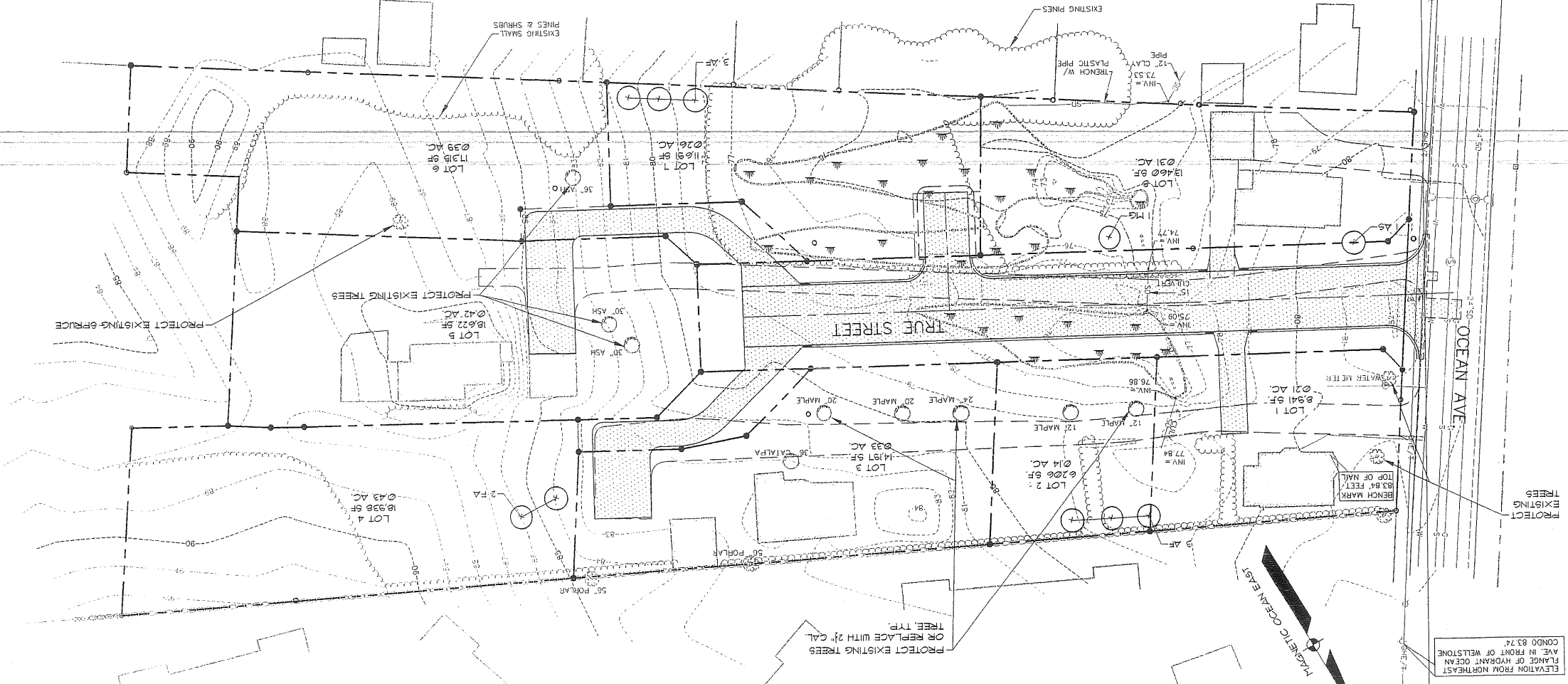
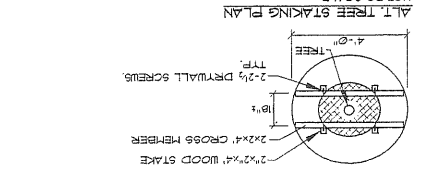
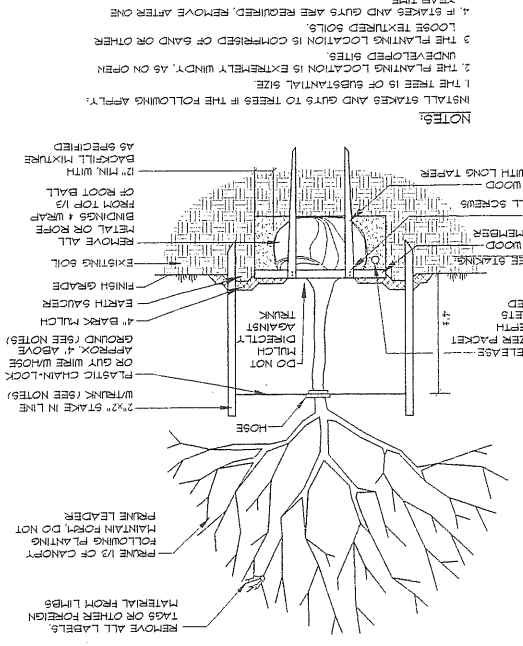
BOTANICAL NAME	COMMON NAME	SIZE
ACER X FREEMANII 'ARISTRONG'	ARISTRONG SUGAR MAPLE	6'-7' HGT. 2 1/2" CAL.
ADERS FRASERI	FRASER FIR	6'-7' HGT. 2 1/2" CAL.
FRAXINUS AMERICANA CHICAGO REGAL.	WHITE ASH	2 1/2" CAL.
METABEGUOIA GLYPTOSTROBILIDES	DAWN REDWOOD	24'-30'



**TREE PROTECTION DETAIL**  
NOT TO SCALE



**DECIDUOUS TREES 2" TO 4" CALIBER**  
NOT TO SCALE



- LANDSCAPE NOTES**
1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
  2. SIZE AND GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF U.S.A. STANDARD FOR NURSERY STOCK. BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
  3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
  4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WATERING, FERTILIZING, PLANTING AND ADJUSTMENT.
  5. THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE CONTRACTOR. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
  6. ALL PLANTING AREAS PRIOR TO PLANTING.
  7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
  8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY AND ALL OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
  9. ALL SHRUB BEDS SHALL BE FENCED WITH 3" CLEAN SHIPPED DARK BROWN BARK MULCH.
  10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODDED OR SEEDS. PLANTING AREAS SHALL RECEIVE 2" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
  11. ANY DEVIATION FROM THE LANDSCAPE PLAN INCLUDING PLANT LOCATION, APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT AND MUNICIPAL AUTHORITY, IF APPLICABLE, PRIOR TO INSTALLATION ON SITE.
  12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWERS BEING PLANTED SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS PERENNIAL FEAT MOSS, AND ONE PART HORTICULTURAL FERTILIZER BY VOLUME. FEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOLOTT BEDS TO A DEPTH OF 8" INCHES.

**LANDSCAPING PLAN**  
OF:  
**TRUE STREET SUBDIVISION**  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
**TRUE STREET NEIGHBORHOOD**  
41 TRUE STREET  
PORTLAND, ME 04101

DATE: 04-04-06  
SCALE: 1" = 30'

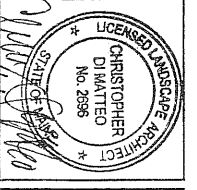
SHEET 6 OF 9

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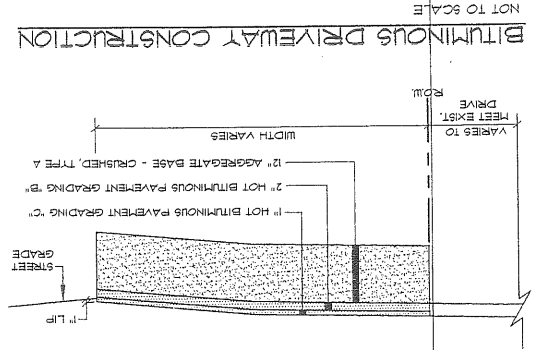
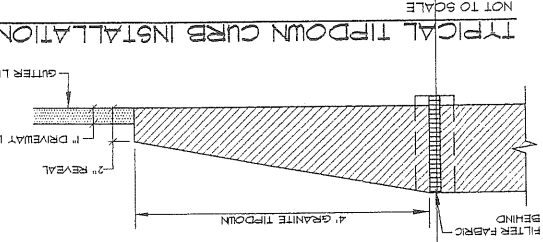
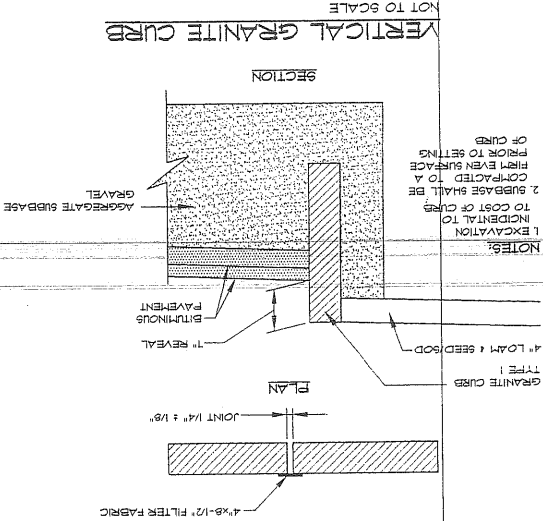
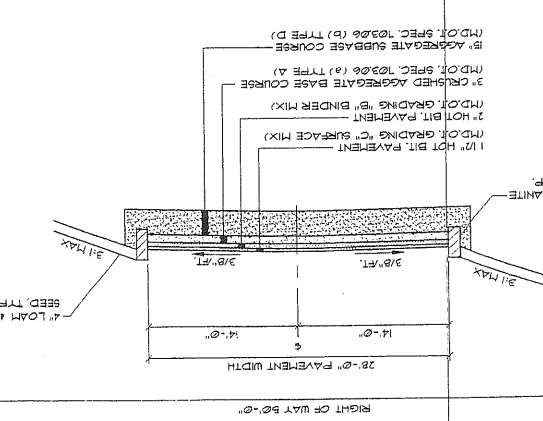
One Union Square, Portland, ME 04101  
Tel: (207) 546-0277

PROJECT NO: 05207  
FIELD BOOK: 05207  
DESIGN: RAM  
DRAWN: BOM  
CHECKED: RAM  
DATE: 05/20/07

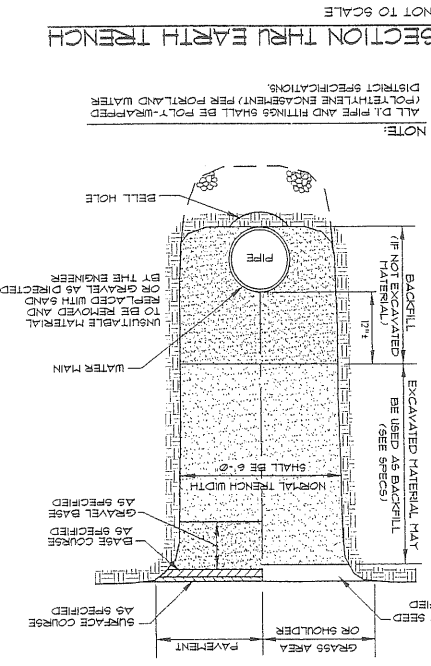
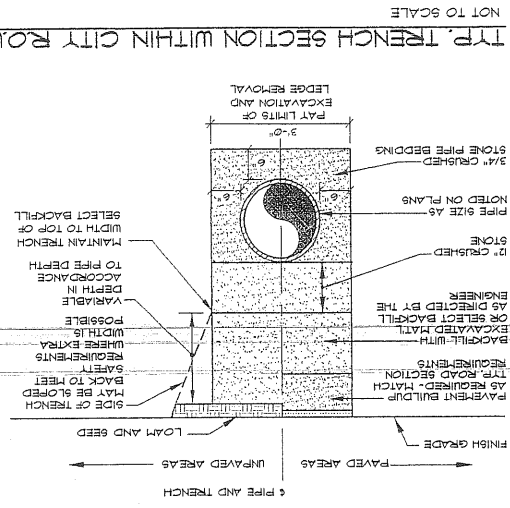
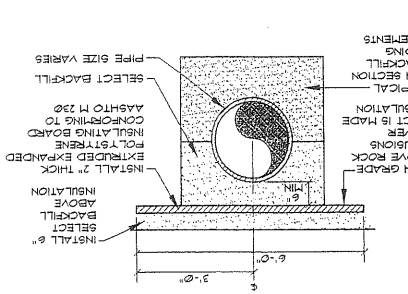
REV.	BY:	DATE	STATUS
A	DDB	9-1-19-05	ISSUED TO CLIENT FOR REVIEW
B	DDB	10-25-05	REVISED HAMMERHEAD DESIGN
C	DDB	03-28-06	ISSUED SKETCH PLAN TO CITY
D	RAM	11-30-07	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
E	RAM	4-9-08	



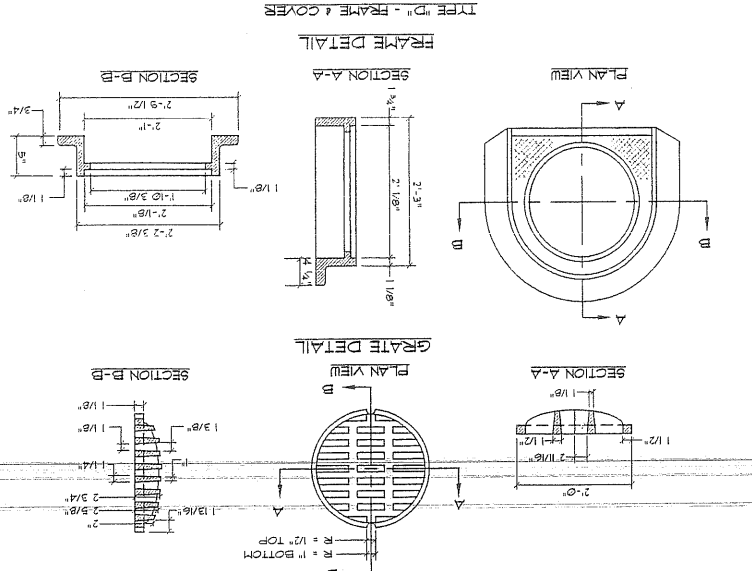
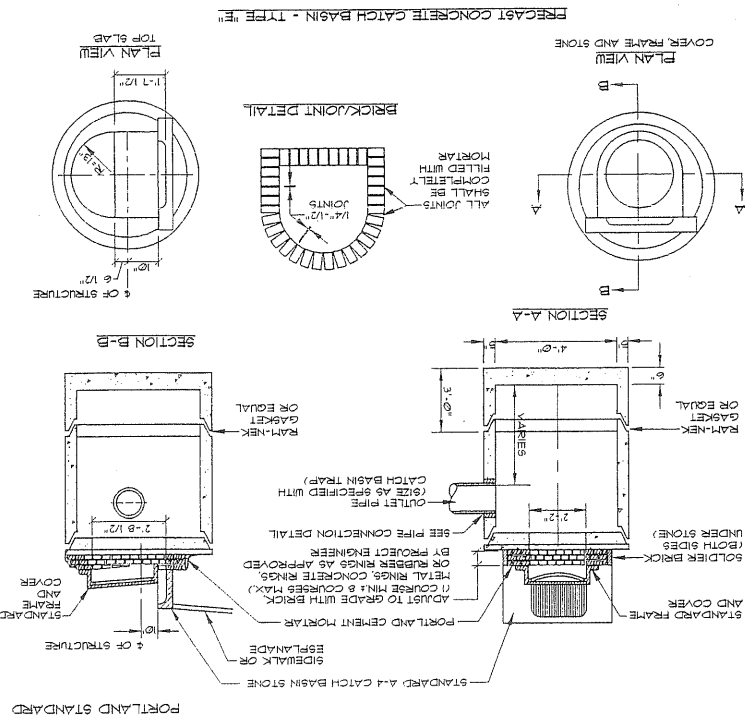
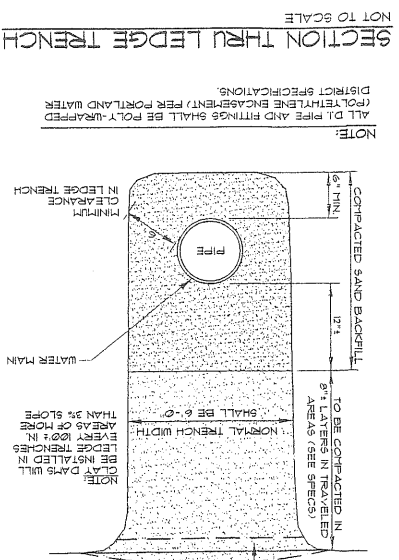
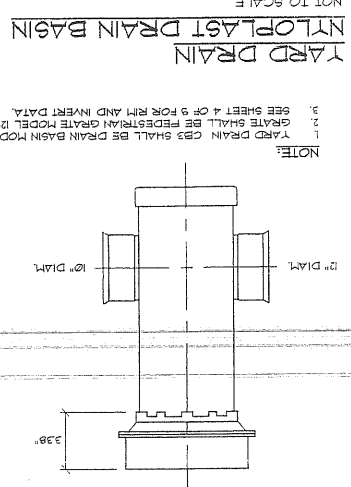
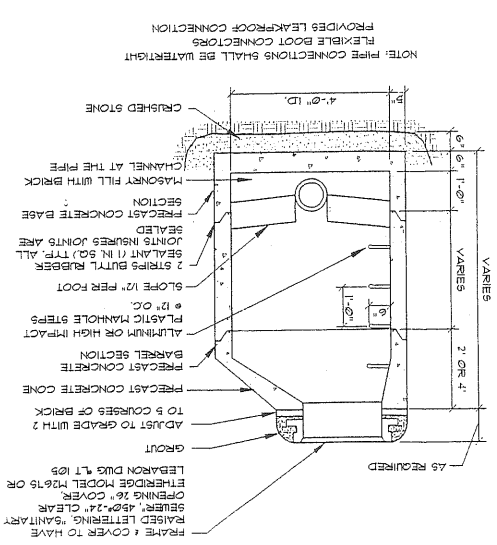
MINOR RESIDENTIAL STREET SECTION



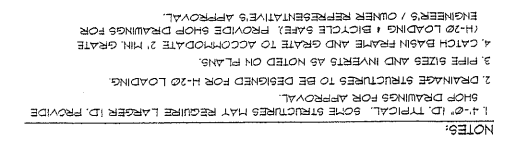
PIPE INSULATION DETAIL



PRECAST MANHOLE



CATCH BASIN W/ GRANITE HEADSTONE



GENERAL NOTES FOR MANHOLES AND CATCH BASINS

- CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-C148.39. ALL PARTS OF CASTINGS EXCEPT FINISHED SURFACE SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALT PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
- MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONE CONE BARREL MANUFACTURED PER C-27-63 GRADE #4 AND #4.
- BETTER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON 4871 SPEC. C-418-1.
- ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE & CONSTRUCTED OF BRICK MASONRY. BRICK SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK AFTER THE MORTAR HAS SET. THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
- EXISTING MANHOLES CATCH BASINS FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

OF: TRUE STREET SUBDIVISION

TRUE STREET NEIGHBORHOOD

41 TRUE STREET

PORTLAND, MAINE 04101

DATE SCALE

9-19-05 AS NOTED

SHEET 7 OF 9

0520701

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One Chapel Street  
Portland, ME 04108-1339  
Tel: (207) 858-0277

PROJECT NO. FIELD BOOK DESIGN CHKO DRAWN

05207 N/A DDB DDB DDB DDB

REV.	BY:	DATE:	STATUS:
E	RAW	4-9-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
D	RAM	11-30-07	ISSUED TO CLIENT FOR REVIEW
A	DDB	9-19-05	ISSUED TO CLIENT FOR REVIEW

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PROFESSIONAL ENGINEER

ROBERT A. MESONLEY No. 8588

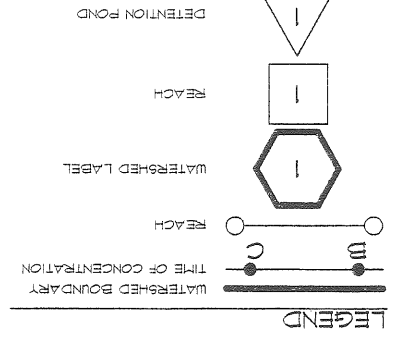
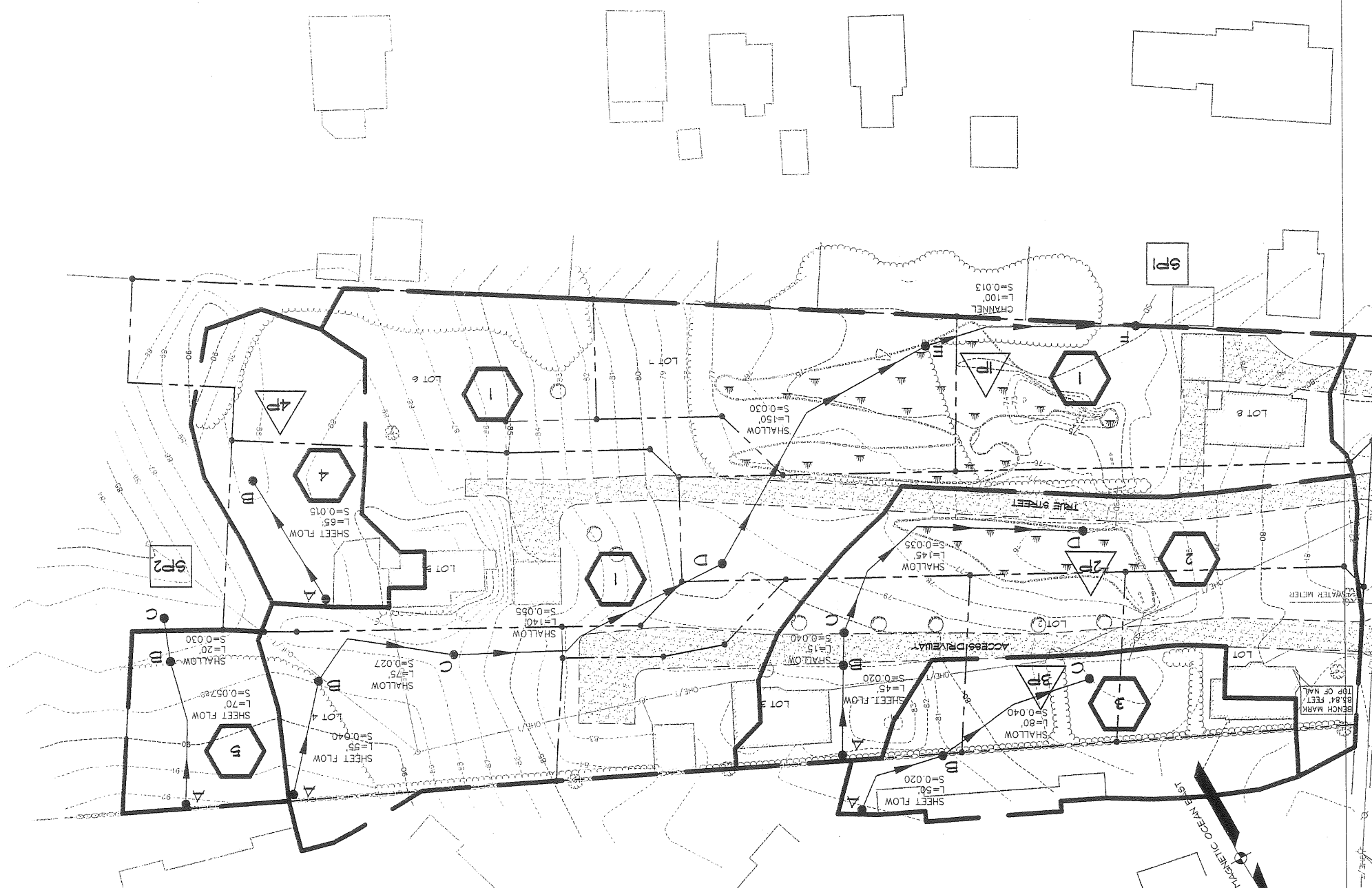
4/16/08





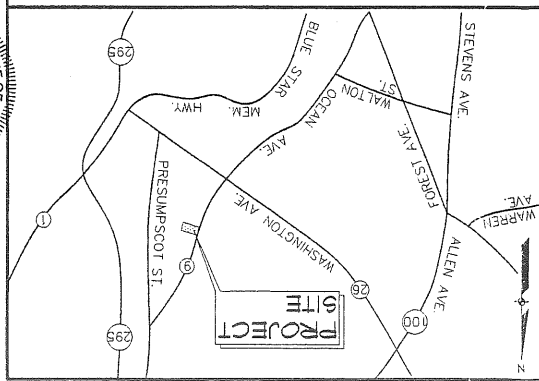


ELEVATION FROM NORTHEAST  
FLANGE OF HIRSHANT OCEAN  
COND# 83.74



EXISTING DESCRIPTION PROPOSED  
**LEGEND**

- CONCRETE TREE
- DECIDUOUS TREE
- GAS
- WATER
- GATE VALVE
- HYDRANT
- POTABLE WELL
- SEWER
- FORCE MAIN
- SEWER MH
- STORM DRAIN
- UNDERDRAIN
- CATCH BASIN
- OVERHEAD
- UNDERGROUND
- ELEC. & TEL.
- TRANSFORMER PAD
- LIGHT POLE/WALL
- UTILITY POLE
- GUT
- BLT FENCE
- KIRKUP



DATE: 04-04-08 SCALE: 1" = 30'

STORMWATER PLAN—PREDEVELOPMENT  
 OF: TRUE STREET SUBDIVISION  
 TRUE STREET  
 PORTLAND, MAINE  
 TRUE STREET NEIGHBORHOOD  
 41 TRUE STREET  
 PORTLAND, ME 04101

**Sebago Technics**  
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One Canal Street  
 Waterville, Me 04995-1339  
 Tel: (207) 866-0277

PROJECT NO: 05207 FIELD BOOK: 05207 DESIGN: DDB CHECK: DDB DRAWN: BGM

REV.	BY:	DATE:	STATUS:
A	RAM	4/9/08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
A	RAM	11-30-07	ISSUED TO CLIENT FOR REVIEW

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STATE OF MAINE  
 PROFESSIONAL ENGINEER  
 ROBERT A. MERRITT  
 No. 8988

4/10/08

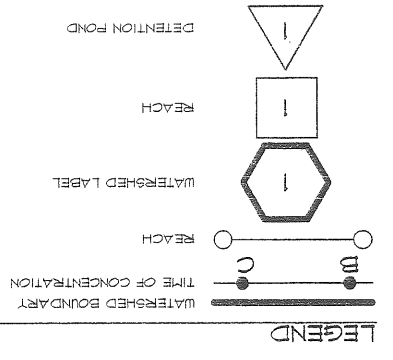
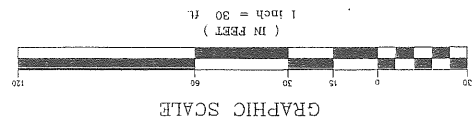
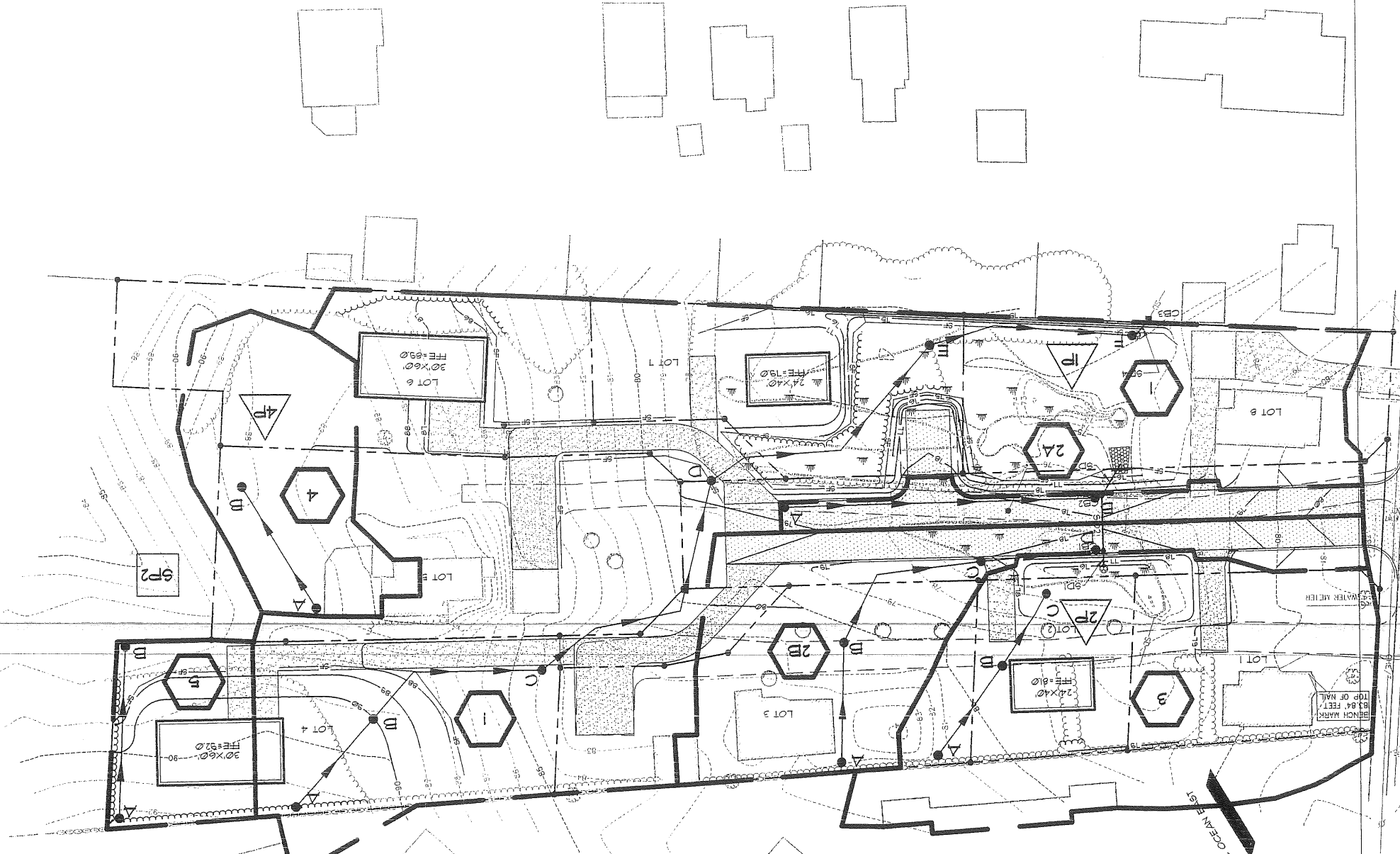
ELEVATION FROM NORTHEAST  
FLANGE OF HIGWAY OCEAN  
CONDO 83.74

**DRAINAGE STRUCTURE TABLE**

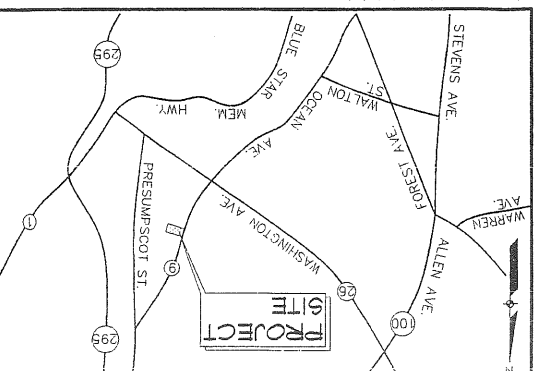
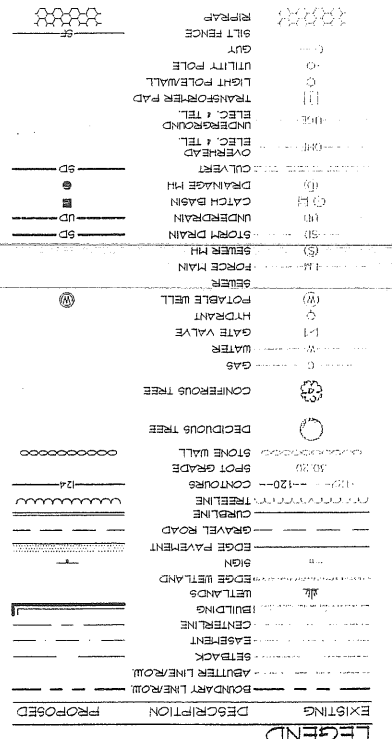
ID.	TYPE	RIM	PIPE	INVERT ELEV.	LENGTH (FT.)	SLOPE
CB-1	E	11.66	12"	14.69 (FROM SWALE)	8.0	0.100
CB-2	E	11.66	12"	14.58 (FROM CB 1)	16.0	0.005
CB-3	TARD DRAIN	15.00	12"	13.65 (FROM WETLAND)	1.0	0.050

**STORM DRAIN PIPE TABLE**

ID.	DIA (IN.)	TYPE	LENGTH (FT.)	SLOPE
SD 1	12	PVC	225	0.005
SD 2	12	PVC	16.0	0.005
SD 3	12	PVC	7.0	0.050
SD 4	10	PVC	1.0	0.050



SUBCATCHMENT	SEGMENT	LENGTH	SLOPE	TC
51	A-B	6.0	0.025	9.0
51	B-C	9.0	0.025	9.0
51	C-D	15.0	0.024	16.0
51	D-E	10.0	0.025	0.4
52A	DIRECT ENTRY	5.0	0.026	1.2
52B	A-B	5.5	0.045	1.0
52B	B-C	8.5	0.005	0.3
52B	C-D	5.0	0.005	0.3
53	A-B	5.0	0.04	6.4
53	B-C	4.0	0.06	0.2
54	A-B	6.5	0.015	8.0
55	A-B	8.0	0.06	1.9



**Sebago Technics**  
Engineering Excellence You Can Build On  
One Concord Street, 135  
Portland, ME 04101  
Tel: (207) 856-0277

REV.	BY:	DATE:	STATUS:
A	RAM	11-30-07	ISSUED TO CLIENT FOR REVIEW
B	RAM	4-9-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW

THIS PLAN SHALL NOT BE ALTERED WITHOUT WRITTEN REQUEST FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AMENDMENTS OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

PROFESSIONAL ENGINEER  
ROBERT A. MORTLEY  
No. 6988  
ME