

1 TYPICAL ROOF DRIPLINE FILTER DETAIL

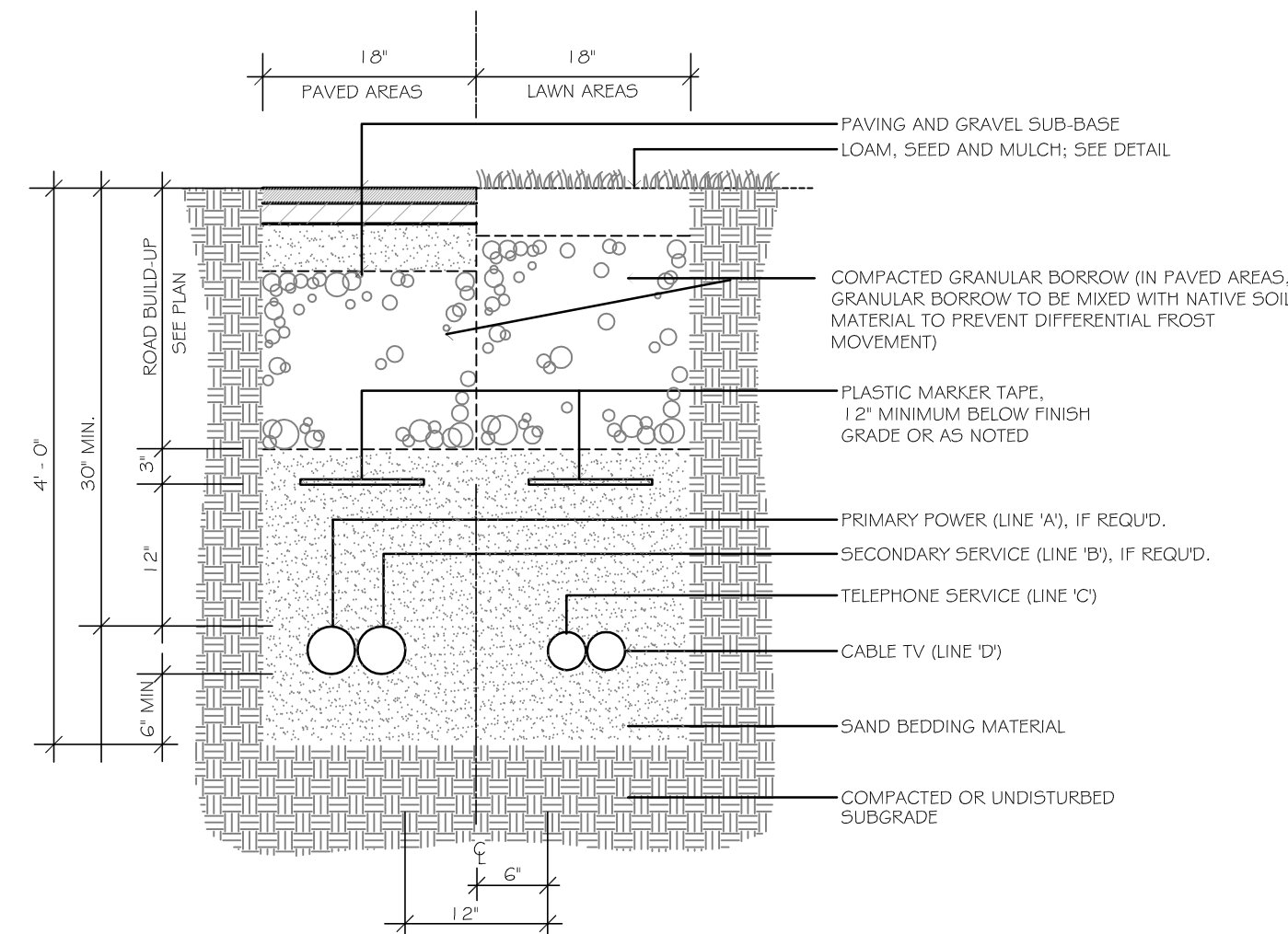
C-202

NOT TO SCALE

- NOTES:
- RESERVOIR COURSE SHALL CONSIST OF CLEAN WASHED MDOT 703.22 TYPE C UNDERDRAIN STONE.
 - TREATMENT FILTER MEDIA SHALL CONSIST OF A MINERAL SOIL AGGREGATE WITH BETWEEN 4 AND 7% FINES (PASSING THE #200 SIEVE). BACKFILL MATERIAL FOR THE FOUNDATION MAY BE USED IF IT MEETS THE ABOVE CRITERIA.
 - UNDERDRAIN BED SHALL CONSIST OF GRAVEL MEETING MDOT SPEC. 703.22, TYPE B.
 - THE DRIPLINE TRENCH SHALL EXTEND THE LENGTH OF THE BUILDING OR AREA OF ROOF TO BE TREATED.
 - THE DRIPLINE IS PART OF THE STORMWATER TREATMENT SYSTEM AND SHALL NOT BE REMOVED OR ALTERED IN ANY WAY.

CONSTRUCTION OVERSIGHT

INSPECTIONS BY A PROFESSIONAL ENGINEER SHALL CONSIST OF WEEKLY VISITS TO THE SITE TO INSPECT EACH OF THE ROOF DRIPLINE FILTERS UNDERDRAIN CONSTRUCTION, FILTER MATERIAL PLACEMENT, AND OVERFLOW FROM INITIAL GROUND DISTURBANCE TO FINAL STABILIZATION OF THE FILTER.

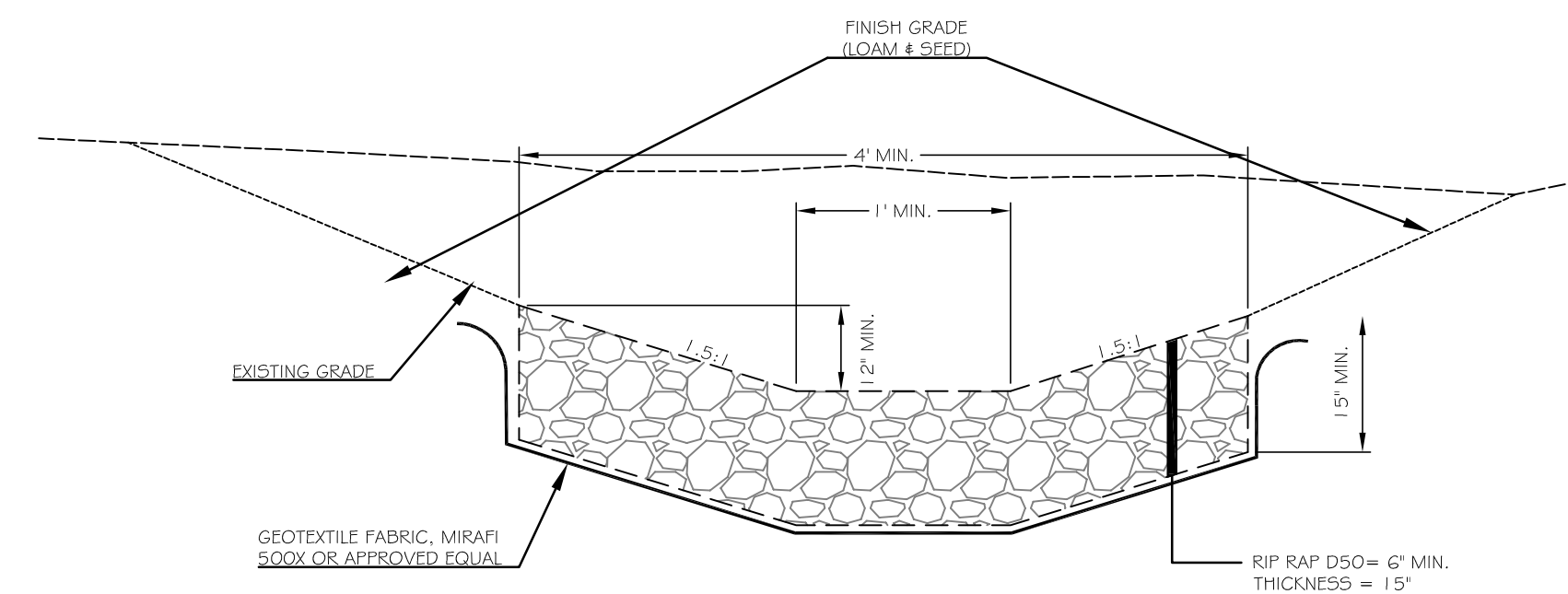


SERVICE	CONDUIT SIZE	CONDUIT TYPE	UTILITY
'A'	4"	SCHEDULE 40 F.V.C. ELECTRICAL GRADE	PRIMARY POWER
'B'	4"	SCHEDULE 40 F.V.C. ELECTRICAL GRADE	SECONDARY POWER
'C'	3"	SCHEDULE 40 F.V.C. ELECTRICAL GRADE	TELEPHONE
'D'	3"	SCHEDULE 40 F.V.C. ELECTRICAL GRADE	CATV

- NOTES:
- ALL WORK SHALL COMPLY WITH THE RESPECTIVE UTILITY COMPANY STANDARDS.
 - SEE UTILITIES PLANS FOR CONDUIT LOCATIONS.
 - CONTRACTOR TO PROVIDE 1/4" POLYPROPYLENE PULL ROPES IN ALL CONDUITS.
 - CONTRACTOR SHALL VERIFY CONDUIT SIZE WITH APPLICABLE UTILITY COMPANIES.

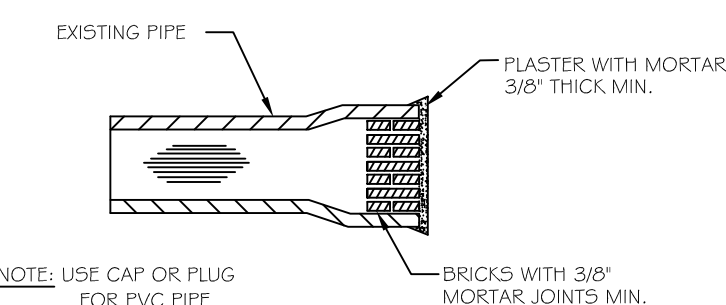
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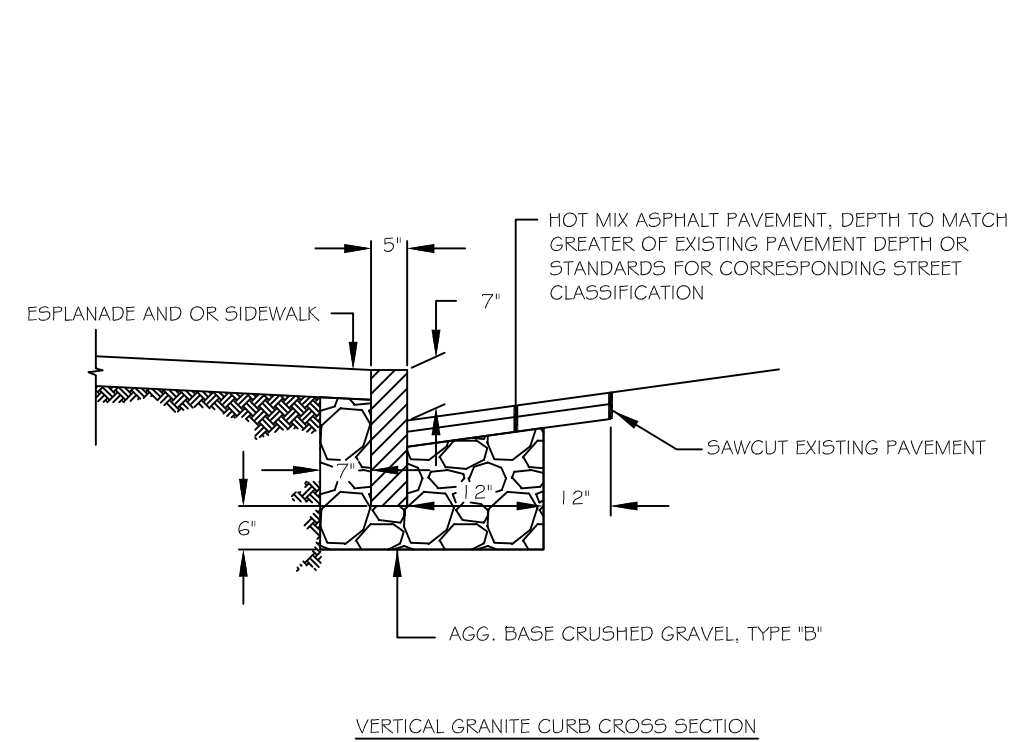
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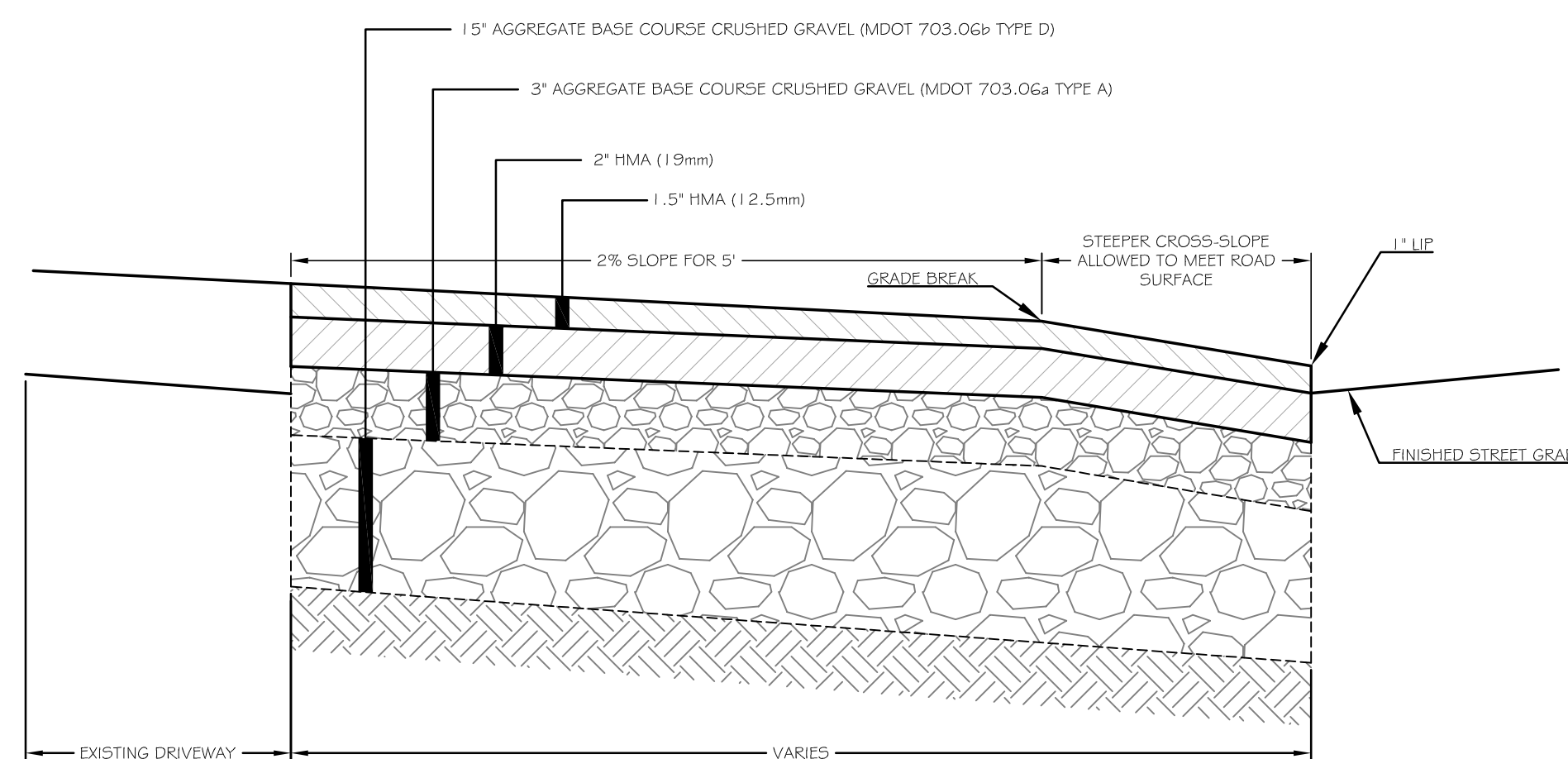
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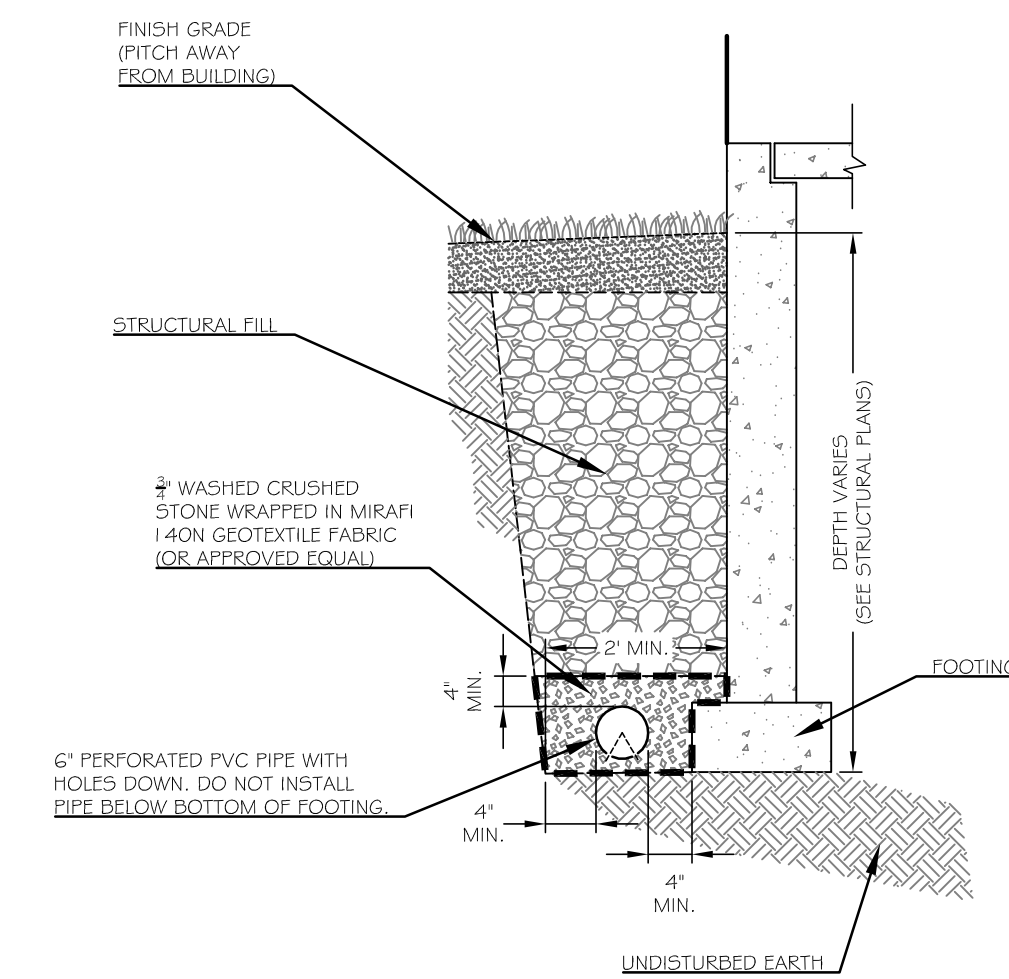
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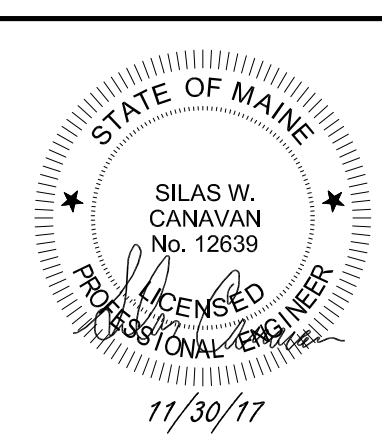
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REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
A	11/30/17	SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION	DEPT.	SWC	PBB						



WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com
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LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel: (207) 494-1111
APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: N.T.S.

PROPOSED PRESUMPCOT STREET BUSINESS PARK
314-316 PRESUMPCOT STREET, PORTLAND, MAINE

SITE DETAILS

PROJ. NO. 16-115
DWG. NO. C-202
REV. A