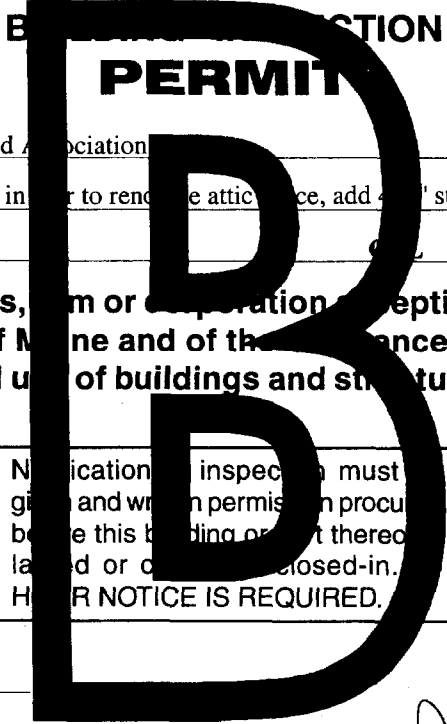


m # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
APR 07 2004
Permit Number: 040354
CITY OF PORTLAND



This is to certify that Sniper Todd R/R. A. Gould Association
is permission to Build full 30' shed dormer in order to remove the attic space, add 4' steel balcony on side
at 41 True St Permit Number 424 A005001

Provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Debbie Bourke 4/7/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0354	Issue Date: APR 07 2004	CBL: 424 A005001
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Location of Construction: 41 True St	Owner Name: Sniper Todd R	Owner Address: 41 True St CITY OF PORTLAND	Phone: 838-8656
Business Name:	Contractor Name: R. A. Gould Association, INC	Contractor Address: P O Box 843 Portland	Phone: 2076718958
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R5

Past Use: Single Family	Proposed Use: Single Family w/full shed dormer	Permit Fee: \$129.00	Cost of Work: \$11,800.00	CEO District: 4	20,000 #1
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Proposed Project Description: Build full 30' shed dormer in rear to renovate attic space, add 4'x8' steel balcony on side	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 1999
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Signature:	Signature: JMB 4/6/04
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: jmb	Date Applied For: 04/05/2004	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: JMB 4/1/04</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: JMB</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>41 True St.</u>		
Total Square Footage of Proposed Structure <u>32 SF balcony 366 - Dormer</u>		Square Footage of Lot <u>20,000 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>A-5</u>	Owner: <u>41 TRUE ST., PORT, TODD R. SNIPER</u>	Telephone: <u>438-8656</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>R.A. GOULD ASSOC. INC. P.O. B. 843, 04104 671-8958</u>	Cost Of Work: \$ <u>12,800</u> Fee: \$ <u>126.00</u>
Current use: <u>RESIDENTIAL</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>SAME</u> <u>f 4x8 balcony</u>		
Project description: <u>DORMER EXISTING ATTIC (ONE SIDE ONLY) FULL LENGTH</u>		
Contractor's name, address & telephone: <u>R.A. GOULD ASSOC. INC. 671-8958 P.O. B. 843, 04104</u>		
Who should we contact when the permit is ready: _____		
Mailing address: _____		
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:</p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Royce A. Gould</u>	Date: <u>4/6/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

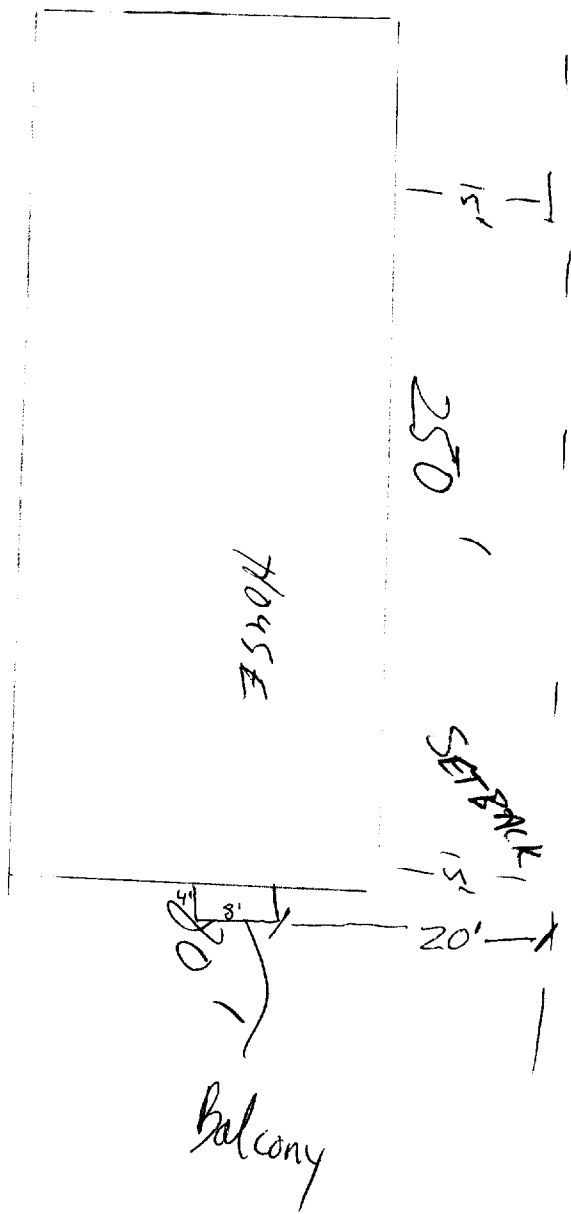
Rear

Plot Plan

Rear 20' Req ~~15'~~ shown to principal structure
Rear 20' Req 20' shown for Balcony (3rd FL)

R-5

Sec. 14-436 (b) allows
80% Expansion of 1st
Floor Foot print



Front

411 True St. 424-A-5

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

330 4/6
ROY
shed
Dormer
RS

Current Owner Information

Card Number	1 of 1
Parcel ID	424 A005001
Location	41 TRUE ST
Land Use	SINGLE FAMILY
Owner Address	SNIPER TODD R 41 TRUE ST PORTLAND ME 04103
Book/Page	12907/332
Legal	424-A-5 TRUE ST 41
	20000 SF

04-0354

Valuation Information

Land	Building	Total
\$34,860	\$77,070	\$111,930

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1898	Old Style	2	1499	0.459	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	6	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1970	20X22	C	A

Sales Information

Date	Type	Price	Book/Page
01/16/1997	LAND + BLDING	\$90,255	12907-332

Picture and Sketch

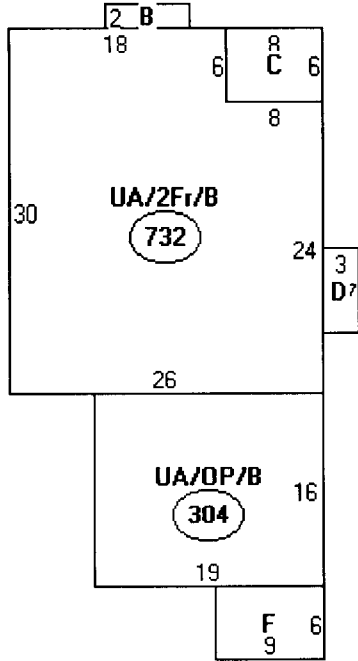
Picture Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

Rear



Front

Descriptor/Area

- A: UA/2Fr/B
732 sqft
- B: FBAY
14 sqft
- C: OFF
48 sqft
- D: FBAY
21 sqft
- E: UA/OP/B
304 sqft
- F: EP
54 sqft

1173
440 garage

1,613 SF
32 balcony

1,645 SF

OK

20,000
x 40%
8,000 SF

Sec. 14-436 (b)
80%
Expansion
360 SF

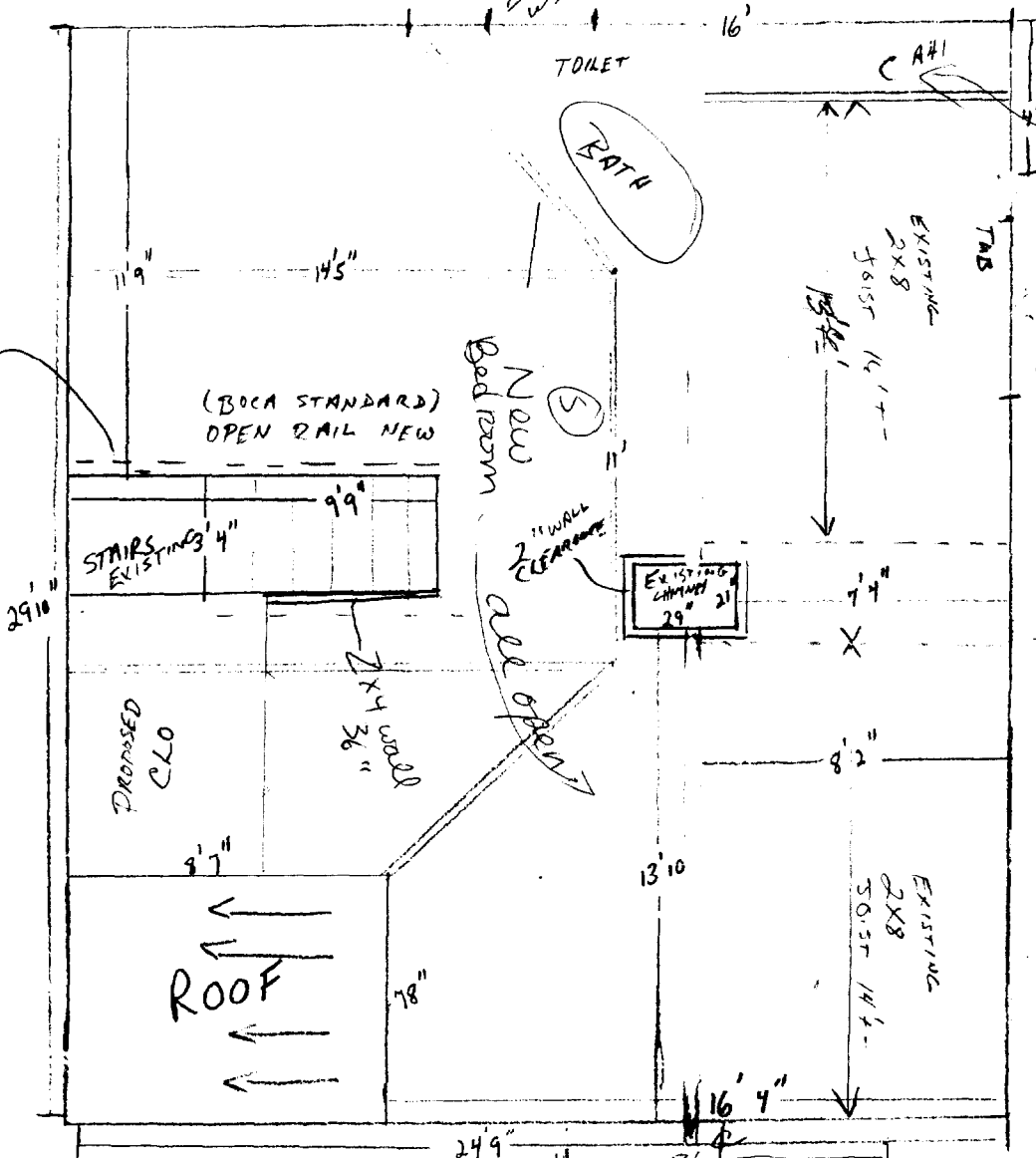
1173
x 80%
938 SF
31%
OK



INDICATES WALL BELOW

NEW - WINDOWS, DOOR
WALL PARTITIONS

REMOVE
EXISTING
WINDOW



36" HT
L 4" space

3rd Floor

FRONT

CW 135
Awning
60" above
FLOOR

(WINDOWS
TBD)

TW
2832

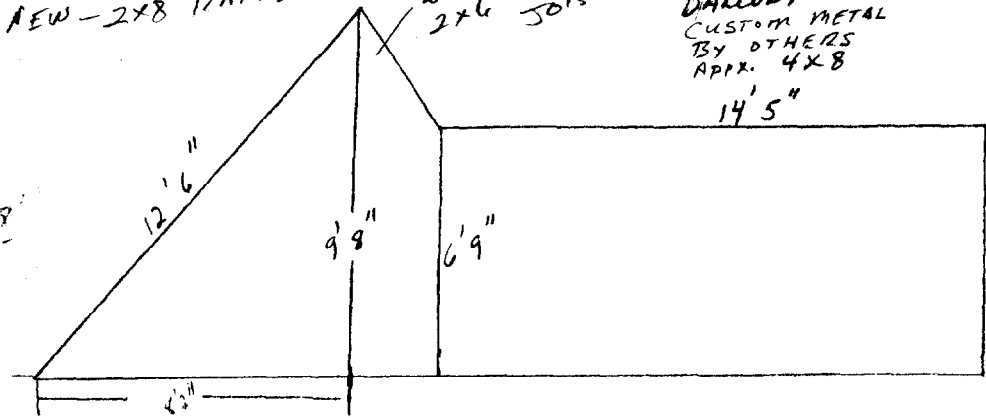
ASPHALT ROOF
9'-
NEW - 2x8 TRAFER

NEW
2x6 CEILING
JOIST

NEW 5'-6/8
PREMUM WOOD
PARTI DOOR

BALCONY
CUSTOM METAL
BY OTHERS
APPR. 4x8

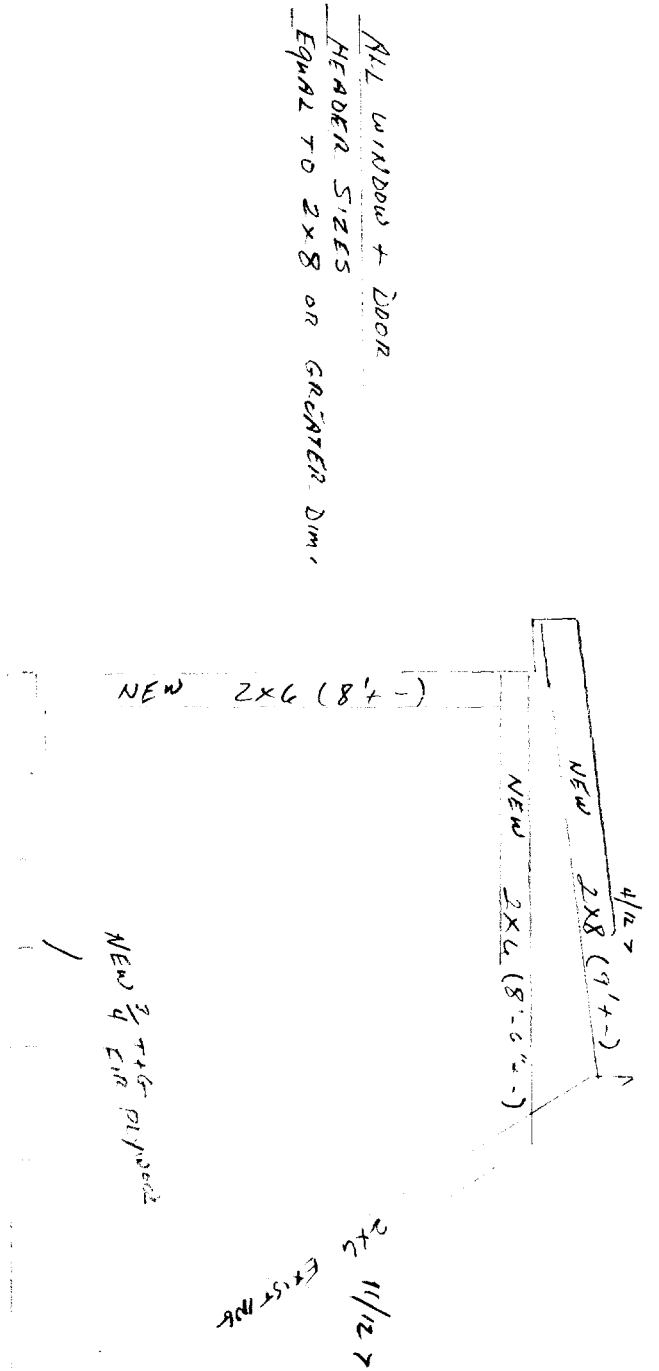
VINYL
SIDING



MAGNETIC
NORTH

SUPER - TRUE ST. (41)

3RD STORY
RECONSTRUCT
FRAME / C-SECT.



NOTE:

NEW 2x8
FROM JOIST
SIDE FRAME
TO EAVE
BT
3/4 ply both sides
glues & True fastened

(EXISTING)
FLOOR
JOISTS @ 16" OC + -
2x8 OLD DIM. LUMBER

BUILDING PERMIT INSPECTION PROCEDURES

Please call (874-8703 or 874-8693) to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.~~

NA **Footing/Building Location Inspection:** Prior to pouring concrete

J **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

✓ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

✓ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

✓ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X Todd Spies
Signature of Applicant/Designee

Date

Janice Bonita
Signature of Inspections Official

Date

CBL: 424-A5

Building Permit #: 04-0354