

424-A-005001

41-41 True st, Portland, Maine

True Street Subdivision

Sniper Todd R.



55 Portland Street  
 Portland Maine 04101  
 (207) 874-8801

**Regina S. Leonard**  
 landscape architecture & design

29 Bridge Street  
 Topsham, Me 04086 Tel. 207.450.9700  
 Regina@ralsdesign.com

41 Hutchins Drive  
 Portland, ME 04102  
 Tel. 800-426-4282  
 www.woodlandcurran.com  
 commitment & integrity drive results

DESIGNED BY: RSL DRAWN BY: RSL CHECKED BY: RSL

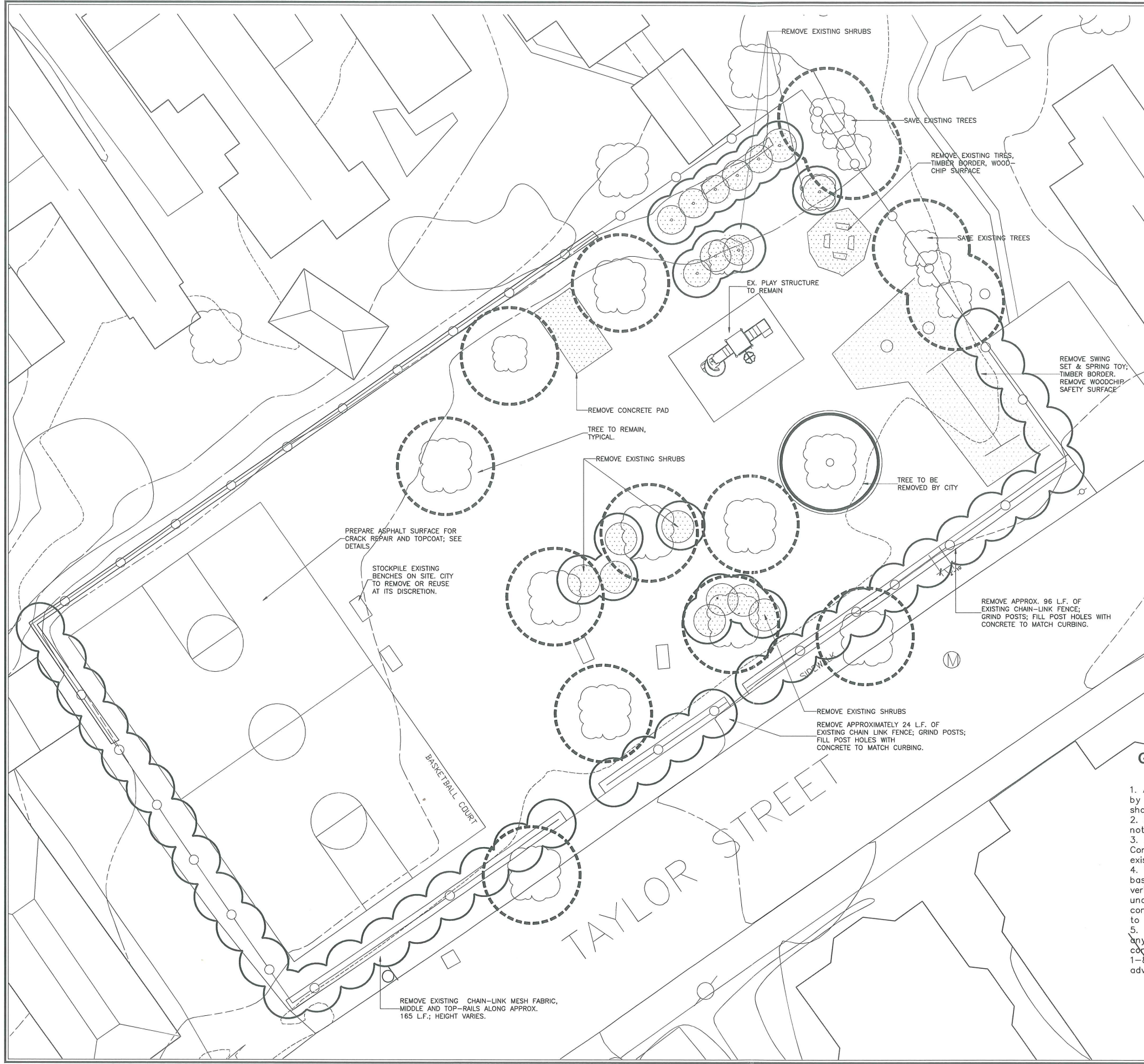
**TAYLOR STREET PARK  
 IMPROVEMENTS PROJECT**  
 CITY OF PORTLAND, MAINE

DATE	REVISION
RSL	

**SITE PREP & DEMO PLAN**

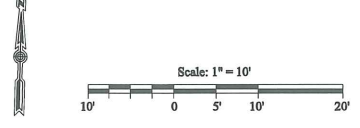
CONTRACT: TAYL FILE: TAYSTPK  
 DATE: 10/31/2010 SCALE: 1"=20'

**L1** 1  
 Of 4

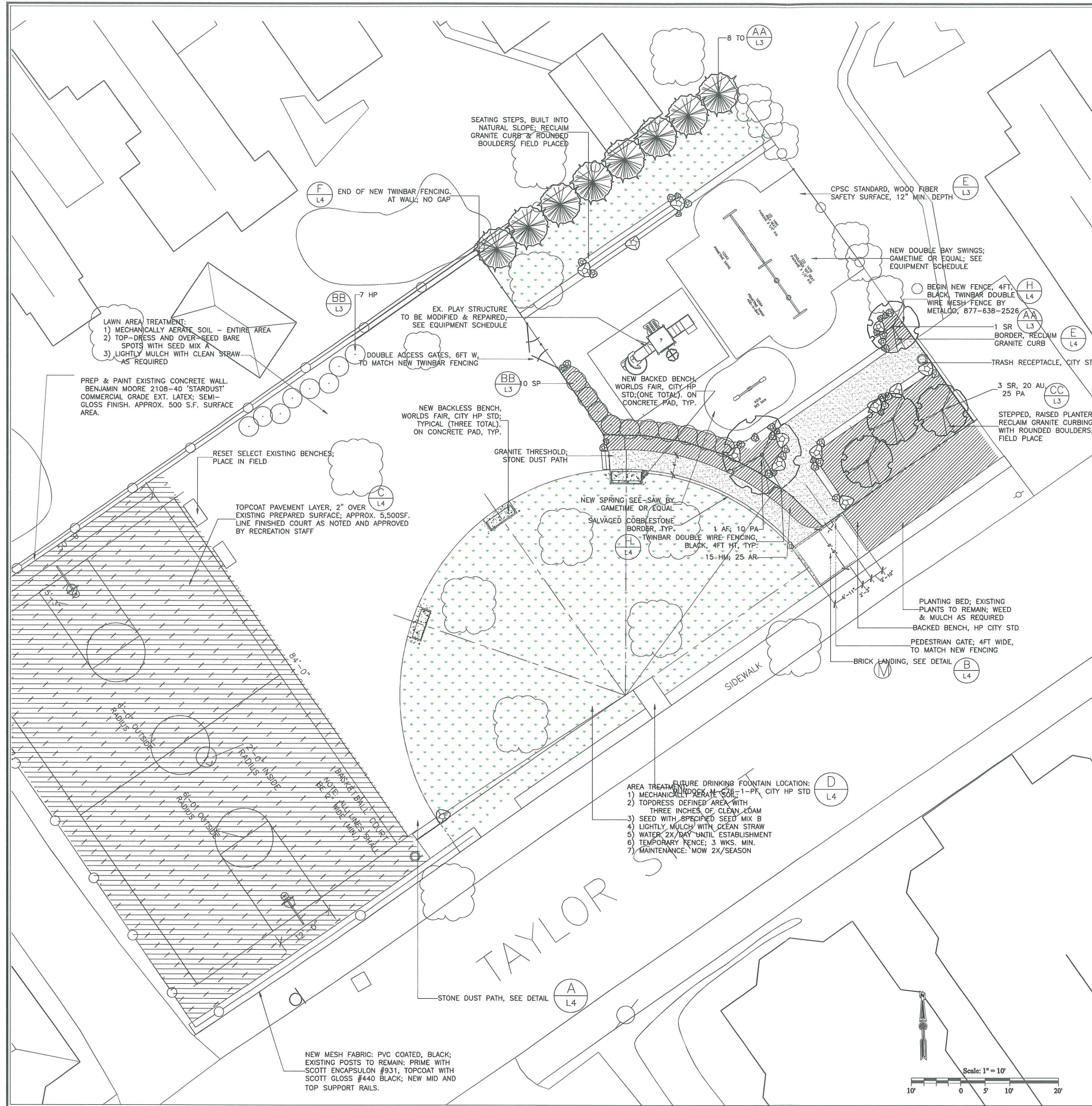


**General Notes**

1. All topographic and existing base information provided by City of Portland aerial survey 2006. All conditions should be verified in the field.
2. Limit of work shall be at property lines unless otherwise noted.
3. All areas not requiring grading shall be left undisturbed. Contractor shall keep out of these areas and preserve existing plantings.
4. Underground and above ground utility locations are based upon best available evidence and are not field verified. Locating and protecting any above ground or underground utilities is the sole responsibility of the contractor. Utility conflicts shall be reported immediately to the landscape architect.
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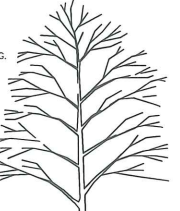




**Materials & Planting Notes:**

- All materials shall conform to the guidelines established by the American Association of Nurserymen.
- In the case of any discrepancies between species and quantities called out in the planting key and those shown on the plan, quantities and species shown on the plan shall over-ride.
- All planting shall be done in accordance with acceptable horticultural practices.
- All substitutions must be submitted for approval by landscape architect.
- Landscape Architect shall approve final placement of all plant materials.
- Existing trees to remain shall be protected by pvc fencing placed at the drip-line. No grading, soil disturbance, or storage of materials or equipment shall occur within the drip-line. Any excavation within such areas shall be performed by hand to avoid damage of the root system.
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall be watered by the contractor as required thereafter to ensure survival and growth through the first growing season.
- Plant material shall be guaranteed by the contractor for a period of one year from the date of installation. During the one year guarantee, the contractor shall replace, in kind, any dead, diseased, or substandard plant material at no cost to the owner. The contractor shall receive final acceptance from the owner following the one year guarantee, provided the provisions of the plant guarantee have been satisfactorily met. All recycled granite and boulders shall be provided by the City at the Congress Street Storage facility. The Contractor shall be responsible for delivering the material to the site.
- Contractor shall provide 24 hour notice to landscape architect prior to setting recycled granite and boulders.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

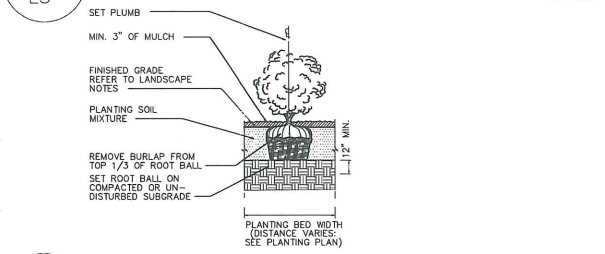
SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 INCHES HIGHER IN SLOWLY DRAINING SOILS.

MINIMUM 8 INCHES BARE ROOTBALL MEASURED FROM TRUNK CROWN.

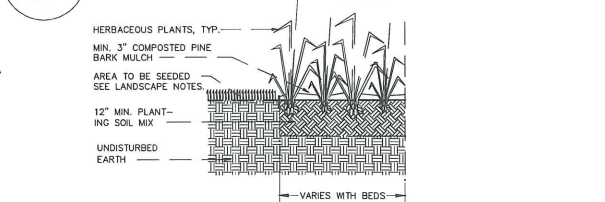
3 INCHES MULCH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

NOTE: FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE LANDSCAPE NOTES AND/OR SPECS.

**AA TREE PLANTING DETAIL - B&B TREES** N.T.S.



**BB SHRUB PLANTING DETAIL** N.T.S.



**CC HERBACEOUS PLANTING DETAIL** N.T.S.

**SITE PLANTINGS**

SYM.	QTY.	BOTANICAL NAME	COLOR/VAR.	SIZE/FORM.
<b>TREES</b>				
AF	1	Acer x f. 'Jeffersred'	Autumn Blaze Maple	2.5" cal.
SR	4	Syringa r. 'Ivory Silk'	Japanese Tree Lilac	6'-8" clump
TO	8	Thuja o. 'Spring Grove'	Spring Grove Arborvitae	6'-7' ht.
<b>SHRUBS</b>				
HP	7	Hydrangea p. 'White Moth'	White Moth Hydrangea	#3 pot
SP	10	Syringa p. 'Miss Kim'	Miss Kim Lilac	#3 pot
<b>HERBACEOUS PLANTS</b>				
AR	18	Ajuga reptans		
AU	20	Arctostaphylos u. 'Massachusetts'	Bearberry	2 qt.
HA	15	Hakonechloa macra 'Aureola'	Hakone Grass	2 qt.
PA	35	Pennisetum o. 'Hameln'	Dwarf Fountain Grass	2 qt.
<b>SEED MIX</b>				
Mix A: Yardscaping Mix : Supplier: Allen, Sterling & Lothrop, Falmouth, ME Tel. 207-781-4142 Application Rate: 1 lb/200 sq. ft.				
Mix B: NE Semi Shade Grass & Forb Mix: Supplier: New England Wetland Plants, Amherst, MA, Tel. 413-548-8000; Application Rate: 30 lbs/acre.				

Prepared for the  
**City Of Portland  
Public Services  
Department**

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**WOODARD & CURRAN**  
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DESIGNED BY: RSL DRAWN BY: RSL CHECKED BY: RSL

**TAYLOR STREET PARK  
IMPROVEMENTS PROJECT**  
CITY OF PORTLAND, MAINE

DATE	REVISION
6/24/11	Impervious surfaces

**MATERIALS & PLANTING**

CONTRACT: TAYL FILE: TAYSTPK  
DATE: 10/31/2010 SCALE: 1"=20'

**L3** 3  
Of 4





### General Grading & Utilities Notes

1. Drawings prepared from City of Portland 2006 aerial survey maps, not as-built data.
2. Bench mark for elevation is manhole cover within Taylor Street frontage. Elevation as shown on plan.
3. Contractor shall field verify all grades and field verify location of existing features and utilities as necessary. Any discrepancies shall be reported immediately to the landscape architect.
4. Grading staking shall be approved by landscape architect prior to construction. The contractor shall notify the landscape architect 48 hours prior to required site visit.
5. Contractor shall ensure a 2% cross-slope on all walks and landings. Discrepancies shall be reported immediately to the landscape architect.
6. The contractor shall maintain tree protection fence during grading work. Leave protection in place and maintain until all construction work has been completed and all danger of damage has passed or as otherwise directed by the owner.
7. Grading and construction in proximity of existing trees or adjacent to tree protection areas shall be done with extreme care so as not to damage trees or root systems of trees or compact soil in the area.
8. No grading or construction shall occur within tree protection areas.
9. Utility information shown is approximate only. Prior to excavation, appropriate utility companies shall be contacted and Dig-Safe Center shall be called at 1-800-DIG-SAFE, at least 72 hours (3 working days) in advance.

### General Layout/Staking Notes

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7. Layout staking shall be approved by landscape architect prior to construction. The contractor shall notify the landscape architect 48 hours prior to required site visit.
8. See construction details for dimensions of site elements.
9. All dimensions and angles are 90° unless otherwise noted.
10. Changes in the layout may be made by landscape architect to accommodate design intent or field conditions. No additional payment will be made to contractor for this work.
11. Bench layout shown is approximate. Layout shall be approved in the field by landscape architect.

### GENERAL LAYOUT KEY

POINT (ft)	BASELINE E-W (ft)	N-S (ft)	NOTES
P1	34'-5" W	9'-5" N	CTR GATE
P2	39'-10" W	33'-7" N	PLANTER
P3	43'-8" W	41'-0" N	PLANTER
P4	32'-8" W	40'-8" N	PLANTER
P5	28'-1" W	31'-5" N	PLANTER
P6	63'-5" W	69'-3" N	PLAYGROUND
P7	57'-3" W	75'-8" N	PLAYGROUND
P8	89'-3" W	14'-2" N	CTR. WALK
P9	135'-3" W	14'-3" N	WALK
P10	135'-3" W	7'-1" N	WALK

### PLAYGROUND EQUIPMENT TREATMENT SCHEDULE & NOTES

EXISTING STRUCTURE:  
REPAIR AS REQUIRED TO MEET CPSC SAFETY STDS.

MODEL NO.	QTY	DESCRIPTION	NOTES
80959	1	STOREFRONT PANEL	EXISTING STRUCTURE
80460	1	LEANING WALL CLIMBER	EXISTING STRUCTURE
6219	1	SEE SAW	INDEPENDENT EQUIP.
1483	2	BELT SEAT	SWINGS
1470	2	TOT SEAT	SWINGS
12583	1	PRIMITIVE SWING	INDEPENDENT EQUIP.
12584	1	ADD-A-BAY SWING	INDEPENDENT EQUIP.

LAYOUT NOTES:  
LAYOUT PERIMETER OF PLAY AREA WITH STAKES PRIOR TO LOCATING PLAY EQUIPMENT TO ENSURE PROPER SAFETY FALL ZONES. CITY RECREATION STAFF SHALL REVIEW AND APPROVE LAYOUT PRIOR TO CONSTRUCTION OR INSTALLATION ACTIVITIES.



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Public Services  
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DESIGNED BY: RSL DRAWN BY: RSL CHECKED BY: RSL

**TAYLOR STREET PARK  
IMPROVEMENTS PROJECT**  
CITY OF PORTLAND, MAINE

DATE	REVISION
5/24/11	Reduced impervious

### LAYOUT & GRADING

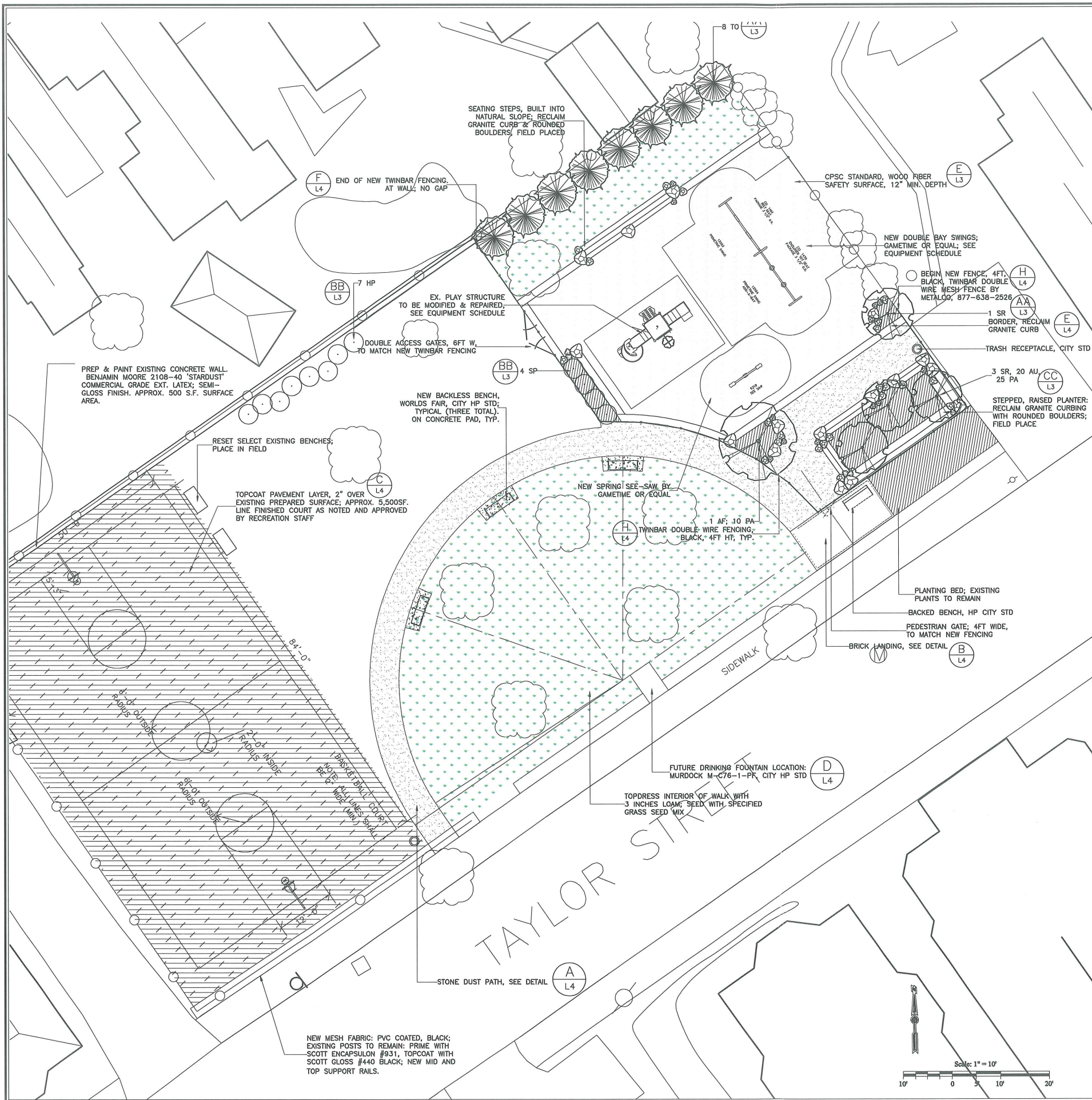
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**L2** 2  
Of 4



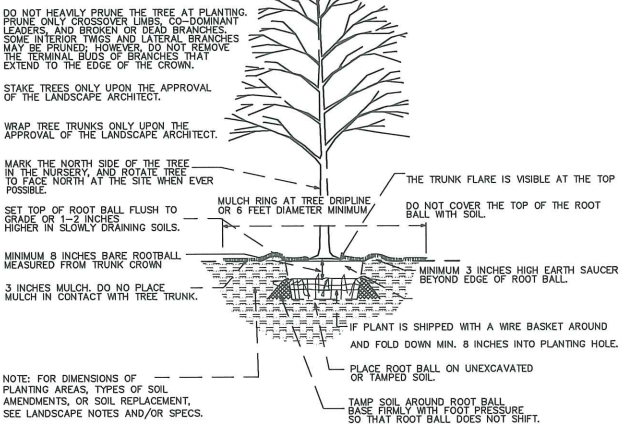




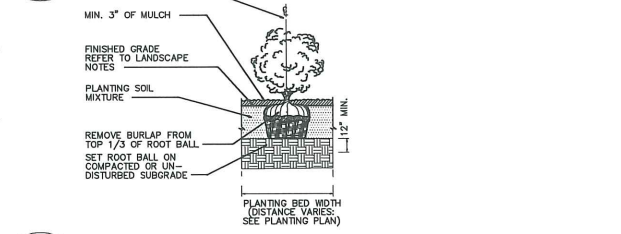


**Materials & Planting Notes:**

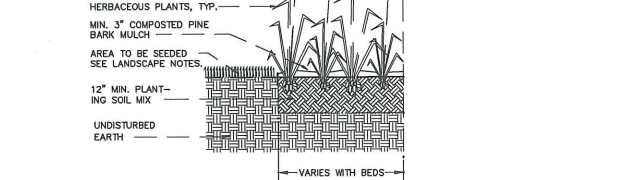
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Application Rate: 1 lb/200 sq. ft.				

Prepared for the  
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Public Services  
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DESIGNED BY: RSL  
CHECKED BY: RSL

**TAYLOR STREET PARK**  
**IMPROVEMENTS PROJECT**  
CITY OF PORTLAND, MAINE

DATE	REVISION
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**MATERIALS & PLANTING**

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**LAYOUT & GRADING**

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**L2** 2  
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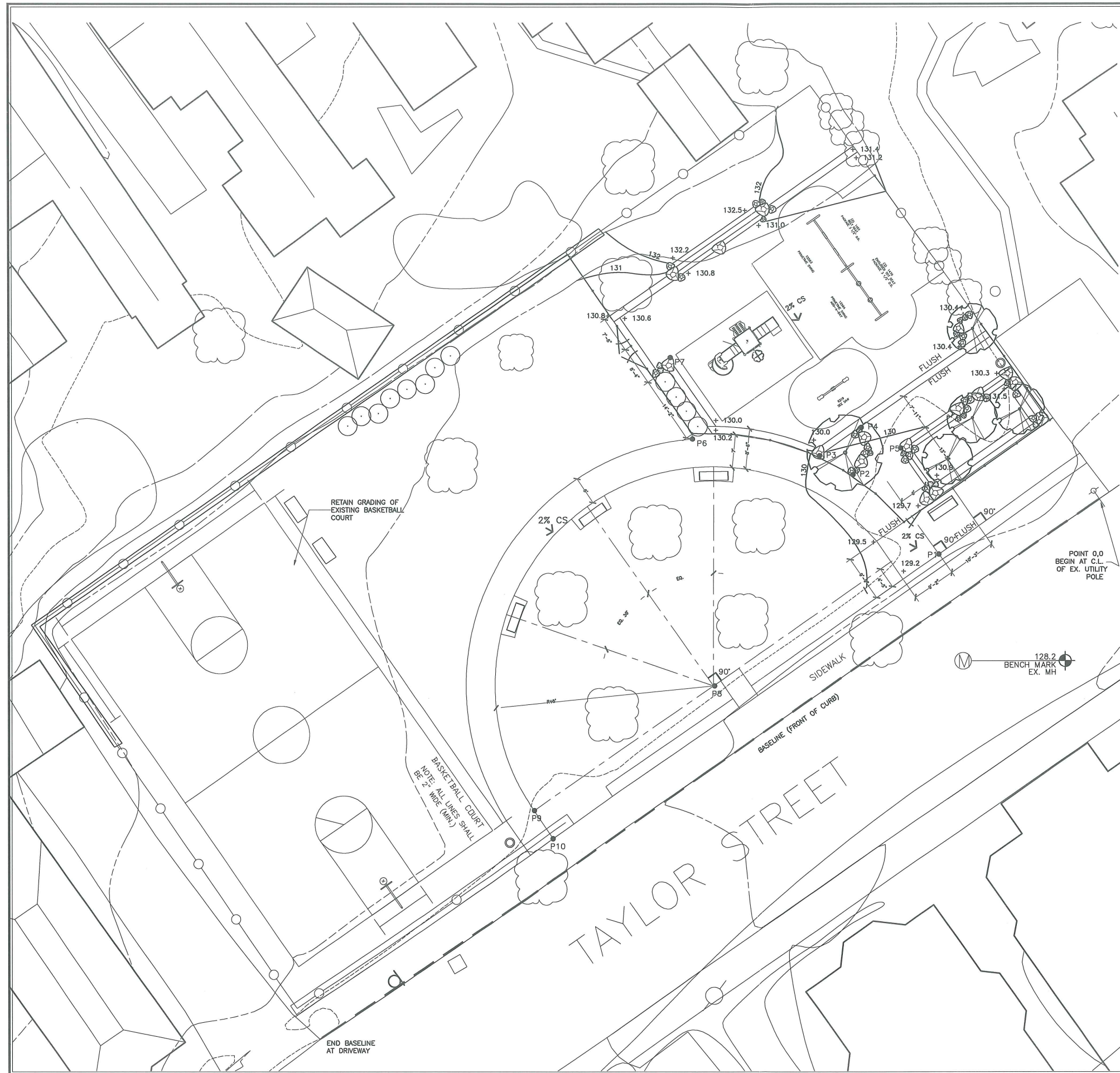
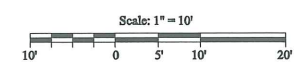
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**PLAYGROUND EQUIPMENT TREATMENT SCHEDULE & NOTES**

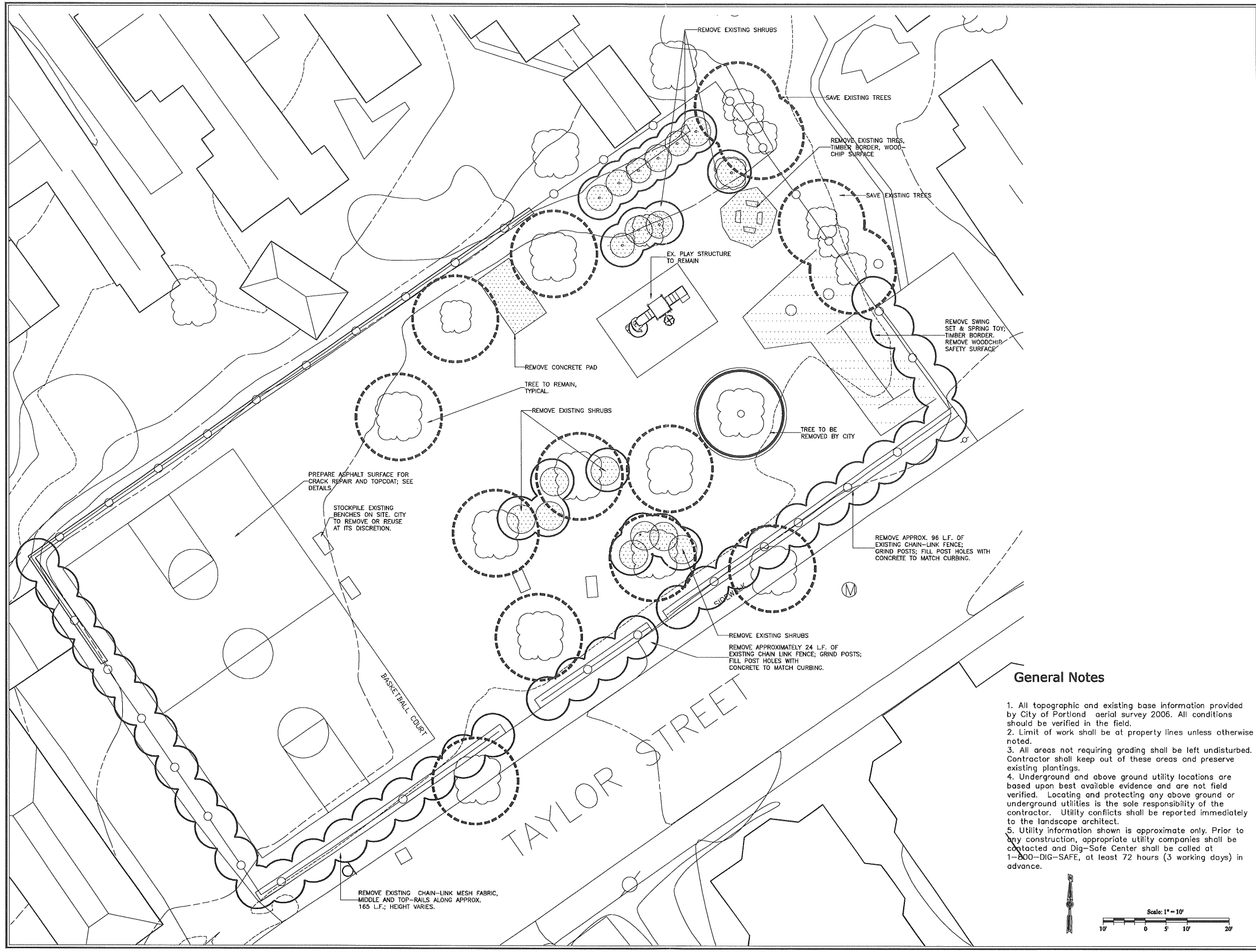
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LAYOUT NOTES:  
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 CONSULTANTS & INTEGRITY DRIVE RESULTS  
 PREPARED BY: RSL DRAWN BY: RSL CHECKED BY: RSL

**TAYLOR STREET PARK  
 IMPROVEMENTS PROJECT**  
 CITY OF PORTLAND, MAINE

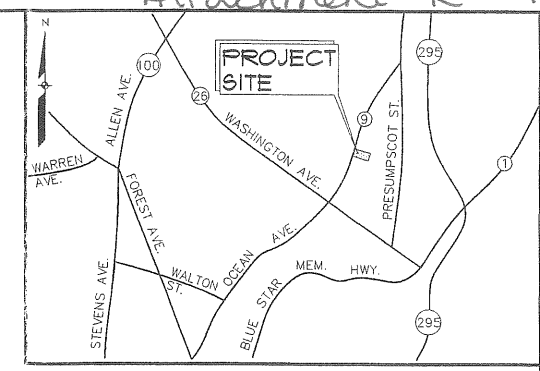
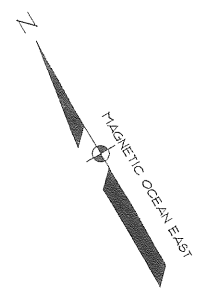
DATE	REVISION
RSL	

**SITE PREP & DEMO PLAN**

CONTRACT: TAYL FILE: TAYSTPK  
 DATE: 10/31/2010 SCALE: 1"=20'

**L1** 1  
 Of 4

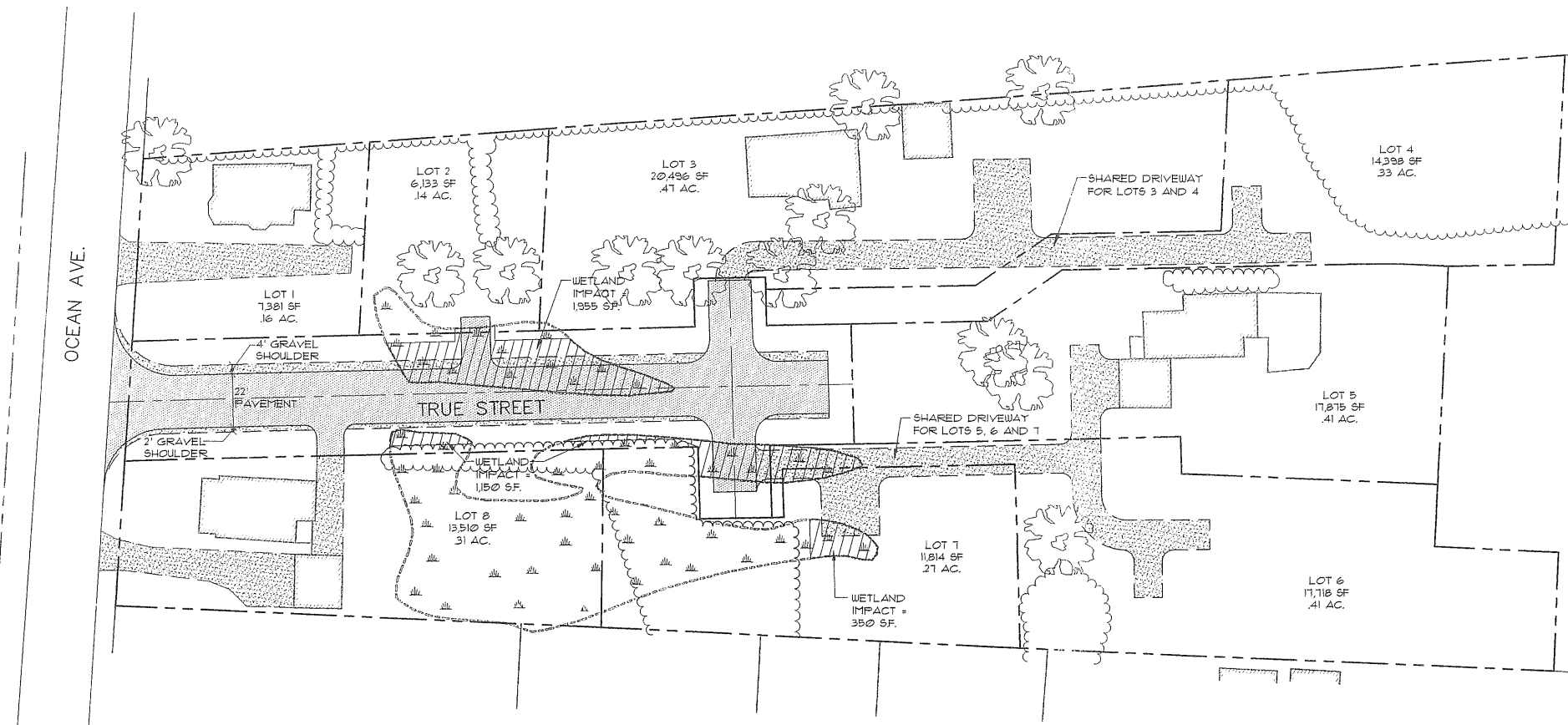




LOCATION MAP N.T.S.

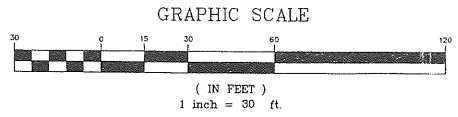
**GENERAL NOTES:**

- APPLICANT AND RECORD OWNERS:  
TRUE STREET NEIGHBORHOOD:  
A. TODD AND KELLY SNIPER, 41 TRUE STREET  
B. MARC GIGUERE, 693 OCEAN AVENUE  
C. NICK AND AHANDA KENT, 691 OCEAN AVENUE  
D. STACEY DEAN AND ROYCE GOULD, 681 OCEAN AVENUE  
DEED REFERENCES: 12428/151 (GIGUERE), 16710/259 (DEAN), 6863/1 (KENT), 2918/160, 12901/330, 12901/332 (SNIPER).
- TAX ASSESSORS REFERENCE: M424 L A-3 (GIGUERE), M424 L A-29 (DEAN), M424 L A-4 (KENT), M424 L A-5, M424 L A-6, M424 L A-30 (SNIPER).
- PLAN REFERENCES  
A. TRUE STREET, EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 29, 2005 BY RUI EATON ASSOCIATES, 59 PLEASANT STREET, WESTBROOK, MAINE 04092.  
B. TRUE STREET, SUBDIVISION PLAN, REVISED SEPTEMBER 29, 2005 BY RUI EATON ASSOCIATES, 59 PLEASANT STREET, WESTBROOK, MAINE 04092.
- WETLANDS SHOWN AS DELINEATED BY MARK CENCI IN APRIL 2005.
- TOTAL LOT AREA: 289 ACRES (ALL SUBJECT PARCELS)
- ZONING DISTRICT: R-5 RESIDENTIAL ZONE
- SPACE AND BULK CRITERIA (FOR RESIDENTIAL, NON-FRUD):  
MIN. LOT SIZE: 6,000 SF.  
MIN. LOT AREA PER DU: 3,000 SF.  
MIN. STREET FRONTAGE: 50 FT.  
MIN. FRONT YARD:  
1. PRINCIPAL OR ACCESSORY: 20 FT.  
2. NO GREATER THAN AVG. DEPTH OF FRONT YARDS ON EITHER SIDE OF THE LOT  
3. FOR LOTS OF RECORD AS OF 6/5/51 THAT ARE LESS THAN 100 FEET DEEP: 20% OF DEPTH  
MIN. REAR YARD:  
1. PRINCIPAL OR ATTACHED ACCESSORY WITH GROUND COVERAGE (G.C.) GREATER THAN 100 SF.: 20 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF.: 5 FT.  
MIN. SIDE YARD:  
1. PRINCIPAL OR ACCESSORY WITH G.C. GREATER THAN 100 SF.:  
HEIGHT OF STRUCTURE SETBACK  
A. 1 STORY: 8 FT.  
B. 1 1/2 STORY: 8 FT.  
C. 2 STORY: 10 FT.  
D. 2-1/2 STORY: 14 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF.: 5 FT.  
MIN. SIDE YARD ON SIDE STREET:  
PRINCIPAL OR ACCESSORY: 15 FT.  
MAX. LOT COVERAGE: 40%  
MAX. STRUCTURE HEIGHT:  
1. PRINCIPAL OR ATTACHED ACCESSORY: 35 FT.  
2. ACCESSORY DETACHED: 18 FT.



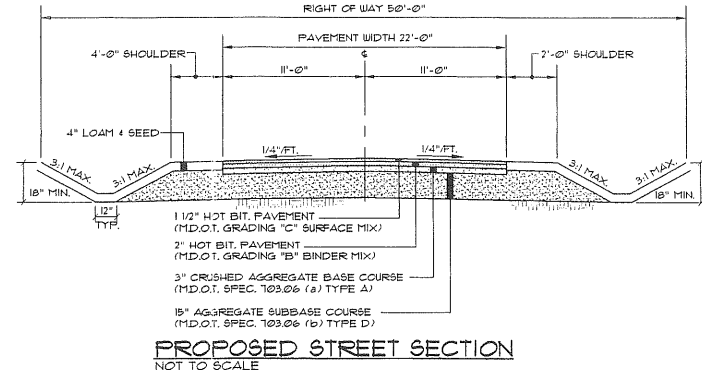
**REQUESTED WAIVERS:**

- THE APPLICANT RESPECTFULLY REQUESTS THE FOLLOWING WAIVERS/MODIFICATIONS:
- 28-FOOT ROAD SECTION MODIFIED TO PROVIDE 22' PAVEMENT, 4' GRAVEL SHOULDER ON ONE SIDE (IN LIEU OF SIDEWALK) AND 2' GRAVEL SHOULDER ON OPPOSITE SIDE (SEE PROPOSED STREET SECTION BELOW).
  - MAINTAIN EXISTING DRAINAGE CONDITIONS BY USE OF SWALES AND CULVERTS IN LIEU OF CURBS AND ENCLOSED STORM DRAINAGE SYSTEM.



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CONIFEROUS TREE	---
---	TREELINE	---



PROPOSED STREET SECTION NOT TO SCALE

REV.	DATE	BY	ISSUED SKETCH PLAN TO CITY	STATUS
B	10-25-05	DOB	ISSUED SKETCH PLAN TO CITY	
A	9-19-05	DOB	ISSUED TO CLIENT FOR REVIEW	

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**Sebago Technics**  
Engineering Expertise You Can Build On  
One Chubbet Street  
Portland, ME 04103  
Tel: (207) 846-0227

PROJECT NO: 05207  
FIELD BOOK: 05207  
DESIGN: DOB  
CHKD: DOB  
DRAWN: DOB  
BCM

SKETCH PLAN OF TRUE STREET SUBDIVISION TRUE STREET PORTLAND, MAINE FOR TRUE STREET NEIGHBORHOOD 41 TRUE STREET PORTLAND, ME 04101

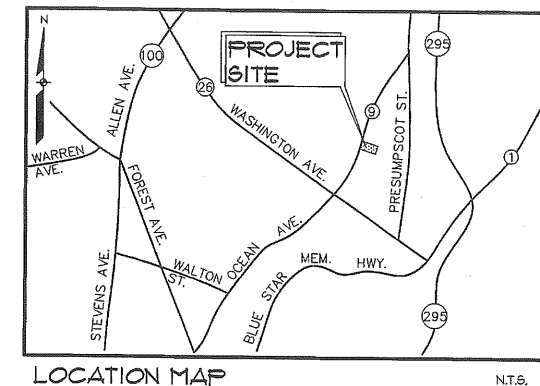
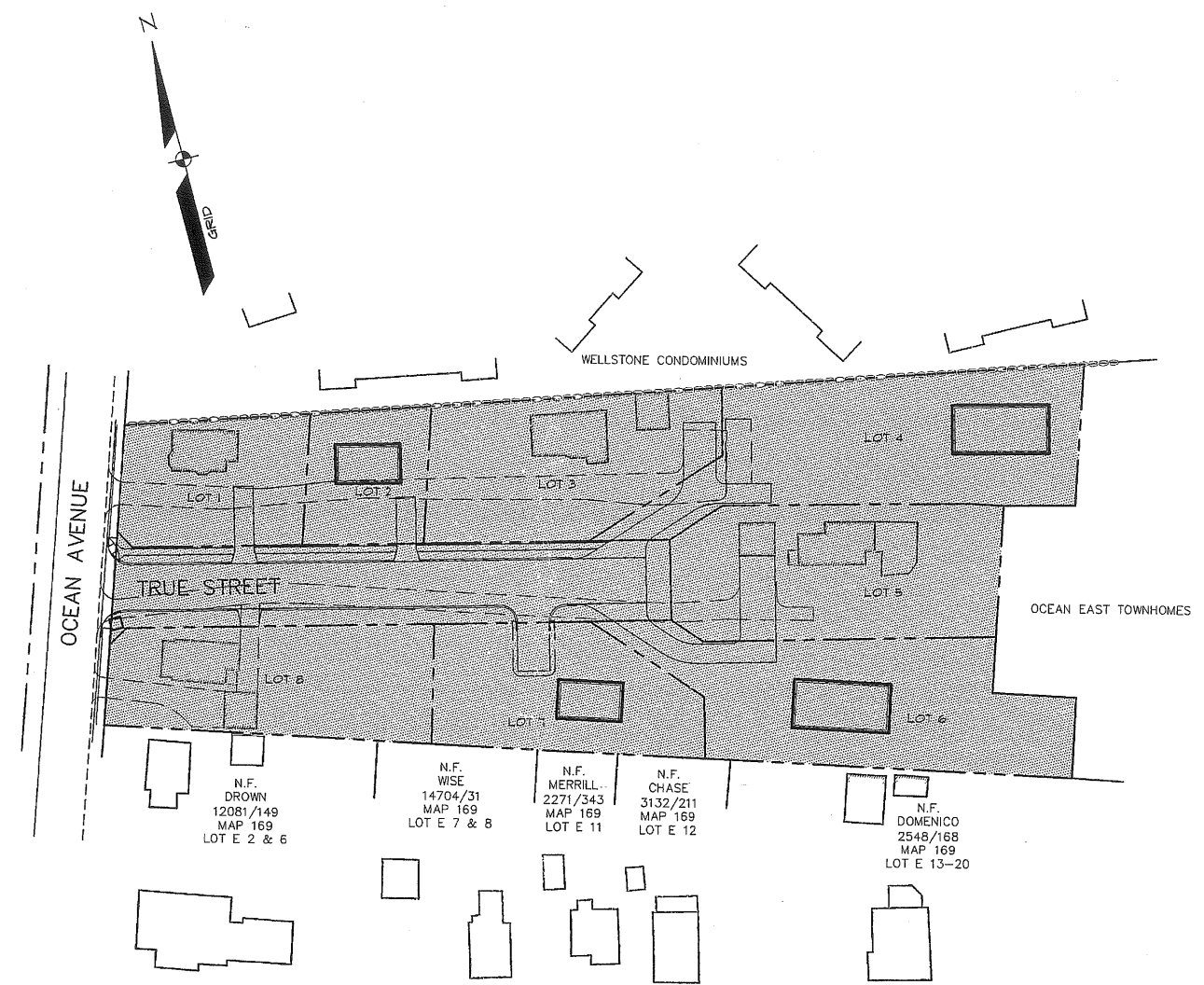




AH.B

# TRUE STREET SUBDIVISION

## TRUE STREET, PORTLAND, MAINE



**APPLICANT/RECORD OWNER:**

**TRUE STREET  
NEIGHBORHOOD**

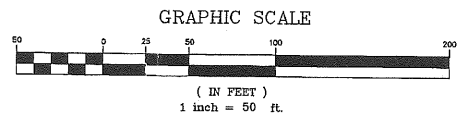
41 TRUE STREET  
PORTLAND, MAINE 04101

**ENGINEER:**

**Sebago Technics**  
 Engineering Expertise You Can Build On  
 One Chobot Street  
 Westbrook, Me 04098-1339  
 Tel (207) 856-0277

**TRUE STREET SUBDIVISION  
SHEET INDEX:**

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SUBDIVISION PLAN
4	GRADING & DRAINAGE PLAN
5	UTILITIES PLAN
6	LANDSCAPE PLAN
7	DETAILS
8	DETAILS
9	DETAILS



AS-BUILT PLANS  
01-27-10

03207C-AB.dwg, TAB.C



CERTIFICATION

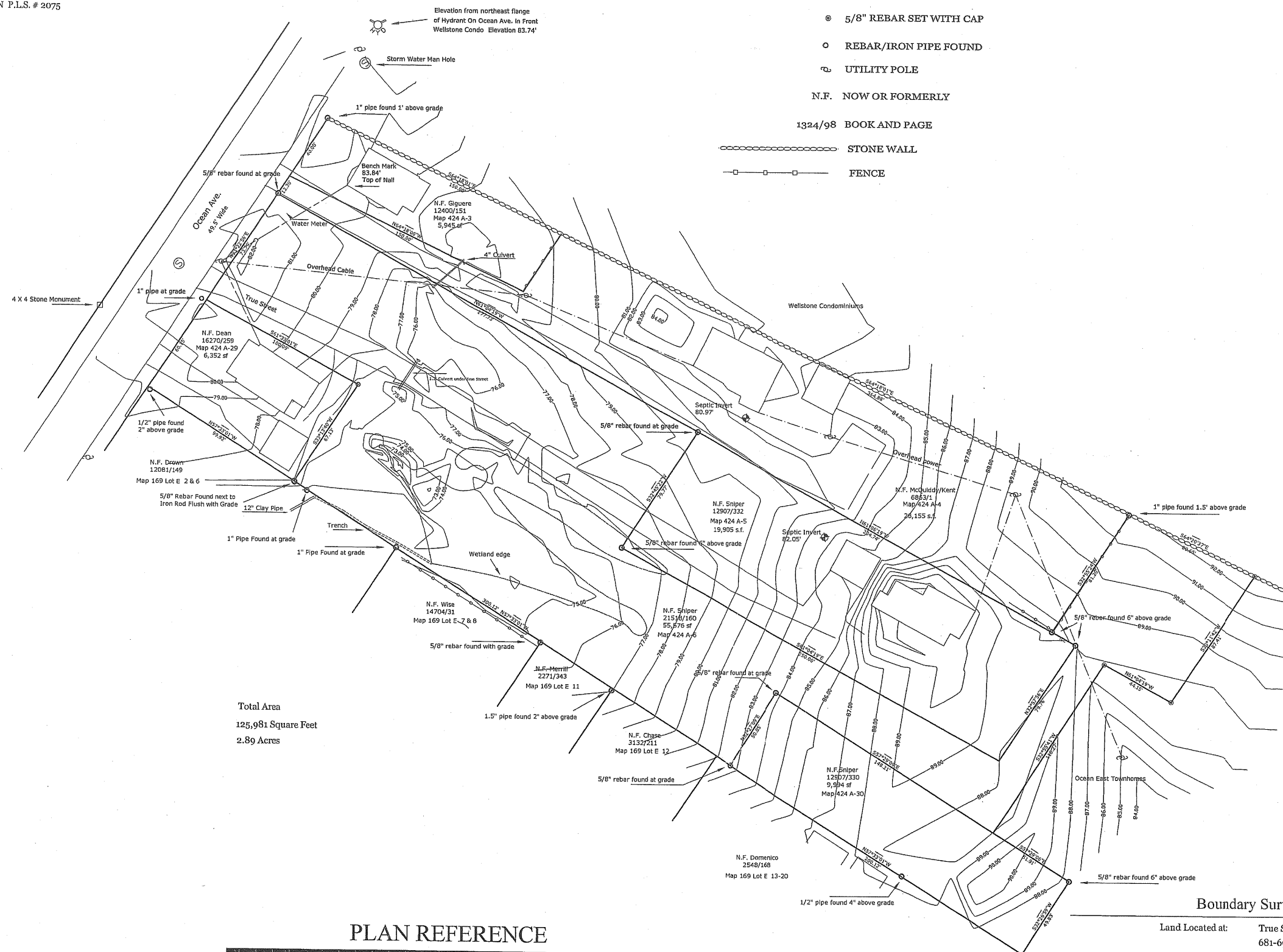
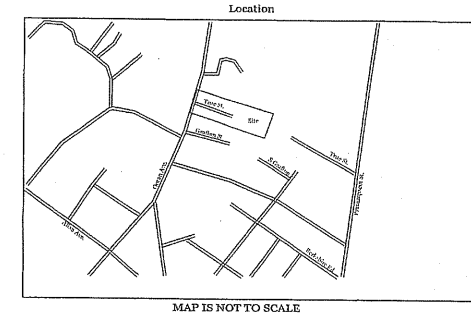
THIS SURVEY PLAN CONFORMS TO THE  
MAINE BOARD OF LICENSURE  
FOR PROFESSIONAL LAND  
SURVEYORS STANDARDS

*Richard W. Eaton*  
RICHARD W. EATON P.L.S. # 2075

LEGEND

- ⊙ 5/8" REBAR SET WITH CAP
- REBAR/IRON PIPE FOUND
- ⊕ UTILITY POLE
- N.F. NOW OR FORMERLY
- 1324/98 BOOK AND PAGE
- ⊖ STONE WALL
- FENCE

B.1



STATE OF MAINE

\_\_\_\_\_, SS REGISTRY OF DEEDS

RECEIVED \_\_\_\_\_

AT \_\_\_\_\_ H \_\_\_\_\_ M \_\_\_\_\_ AND

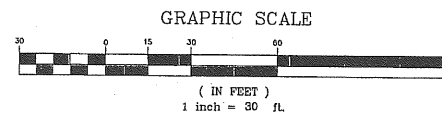
RECORDED IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

ATTEST: \_\_\_\_\_ REGISTER

Total Area  
125,981 Square Feet  
2.89 Acres

PLAN REFERENCE

- 1) Townhouse at Ocean East at Ocean Ave. & Presumpscot Street, Portland, Maine Dated July 17th 2002 By Coffin Engineering Recorded in Plan Book 204 Page 48
- 2) Wellstone Condominium on Ocean Ave. Portland Maine Dated 4/23/84 By Sebago Technics Recorded in Plan Book 144 Page 61
- 3) The Adams Farm by Percy Richardson C.E. Dated January 16, 1911 Recorded in Plan Book 12 Page 33
- 4) Ocean Ave. Street Information at Portland Engineering Office Vault



Sheet 2 of 8

Boundary Survey With Existing Conditions

Land Located at: True Street and  
681-693 Ocean Ave. Portland, Maine 04103

Land Owned By: Nicholas Kent & Amanda McQuiddy/Kent  
691 Ocean Ave. Portland Me. 04103  
Kelly & Todd Sniper  
41 True Street, Portland Maine. 04103  
Stacy Dean  
681 Ocean Ave. Portland Me. 04103  
Marc Giguere  
693 Ocean Ave. Portland Me. 04103

Deed Reference: Book 21518 Page 160 Book 12907 Page 330-333  
Book 6863 Page 1 Book 16270 Page 259  
Book 12400 Page 151

SCALE: 1:30
DRAWN BY: R.W.E.
CHECKED BY: R.W.E.
CAD FILE: 229E.DWG
PROJ #: 729
ORIG DATE: 04-15-05
0 REV DATE: 10-00-07
1 REV DATE: 00-00-00
2 REV DATE: 00-00-00
3 REV DATE: 00-00-00

R. W. EATON ASSOCIATES

LAND SURVEYING & REAL ESTATE

58 PLEASANT STREET, WESTBROOK, MAINE 04092

PHONE: 207-854-2402 FAX: 856-7167 E-MAIL: RWEATON@MAINE.RR.COM

April 15th 2005, Revised September 27th 2007

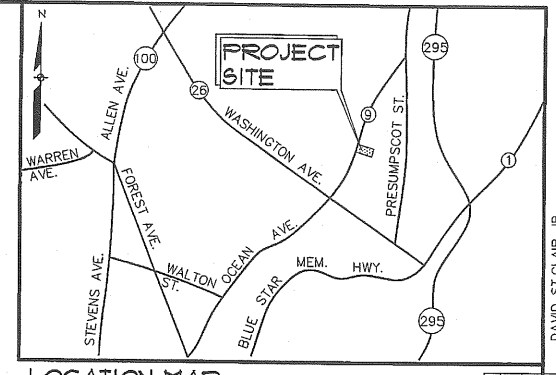
From Plan Reference (1)



B.2

LINE	BEARING	LENGTH
L3	N76°06'43"W	15.16
L4	S13°53'11"W	15.00
L5	S14°20'00"W	30.91
L6	N13°53'11"E	30.00
L7	S76°06'43"E	30.00
L8	N13°53'11"E	30.00

LINE	BEARING	LENGTH
L1	N28°38'45"W	13.52
L2	S61°21'15"W	14.74

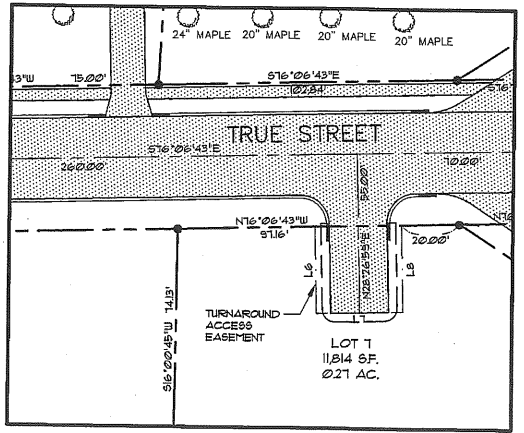
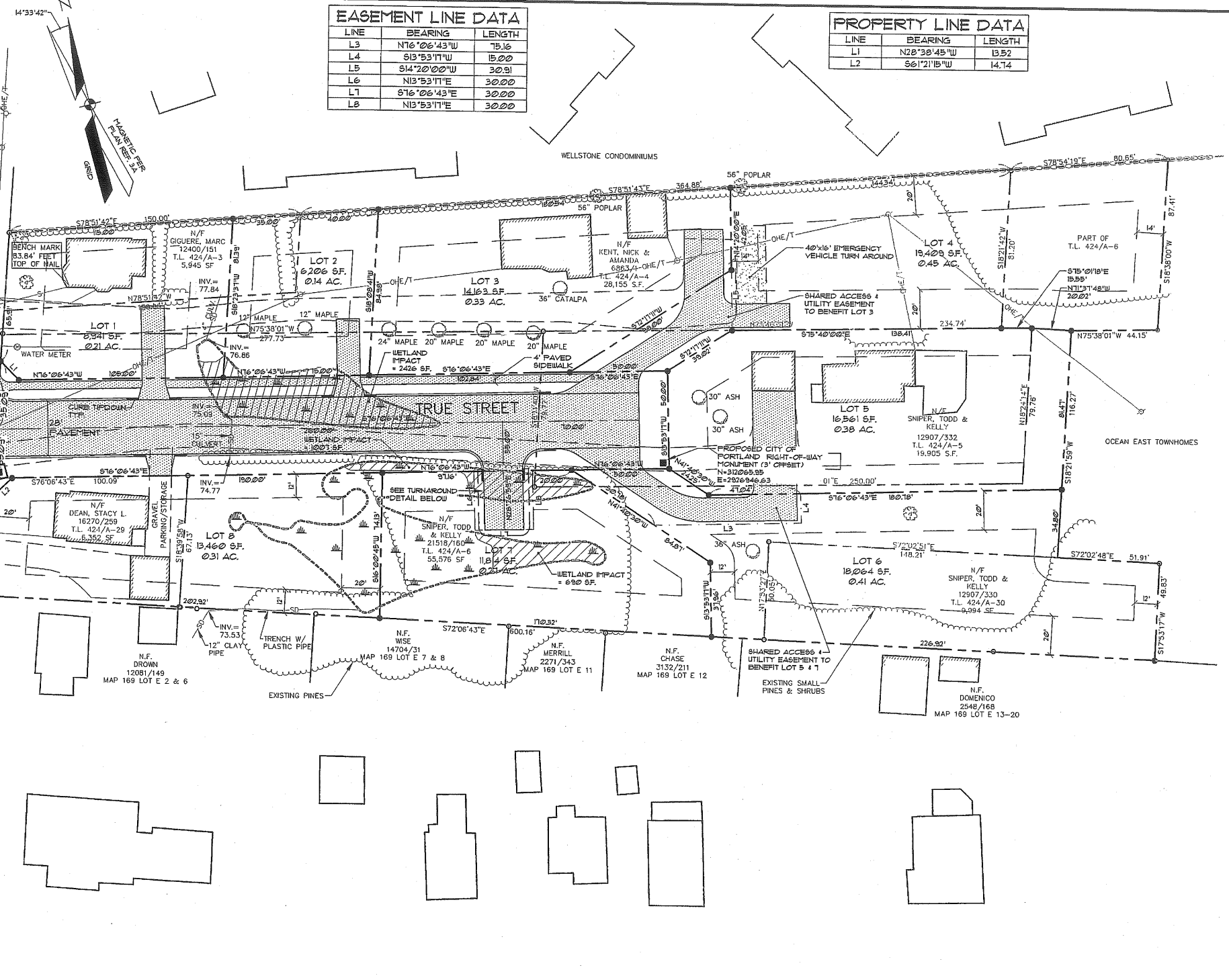


GENERAL NOTES:

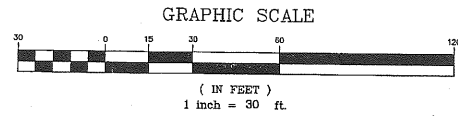
- APPLICANT AND RECORD OWNERS:  
A. TODD AND KELLY SNIPER, 41 TRUE STREET TRUE STREET NEIGHBORHOOD ASSOCIATES, 58 PLEASANT STREET, WESTBROOK, MAINE 04092.  
B. MARC GIGUIERE, 693 OCEAN AVENUE  
C. NICK AND AMANDA KENT, 691 OCEAN AVENUE  
D. STACEY DEAN AND ROYCE GOULD, 691 OCEAN AVENUE
- TAX ASSESSORS REFERENCE: M424 L A-3 (GIGUIERE), M424 L A-29 (DEAN), M424 L A-4 (KENT), M424 L A-5, M424 L A-6, M424 L A-30 (SNIPER).
- PLAN REFERENCES:  
A. TRUE STREET, EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 29, 2009 BY RUI EATON ASSOCIATES, 58 PLEASANT STREET, WESTBROOK, MAINE 04092.  
B. TRUE STREET, SUBDIVISION PLAN, REVISED SEPTEMBER 29, 2009 BY RUI EATON ASSOCIATES, 58 PLEASANT STREET, WESTBROOK, MAINE 04092.
- WETLANDS SHOWN AS DELINEATED BY MARK CENCI IN APRIL 2009.
- TOTAL LOT AREA: 2.88 ACRES (ALL SUBJECT PARCELS)
- ZONING DISTRICT: R-5 RESIDENTIAL ZONE
- SPACE AND BULK CRITERIA (FOR RESIDENTIAL, NON-FRUD):  
MIN. LOT SIZE: 6,000 SF.  
MIN. LOT AREA PER DU: 3,000 SF.  
MIN. STREET FRONTAGE: 50 FT.  
MIN. FRONT YARD:  
1. PRINCIPAL OR ACCESSORY 20 FT.  
2. NO GREATER THAN AVG. DEPTH OF FRONT YARDS ON EITHER SIDE OF THE LOT  
3. FOR LOTS OF RECORD AS OF 6/6/51 THAT ARE LESS THAN 100 FEET DEEP 20 % OF DEPTH  
MIN. REAR YARD:  
1. PRINCIPAL OR ATTACHED ACCESSORY WITH GROUND COVERAGE (G.C.) GREATER THAN 100 SF 20 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF 5 FT.  
MIN. SIDE YARD:  
1. PRINCIPAL OR ATTACHED ACCESSORY WITH G.C. GREATER THAN 100 SF: SETBACK  
A. 1 STORY 8 FT.  
B. 1-1/2 STORY 12 FT.  
C. 2 STORY 14 FT.  
D. 2-1/2 STORY 14 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF 5 FT.  
MIN. SIDE YARD ON SIDE STREET (PRINCIPAL OR ACCESSORY) 15 FT.  
MAX. LOT COVERAGE 40%  
MAX. STRUCTURE HEIGHT:  
1. PRINCIPAL OR ATTACHED ACCESSORY 35 FT.  
2. ACCESSORY DETACHED 15 FT.

REV.	DATE	STATUS
K	01-27-10	SUBMIT AS-BUILTS TO CITY
J	09-18-08	ADDED STREET MONUMENTS
I	07-23-08	ISSUED FOR PLANNING BOARD APPROVAL
H	07-22-08	REVISED PER CITY ARBORIST COMMENTS
G	06-04-08	REVISED PER CITY OF PORTLAND COMMENTS
F	05-14-08	REVISED PER PWD COMMENTS
E	04-09-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
D	11-30-07	ISSUED TO CLIENT FOR REVIEW
C	03-28-06	REVISED HAMMERHEAD DESIGN
B	10-25-05	ISSUED SKETCH PLAN TO CITY
A	09-19-05	ISSUED TO CLIENT FOR REVIEW

ELEVATION FROM NORTHEAST FLANGE OF HYDRANT OCEAN AVE. IN FRONT OF WELLSTONE CONDO 83.74'



**AS-BUILT NOTE:**  
NO AS-BUILT REVISIONS THIS SHEET. REFER TO A PLAN TITLED AS-BUILT SURVEY OF TRUE STREET SUBDIVISION FOR TRUE STREET NEIGHBORHOOD BY SEBAGO TECHNICS, INC. DATED 12-09-09 ON FILE WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT. THE SCOPE OF THE AS-BUILT SURVEY IS LIMITED TO LOCATING THE PUBLIC INFRASTRUCTURE CONSTRUCTED IN AND ALONG TRUE STREET AND OCEAN AVENUE AS PART OF THE TRUE STREET SUBDIVISION. SUCH INFRASTRUCTURE IS LIMITED TO EDGE OF PAVEMENT, CURBING AND PUBLIC UTILITIES.



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CONIFEROUS TREE	---
---	TREELINE	---

**APPROVAL -**  
**CITY OF PORTLAND**  
**PLANNING BOARD**

STATE OF MAINE

RECEIVED \_\_\_\_\_ COUNTY SS REGISTRY OF DEEDS  
AT \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M. AND RECORDED IN  
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTRAR

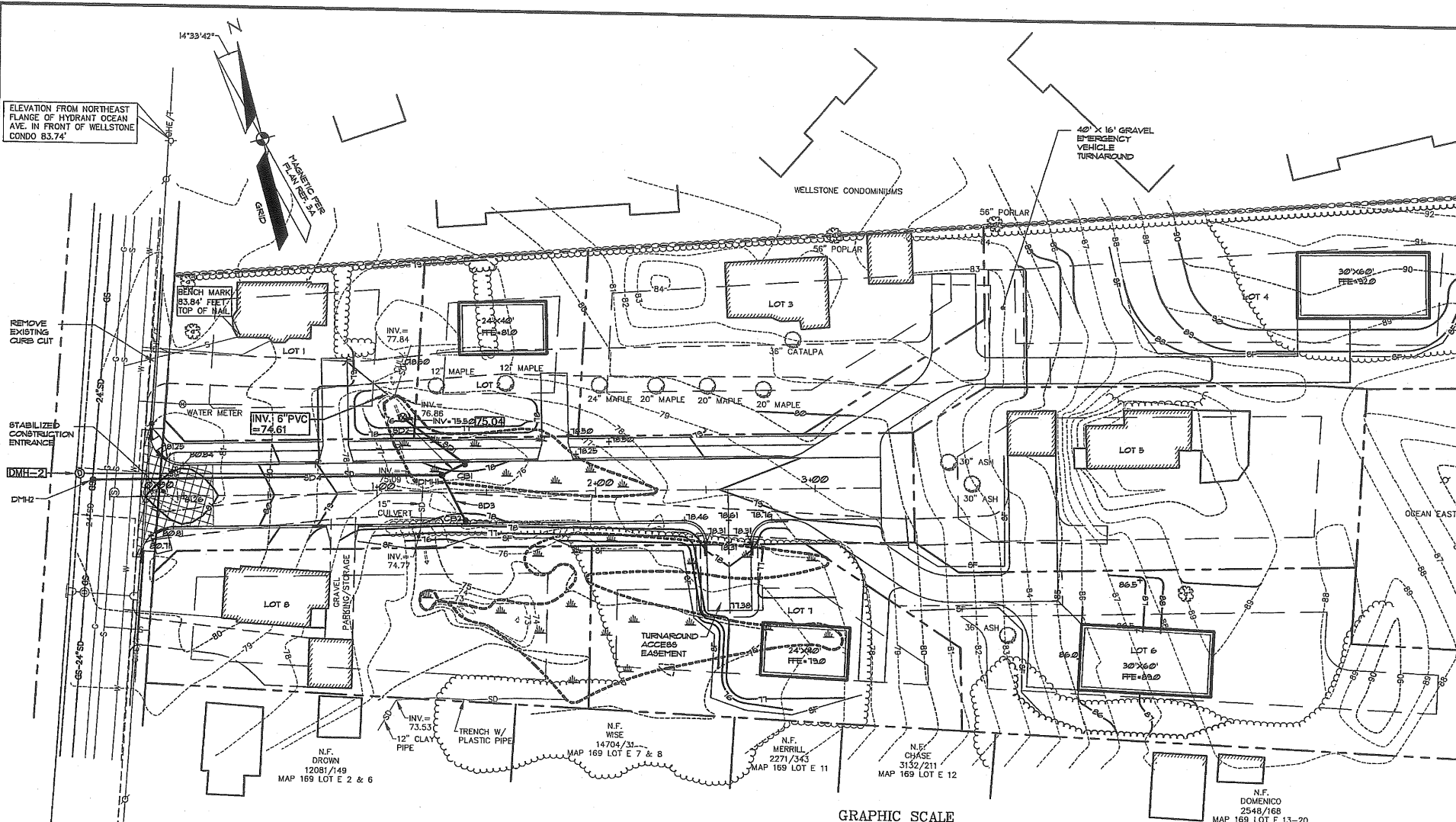
**Sebago Technics**  
Engineering Experts You Can Build On  
One Chestnut Street  
Westbrook, ME 04098-1339  
Tel (207) 866-0277

**SUBDIVISION PLAN**  
OF:  
**TRUE STREET SUBDIVISION**  
PORTLAND, MAINE  
FOR RECORD OWNER:  
**TRUE STREET NEIGHBORHOOD**  
41 TRUE STREET  
PORTLAND, ME 04101

DATE	SCALE
04-04-06	1"=30'



B.3



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOURS	---
---	30.20 SPOT GRADE	---
---	STONE WALL	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
---	GAS	---
---	WATER	---
---	GATE VALVE	---
---	HYDRANT	---
---	POTABLE WELL	---
---	SEWER	---
---	FORCE MAIN	---
---	SEWER MH	---
---	STORM DRAIN	---
---	UNDERDRAIN	---
---	CATCH BASIN	---
---	DRAINAGE MH	---
---	CULVERT	---
---	OVERHEAD ELEC. # TEL	---
---	UNDERGROUND ELEC. # TEL	---
---	TRANSFORMER PAD	---
---	LIGHT POLE/WALL	---
---	UTILITY POLE	---
---	GUY	---
---	SILT FENCE	---
---	RIPRAP	---

**CONSTRUCTION NOTES**

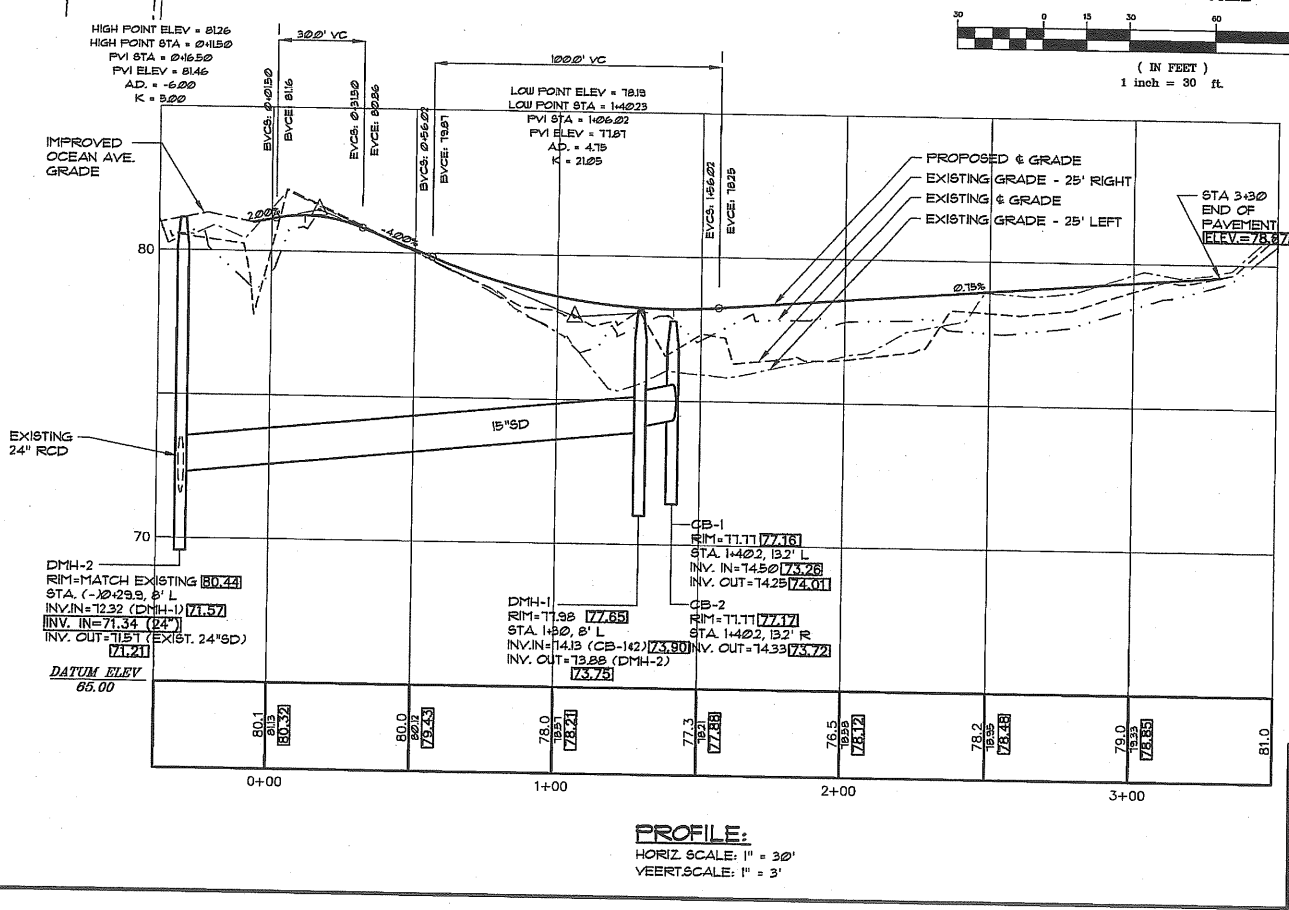
- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION MARCH 1998 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-488-4848) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MSA 336-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
- THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE DRYING TREES OR TREE LIMBS. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE TERMS "APPROVED EQUALLY", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.
- ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SHM'S, CBS, HYDRANTS, ETC. IN CONJUNCTION WITH DESIGN AND/OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS INC. BY OTHERS. PRIOR TO ANY CONSTRUCTION, EXCAVATION, TEST BORINGS, DRILLING, ETC. DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.

REV	DATE	BY	STATUS
J	01-27-10	RAM	SUBMIT AS-BUILTS TO CITY
I	01-27-10	RAM	ISSUED FOR PLANNING BOARD APPROVAL
H	07-23-08	RAM	ISSUED FOR PLANNING BOARD APPROVAL
G	06-24-08	RAM	REVISED PER CITY OF PORTLAND COMMENTS
F	05-14-08	RAM	REVISED PER PWD COMMENTS
E	04-08-08	RAM	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
D	01-30-07	RAM	ISSUED TO CLIENT FOR REVIEW
C	03-28-06	DBB	REVISED HAMMERHEAD DESIGN
B	10-23-05	DBB	ISSUED SKETCH PLAN TO CITY
A	09-19-05	DBB	ISSUED TO CLIENT FOR REVIEW

**Sebago Technics**  
 Engineering Expertise You Can Build On  
 One Onset Street  
 Westbrook, Maine 04092  
 Tel: (207) 865-0277

PROJECT NO. 05207  
 FIELD BOOK 05207  
 DESIGN DBB  
 DRAWN BOM

**GRADING & DRAINAGE PLAN AS-BUILT**  
 OF: TRUE STREET SUBDIVISION  
 TRUE STREET  
 PORTLAND, MAINE  
 FOR: TRUE STREET NEIGHBORHOOD  
 41 TRUE STREET  
 PORTLAND, ME 04101



**DRAINAGE STRUCTURE TABLE**

ID.	TYPE	RIM	PIPE	INVERT ELEV.
CB-1	E	11.71 [77.16]	12"	14.50 (FROM SWALE) [73.26] 14.25 (TO DMH-1) [73.01]
CB-2	E	11.11 [77.17]	12"	14.33 (TO DMH-1) [73.72]
DMH-1	-	11.98 [77.85]	12"	14.13 (FROM CB-1 & 2) [73.90] 13.88 (TO DMH-2) [73.75]
DMH-2	-	8.15 [80.24]	24"	11.51 (EXISTING MAIN) [71.21] 12.32 (FROM DMH-1) [71.57]

**STORM DRAIN PIPE TABLE**

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
SD 1	12	FVC	35	0.029 [0.051]
SD 2	12	FVC	8	0.015 [0.014]
SD 3	12	FVC	20	0.010 [0.008]
SD 4	15	FVC	156 [162]	0.010 [0.013]

**SEWER STRUCTURE TABLE**

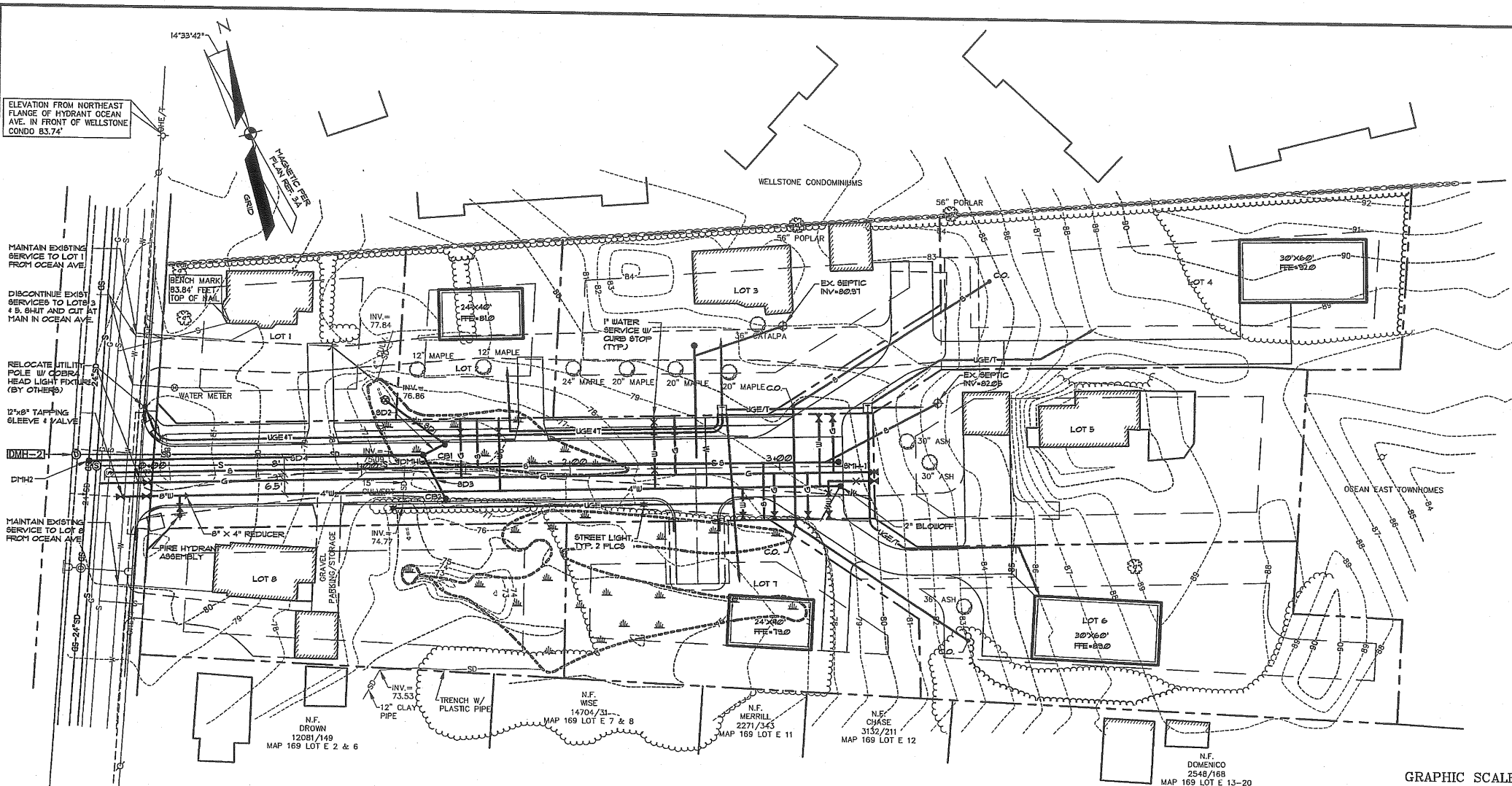
ID.	TYPE	RIM	PIPE	INVERT ELEV.
SMH-1	A	13.48 [78.81]	8"	14.60 (TO EXIST. SMH-1) [9] TRENCH=74.31

**SAN. SEWER PIPE TABLE**

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
S1	8"	FVC	344 [351]	0.010 [0.011]

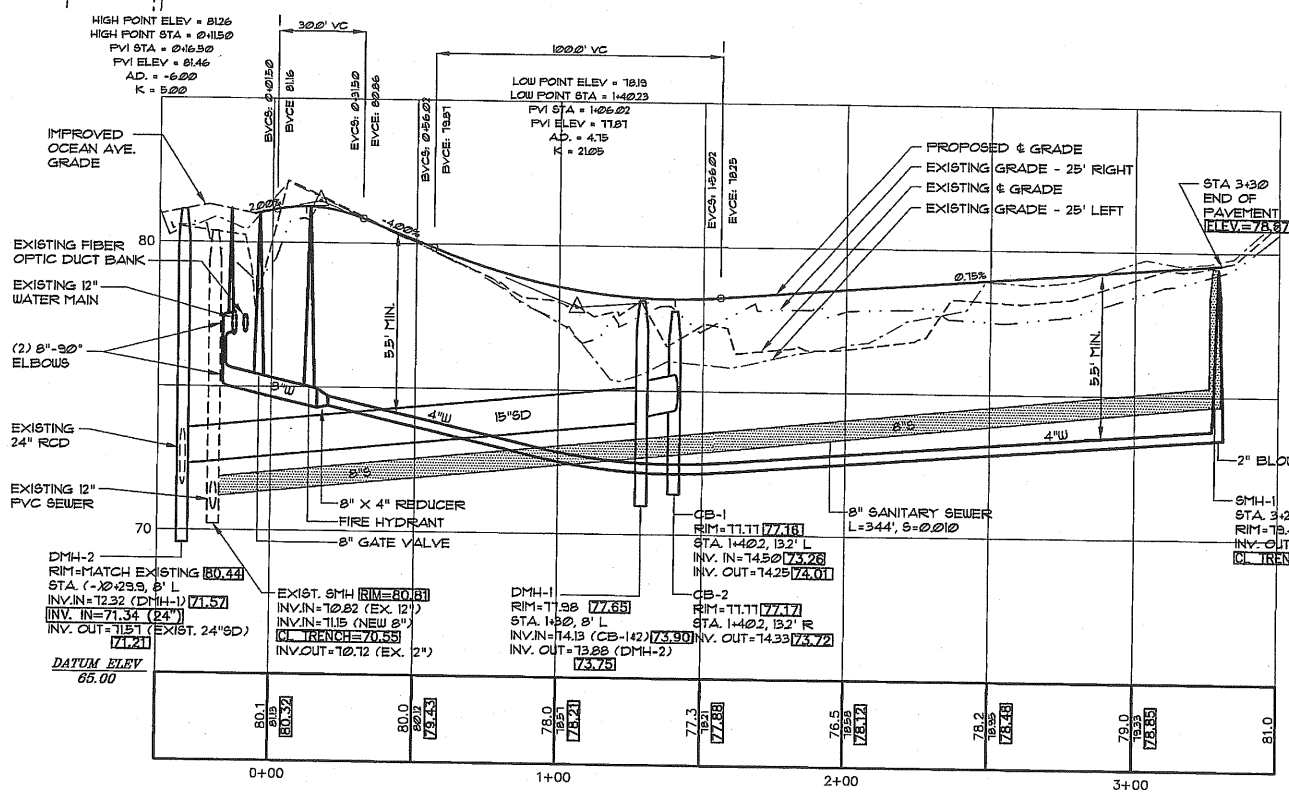
**AS-BUILT NOTE:**  
 THE AS-BUILT REVISIONS SHOWN ON THIS SHEET THIS SHEET REFER TO A PLAN TITLED AS-BUILT SURVEY OF TRUE STREET SUBDIVISION FOR TRUE STREET NEIGHBORHOOD, BY SEBAGO TECHNICS, INC. DATED 12-09-09 ON FILE WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT. THE SCOPE OF THE AS-BUILT SURVEY IS LIMITED TO LOCATING THE PUBLIC INFRASTRUCTURE CONSTRUCTED IN SUBDIVISION. SUCH INFRASTRUCTURE IS LIMITED TO EDGE OF PAVEMENT, CURBING AND PUBLIC UTILITIES.

B.4



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOURS	---
---	30.20 SPOT GRADE	---
---	STONE WALL	---
○	DECIDUOUS TREE	○
●	CONIFEROUS TREE	●
---	GAS	---
---	WATER	---
---	GATE VALVE	---
---	HYDRANT	---
---	POTABLE WELL	---
---	SEWER	---
---	FORCE MAIN	---
---	SEWER MH	---
---	STORM DRAIN	---
---	UNDERDRAIN	---
---	CATCH BASIN	---
---	DRAINAGE MH	---
---	CULVERT	---
---	OVERHEAD ELEC. # TEL	---
---	UNDERGROUND ELEC. # TEL	---
---	TRANSFORMER PAD	---
---	LIGHT POLE/WALL	---
---	UTILITY POLE	---
---	GUY	---
---	SILT FENCE	---
---	RIPRAP	---



**DRAINAGE STRUCTURE TABLE**

ID.	TYPE	RIM	PIPE	INVERT ELEV.
CB-1	E	11.11 [77.16]	12"	74.50 (FROM SWALE) [73.28] 14.25 (TO DMH-1) [73.01]
CB-2	E	11.11 [77.17]	12"	74.33 (TO DMH-1) [73.72] 13.88 (TO DMH-2) [73.75]
DMH-1	-	11.98 [77.65]	12"	74.13 (FROM CB-1 4 2) [73.90] 13.88 (TO DMH-2) [73.75]
DMH-2	-	81.15 [80.44]	24"	11.87 (EXISTING MAIN) [71.21] 12.92 (FROM DMH-1) [71.57]

**STORM DRAIN PIPE TABLE**

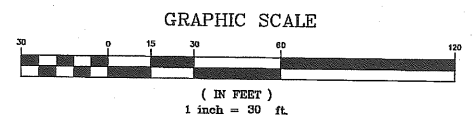
ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
SD 1	12	FVC	35	0.029 [0.051]
SD 2	12	FVC	8	0.015 [0.014]
SD 3	12	FVC	20	0.010 [0.009]
SD 4	15	FVC	156 [182]	0.010 [0.013]

**SEWER STRUCTURE TABLE**

ID.	TYPE	RIM	PIPE	INVERT ELEV.
SMH-1	A	79.48 [78.81]	8"	74.60 (TO EXIST. SMH) [74.31]

**SAN. SEWER PIPE TABLE**

ID.	DIA. (IN.)	TYPE	LENGTH (FT.)	SLOPE
S1	8"	FVC	344 [351]	0.010 [0.011]



**PROFILE:**  
HORIZ. SCALE: 1" = 30'  
VERT. SCALE: 1" = 3'

**AS-BUILT NOTE:**  
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REV.	DATE	BY	STATUS
J	01-27-10	RAM	SUBMIT AS-BUILTS TO CITY
I	07-23-08	RAM	ISSUED FOR PLANNING BOARD APPROVAL
H	07-22-08	RAM	REVISED PER CITY STAFF COMMENTS
G	06-14-08	RAM	REVISED PER CITY OF PORTLAND COMMENTS
F	05-14-08	RAM	REVISED PER PMD COMMENTS
E	04-09-08	RAM	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
D	01-30-07	RAM	ISSUED TO CLIENT FOR REVIEW
C	03-28-06	RAM	REVISED HAMMERHEAD DESIGN
B	03-23-05	RAM	ISSUED SKETCH PLAN TO CITY
A	03-19-05	RAM	ISSUED TO CLIENT FOR REVIEW

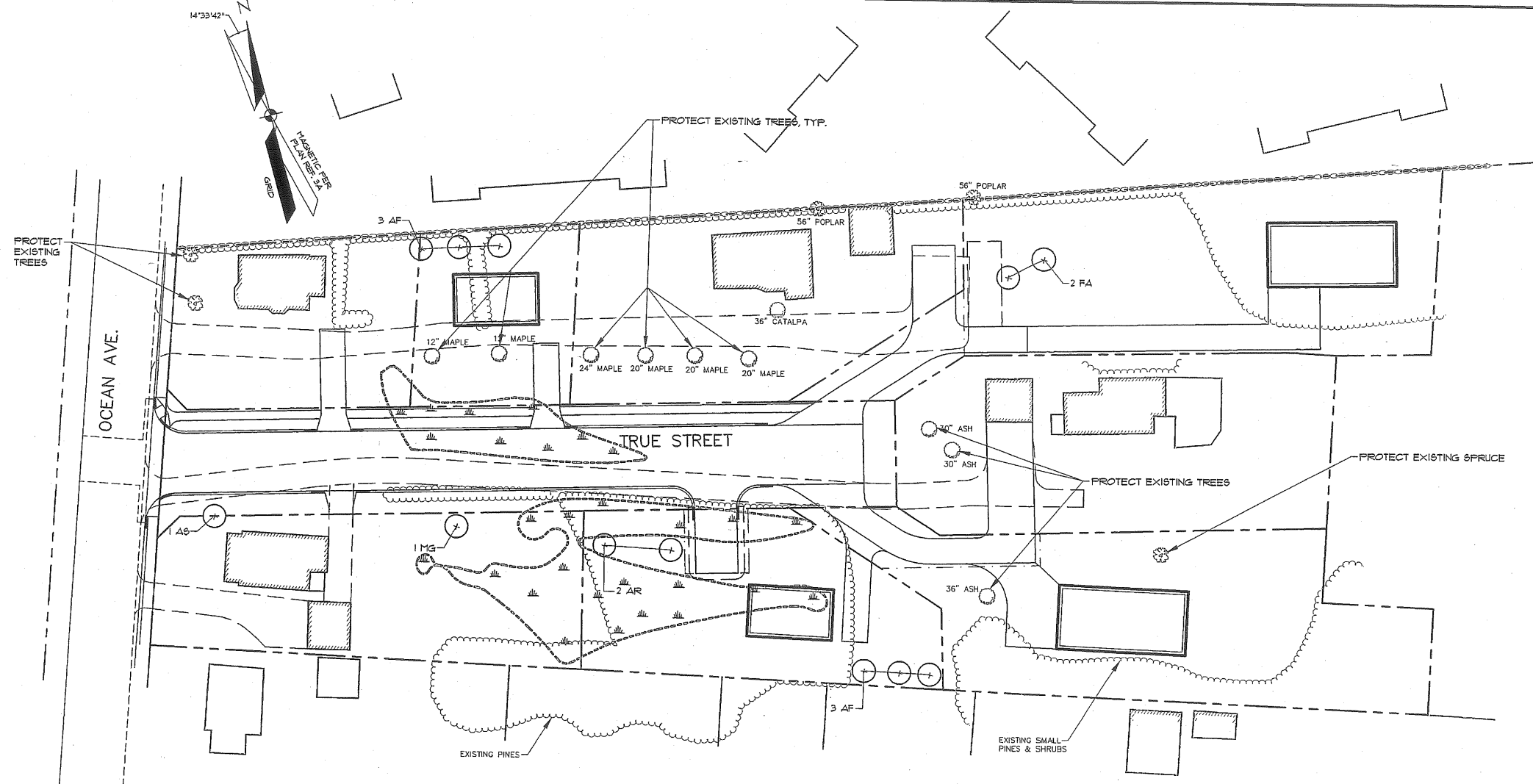
**Sebago Technics**  
Engineering Expertise You Can Build On  
One Church Street  
Westbrook, Me 04098-1339  
Tel (207) 688-9277

PROJECT NO. FIELD BOOK DESIGN CHKO DRAWN  
05207 DDB DDB BOM

UTILITY PLAN AS-BUILT  
OF:  
TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
TRUE STREET NEIGHBORHOOD  
41 TRUE STREET  
PORTLAND, ME 04101

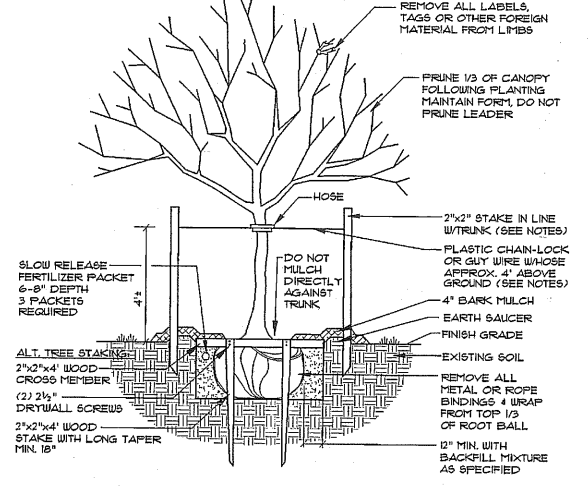
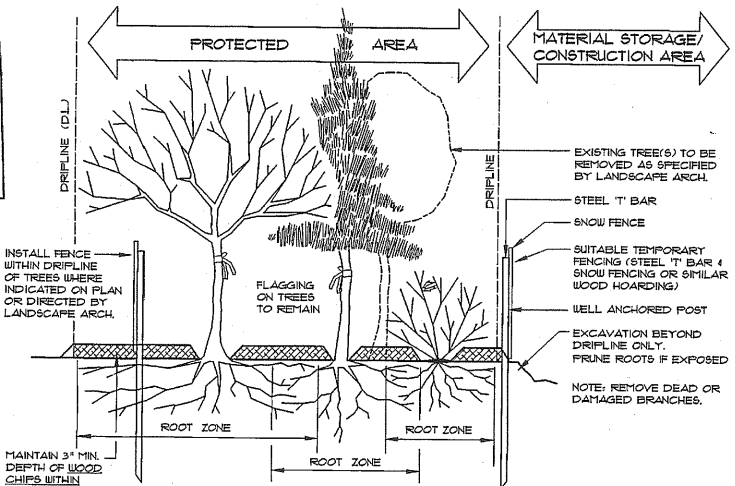
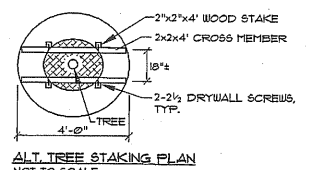


B.5



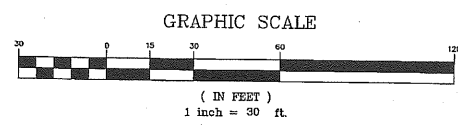
**LANDSCAPE NOTES**

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE FIT PREPARATION, FIRMING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COVERTING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODED OR SEEDED. PLANTING AREAS SHALL RECEIVE 12" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL FERTILITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
---	SETBACK	---
---	EASEMENT	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
⊙	CONIFEROUS TREE	⊙
⊙	TREELINE	⊙



**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AR	ACER RUBRUM	RED MAPLE	2 1/2" CAL.	2
AS	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG SUGAR MAPLE	2 1/2" CAL.	1
AF	ABIES FRASERI	FRASER FIR	6'-7" HGT.	6
FA	FRAXINUS AMERICANA 'CHICAGO REGAL'	WHITE ASH	2 1/2" CAL.	1
MG	METASEQUOIA GLYPTOSTROBILDES	DAWN REDWOOD	5'-6'	1
	EXISTING TREES TO REMAIN			12
	TOTAL TREES PROVIDED			24
	TOTAL TREES REQUIRED (2 PER LOT)			16

**AS-BUILT NOTE:**  
NO AS-BUILT REVISIONS THIS SHEET, REFER TO A PLAN TITLED AS-BUILT SURVEY OF TRUE STREET SUBDIVISION FOR TRUE STREET NEIGHBORHOOD BY SEBAGO TECHNICS, INC. DATED 12-09-09 ON FILE WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT. THE SCOPE OF THE AS-BUILT SURVEY IS LIMITED TO LOCATING THE PUBLIC INFRASTRUCTURE CONSTRUCTED IN AND ALONG TRUE STREET AND OCEAN AVENUE AS PART OF THE TRUE STREET SUBDIVISION. SUCH INFRASTRUCTURE IS LIMITED TO EDGE OF PAVEMENT, CURBING AND PUBLIC UTILITIES.

REV.	DATE	BY	STATUS
J	01-27-10	RAM	SUBMIT AS-BUILTS TO CITY
I	7-23-08	RAM	ISSUED FOR PLANNING BOARD APPROVAL
H	7-22-08	RAM	REVISED PER CITY ARBORIST COMMENTS
G	6-4-08	RAM	REVISED PER PWD COMMENTS
F	5-14-08	RAM	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
E	4-9-08	RAM	ISSUED TO CLIENT FOR REVIEW
D	11-30-07	RAM	REVISED HAMMERHEAD DESIGN
C	03-28-06	DOB	ISSUED SKETCH PLAN TO CITY
B	10-25-05	DOB	ISSUED SKETCH PLAN TO CITY
A	9-19-05	DOB	ISSUED TO CLIENT FOR REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

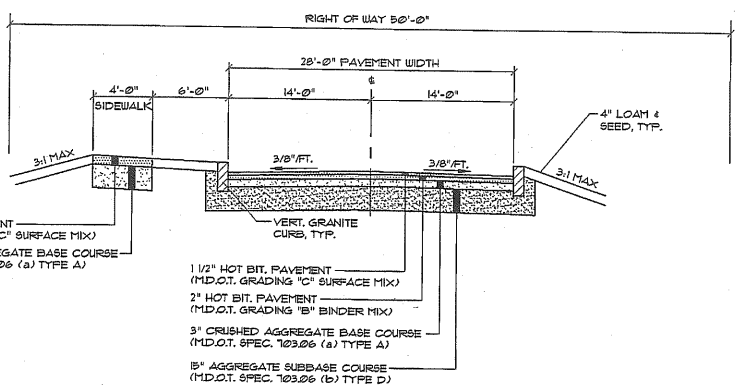
**Sebago Technics**  
Engineering Experts You Can Build On  
One Cribbet Street  
Westbrook, Me 04098-1339  
Tel (207) 955-0277

PROJECT NO. FIELD BOOK DESIGN CHGD DRAWN  
05207 CD RAM BCM

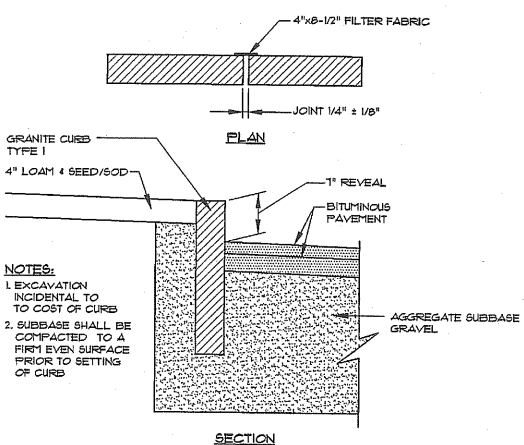
**LANDSCAPING PLAN**  
OF:  
**TRUE STREET SUBDIVISION**  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
**TRUE STREET NEIGHBORHOOD**  
41 TRUE STREET  
PORTLAND, ME 04101

DATE: 04-04-06 SCALE: 1"=30'  
SHEET 6 OF 9

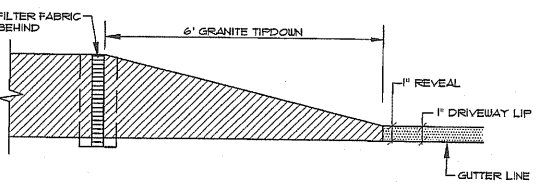
B.6



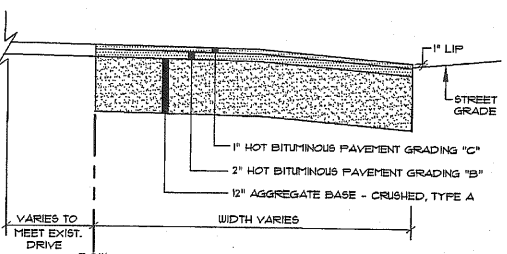
**MINOR RESIDENTIAL STREET SECTION**  
NOT TO SCALE



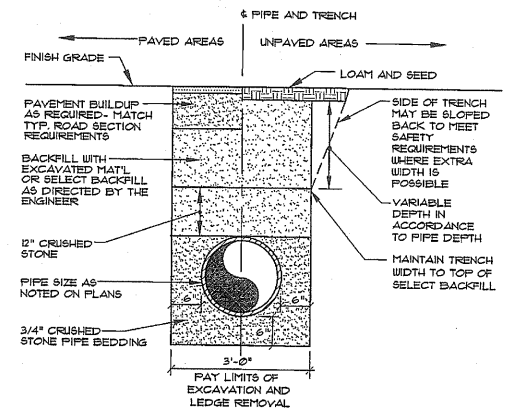
**VERTICAL GRANITE CURB**  
NOT TO SCALE



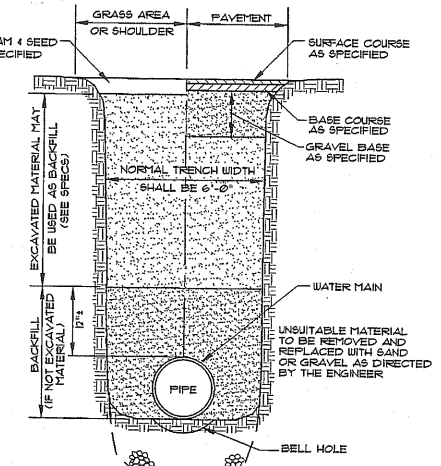
**TYPICAL TIPDOWN CURB INSTALLATION**  
NOT TO SCALE



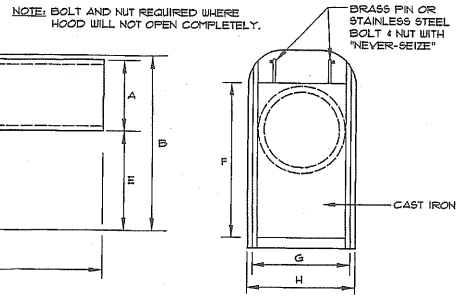
**BITUMINOUS DRIVEWAY CONSTRUCTION**  
NOT TO SCALE



**TYP. TRENCH SECTION WITHIN CITY R.O.W.**  
NOT TO SCALE



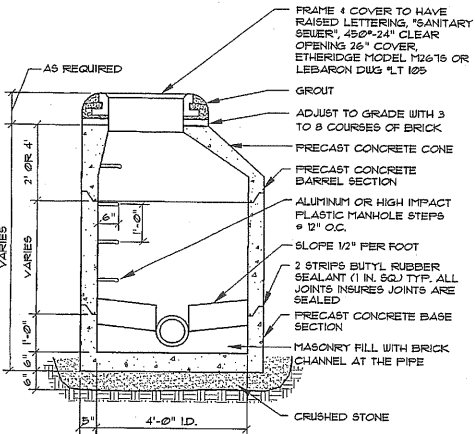
**SECTION THRU EARTH TRENCH**  
NOT TO SCALE



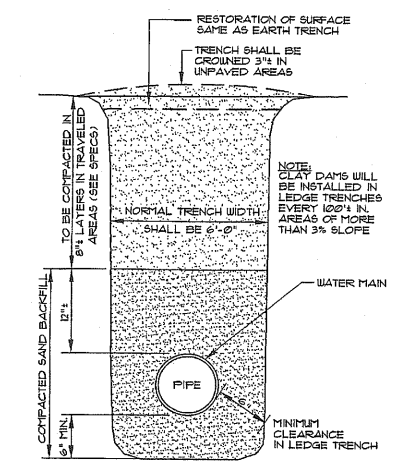
SIZE	A	B	C	D	E	F	G	H
6 IN.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	11 1/4"
8 IN.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	13 3/8"
10 IN.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	15 3/8"
12 IN.	11 1/2"	17"	17 1/2"	8"	5 1/2"	17"	12 1/2"	18 3/8"

NOTE: CONTRACTOR SHALL UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY, OR AN APPROVED EQUIVALENT AS SUPPLIED BY THE LEBARON FOUNDRY, MODEL \* L, 262 "STANDARD CATCH BASIN TRAP"

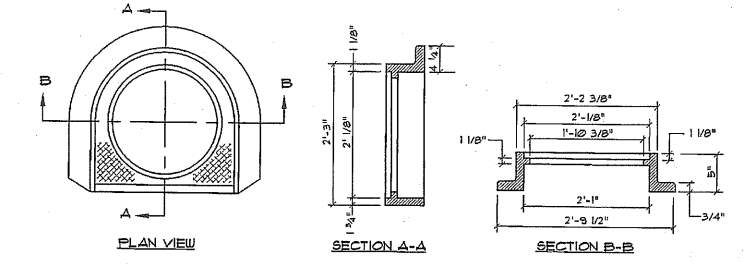
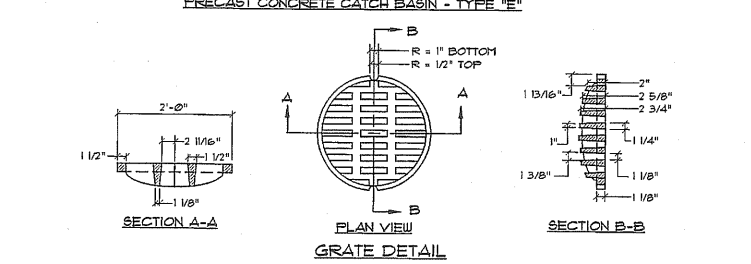
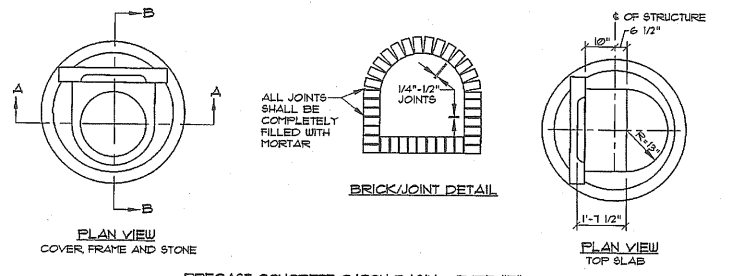
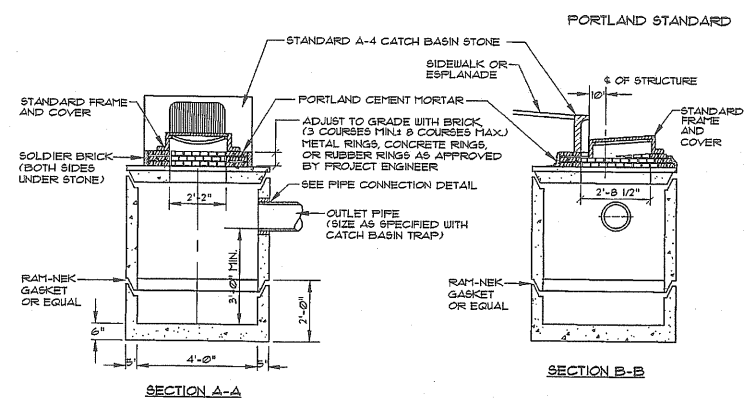
**CASCO TRAP**  
NOT TO SCALE



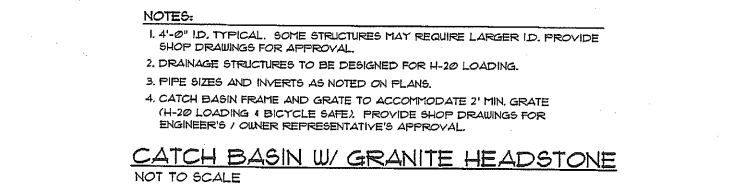
**PRECAST MANHOLE**  
NOT TO SCALE



**SECTION THRU LEDGE TRENCH**  
NOT TO SCALE



**PRECAST CONCRETE CATCH BASIN - TYPE "E"**



**CATCH BASIN W/ GRANITE HEADSTONE**  
NOT TO SCALE

**GENERAL NOTES FOR MANHOLES AND CATCH BASINS**

- ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC. C-418-61
- SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
- ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK MASONRY, SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK, AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
- CASTINGS SHALL CONFORM TO ASTM DESIGNATION A46-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TIGHT BUT NOT BRITTLE.
- MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
- STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED PICK HOLE.
- EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

**AS-BUILT NOTE:**

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REV.	BY:	DATE:	STATUS:
J	J	01-27-10	SUBMIT AS-BUILTS TO CITY
K	J	07-23-08	ISSUED FOR PLANNING BOARD APPROVAL
L	J	07-23-08	ISSUED FOR PLANNING BOARD APPROVAL
M	J	06-11-08	REVISED PER CITY OF PORTLAND COMMENTS
N	J	05-14-08	REVISED PER PWD COMMENTS
O	J	04-09-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
P	J	11-30-07	ISSUED TO CLIENT FOR REVIEW
Q	J	09-19-05	ISSUED TO CLIENT FOR REVIEW

**Sebago Technics**  
Engineering Expertise You Can Build On.  
One Chatham Street  
Westbrook, ME 04098-1339  
Tel: (207) 888-0277

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN  
05207 N/A DDB DDB DDB DDB

**DETAILS**  
OF:  
TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
TRUE STREET NEIGHBORHOOD  
41 TRUE STREET  
PORTLAND, MAINE 04101

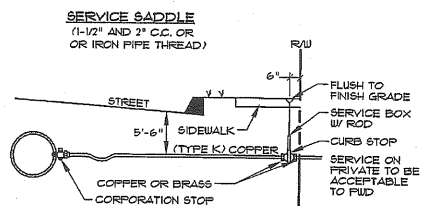
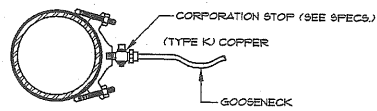
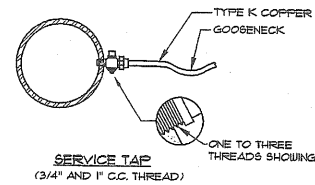
DATE: 9-19-05 SCALE: AS NOTED

**SHEET 7 OF 9**

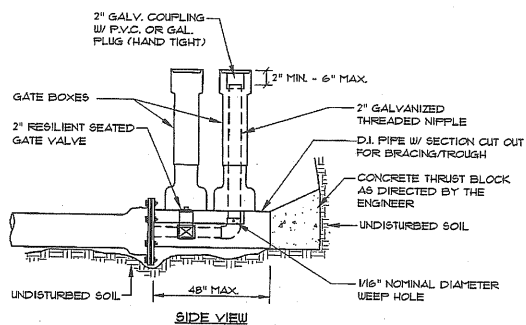
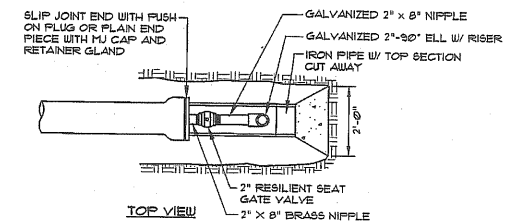
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

052070-08.dwg, TAB:01

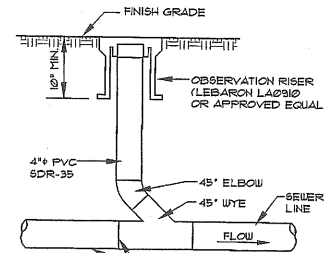




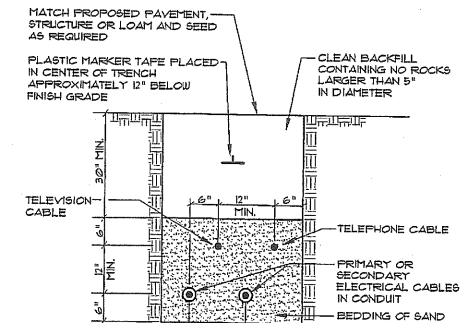
**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



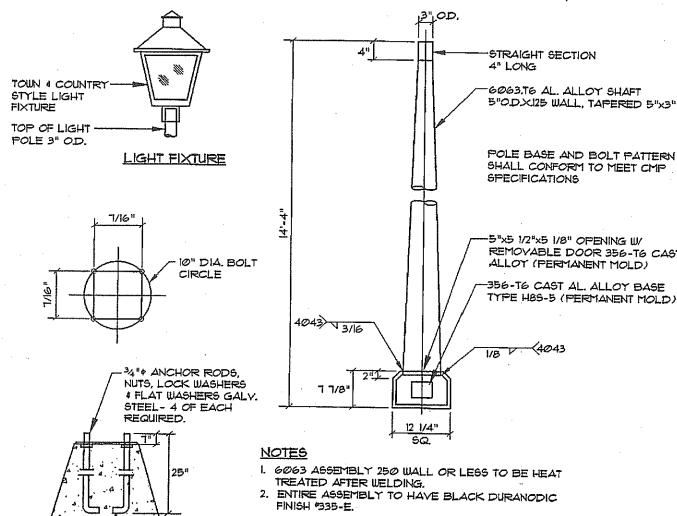
**STANDARD 2" BLOW-OFF**  
NOT TO SCALE



**SEWER CLEANOUT**  
NOT TO SCALE



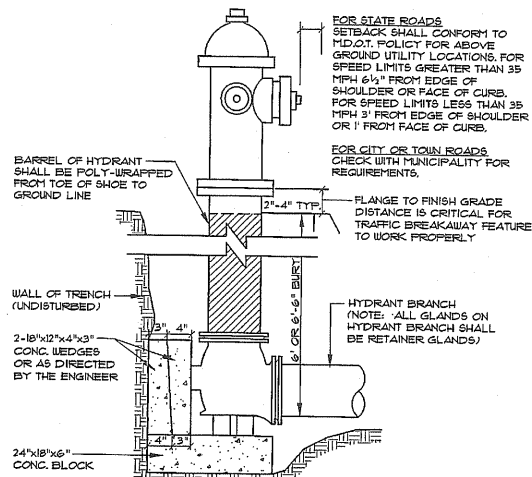
**TYPICAL UNDERGROUND CABLE INSTALLATION**  
NOT TO SCALE



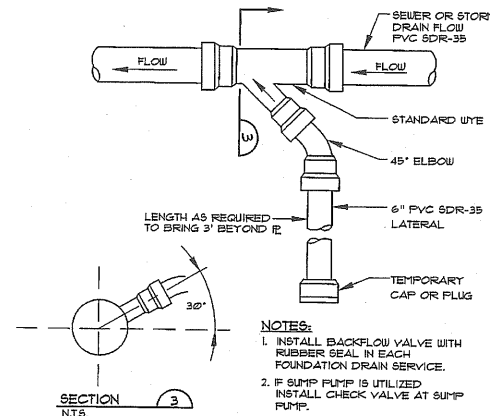
**NOTES**  
1. 6063 ASSEMBLY 250 WALL OR LESS TO BE HEAT TREATED AFTER WELDING.  
2. ENTIRE ASSEMBLY TO HAVE BLACK DURANODIC FINISH #335-E

**INSTALLATION SPECIFICATIONS:**  
1. 18\"/>

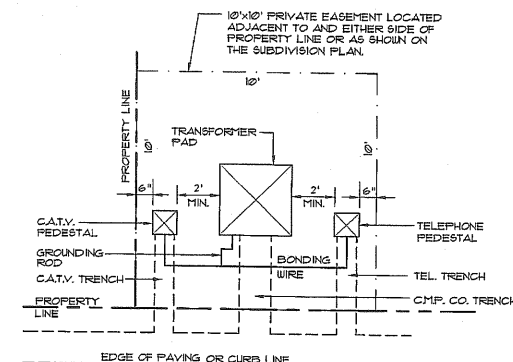
**TYPICAL LIGHT POLE**  
NOT TO SCALE



**TYPICAL HYDRANT INSTALLATION**  
NOT TO SCALE



**SEWER / FOUNDATION DRAIN SERVICE CONNECTION**  
NOT TO SCALE



**TRANSFORMER DETAIL**  
NOT TO SCALE

B.7

RAM	01-27-10	SUBMIT AS-BUILTS TO CITY
RAM	7-23-08	ISSUED FOR PLANNING BOARD APPROVAL
RAM	7-22-08	REVISED PER CITY STAFF COMMENTS
G	6-4-08	REVISED PER CITY OF PORTLAND COMMENTS
F	5-14-08	REVISED PER PWD COMMENTS
E	4-9-08	ISSUED TO CITY FOR SUBDIVISION PLAN REVIEW
D	11-30-07	ISSUED TO CLIENT FOR REVIEW
A	9-19-05	ISSUED TO CLIENT FOR REVIEW
REV:	DATE:	STATUS:

**Sebago Technics**  
Engineering Excellence You Can Build On  
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Westbrook, Me 04098-1339  
Tel (207) 886-0277

PROJECT NO. | FIELD BOOK | DESIGN | CHKD | DRAWN  
05207 | N/A | | |

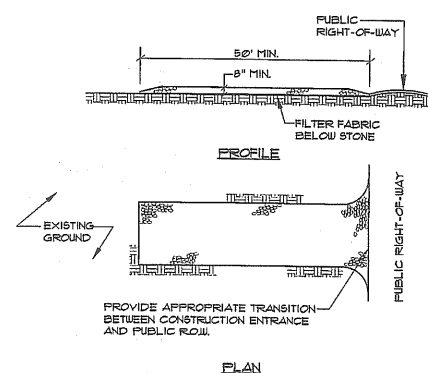
**DETAILS**  
OF:  
TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
TRUE STREET NEIGHBORHOOD  
41 TRUE STREET  
PORTLAND, MAINE 04101

DATE	SCALE
9-19-05	AS NOTED

**AS-BUILT NOTE:**

NO AS-BUILT REVISIONS THIS SHEET. REFER TO A PLAN TITLED AS-BUILT SURVEY OF TRUE STREET SUBDIVISION FOR TRUE STREET NEIGHBORHOOD, BY SEBAGO TECHNICS, INC. DATED 12-03-03 ON FILE WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT. THE SCOPE OF THE AS-BUILT SURVEY IS LIMITED TO LOCATING THE PUBLIC INFRASTRUCTURE CONSTRUCTED IN AND ALONG TRUE STREET AND OCEAN AVENUE AS PART OF THE TRUE STREET SUBDIVISION. SUCH INFRASTRUCTURE IS LIMITED TO EDGE OF PAVEMENT, CURBING AND PUBLIC UTILITIES.

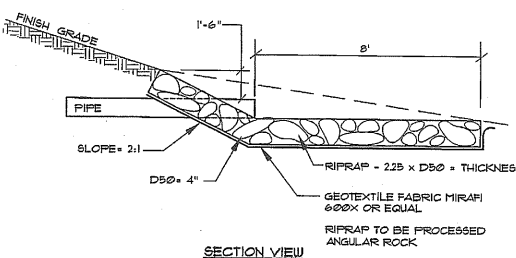
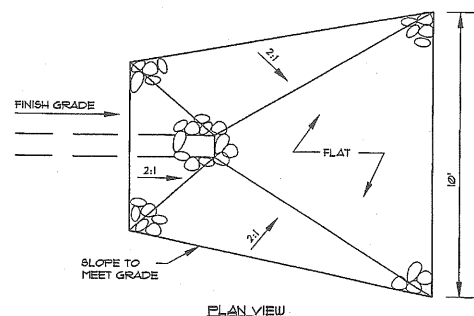
B.8



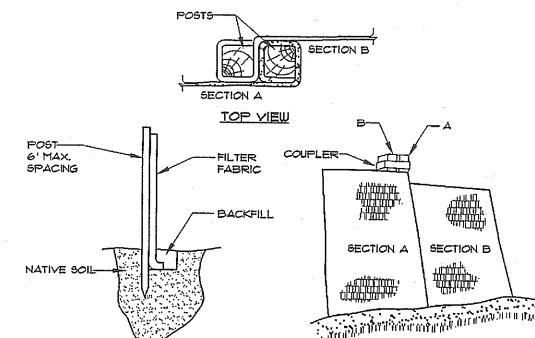
**NOTES:**

1. STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
2. LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
3. THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
5. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



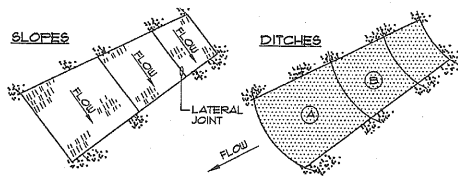
**RIPRAP APRON**  
NOT TO SCALE



**INSTALLATION:**

1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
5. JOIN SECTION AS SHOWN ABOVE.
6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

**FILTER BARRIER**  
NOT TO SCALE



**NOTES:**

1. BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.
2. FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED. OVERLAP B OVER A.
3. LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS. STAPLE 18" ON CENTER.
4. STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
5. WIRE STAPLES TO BE MIN. OF #11 WIRE 6" LONG AND 1-1/2" WIDE.
6. USE NORTH AMERICAN GREEN DS 150 OR APPROVED EQUAL.

**EROSION CONTROL BLANKET**  
NOT TO SCALE

**EROSION AND SEDIMENTATION CONTROL PLAN**

**A. PRE-CONSTRUCTION PHASE**

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, FILTER FABRIC FENCINGS WILL BE STAKED ACROSS THE SLOPES ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES SHALL BE COMPLETED IN ACCORDANCE WITH ESTABLISHED BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN 4 DETAILS IN THE PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION.

PRIOR TO ANY CLEARING OR GRUBBING, A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT THE INTERSECTION WITH THE PROPOSED ACCESS DRIVE AND THE EXISTING ROADWAY TO AVOID TRACKING OF MUD, DUST AND DEBRIS FROM THE SITE.

PRIOR TO CONSTRUCTION OF THE WORK THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION OF THIS PROJECT.

**B. CONSTRUCTION AND POST-CONSTRUCTION PHASE**

1. AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN FOURTEEN (14) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED AT THE RATE OF 2 BALES PER 1000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSSED WATERWAYS (I.E. ROADWAY DITCHES) AND IN SLOPES WHICH EXCEED 5% AND ANY DISTURBED AREAS WITHIN 100' OF WETLANDS OR STREAMS.

IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ALL DISTURBED AREAS SHALL BE SEEDDED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1000 SF. TO PROVIDE WINTER PROTECTION. WINTER SEEDINGS SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSSED WATERWAYS ON SLOPES EQUAL TO OR GREATER THAN 15%, AND ANY DISTURBED AREAS WITHIN 100' OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE APPLIED FOR ADDITIONAL WINTER PROTECTION ALONG SIDE SLOPES OF GRASSSED WATERWAYS AND IN ALL AREAS EQUAL TO OR GREATER THAN 5% SLOPE.

DURING WINTER CONDITIONS, AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN SEVEN (7) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED TO PROVIDE A MINIMUM UNIFORM MULCH DEPTH OF 4". THE APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE.

ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDDED WITH RYE AT 3 LBS./1000 SF. AND MULCHED, AND RE-USED AS REQUIRED. SILTATION FENCINGS SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND INSPECTING ENGINEER.

ALL SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSPECTED BEFORE AND AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.

A CONSTRUCTION ENTRANCE SHALL BE BUILT AT THE INTERSECTION OF THE EXISTING ROAD AND THE ACCESS DRIVE. ROADWAY AREAS SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS.

STONE CHECK DAMS MAY BE REMOVED ONLY AFTER THE ROADWAYS ARE PAVED AND THE VEGETATED SWALES ARE ESTABLISHED WITH AT LEAST 85% TO 90% OF VIGOROUS PERENNIAL GROWTH.

ALL AREAS SHALL BE SEEDDED AND STABILIZED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.

VEGETATION PLAN REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OF THE ROADWAY IMPROVEMENTS. DISTURBED AREAS SHALL ALSO BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. SEE MULCHING REQUIREMENTS IN SECTION B(1A) ABOVE. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE SEEDDED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1000 SQ. FT. TO PROVIDE WINTER PROTECTION. SEEDDED AREAS SHALL BE COVERED WITH EROSION CONTROL MESH. SEE WINTER PROTECTION REQUIREMENTS IN SECTION B (1B) ABOVE.

**REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:**

1. FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.

2. SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TEST SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14 DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS, SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:

ITEM	APPLICATION RATE
10-20-20 FERTILIZER	18.4 LB./1000 SF
(N-P2O5-K2O) OR EQUAL	
GROUND LIME/STONE (50% CALCIUM + MAGNESIUM OXIDE)	158 LB./1000 SF

3. FOLLowing SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEEDDED AT A RATE OF 3 LBS./1000 SF. WITH A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYEGRASS, 20% ANNUAL RYEGRASS AND 5% WHITE DUTCH CLOVER.

4. EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISH SEEDDED AREAS AS SPECIFIED ON THE DESIGN PLANS.

5. ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.

6. THE INSPECTING ENGINEER AT HIS/HER DISCRETION MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AND/OR SUPPLEMENTAL VEGETATIVE PROVISIONS TO MAINTAIN STABILITY OF EARTHWORKS AND FINISH GRADED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY SUPPLEMENTAL MEASURES AS DIRECTED BY THE INSPECTING ENGINEER. FAILURE TO COMPLY WITH THE ENGINEER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.

CONSTRUCTION SCHEDULE  
SITE IMPROVEMENTS WILL MOST LIKELY BEGIN IN SUMMER 2008 DEPENDING UPON FINAL PROJECT APPROVAL. THE FOLLOWING SCHEDULE IS ANTICIPATED FOR THE CONSTRUCTION OF THE ROADWAY IMPROVEMENTS.

ESTIMATED CONSTRUCTION TIME:	3 MONTHS
1. EROSION CONTROL MEASURES PLACED.	WEEK 1
2. SITE CLEARING AND GRUBBING.	WEEK 1 - WEEK 2
3. INSTALLATION OF CONSTRUCTION ACCESS.	WEEK 2 - WEEK 3
4. UTILITY & DRAINAGE IMPROVEMENTS	WEEK 2 - WEEK 4
5. ROADWAY CONSTRUCTION.	WEEK 4 - WEEK 12
6. MULCH SPREAD FOR FALL/WINTER EROSION CONTROL.	OCT. 15 OF CONSTRUCTION YEAR
7. START FINAL SEEDINGS ON PREPARED AREAS (DURING GROWING SEASON).	WEEK 5
8. WEEKLY MONITORING OF VEGETATIVE GROWTH.	WEEK 6
9. RE-SEEDING OF AREAS, IF NEEDED.	WEEK 6
10. REMOVAL OF EROSION CONTROL DEVICES.	UPON FINAL PROJECT COMPLETION

HOME CONSTRUCTION ON INDIVIDUAL LOTS MAY BEGIN ONCE THE ROADWAY BASE HAS BEEN SUFFICIENTLY CONSTRUCTED TO ALLOW VEHICLE ACCESS TO THE LOTS. HOME CONSTRUCTION MAY CONTINUE BEYOND THE ESTIMATED COMPLETION DATE FOR ROADWAY CONSTRUCTION. DISTURBED AREAS ON INDIVIDUAL LOTS SHALL ALSO BE SUBJECT TO THE EROSION & SEDIMENTATION CONTROL PROVISIONS CONTAINED HEREIN.

DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER, DEPENDING ON CONSTRUCTION PROGRESS.

INSPECTIONS/MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PERFORM REPAIRS AS NEEDED TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURE. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

DATE	BY	STATUS
01-27-10	RAM	SUBMIT AS-BUILT TO CITY
01-27-10	RAM	ISSUED FOR PLANNING BOARD APPROVAL
01-27-10	RAM	ISSUED FOR PLANNING BOARD APPROVAL
01-27-10	RAM	ISSUED PER CITY OF PORTLAND COMMENTS
01-27-10	RAM	REVISED PER PWD COMMENTS
01-27-10	RAM	ISSUED TO CITY FOR SUBMISSION PLAN REVIEW
01-27-10	RAM	ISSUED TO CITY FOR REVIEW
01-27-10	RAM	ISSUED TO CLIENT FOR REVIEW

**Sebago Technics**  
Engineering Expertise You Can Build On  
One Cabot Street  
Westbrook, Me 04098-1339  
Tel (207) 858-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
05207 N/A

**DETAILS**  
OF:  
TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR:  
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41 TRUE STREET  
PORTLAND, MAINE 04101

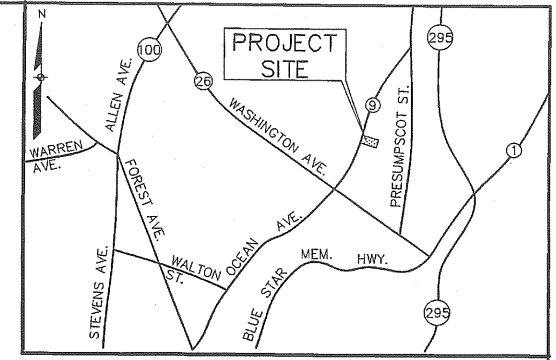
**AS-BUILT NOTE:**

NO AS-BUILT REVISIONS THIS SHEET. REFER TO A PLAN TITLED AS-BUILT SURVEY OF TRUE STREET SUBDIVISION FOR TRUE STREET NEIGHBORHOOD, BY SEBAGO TECHNICS, INC. DATED 12-29-03 ON FILE WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT. THE SCOPE OF THE AS-BUILT SURVEY IS LIMITED TO LOCATING THE PUBLIC INFRASTRUCTURE CONSTRUCTED IN AND ALONG TRUE STREET AND OCEAN AVENUE AS PART OF THE TRUE STREET SUBDIVISION. SUCH INFRASTRUCTURE IS LIMITED TO EDGE OF PAVEMENT, CURBING AND PUBLIC UTILITIES.

DATE	SCALE
9-19-05	AS NOTED



B.9



LOCATION MAP N.T.S.

GENERAL NOTES:

- APPLICANT AND RECORD OWNERS:  
 A. TODD AND KELLY SWIPER, 41 TRUE STREET TRUE STREET NEIGHBORHOOD  
 B. MARC GIGUERE, 693 OCEAN AVENUE  
 C. NICK AND AMANDA KENT, 691 OCEAN AVENUE  
 D. STACEY DEAN AND ROYCE GOULD, 681 OCEAN AVENUE
- DEED REFERENCES:  
 12400/151 (GIGUERE), 16270/259 (DEAN), 6863/1 (KENT), 21518/160, 12907/330, 12907/332 (SWIPER).
- TAX ASSESSORS REFERENCE: M424 L A-3 (GIGUERE), M424 L A-28 (DEAN), M424 L A-4 (KENT), M424 L A-5, M424 L A-6, M424 L A-30 (SWIPER).
- PLAN REFERENCES:  
 A. TRUE STREET, EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 29, 2005 BY R.W. EATON ASSOCIATES, 58 PLEASANT STREET, WESTBROOK, MAINE 04092.  
 B. TRUE STREET, SUBDIVISION PLAN, REVISED SEPTEMBER 29, 2005 BY R.W. EATON ASSOCIATES, 58 PLEASANT STREET, WESTBROOK, MAINE 04092.  
 C. SUBDIVISION PLAN SET OF TRUE STREET SUBDIVISION LAST REVISED JUNE 4, 2008 BY SEBAGO TECHNICS INC RECORDED IN THE CORD IN PLAN BOOK 208 PAGE 461.
- TOTAL LOT AREA: 2.89 ACRES (ALL SUBJECT PARCELS)
- THIS AS-BUILT PLAN IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS, INC. PERFORMED IN NOVEMBER AND DECEMBER OF 2009. THE UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE BASED UPON FIELD LOCATION OF SURFACE STRUCTURES AND DESIGN INFORMATION CONTAINED WITHIN PLAN REFERENCE C.
- THE AS-BUILT ELEVATIONS SHOWN ARE ON THE ORIGINAL SITE DATUM PER PLAN REFERENCE A. THE CITY OF PORTLAND DATUM PROVIDED BY THE PUBLIC SERVICES ENGINEERING DIVISION ARCHIVIST, AND ESTABLISHED USING DIFFERENTIAL LEVELING IS 0.33 FEET ABOVE THE ORIGINAL SITE BENCHMARKS, SHOWN ON PLAN REFERENCE A & B AND USED FOR SITE DESIGN ON PLAN REFERENCE C. THE CITY OF PORTLAND DATUM IS BASED ON WASHINGTON AVE. BENCHMARK CARD DATED DECEMBER 21, 1931, DESCRIBING AN 8"x8" GRANITE BENCHMARK MONUMENT ON WASHINGTON AVE. HAVING AN ELEVATION OF 20.525 FEET (CITY DATUM), DESCRIBED AS "NORTHERLY SIDE AT FIRST ANGLE NORTHERLY OF PRESUMPSCOT STREET, BENCHMARK ON COPPER BOLT IN MONUMENT ON 3 FOOT OFFSET".
- BEARINGS & NORTH ORIENTATION SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE USING (HARN) DATUM. CONTOURS & ELEVATIONS SHOWN HEREON ARE BASED UPON PLAN REFERENCE A. SEE NOTE 6 FOR DIFFERENCES BETWEEN SITE DATUM AND CITY DATUM.

REV.	DATE	BY	STATUS
1	12/15/09	TFM	AS-BUILT ISSUED

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 Engineering. Expertise. You Can Build On.  
 One Chubb Street  
 Westbrook, Me 04091-1939  
 Tel (207) 938-0277  
 www.sebago-technics.com

PROJECT NO. 685  
 DESIGN CHKD TFM PLS  
 09/207

PROPERTY LINE DATA

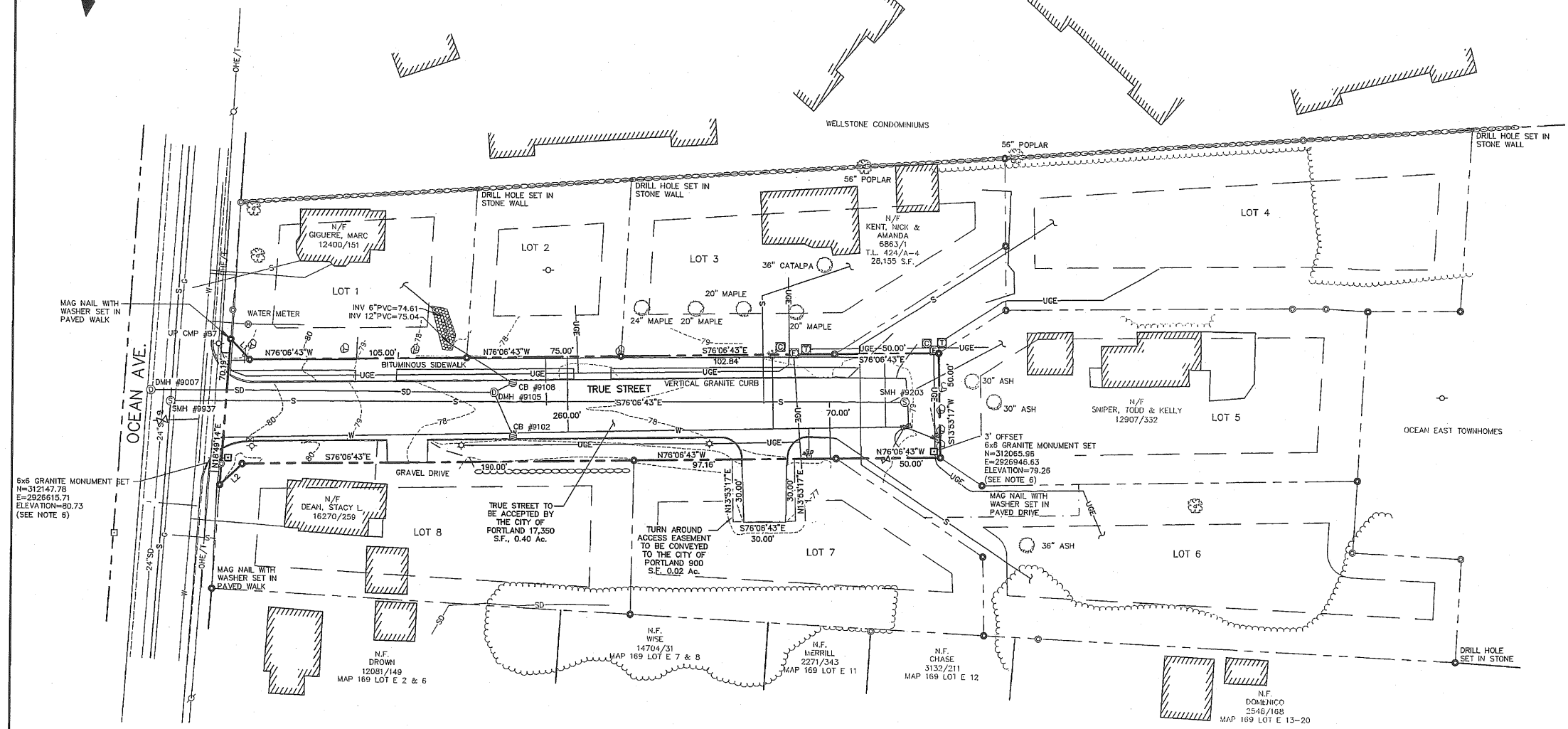
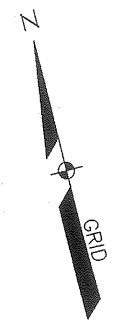
LINE	BEARING	LENGTH
L1	N28°38'45"W	13.52
L2	S61°21'15"W	14.74

STRUCTURE DATA

STRUCTURE	RIM	INVERT	ELEVATION	STATION	OFFSET
DMH #9105	77.65	IN=12"PVC	73.90	1+30	8'LFT
		OUT=15"PVC	73.75		
CB #9108	77.16	IN=12"PVC	73.26	1+40	13'LFT
		OUT=12"PVC	74.01		
CB #9102	77.17	OUT=12"PVC	73.72	1+40	13'RFT
SMH #9203	78.81	CL OF TRENCH	74.31	3+28	2'LFT
SMH #9937	80.81	CL OF TRENCH	70.55	3+28	2'LFT
DMH #9007	80.44	IN=24"RCP	71.34	OFFSITE	OFFSITE
		OUT=15"PVC	71.57	OFFSITE	OFFSITE

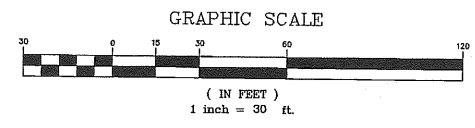
CENTER LINE GRADES

STATION	AS-BUILT	PROPOSED
0+00	80.32	81.13
0+50	79.43	80.12
1+00	78.21	78.57
1+50	77.88	78.21
2+00	78.12	78.58
2+50	78.48	78.95
3+00	78.85	79.33
END	78.81	79.45



ASBUILT LEGEND

SYMBOL	DESCRIPTION
—	PROPERTY LINE
□	6"x6" GRANITE MONUMENT
□	5/8" REBAR SET
—	EASEMENT
—	BUILDING
—	EDGE PAVEMENT
—	GRAVEL ROAD
—	CURBLINE
—	TREELINE
—	CONTOURS
—	TRANSFORMER PAD
—	GATE VALVE
—	LIGHT POLE
—	UTILITY POLE
—	GUY WIRE
—	HYDRANT
—	CATCH BASIN
—	MANHOLE
—	GAS
—	STORM DRAIN
—	WATER
—	SEWER
—	OVERHEAD ELEC. & TEL.
—	UNDERGROUND ELEC. & TEL.
—	RIPRAP
—	DECIDUOUS TREE
—	CONIFEROUS TREE
—	BOULDER



AS-BUILT SURVEY  
 OF:  
 TRUE STREET SUBDIVISION  
 TRUE STREET  
 PORTLAND, MAINE  
 FOR:  
 TRUE STREET NEIGHBORHOOD  
 41 TRUE STREET  
 PORTLAND, MAINE

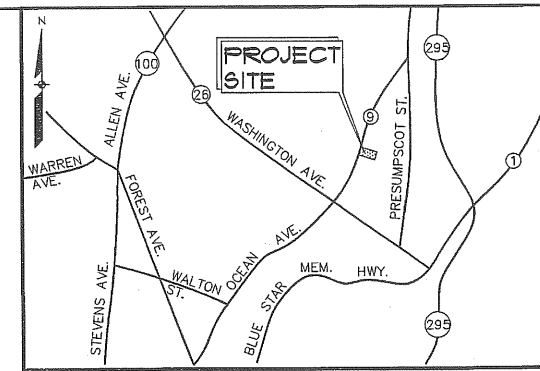
DATE 12/09/09 SCALE 1" = 30'

SHEET 1 OF 1

05207AB.dwg, TAB:AB (30)

EASEMENT LINE DATA		
LINE	BEARING	LENGTH
L3	N16°06'43"W	75.16
L4	S13°53'11"W	15.00
L5	S14°20'00"W	30.91
L6	N13°53'11"E	30.00
L7	S16°06'43"E	30.00
L8	N13°53'11"E	30.00

PROPERTY LINE DATA		
LINE	BEARING	LENGTH
L1	N28°38'45"W	13.52
L2	S61°21'15"W	14.74

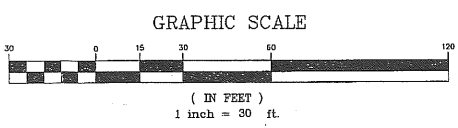


LOCATION MAP N.T.S.

**GENERAL NOTES:**

- APPLICANT AND RECORD OWNERS:  
A. TODD AND KELLY SNIPER, 41 TRUE STREET TRUE STREET NEIGHBORHOOD  
B. MARK GIGUERE, 633 OCEAN AVENUE  
C. NICK AND AMANDA KENT, 691 OCEAN AVENUE  
D. STACEY DEAN AND ROYCE GOULD, 681 OCEAN AVENUE
  - DEED REFERENCES AT THE GUMBERLAND COUNTY REGISTRY OF DEEDS (CORD):  
0400/51 (GIGUERE), 16710/259 (DEAN), 6863/1 (KENT),  
21916/160, 12507/330, 12307/332 (SNIPER).
  - TAX ASSESSORS REFERENCE: M424 L A-3 (GIGUERE), M424 L A-23 (DEAN), M424 L A-4 (KENT),  
M424 L A-5, M424 L A-6, M424 L A-30 (SNIPER).
  - PLAN REFERENCES:  
A. TRUE STREET, EXISTING CONDITIONS PLAN, REVISED SEPTEMBER 23, 2005 BY RUI EATON ASSOCIATES, 58 PLEASANT STREET, WESTBROOK, MAINE 04092  
B. TRUE STREET, SUBDIVISION PLAN, REVISED SEPTEMBER 23, 2005 BY RUI EATON ASSOCIATES, 58 PLEASANT STREET, WESTBROOK, MAINE 04092
  - WETLANDS SHOWN AS DELINEATED BY MARK CENCI IN APRIL 2005.
  - TOTAL LOT AREA: 229 ACRES (ALL SUBJECT PARCELS)
  - ZONING DISTRICT: R-5 RESIDENTIAL ZONE
  - SPACE AND BULK CRITERIA (FOR RESIDENTIAL, NON-FRUD):  
MIN. LOT SIZE: 6,000 SF.  
MIN. LOT AREA PER DU: 3,000 SF.  
EXISTING NO. OF DU: (LOT 3 & 4 TWO-FAMILY) = 10  
PROPOSED NO. OF DU: (LOT 1 TWO-FAMILY) = 11  
MIN. STREET FRONTAGE: 50 FT.  
MIN. STREET FRONTAGE: 50 FT.  
MIN. REAR YARD:  
1. PRINCIPAL OR ACCESSORY: 20 FT.  
2. NO GREATER THAN AVG. DEPTH OF FRONT YARDS ON EITHER SIDE OF THE LOT  
3. FOR LOTS OF RECORD AS OF 6/5/97 THAT ARE LESS THAN 100 FEET DEEP: 20% OF DEPTH  
MIN. REAR YARD:  
1. PRINCIPAL OR ATTACHED ACCESSORY WITH GROUND COVERAGE (G.C.) GREATER THAN 100 SF: 20 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF: 5 FT.  
MIN. SIDE YARD:  
1. PRINCIPAL OR ACCESSORY WITH G.C. GREATER THAN 100 SF:  
HEIGHT OF STRUCTURE: SETBACK  
A. 1 STORY: 8 FT.  
B. 1-1/2 STORY: 8 FT.  
C. 2 STORY: 12 FT.  
D. 2-1/2 STORY: 14 FT.  
2. ACCESSORY DETACHED, G.C. LESS OR = 100 SF: 5 FT.  
MIN. SIDE YARD ON SIDE STREET (PRINCIPAL OR ACCESSORY): 15 FT.  
MAX. LOT COVERAGE: 46%  
MAX. STRUCTURE HEIGHT:  
1. PRINCIPAL OR ATTACHED ACCESSORY: 35 FT.  
2. ACCESSORY DETACHED: 18 FT.
  - WAIVERS:  
A. THE APPLICANTS REQUEST A WAIVER OF THE LAND USE CODE, CHAPTER 14, ARTICLE 4, SEC. 14-49B, SUBSECTION B, PARAGRAPH A REQUIRING THE CONSTRUCTION OF SIDEWALKS IN A SUBDIVISION, SETBACK.
  - PROJECT IMPACTS:  
A. TOTAL DISTURBED AREA: 0.455 ACRES  
B. TOTAL IMPACTED WETLAND AREA: 4.32 SQ. FT.
  - THIS PLAN IS BASED SOLELY UPON A BOUNDARY SURVEY PERFORMED BY RUI EATON ASSOCIATES FOR PREPARATION OF PLANS REFERENCED IN NOTE 3 ABOVE.
- THE INTERIOR LOT COMPUTATIONS WERE COMPLETED BY SEBAGO TECHNICS, INC. UNDER THE SUPERVISION OF THE SIGNING PROFESSIONAL. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE WITH THE EXCEPTION THAT NO REPORT OF SURVEY HAS BEEN PREPARED, NO NEW LEGAL DESCRIPTION HAS BEEN PREPARED AND THAT THE PROPOSED MONUMENTATION SHOWN HEREON MAY OR MAY NOT BE SET BY THE SIGNING PROFESSIONAL OR SEBAGO TECHNICS.
- SUBJECT PARCELS ARE NOT WITHIN ANY FLOODPLAIN AND ARE CLASSIFIED AS ZONE 'X' PER FEMA MAP 230291 0007C.
  - BEARINGS & NORTH ORIENTATION SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE USING (HARN) DATUM. CONTOURS & ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.
- THE MAGNETIC NORTH ORIENTATION SHOWN HEREON IS BASED UPON PLANS REFERENCED IN NOTE 3 ABOVE.
- SEBAGO TECHNICS UTILIZED THE PROPERTY LINES DEPICTED ON PLANS REFERENCED IN NOTE 3 AND ROTATED THESE PROPERTY LINES ONTO GRID NORTH NAD 1983 MAINE WEST ZONE TO CONFORM WITH CITY OF PORTLAND SUBDIVISION PLAN REQUIREMENTS.
- EXISTING STRUCTURES ON LOTS 1, 3, 5 AND 8 ARE PRE-EXISTING NON-CONFORMING STRUCTURES REGARDING LOT LINES.
  - THE TREES AS SHOWN SHALL BE PROTECTED AS DESIGNATED ON THE LANDSCAPE PLAN, SHEET 6 OF 9. ANY OF THESE PROTECTED TREES LOST OR DAMAGED SHOULD BE REPLACED 'IN KIND' OR AS RECOMMENDED BY THE CITY PLANNING AUTHORITY.
  - THE GRAVEL EMERGENCY VEHICLE TURN AROUND ON LOT 4 (SHOWN ON SHEET 4) SHALL BE FOR EMERGENCY VEHICLE USE ONLY, AND SHALL BE PERMANENTLY MAINTAINED BY THE OWNERS OF LOT 4.

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CONIFEROUS TREE	---
---	TREELINE	---



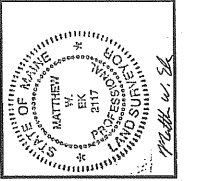
THIS PLAN IS AN AMENDMENT OF THE PLAN RECORDED IN THE CORD IN PLAN BOOK 208 PAGE 461 TO INCREASE THE NUMBER OF DWELLING UNITS WITHIN THE SUBDIVISION NOW ALLOWING LOT 1 TO HAVE A TWO-FAMILY DWELLING IN ADDITION TO THE LOT 3 & LOT 8 TWO-FAMILY DWELLINGS THAT EXIST CURRENTLY.

STATE OF MAINE  
RECEIVED \_\_\_\_\_ COUNTY SS REGISTRY OF DEEDS  
AT \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ AND RECORDED IN  
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTRAR

APPROVAL -  
CITY OF PORTLAND  
PLANNING BOARD

DATE \_\_\_\_\_  
CHAIRPERSON \_\_\_\_\_

B.10



NO.	REVISION	DATE	STATUS	ADDED MAXIMUM NUMBER OF UNITS
1		11-04-11	STATUS	
2				
3				
4				
5				
6				
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PROJECT NO. 05207  
FIELD BOOK DESIGN CHRD DRAWN  
RAM BRF

AMENDED SUBDIVISION PLAN  
OF:  
TRUE STREET SUBDIVISION  
TRUE STREET  
PORTLAND, MAINE  
FOR RECORD OWNER:  
TRUE STREET NEIGHBORHOOD  
PORTLAND, ME 04101

DATE 11-04-11 SCALE 1"=30'  
SHEET 1 OF 1