ELEVATION VIEW OF SUGGESTED DETAIL FOR OPENINGS WITH JAMBS TO FINISH FLOOR IN THE PRESENCE OF A RAISED FOUNDATION WALL.


'A' = 4 1/2" FOR PRE-ASSEMBLED PERSONNEL DOORS
= 5 1/2" FOR KNOCK-DOWN PERSONNEL DOORS
= 7 1/2" FOR OPENINGS WITH COLD-ROLLED JAMBS
= 8" FOR OPENINGS WITH STRUCTURAL JAMBS

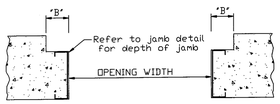
ROUGH OPENING SIZES ABOVE ARE FOR PASS DOORS AND FRAMED OPENINGS FURNISHED BY PSS.

FOUNDATION ENGINEER TO VERIFY WITH BUILDER ALL DOOR TYPES AND ASSOCIATED ROUGH OPENING SIZES.

FOR DOORS NOT FURNISHED BY PSS, CONSULT DOOR SUPPLIER FOR OPENING DETAILS.

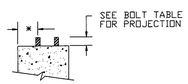
CLEARANCES SHOWN ARE MINIMUM REQUIRED FOR BASE CLIP. THERE MAY BE SMALL VOIDS BETWEEN JAMB FLANGES AND FOUNDATION WALL.

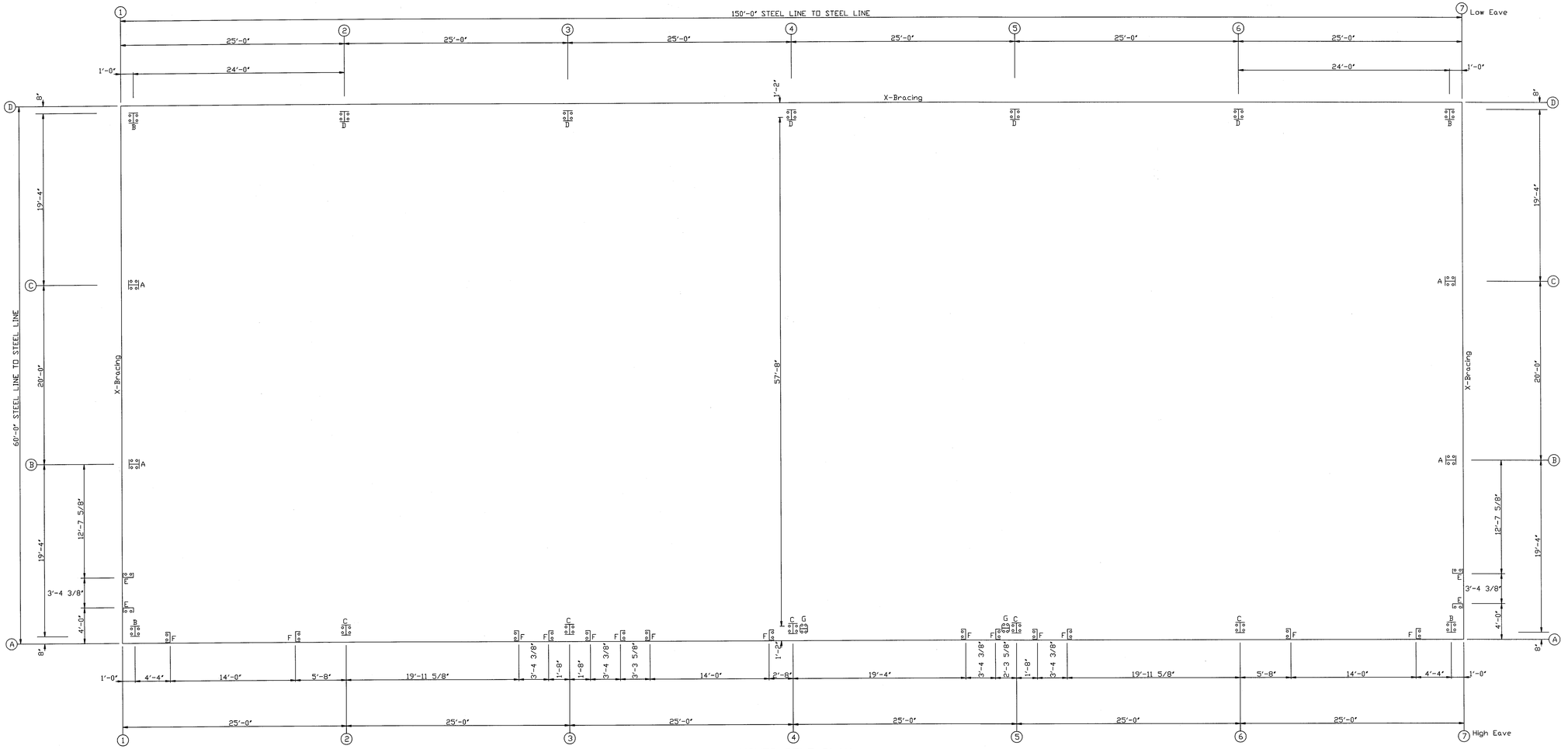
PLAN VIEW OF SUGGESTED DETAIL FOR FRAMED OPENINGS WITH JAMBS TO THE TOP OF A RAISED FOUNDATION WALL.

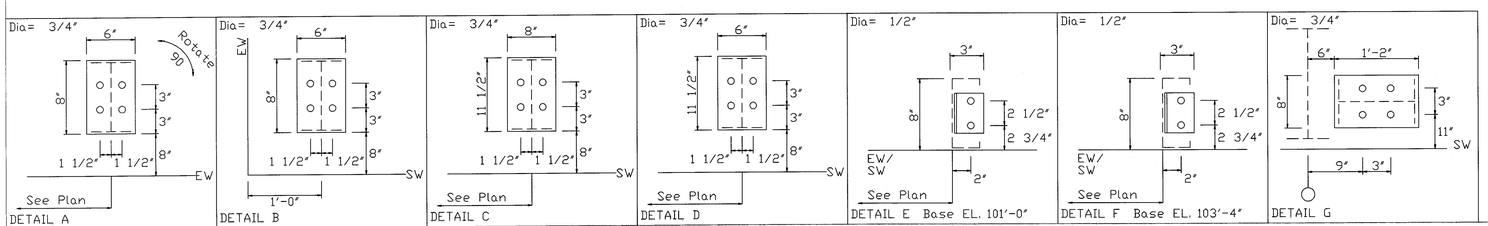



'B' = NOTCH FOR DOOR TRACK NOT BY PACKAGE STEEL SYSTEMS, INC. SEE MANUFACTURER RECOMMENDATIONS

* SEE COLUMN BASE DETAILS




Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

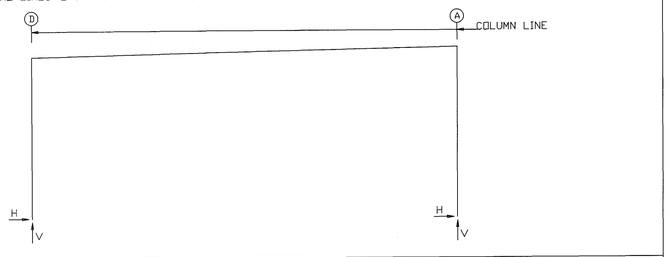
STATE OF MAINE
5/30/18
ZACK P. McCAIN, III
6669
REGISTERED PROFESSIONAL ENGINEER

| REV. | DESCRIPTION: | DATE: | DRAFT | ENG. |
|---|---|---|---|---|
| 3 | | | | |
| 2 | | | | |
| 1 | | | | |
| ⚠ | INITIAL DRAWING: RELEASED FOR CONSTRUCTION | CURRENT REVISION: 0 | | |

| | | | |
|---|---|---|---|
| PACKAGE STEEL SYSTEMS, INC. | | Biskup Construction Inc. | |
| PROJECT | 320 P Street LLC | ANCHOR BOLT PLAN & DETAILS | |
| ID | 1805-076 | DESIGN: ZRM | DESIGN CHECK: ZRM |
| PROJECT | 314 Presumpscott St. | DRAFT: TMZ | DRAFT CHECK: TMZ |
| ADDRESS | Portland, ME 04103 | DATE: 5/30/18 | DRAWING: ABLT-1 |

PACKAGE

FRAME LINES: 2 3 4 5 6




## RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

| Frm Line | Col Line | Load Id | Hmax H | V Vmax | Load Id | Hmin H | V Vmin | Bolt(in) Qty | Bolt(in) Dia | Base_Plate(in) Width | Base_Plate(in) Length | Base_Plate(in) Thick | Base EL. (in) |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 2* | D | 1 | 17.5 | 39.6 | 2 | -6.2 | -9.0 | 4 | 0.750 | 6.000 | 11.50 | 0.375 | 0.0 |
| | | | | | 4 | -1.5 | -11.5 | | | | | | |
| 2* | A | 3 | 4.6 | -5.0 | 5 | -17.6 | 39.6 | 4 | 0.750 | 8.000 | 11.50 | 0.375 | 0.0 |
| | | 5 | -17.6 | 39.6 | 4 | 1.9 | -7.7 | | | | | | |

2* Frame lines: 2 3 4 5 6

## RIGID FRAME: BASIC COLUMN REACTIONS (k)

| Frame Line | Column Line | Dead Horiz | Dead Vert | Collateral Horiz | Collateral Vert | Live Horiz | Live Vert | Snow Horiz | Snow Vert | Wind_Left1 Horiz | Wind_Left1 Vert | Wind_Right1 Horiz | Wind_Right1 Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 2* | D | 2.1 | 5.4 | 1.1 | 2.7 | 6.8 | 15.0 | 14.4 | 31.4 | -12.5 | -20.4 | 0.8 | -9.2 |
| 2* | A | -2.1 | 5.7 | -1.1 | 2.3 | -6.8 | 15.0 | -14.4 | 31.6 | 3.2 | -16.4 | 9.8 | -14.1 |

| Frame Line | Column Line | Wind_Left2 Horiz | Wind_Left2 Vert | Wind_Right2 Horiz | Wind_Right2 Vert | Wind_Long1 Horiz | Wind_Long1 Vert | Wind_Long2 Horiz | Wind_Long2 Vert | Seismic_Left Horiz | Seismic_Left Vert | Seismic_Right Horiz | Seismic_Right Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 2* | D | -11.1 | -12.8 | 2.1 | -1.6 | -4.6 | -24.5 | -4.6 | -24.5 | -1.1 | -0.8 | 1.1 | 0.8 |
| 2* | A | 1.5 | -8.8 | 8.1 | -6.5 | 5.4 | -18.6 | 5.4 | -18.6 | -1.1 | 0.8 | 1.1 | -0.8 |

| Frame Line | Column Line | Seismic_Long Horiz | Seismic_Long Vert | MIN_SNOW Horiz | MIN_SNOW Vert |
|---|---|---|---|---|---|
| 2* | D | 0.0 | -5.9 | 14.3 | 31.4 |
| 2* | A | 0.0 | 0.0 | -14.4 | 31.6 |

2* Frame lines: 2 3 4 5 6

## ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

| Frm Line | Col Line | Dead Vert | Collat Vert | Live Vert | Snow Vert | Wind_Left1 Horz | Wind_Left1 Vert | Wind_Right1 Horz | Wind_Right1 Vert | Wind_Left2 Horz | Wind_Left2 Vert | Wind_Right2 Horz | Wind_Right2 Vert | Wind Press Horz |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | D | 0.9 | 0.3 | 2.2 | 4.6 | 0.0 | -3.5 | 0.0 | -2.1 | 0.0 | -2.4 | 0.0 | -1.0 | -2.5 |
| 1 | C | 1.9 | 0.8 | 5.6 | 11.8 | 3.5 | -13.0 | 0.0 | -0.5 | 3.6 | -10.2 | 0.0 | 2.3 | -4.7 |
| 1 | B | 2.0 | 0.8 | 5.6 | 11.8 | 0.0 | -5.4 | 4.3 | -10.1 | 0.0 | -2.4 | 4.2 | -7.1 | -4.8 |
| 1 | A | 0.9 | 0.3 | 2.2 | 4.6 | 0.0 | -3.5 | 0.0 | -2.1 | 0.0 | -2.4 | 0.0 | -1.0 | -2.6 |

| Frm Line | Col Line | Wind Suct Horz | Wind_Long1 Horz | Wind_Long1 Vert | Wind_Long2 Horz | Wind_Long2 Vert | Seis_Left Horz | Seis_Left Vert | Seis_Right Horz | Seis_Right Vert | MIN_SNOW Horz | MIN_SNOW Vert | E1PAT_SL_1 Horz | E1PAT_SL_1 Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | D | 2.8 | 0.0 | -3.5 | 0.0 | -2.1 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 4.6 | 0.0 | 2.5 |
| 1 | C | 5.2 | 0.0 | -8.6 | 0.0 | -5.0 | 0.9 | -1.0 | 0.0 | 1.0 | 0.0 | 11.8 | 0.0 | 3.4 |
| 1 | B | 5.3 | 0.5 | -9.7 | 0.3 | -5.7 | 0.0 | 1.0 | 0.9 | -1.0 | 0.0 | 11.9 | 0.0 | -0.5 |
| 1 | A | 3.0 | 0.0 | -3.5 | 0.0 | -2.1 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 4.6 | 0.0 | 0.1 |

| Frm Line | Col Line | E1PAT_SL_2 Horz | E1PAT_SL_2 Vert | E1PAT_SL_3 Horz | E1PAT_SL_3 Vert | E1PAT_SL_4 Horz | E1PAT_SL_4 Vert |
|---|---|---|---|---|---|---|---|
| 1 | D | 0.0 | 0.1 | 0.0 | 2.2 | 0.0 | -0.2 |
| 1 | C | 0.0 | -0.5 | 0.0 | 6.4 | 0.0 | 2.5 |
| 1 | B | 0.0 | 3.4 | 0.0 | 2.5 | 0.0 | 6.4 |
| 1 | A | 0.0 | 2.5 | 0.0 | -0.2 | 0.0 | 2.2 |

| Frm Line | Col Line | Dead Vert | Collat Vert | Live Vert | Snow Vert | Wind_Left1 Horz | Wind_Left1 Vert | Wind_Right1 Horz | Wind_Right1 Vert | Wind_Left2 Horz | Wind_Left2 Vert | Wind_Right2 Horz | Wind_Right2 Vert | Wind Press Horz |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 7 | A | 0.9 | 0.3 | 2.2 | 4.6 | 0.0 | -2.1 | 0.0 | -3.5 | 0.0 | -1.0 | 0.0 | -2.4 | -2.6 |
| 7 | B | 2.0 | 0.8 | 5.6 | 11.8 | 4.3 | -10.1 | 0.0 | -5.4 | 4.2 | -7.1 | 0.0 | -2.4 | -4.8 |
| 7 | C | 1.9 | 0.8 | 5.6 | 11.8 | 0.0 | -0.5 | 3.5 | -13.0 | 0.0 | 2.3 | 3.6 | -10.2 | -4.7 |
| 7 | D | 0.9 | 0.3 | 2.2 | 4.6 | 0.0 | -2.1 | 0.0 | -3.5 | 0.0 | -1.0 | 0.0 | -2.4 | -2.5 |

| Frm Line | Col Line | Wind Suct Horz | Wind_Long1 Horz | Wind_Long1 Vert | Wind_Long2 Horz | Wind_Long2 Vert | Seis_Left Horz | Seis_Left Vert | Seis_Right Horz | Seis_Right Vert | MIN_SNOW Horz | MIN_SNOW Vert | E2PAT_SL_1 Horz | E2PAT_SL_1 Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 7 | A | 3.0 | 0.0 | -3.5 | 0.0 | -2.1 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 4.6 | 0.0 | 2.5 |
| 7 | B | 5.3 | 0.5 | -9.7 | 0.3 | -5.7 | 0.9 | -1.0 | 0.0 | 1.0 | 0.0 | 11.9 | 0.0 | 3.4 |
| 7 | C | 5.2 | 0.0 | -8.6 | 0.0 | -5.0 | 0.0 | 1.0 | 0.9 | -1.0 | 0.0 | 11.8 | 0.0 | -0.5 |
| 7 | D | 2.8 | 0.0 | -3.5 | 0.0 | -2.1 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 4.6 | 0.0 | 0.1 |

| Frm Line | Col Line | E2PAT_SL_2 Horz | E2PAT_SL_2 Vert | E2PAT_SL_3 Horz | E2PAT_SL_3 Vert | E2PAT_SL_4 Horz | E2PAT_SL_4 Vert |
|---|---|---|---|---|---|---|---|
| 7 | A | 0.0 | 0.1 | 0.0 | 2.2 | 0.0 | -0.2 |
| 7 | B | 0.0 | -0.5 | 0.0 | 6.4 | 0.0 | 2.5 |
| 7 | C | 0.0 | 3.4 | 0.0 | 2.5 | 0.0 | 6.4 |
| 7 | D | 0.0 | 2.5 | 0.0 | -0.2 | 0.0 | 2.2 |

## ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

| Frm Line | Col Line | Load Id | Hmax H | V Vmax | Load Id | Hmin H | V Vmin | Bolt(in) Qty | Bolt(in) Dia | Base_Plate(in) Width | Base_Plate(in) Length | Base_Plate(in) Thick | Base EL. (in) |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | D | 6 | 1.7 | -1.6 | 7 | -1.5 | -1.6 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 8 | 0.0 | 5.9 | 6 | 1.7 | -1.6 | | | | | | |
| 1 | C | 9 | 3.1 | -6.7 | 7 | -2.8 | -4.0 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 10 | 0.0 | 15.1 | 9 | 3.1 | -6.7 | | | | | | |
| 1 | B | 11 | 3.2 | -4.9 | 7 | -2.9 | -4.7 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 12 | 0.0 | 15.2 | 11 | 3.2 | -4.9 | | | | | | |
| 1 | A | 6 | 1.8 | -1.6 | 7 | -1.6 | -1.6 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 13 | 0.0 | 6.0 | 6 | 1.8 | -1.6 | | | | | | |
| 7 | A | 6 | 1.8 | -1.6 | 7 | -1.6 | -1.6 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 14 | 0.0 | 6.0 | 6 | 1.8 | -1.6 | | | | | | |
| 7 | B | 9 | 3.2 | -4.9 | 7 | -2.9 | -4.7 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 15 | 0.0 | 15.2 | 9 | 3.2 | -4.9 | | | | | | |
| 7 | C | 11 | 3.1 | -6.7 | 7 | -2.8 | -4.0 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 16 | 0.0 | 15.1 | 11 | 3.1 | -6.7 | | | | | | |
| 7 | D | 6 | 1.7 | -1.6 | 7 | -1.5 | -1.6 | 4 | 0.750 | 6.000 | 8.000 | 0.375 | 0.0 |
| | | 17 | 0.0 | 5.9 | 6 | 1.7 | -1.6 | | | | | | |

# NOTES FOR REACTIONS

The following Design Data is per Package Steel Systems, Inc.'s standard design practices and established procedures and recommendations of the following Organizations and/or Specifications.

American Institute of Steel Construction (AISC 2005)
American Welding Society Structural Welding Code (AWS D1.1)
North American United States (NAUS07)

1. For maximum reactions tables, all loading conditions are examined and only the maximum/minimum horizontal or vertical reactions along with the corresponding horizontal or vertical for those load IDs are reported.
2. Positive reactions are shown in the sketch. Foundation loads are in the opposite directions.
3. Bracing reactions are in the plane of the brace with the horizontal pointing away from the braced bay. The vertical reaction can be downward or upward.
4. Reactions given are based on the design data below. Reactions are not furnished for loads not listed.
5. The endwall column reaction tables include wind and seismic reactions from the endwall bracing. Horizontal reactions shown in the tables, except for 'Wind Press' and 'Wind Suct' are in the plane of the wall, perpendicular to the web of the columns.
6. The rigid frame reaction tables include the vertical component of the wind and seismic reaction from the sidewall bracing. The horizontal component of the sidewall bracing from wind and seism is in the plane of the wall, perpendicular to the web of the columns and should be combined wit the appropriate basic column reactions to determine the maximum reactions for foundation design
7. Foundation construction and design is not the responsibility of Package Steel Systems, Inc. The embedment of the anchor bolts in concrete is the responsibility of the foundation designer.
8. Suggested anchor rod diameter, quantity, minimum projection and placement are shown. All anchor rods are assumed to be ASTM F1544 Grade 36 or equal. Anchor rods (not by PSS) shall be set to a tolerance of +-1/8" in both elevation and location.
9. Column base plates are designed not to exceed a bearing pressure of 1050 pounds per sq. inch (0.35f'c where f'c= 3000 psi) unless noted otherwise.
10. Basic design wind pressure is furnished. For components and cladding not specifically designed and/or furnished by PSS, the design pressures and suctions shall be increased based on tributary area and location. Confirmation of the design loads and adequacy to resist such loads shall be the responsibility of a licensed design professional by others.

Building Reactions are based on the following information:

Governing Code: IBC 15
Building Risk Category: II - Normal
Occupancy Classification: Mixed, Group B Business & F-1 Moderate Hazard Factory Industrial

**Building Size:**

| | |
|---|---|
| Width (ft) | 60'-0" |
| Length (ft.) | 150'-0" |
| Back Side Eave Height (ft.) | 22'-9" |
| Front Side Eave Height (ft.) | 24'-0" |
| Back Side Roof Slope | 0.25:12 |
| Front Side Roof Slope | |

**Roof Dead, Collateral, & Live Loads:**

| | | |
|---|---|---|
| Dead Load | 5.00 | psf |
| Collateral Load | 3.00 | psf |
| Live Load | 20.00 | psf |
| Live Load Reduction Taken | No | |

**Wind Loads:**

| | |
|---|---|
| Ultimate Wind Speed | 118 mph |
| Serviceability Wind | 76 mph(10yrMRI) |
| Wind Exposure | C |
| Building Enclosure (O/C/P) | Closed |
| Internal Pressure Coeff. (GCpi) | ±0.18 |

**Snow Loads:**

| | | |
|---|---|---|
| Ground Snow (Pg) | 60.00 | psf |
| Flat Roof Snow (PF) | 42.00 | psf |
| Minimum Uniform Snow | 42.00 | psf |
| Snow Exposure Factor (Ce) | 1.00 | |
| Snow Thermal Factor (Ct) | 1.00 | |
| Snow Importance Factor (Is) | 1.00 | |
| Sloped Roof Factor (Cs) | 1.00 | |

**Seismic Loads:**

| | |
|---|---|
| Seismic Importance (Ie) | 1.00 |
| Seismic Design Category (A/B/C/D) | B |
| Site Class-Type | D |
| Seismic Response Coeff. (Sds) | 0.259 |
| Seismic Response Coeff. (Sd1) | 0.126 |
| Response Modification (MF) | 3.50 |
| Response Modification (BF) | 5.00 |
| Design Base Shear (V) = Longit. | 11.36 kips |
| Design Base Shear (V) = Transv. | 12.70 kips |
| Analysis Procedure: | Equivalent Lateral Force |

**Acronyms:**

AUXx = Auxiliary Load - Case x
C= Closed
CL= Collateral Load
DL= Dead Load
FxUNB_LL= Unbalanced Live Load for Frame IDx
LL= Max. of (Live or Snow)
LLR= Live Load Unbalanced
LnWndL= Longitudinal Wind Load - Left
LnWndR= Longitudinal Wind Load - Right
mph= miles per hour

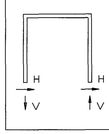
Loading Conditions are as follows:
1 Dead+Collateral+Snow+Slide_Snow
2 0.6Dead+0.6Wind_Left1
3 0.6Dead+0.6Wind_Right1
4 0.6Dead+0.6Wind_Long2L
5 Dead+Collateral+MIN_SNOW
6 0.6Dead+0.6Wind_Suction+0.6Wind_Long1L
7 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L
8 Dead+Collateral+Snow/2+E1PAT_SL_1
9 0.6Dead+0.6Wind_Left1+0.6Wind_Suction
10 Dead+Collateral+Snow+1.0E1PAT_SL_2
11 0.6Dead+0.6Wind_Right1+0.6Wind_Suction
12 Dead+Collateral+Snow/2+E1PAT_SL_4
13 Dead+Collateral+Snow/2+E1PAT_SL_2
14 Dead+Collateral+Snow/2+E2PAT_SL_1
15 Dead+Collateral+Snow/2+E2PAT_SL_3
16 Dead+Collateral+Snow+1.0E2PAT_SL_1
17 Dead+Collateral+Snow/2+E2PAT_SL_2

**Auxiliary Load(s):**

(3) 250# Unit Heaters Hung From Roof Purlins

O= Open
BF= Braced Frame
MF= Moment Frame
P= Partially Enclosed
psf= pounds per square foot
SEIS= Seismic
WLx= Wind Left - Case x
WP= Wind Pressure
WRx= Wind Right - Case x
WS= Wind Suction

## WIND BENT REACTIONS




| Wall Loc | Wall Line | Col Line | ± Reactions Wind(k) Horz | Wind(k) Vert | Seismic(k) Horz | Seismic(k) Vert | Bolt(in) Qty | Bolt(in) Dia | Base_Plate(in) Width | Base_Plate(in) Length | Base_Plate(in) Thick |
|---|---|---|---|---|---|---|---|---|---|---|---|
| F_SW | A | 4 | 3.8 | 7.4 | 3.3 | 6.5 | 4 | 0.750 | 8.000 | 14.000 | 0.375 |
| F_SW | A | 5 | 3.8 | 7.4 | 3.3 | 6.5 | 4 | 0.750 | 8.000 | 14.000 | 0.375 |

## BUILDING BRACING REACTIONS

| Wall Loc | Wall Line | Col Line | ± Reactions(k) Wind Horz | Wind Vert | Seismic Horz | Seismic Vert | Panel_Shear (lb/ft) Wind | Panel_Shear (lb/ft) Seis | Note |
|---|---|---|---|---|---|---|---|---|---|
| L_EW | 1 | C,B | 4.3 | 4.7 | 0.9 | 1.0 | | | |
| F_SW | A | 4,5 | | | | | | | (a) |
| R_EW | 7 | B,C | 4.3 | 4.7 | 0.9 | 1.0 | | | |
| B_SW | D | 5,4 | 7.4 | 6.2 | 4.7 | 3.9 | | | |

(a)Wind bent in bay

## ANCHOR BOLT SUMMARY

| Qty | Locate | Dia (in) | Type | Proj (in) |
|---|---|---|---|---|
| O 36 | Jamb | 1/2" | A307 | 1.50 |
| O 32 | Endwall | 3/4" | A307 | 2.00 |
| O 40 | Frame | 3/4" | A307 | 2.00 |
| O 8 | WindCol | 3/4" | A307 | 2.00 |

# General Notes

## Design Responsibility:

Package Steel Systems, Inc. (PSS) is responsible only for the structural design of the Metal Building System it sells to the Builder. Neither PSS nor PSS's Engineer is the Design Professional or the Engineer of Record for the Construction Project. PSS is not responsible for the design of any components or materials manufactured or supplied by others or their interaction and connection to the Metal Building System unless such design responsibility is specifically required by the Order Documents.

## Close Proximity Structures:

PSS is not responsible for loads (Seismic, Snow, etc.) imposed by, field modifications needed on, or structures in close proximity to this structure. It is the Builder's responsibility to verify that close proximity structures, together with their foundations, are capable of resisting all additional loads that may result from this structure.

## Bracing:

Metal building brace rods and cables work in pairs to balance the forces caused by initial tensioning. Care must be taken when tightening brace rods or cables so as not to cause accidental damage or misalignment of building components. All rods/cables must be installed loose and then tightened sequentially and equally to maintain proper alignment of components. When properly tightened, rods and cables should not exhibit excessive sag. For long or large rod bracing it may be necessary to support the rod at mid-bay by suspending it from a purlin at the appropriate elevation.

A qualified professional engineer must design bracing for seismic or wind loading of suspended objects that are not part of the PSS structure. The design must meet code requirements and safely deliver the lateral loads to one of the PSS primary bracing systems. In addition, the bracing must be designed and erected in a manner that will not impose torsional or minor axis loads, or cause local failures in any PSS structural components. No material may be cut, drilled, or otherwise removed from any part of this building without the written consent of PSS. The engineer CANNOT rely on the roof deck to act as a diaphragm. PSS accepts no responsibility for the design and installation of bracing for objects that are not furnished or specified by PSS.

## Field Work:

All local, state, and federal safety regulations are to be strictly followed. Temporary supports or bracing required for the building erection is the responsibility of the erector to determine, furnish and install. It is the responsibility of the Builder/Contractor to obtain appropriate approvals and necessary permits from city, county, state, or federal agencies, as required.

PSS provides complete components to erect all projects with minimal modifications. However, minor fieldwork of structural, secondary, panel, and trim items may be necessary to ensure proper fit. Such work is considered a normal part of metal building erection. Back charges for minor fieldwork will not be honored.

Welds shall be made only by operators certified by the standard qualifications procedure of the American Welding Society for the type of weld required. All field welds to be done using E70XX electrodes and in accordance with the American Welding Society Structural Welding Code.

## A325 Bolt Tightening Requirements

All high strength bolts are A325-N unless specifically noted otherwise. Structural bolts shall be tightened by the TURN-OF-THE-NUT method in accordance with the ninth-edition AISC 'Specifications for Structural Joints using ASTM A325 or A490 Bolts' per section 8D.1. A325 bolts may be installed without washers when tightened by the TURN-OF-THE-NUT method. All high strength bolts, except as noted otherwise, are subject to direct tension and may require inspection as defined by AISC/RCSC 'Specifications for Structural joints using ASTM A325 or A490 Bolts and the applicable building code or standard. It is the responsibility of the erector to assure proper tightness.

PSS accepts no responsibility for the consequences of any additions or alterations to this structure. Modifications to this structure must be performed under the supervision of a qualified licensed professional engineer who accepts responsibility for the adequacy and consequences of the additions or alterations.

The primary and secondary framing of this building may have been designed to support additional collateral loads (These loads may include sprinkler systems, mechanical equipment, ducts, ceilings, etc.). Care must be exercised however, to prevent local overstress of light gauge secondary members supporting concentrated loads.

## Masonry & Concrete:

PSS accepts no responsibility for the design of masonry walls, concrete walls, foundations, mezzanine slabs, and floor slabs. Also, the attachment to masonry or concrete is not designed or supplied by PSS (Masonry anchor sizes, spacing, and quantity, unless specifically stated will be designed and supplied by others). The engineer responsible for the design of the masonry and concrete is also responsible for ensuring that the design (including wall base details) is compatible with the deflection criteria for this building. Eave purlins and rake channels are not designed to support lateral loads from masonry or other walls not by PSS. Values given for bends and anchor bolt total lengths are suggested lengths only. It is the responsibility of the foundation engineer to determine these values since they are a function of concrete strength as well as other factors.

Base plates are designed assuming concrete has a minimum strength of 3000 psi at 28 days unless otherwise noted.

Jamb foundations should be designed for a shear of 2 kips unless other wise stated.

## Independent Mezzanines:

Independent mezzanines must be designed by a qualified professional engineer to meet all code requirements. The engineer must also ensure that proper isolation from the PSS building has been provided to avoid contact with PEMB structure due to differential movement. PSS accepts no responsibility for the design of independent mezzanines.

## Panels:

Oil Canning is an inherent characteristic of cold rolled roof and wall panels. It is the result of several factors that include, but are not limited to, induced stresses in the base material, fabrication methods, installation procedures, and post installation thermal forces. Oil Canning does not affect the structural integrity or overall performance of the metal panels. Oil Canning is an aesthetic issue only and is not grounds for rejection of the panels.

## Parapets:

Buildings with parapet walls and internal gutters must be furnished with rainwater overflow mechanisms (such as scuppers) to prevent the accumulation of water in the event of a gutter blockage. It is the responsibility of the Builder to make sure that the scuppers are of the appropriate size, quantity, location, and design to prevent water accumulation on the roof. Failure to do so can result in building collapse. PSS accepts no responsibility for the design and installation of overflow mechanisms.

| MATERIALS: | ASTM DESIGNATIONS: | YIELD STRENGTH: |
|---|---|---|
| Structural Steel Plate (Built-up Sections) | A529 Grades 50 & 55<br>A572 Grades 50 & 55<br>A1011 HSLAS Grades 50 & 55 | 50 ksi<br>50 ksi<br>50 ksi |
| Hot Rolled Mill Shapes (WF, Channels, Angles) | A36<br>A572 Grades 50<br>A992 | 36 ksi<br>50 ksi<br>50 ksi min. |
| Round Struct. Tubing - Pipe<br>Shaped Struct. Tubing- Tube | A500 Grade B<br>A500 Grade B | 42 ksi<br>46 ksi |
| Cold Formed Shapes (Purlins, Girts, Eave Struts) | A653 (SS) Grade 50 Class 1, 2, 3<br>A653 (HSLAS) Grade 50, Types A or B | 55 ksi min.<br>55 ksi min. |
| Roof and Wall Sheets | A653/A792 SS Grade 50 Class 1 or 2 (AZ55 Coating)<br>A755/A792 SS Grade 50 Class 1 or 2 (AZ50 Coating) | 50 ksi<br>50 ksi |
| Brace Rods | A529 | 50 ksi |
| Brace Angles | A36 | 36 ksi |
| Structural Cables (Cable Bracing) | A475 7-wire EHS Grade | |
| Cable Hardware | A536 Grade 65-45-12 | 45 ksi |
| Bolts | A307 Grade A<br>SAE-J429 Grade 2<br>A325 Type 1 | 60 ksi (tensile strength)<br><br>120 ksi, 105 ksi |
| Nuts | A563 Grade A<br>SAE-J995 Grade 2<br>A563 Grade C, D or DH (A325) | |
| Washers (Hardened)<br>Washers (Plain) | F436 Type 1<br>F844 | |
| Anchor Bolts | A307 unless otherwise noted | |

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

ZACK R. McCAIN, III 6869 REGISTERED PROFESSIONAL ENGINEER

| REV. | DESCRIPTION: | DATE: | DRAFT | ENG. |
|---|---|---|---|---|
| 3 | | | | |
| 2 | | | | |
| 1 | REVISED WIND EXPOSURE TO "C". | 6/05/18 | TMZ | ZRM |
| 0 | INITIAL DRAWING RELEASED FOR CONSTRUCTION | CURRENT REVISION: 1 | | |

| | | | |
|---|---|---|---|
| PACKAGE STEEL SYSTEMS, INC. | | Biskup Construction Inc. | |
| PROJECT | 320 P Street LLC | ANCHOR BOLT REACTIONS & NOTES | |
| ID | 1805-076 | DESIGN: ZRM | DESIGN CHECK: ZRM |
| PROJECT | 314 Presumpscott St. | DRAFT: TMZ | DRAFT CHECK: TMZ |
| ADDRESS | Portland, ME 04103 | DATE: 5/30/18 | DRAWING: ABU-2 |

N/F
OCEAN WOODS CONDOMINIUMS
8584/75

N/F
ABRAHAM SHAPAZIAN
6711/335

N/F
JOHN D. Jr. & MARY E. MANCINI
8238/106

N/F
RUTH B. SLOCUM
CLAYTON F. SLOCUM
4393/242

N/F
RONALD T. & DOROTHY L. LONG
6544/63

N/F
TIM O'DONOVAN
11796/245
AREA 16,239.09 sq. ft.

N/F
TIMOTHY E. SANDERS
ANNE S. MYERS
MARION SANDERS
6989/257

PRESUMPSCOT STREET

Ledge

N 32°-42'-20" E 341.73'

N 61°-14'-37" W 115.09'

S 28°-40'-24" W 115.00'

N 61°-19'-36" W 65.00'

N 60°-28'-48" W 12.89'

S 24°-34'-24" W 74.23'

30.08' RIGHT OF WAY
FOR INGRESS AND EGRESS
AS SHOWN ON PLAN AND
VERBALLY DESCRIBED
(SEE DEED 8238/106)

N 61°-19'-36" W 130.08'

S 24°-14'-34" W
107.32'

1" hollow

S 62°-41'-17" E 131.92'

S 62°-10'-29" E 100.75'

S 62°-19'-43" E 151.35'

1/2" solid (2)

51.35'

1/2" hollow

S 24°-35'-06" W 108.10'

0.62'

1-1/4" hollow

78M-on Concrete Stk at door sill Elev. 100.00

## NOTES

1) BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1994.

## OWNER OF RECORD

JAKES DEVELOPMENT, INC.

## AREA

AREA = 55,691.40 sq. ft.
1.28 acres

## LEGEND

- ● IRON PIN FOUND (3/4" solid unless noted)
- ○ IRON PIN SET (5/8" rebar)
- N/F NOW OR FORMERLY OF
- ○ UTILITY POLE
- ○ SEWER MANHOLE
- ⊗ WATER VALVE
- WOOD FENCE
- STONE WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EXISTING BUILDING

1 INCH = 20 FEET
20 0 20 40 60

This survey conforms to category I condition III as defined by the standards of the Maine State Board of Registration for Land Surveyors dated 1995, Except as noted.

KEVIN W. CULLENBERG PLS 1278

STANDARD BOUNDARY SURVEY

# PLAN OF PROPERTY

PRESUMPSCOT STREET PORTLAND, MAINE

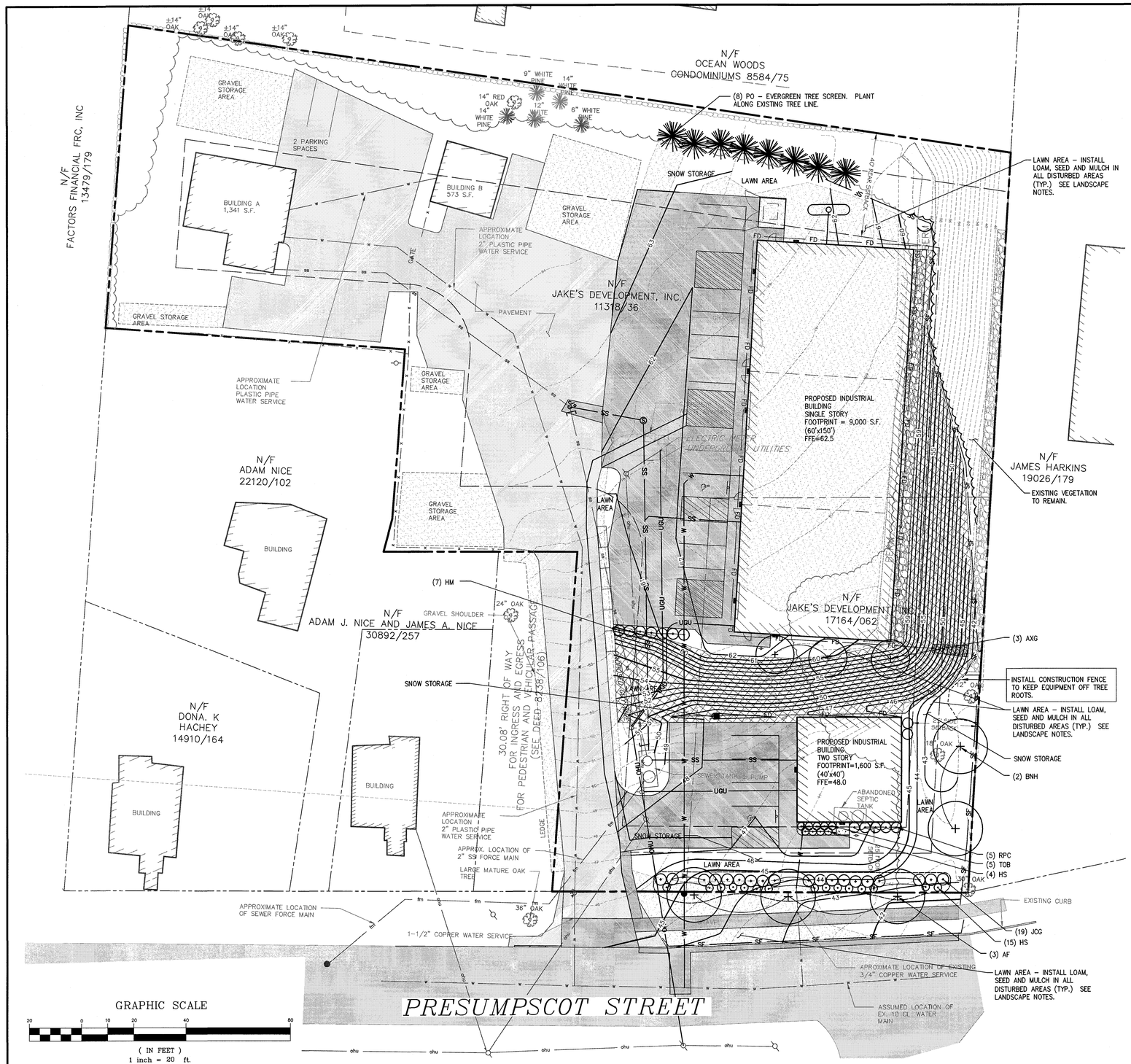
made for

TIM O'DONOVAN

30 LEDGEWOOD DRIVE FALMOUTH, MAINE

May 4, 1995

CULLENBERG LAND SURVEYING
892 OLD DANVILLE ROAD
AUBURN, MAINE 04210
777-1150




## LANDSCAPE NOTES:

1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
2. LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARDS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
3. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN GRAPHICALLY ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
4. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK".
5. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
6. ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED.
7. MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
8. NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
9. ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO BEDS. WHERE MULCHED PLANT BED ABUTS LAWN, CONTRACTOR SHALL PROVIDE A TURF CUT EDGE.
10. ALL TREES ALONG SIDEWALK AND PARKING AREAS SHALL BEGIN BRANCHING AT 6' HT. MIN.
11. ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
12. CONTRACTOR SHALL LOAMED DISTURBED AREAS AS FOLLOWS:
    - LIMITED MAINTENANCE SEEDING AREAS 4" DEPTH OF TOPSOIL
    - LAWN AREAS 6" DEPTH OF TOPSOIL
13. SEED MIXTURE FOR DISTURBED AREAS SHALL BE THE "PARK MIX" AS MIXED AND DISTRIBUTED BY ALLEN STERLING & LOTHRUP OF FALMOUTH MAINE OR APPROVED EQUIVALENT.: SEED AT THE RATE RECOMMENDED BY THE DISTRIBUTOR, BUT IN NO CASE LESS THAN 3LBS. PER 1,000 S.F.
14. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
15. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
16. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND OR CAPPED OR DEMOLISHED AS REQUIRED.
17. TREE SAVE MEASURES TO BE LOCATED IN THE FIELD AS PART OF THE PRECONSTRUCTION MEETING WITH THE CITY OF PORTLAND.

## PLANT LIST:

| SYMBOL | BOTANICAL NAME | COMMON NAME | QTY | SIZE | COMMENTS |
|---|---|---|---|---|---|
| TREES, SHRUBS, GROUNDCOVERS & HERBACEOUS MATERIALS | | | | | |
| AF | ACER X FREEMANII 'AUTUMN BLAZE' | AUTUMN BLAZE FREEMAN MAPLE | 3 | 2" CAL. | SINGLE LEADER, B&B, SPECIMEN |
| AXG | AMELANCHIER X G. 'AUTUMN BRILLIANCE' | AUTUMN BRILLIANCE AMELANCHIER | 3 | 6' HT. | CLUMP |
| BNH | BETULA NIGRA 'HERITAGE' | HERITAGE RIVER BIRCH | 2 | 10' HT. | CLUMP, B&B |
| HM | HYDRANGEA M. 'BLOOMSTRUCK' | BLOOMSTRUCK HYDRANGEA | 7 | 20" HT. | FULL & BUSHY |
| HS | HEMEROCALLIS STELLA D'ORO | STELLA D'ORO DAYLILY | 19 | 1 GAL. | - |
| JCG | JUNIPERUS CHINENSIS 'CASINO GOLD' | CASINO GOLD CHINESE JUNIPER | 19 | 20" HT. | FULL & BUSHY |
| PO | PICEA OMORIKA | SERBIAN SPRUCE | 8 | 6' HT. | B&B, FULL & BUSHY |
| RPC | RHODODENDRON P.J.M COMPACT FORM | COMPACT P.J.M RHODODENDROPM | 5 | 24" HT. | FULL & BUSHY |
| TOB | THUJA O. MR. BOWLING BALL | MR. BOWLING BALL ARBORVITAE | 5 | 24" HT. | FULL & BUSHY |

CITY LANDSCAPING REQUIREMENTS:
STREET TREES – 1 STREET TREE REQUIRED EVERY 30'–45' ON CENTER IN THE CITY R.O.W ALONG STREET FRONTAGE. FRONTAGE = APPROXIMATELY 127' (NOT INCLUDING THE ENTRANCE DRIVE)/45 =2.8 OR 3 STREET TREES REQUIRED.
SITE LANDSCAPING, UNDERSTORY PLANTINGS –6 SHRUBS PER 45' OF FRONTAGE 159'/45'=3.5x6=21 SHRUBS REQUIRED.
PARKING LOT LANDSCAPING – WAIVER REQUESTED.

## LEGEND:

- PROJECT BOUNDARY LINE
- ABUTTER BOUNDARY LINE
- SETBACK LINE
- OVERHEAD UTILITY — OHU
- UNDERGROUND UTILITY — UGU
- SANITARY SEWER FORCE MAIN — FM
- SANITARY SEWER — SS
- WATER SERVICE — W
- CONTOUR — 43
- UTILITY POLE
- BUILDING
- RIPRAP
- GRAVEL
- BITUMINOUS CONCRETE PAVEMENT
- TREE

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| B | 3/7/18 | REVISED PER STAFF COMMENTS AND RESUBMITTED TO THE CITY OF PORTLAND | DEPT. | PBB | PBB |
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | PBB | PBB |

LICENSED LANDSCAPE ARCHITECT
PETER B. BIEGEL
No. 2624
STATE OF MAINE
3/7/18


LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717


APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: 1"=20'

**PROPOSED PRESUMPSCOT STREET BUSINESS PARK**
314–316 PRESUMPSCOT STREET, PORTLAND, MAINE

**LANDSCAPE PLAN**

PROJ. NO. 16–115
DWG. NO. C-104
REV.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE of APPROVAL 3/14/2018
PLANNER Christian Roadman

## CONSTRUCTION MANAGEMENT PLAN NOTES:

1. REFER TO CONSTRUCTION MANAGEMENT PLAN NARRATIVE FOR ADDITIONAL INFORMATION.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

N/F
OCEAN WOODS
CONDOMINIUMS 8584/75

N/F
FACTORS FINANCIAL FRC, INC
13479/179

N/F
JAKE'S DEVELOPMENT, INC.
11318/36

N/F
JAMES HARKINS
19026/179

N/F
JAKE'S DEVELOPMENT, INC.
17164/062

N/F
ADAM NICE
22120/102

N/F
ADAM J. NICE AND JAMES A. NICE
30892/257

N/F
DONA. K
HACHEY
14910/164

PRESUMPSCOT STREET

GRAVEL STORAGE AREA
PARKING FOR EXISTING BUSINESS
2 PARKING SPACES
BUILDING A 1,341 S.F.
BUILDING B 573 S.F.
BUILDING
GATE
APPROXIMATE LOCATION 2" PLASTIC PIPE WATER SERVICE
CONTRACTOR PARKING
PAVEMENT
MATERIAL UNLOADING AREA
MATERIAL STORAGE AREA
POTENTIAL CONTRACTOR PARKING DEPENDING ON CONSTRUCTION PHASE.
BERM
INSTALL SILT FENCE (TYP.)
PROPOSED INDUSTRIAL BUILDING
SINGLE STORY
FOOTPRINT = 9,000 S.F.
(60'x150')
FFE=62.5
ELECTRIC METER
UNDERGROUND UTILITIES
PROPOSED INDUSTRIAL BUILDING
TWO STORY
FOOTPRINT=1,600 S.F.
(40'x40')
FFE=48.0
ABANDONED SEPTIC TANK
SEWER TANK & PUMP
30.08' RIGHT OF WAY FOR INGRESS AND EGRESS FOR PEDESTRIAN AND VEHICULAR PASSAGE (SEE DEED 8238/106)
LEDGE
GRAVEL SHOULDER
CONSTRUCTION SIGN WITH CONSTRUCTION MANAGER INFORMATION.
CONSTRUCTION ENTRANCE INTO SMALL BUILDING SITE.
PROJECT SITE ENTRANCE
EXISTING PAVED DRIVEWAY – CONSTRUCTION ENTRANCE.
EXISTING CURB
GRAVEL
APPROXIMATE LOCATION OF EXISTING 3/4" COPPER WATER SERVICE
ASSUMED LOCATION OF EX. 10 CL WATER MAIN
APPROXIMATE LOCATION OF SEWER FORCE MAIN
APPROX. LOCATION OF 2" SS FORCE MAIN
1-1/2" COPPER WATER SERVICE
APPROXIMATE LOCATION 2" PLASTIC PIPE WATER SERVICE

±14" OAK
9" WHITE PINE
14" WHITE PINE
14" RED OAK
12" WHITE PINE
6" WHITE PINE
24" OAK
12" OAK
18" OAK
30" OAK
36" OAK

GRAPHIC SCALE
20 0 10 20 40 80
( IN FEET )
1 inch = 20 ft.

LEGEND:

- PROJECT BOUNDARY LINE
- ABUTTER BOUNDARY LINE
- SETBACK LINE
- OVERHEAD UTILITY (OHU)
- UNDERGROUND UTILITY (UGU)
- SANITARY SEWER FORCE MAIN (FM)
- SANITARY SEWER (SS)
- WATER SERVICE (W)
- CONTOUR (43)
- UTILITY POLE
- BUILDING
- RIPRAP
- GRAVEL
- BITUMINOUS CONCRETE PAVEMENT
- TREE
- WALL MOUNTED LIGHT FIXTURE

BISKUP CONSTRUCTION INC.
16 Danielle Drive
Windham, ME 04062
207-892-9800 Fax 207-892-9895

RECEIVED MAR 15 2018

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| A | 12/20/17 | SUBMITTED TO THE CITY OF PORTLAND WITH CONSTRUCTION MANAGEMENT PLAN | DEPT. | PBB | PBB |

LICENSED LANDSCAPE ARCHITECT
PETER B. BIEGEL
No. 2624
STATE OF MAINE
12/20/17

**LAND DESIGN SOLUTIONS**
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717

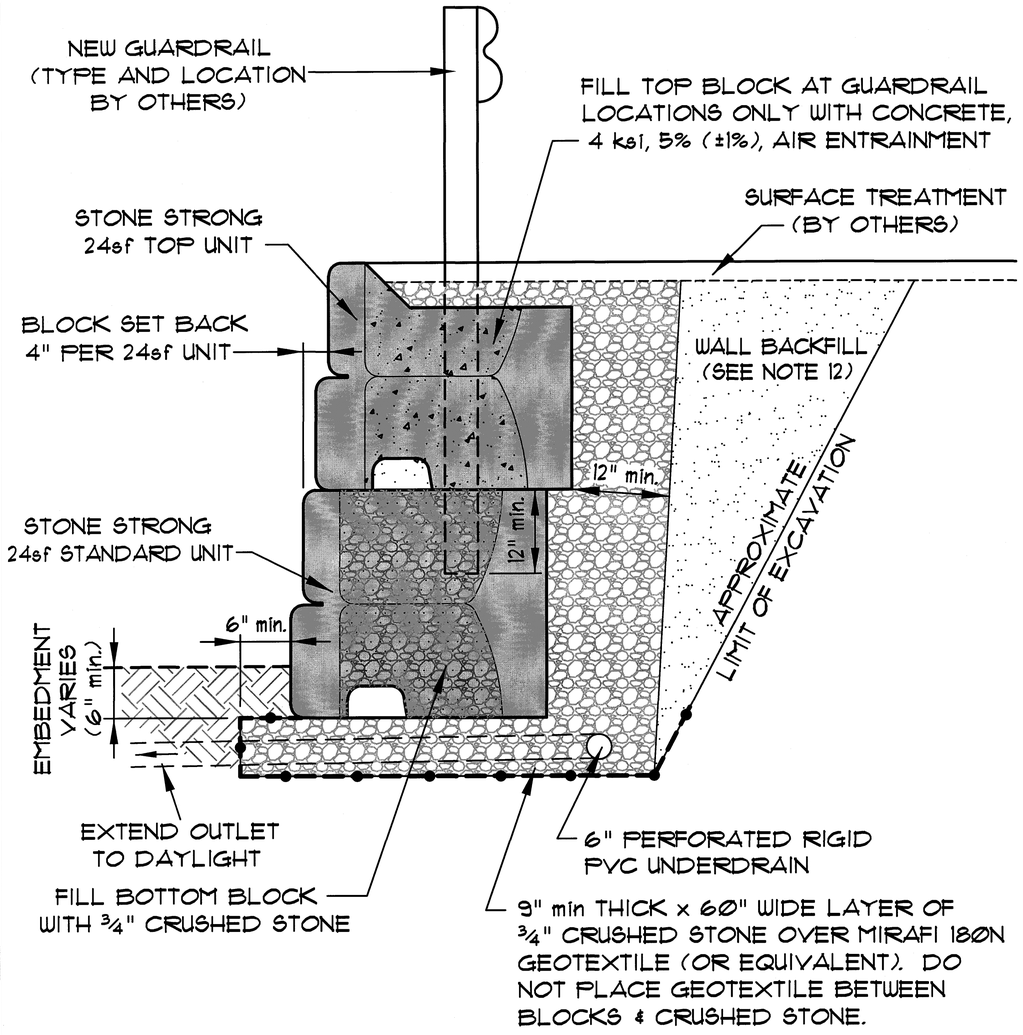
APPLICANT & OWNER:
**JAKE'S DEVELOPMENT, INC.**
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: 1"=20'

**PROPOSED PRESUMPSCOT STREET BUSINESS PARK**
314–316 PRESUMPSCOT STREET, PORTLAND, MAINE

**CONSTRUCTION MANAGEMENT PLAN**

PROJ. NO. 16–115
DWG. NO. C–105
REV. A




## GRAVITY WALL CROSS SECTION

NOT TO SCALE

STATE OF MAINE
WILLIAM M. PETERLEIN
5187
LICENSED PROFESSIONAL ENGINEER

# GENERAL NOTES

1) CROSS SECTION HEIGHT IS BASED UPON A PLAN ENTITLED "GRADING, DRAINAGE AND EROSION CONTROL PLAN", REVISION DATED NOVEMBER 30, 2017, PREPARED BY LAND DESIGN SOLUTIONS.

2) IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR OR THEIR RESPECTIVE REPRESENTATIVES TO ENSURE THAT CONSTRUCTION OF THE WALL AND MATERIALS USED IN THE CONSTRUCTION OF THE WALL ARE IN ACCORDANCE WITH THESE SPECIFICATIONS AND/OR THE CONTRACT SPECIFICATIONS WHICH EVER ARE MORE STRINGENT.

3) SUMMIT GEOENGINEERING SERVICES (SGS) ACCEPTS NO RESPONSIBILITY NOR LIABILITY IN THE DETERMINATION OF THE ADEQUACY OF SITE MATERIALS AND WALL LAYOUT.

4) PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT THE WALL HEIGHT DOES NOT EXCEED 6' FROM BOTTOM OF WALL TO TOP OF WALL. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF SGS PRIOR TO THE START OF CONSTRUCTION.

5) THE FOLLOWING PARAMETERS WERE USED IN THE DESIGN ARE BASED ON A GEOTECHNICAL INVESTIGATION PERFORMED BY SGS:
   A) SLOPE AT TOP : 4°
   B) MAXIMUM SLOPE AT BASE = LEVEL
   C) GROUNDWATER CONTROLLED TO BELOW BASE OF WALL
   D) MAXIMUM CONTACT PRESSURE AT WALL BASE IS LESS THAN 1,000 psf
   E) RETAINED (EXISTING FILL) - uw = 130 pcf, phi = 32°
   F) FOUNDATION SOIL - uw = 120 pcf, phi = 30°
   IF ACTUAL CONDITIONS VARY FROM THOSE LISTED ABOVE, SGS SHALL BE NOTIFIED IMMEDIATELY.

6) WALL INSPECTION AND CERTIFICATION ARE NOT PART OF THE SGS SCOPE OF DESIGN SERVICES. IT IS THE OWNERS RESPONSIBILITY TO CONFIRM WITH THE JURISDICTIONAL AUTHORITY PRIOR TO CONSTRUCTION OF THE WALL WHETHER A CONSTRUCTION CERTIFICATION IS REQUIRED. A CONSTRUCTION CERTIFICATION WILL REQUIRE ON-SITE INSPECTIONS, MATERIAL TESTING, PHOTOGRAPHIC DOCUMENTATION AND OTHER QUALITY CONTROL MEASURES AND AS-BUILT DOCUMENTATION. SGS CAN PROVIDE CERTIFICATION, IF REQUIRED, UNDER A SEPARATE CONTRACT.

7) THE OWNER IS RESPONSIBLE TO RETAIN THE SERVICES OF A QUALIFIED CONSTRUCTION MATERIALS FIRM TO PERFORM COMPACTION TESTS ON WALL BACKFILL TO CONFIRM THAT THE MINIMUM COMPACTION REQUIREMENTS ARE MET.

# WALL INSTALLATION

8) THE STONE STRONG WALL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE STONE STRONG MANUALS (www.stonestrong.com).

9) FOUNDATION EXCAVATION SHALL EXTEND TO COMPETENT SOIL. ALL EXISTING TOPSOIL, LOOSE MATERIAL, ORGANIC SOIL AND OTHER SOFT OR UNSTABLE FOUNDATION SOILS SHALL BE REMOVED FROM THE AREA TO BE OCCUPIED BY THE WALL AND REPLACED WITH GEOTEXTILE AND ¾" CRUSHED STONE IN ACCORDANCE WITH THESE PLANS AND AS OTHERWISE DIRECTED BY THE ENGINEER.

10) UPON COMPLETION OF THE EXCAVATION, THE WALL BASE SUBGRADE SHALL BE PROOF ROLLED BY MAKING A MINIMUM OF 6 PASSES USING A LARGE VIBRATORY PLATE COMPACTOR.

11) INSTALL A 9" (MINIMUM THICK) LAYER OF COMPACTED ¾" CRUSHED STONE ON TOP OF THE GEOTEXTILE LAYER FOR BLOCK WALL LEVELING PAD. EXTEND LEVELING PAD (1) ONE FOOT HORIZONTALLY IN ALL DIRECTIONS BEYOND LIMITS OF THE STONE STRONG BLOCKS.

12) INSTALL THE BASE COURSE OF BLOCKS ON A PREPARED FOUNDATION LEVELING PAD. ENSURE THAT THE BASE COURSE IS LEVEL SIDE TO SIDE AND PLUMB. ADJUST BLOCKS AS REQUIRED TO PROVIDE A STRAIGHT AND LEVEL BASE COURSE. PLACE AND BACKFILL ONLY ONE COURSE OF BLOCKS AT A TIME. DO NOT STACK BLOCKS PRIOR TO BACKFILLING.

13) PLACE CRUSHED STONE AND WALL BACKFILL WITH A MAXIMUM LIFT THICKNESS OF 18", COMPACT WALL BACKFILL TO A MINIMUM OF 95% OF ASTM D1557. FIELD DENSITY TESTS SHALL BE PERFORMED AT A MINIMUM RATE OF 1 TEST PER EVERY OTHER LIFT FOR EVERY 100' OF WALL (3 TESTS PER EVERY OTHER LIFT, MINIMUM)

14) AT THE END OF EACH WORKDAY, BACKFILL SURFACE SHALL BE GRADED AWAY FROM THE WALL FACE A MINIMUM OF 2% SLOPE. THE BACKFILL SURFACE SHALL BE COMPACTED WITH A SMOOTH DRUM ROLLER TO MINIMIZE PONDING OF WATER AND SATURATION OF THE BACKFILL. A TEMPORARY SOIL BERM SHALL BE CONSTRUCTED NEAR THE CREST OF THE GRAVITY STRUCTURES TO PREVENT SURFACE WATER RUNOFF FROM OVERTOPPING THE WALLS.

# MATERIAL SPECIFICATIONS

15) ¾" CRUSHED DRAINAGE STONE SHALL BE CLEAN ANGULAR CRUSHED STONE MEETING THE FOLLOWING GRADATION AS DETERMINED IN ACCORDANCE WITH ASTM D422.

| SIEVE SIZE | PERCENT PASSING |
|---|---|
| 1" | 100 |
| 1/4" | 90 - 100 |
| 3/8" | 20 - 55 |
| No. 4 | 0 -10 |
| No. 8 | 0 - 5 |

16) WALL BACKFILL SHALL MEET THE FOLLOWING GRADATION SPECIFICATIONS (MDOT 703.06 TYPE D)

| SIEVE SIZE | PERCENT PASSING |
|---|---|
| 3" | 100 |
| 1/2" | 35 - 80 |
| 1/4" | 25 - 65 |
| No. 40 | 0 - 30 |
| No. 200 | 0 - 7 |

17) THE MAXIMUM PARTICLE SIZE SHALL BE LIMITED TO 6".

18) BLOCKS SHALL BE 3 s.f., 6 s.f., 9 s.f. AND 24 s.f. "STONE STRONG", MANUFACTURED BY PRECAST CONCRETE PRODUCERS OF MAINE, INC.

19) GEOTEXTILE SHALL CONSIST OF 180N OR APPROVED EQUIVALENT.

20) UNDERDRAIN PIPE SHALL CONSIST OF 4" PERFORATED SDR 35 PVC OR APPROVED EQUIVALENT.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

PROJECT: PRESUMPSCOT STREET BUSINESS PARK
PORTLAND, MAINE

CLIENT: LAND DESIGN SOLUTIONS

TITLE: STONE STRONG RETAINING WALL SECTION & CONSTRUCTION NOTES

SCALE: NOT TO SCALE | DRAWN BY: KRF

DATE: MARCH 1, 2018 | APPR BY: WMP

SUMMIT GEOENGINEERING SERVICES
173 PLEASANT STREET
ROCKLAND, ME 04841
Tel: (207) 318-7761
15 GLISBON ST. - SUITE 101
LEWISTON, ME 04240
Tel: (207) 576-3313

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions

PROJ.: 18061

FIGURE: 1

DATE of APPROVAL 3/14/2018

PLANNER Christian Beedman

PROJECT NO. 2017-286

EROSION AND SEDIMENTATION CONTROL NOTES:

INTRODUCTION

THE FOLLOWING PLAN FOR CONTROLLING SEDIMENTATION AND EROSION IN THIS PROJECT IS BASED ON CONSERVATION PRACTICES FOUND IN THE MAINE EROSION & SEDIMENT CONTROL BMPS MANUAL, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003, OR LATEST EDITION. THE CONTRACTOR WHO IMPLEMENTS THIS PLAN SHALL BE FAMILIAR WITH THIS PUBLICATION AND ADHERE TO IT AND THE PRACTICES PRESENTED HEREIN.

REFERENCE IS MADE TO THE GRADING AND DRAINAGE PLANS (C3.0) WITHIN THE PLAN SET, SHOWING THE LOCATIONS AND TYPES OF PROPOSED MEASURES TO BE IMPLEMENTED.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES

THE FOLLOWING IS A LIST OF GENERAL EROSION CONTROL PRACTICES THAT WILL BE USED TO PREVENT EROSION AND SEDIMENTATION BEFORE, DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. IN ADDITION, SPECIAL CARE SHALL BE USED AT ALL TIMES TO:

1) LIMIT DISTURBANCE AND, HENCE, EROSION
2)CORRECT ANY EROSION PROBLEMS IMMEDIATELY
3)REGULARLY MONITOR THE IMPLEMENTED PRACTICES, ESPECIALLY AFTER EVERY RAINFALL
4)REVEGETATE DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION
5)CONFORM TO ALL REQUIREMENTS/STANDARDS OF THE SITES MAINE DEP EROSION & SEDIMENT CONTROL BMP MANUAL.

SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS

SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS WILL BE INSTALLED ALONG THE DOWN GRADIENT SIDE OF THE PROPOSED GROUND DISTURBANCE AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

CATCH BASIN PROTECTION

CATCH BASIN PROTECTION WILL BE INSTALLED AT THE FIRST DOWNGRADIENT CATCH BASIN IN STREET ADJACENT TO ANY CONSTRUCTION ACTIVITIES.

CONSTRUCTION PHASE

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION DURING CONSTRUCTION ON THIS PROJECT:

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. ONCE CONSTRUCTION OF AN AREA IS COMPLETE, FINAL GRADING, LOAMING AND SEEDING SHALL OCCUR IMMEDIATELY (REFER TO "POST CONSTRUCTION REVEGETATION" SECTION). IF DURING FINAL GRADING, LOAMING AND SEEDING CAN NOT OCCUR IMMEDIATELY, IT SHALL BE DONE PRIOR TO ANY STORM EVENT AND WITHIN 15 DAYS OF COMPLETING CONSTRUCTION IN THE AREA. IF FINAL GRADING, LOAMING AND SEEDING CANNOT OCCUR WITHIN 7 DAYS, OR IF THE AREA IS NOT UNDER ACTIVE CONSTRUCTION FOR A PERIOD LONGER THAN 7 DAYS, SEE ITEM NO. 4 BELOW.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING SHALL BE INSTALLED ON DOWNGRADIENT PORTIONS OF THE SITE AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM EXISTING DRAINAGE AREAS AND WETLANDS. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE :
   A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
   B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.

   STOCKPILES SHALL BE EITHER PLACED UPHILL OF AN EXISTING SEDIMENT BARRIER ON THE SITE OR ENCIRCLED BY A HAY BALE OR SILT FENCE BARRIER THE FIRST DAY THAT STOCKPILING COMMENCES.
4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
   A. TREATED WITH STRAW AT A RATE OF 70-90 LBS. PER 1000 SQUARE FEET FROM 4/16 TO 10/1, OR AT A RATE OF 150-200 LBS. PER 1000 SQUARE FEET FROM 10/1 TO 4/15.
   B. SEEDED WITH CONSERVATION MIX OF PERENNIAL RYE GRASS (1.0 LBS/1000 SQ.FT.) AND MULCHED IMMEDIATELY. FROM 10/1 TO 4/15, FOLLOW THE SEEDING RATES AS OUTLINED BELOW IN SUB-SECTION 4.D. OF THE "POST CONSTRUCTION REVEGETATION" SECTION.
   C. MONITORED EVERY TWO WEEKS UNTIL SEEDING CAN OCCUR AND REMULCHED AS NEEDED TO PROTECT SLOPES.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 3:1 SLOPE WHERE PRACTICAL. GREATER SLOPES MAY BE USED WHERE THE BANKS ARE PROTECTED WITH SOFT ARMOUR MATTING, EROSION CONTROL MATTING, OR RIPRAP. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY AFTER FINAL GRADING IS COMPLETE. (IT IS UNDERSTOOD THAT IMMEDIATELY MEANS WITHIN 5 DAYS OF THE COMPLETION OF WORK. SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
6. CONSTRUCTION TRAFFIC WILL BE DIRECTED OVER THE EXISTING SITE ENTRANCE. THE ROAD SHALL BE SWEPT DAILY SHOULD SEDIMENT BE TRACKED ONTO IT.

DEWATERING

1. ALL DEWATERING DISCHARGE LOCATIONS SHALL BE LOCATED ON RELATIVELY FLAT GROUND AT LEAST 75' FROM STREAMS AND 25' FROM WETLANDS. THE CONTRACTOR SHALL UTILIZE DIRTBAGS, EROSION CONTROL MIX BERMS, OR SIMILAR METHODS FOR FILTRATION OF DEWATERING AND SHALL CONFORM TO THE MAINE EROSION AND SEDIMENT CONTROL BMPS G-1, G-2, AND G-3.

POST CONSTRUCTION REVEGETATION

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING:

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE.
2. LAWN AREAS: "ESTATE GREEN" GRASS SEED BY ALLEN, STERLING & LOTHROP (FALMOUTH, MAINE), OR APPROVED EQUAL.
3. MULCH SHALL BE HAY OR STRAW MULCHES THAT ARE DRY AND FREE FROM UNDESIRABLE SEEDS AND COURSE MATERIALS.
   A. APPLICATION RATE MUST BE 2 BALES (70-90 LBS.) PER 1,000 SQUARE FEET OR 1.5 TO 2 TONS (90-100 BALES) PER ACRE TO COVER 75 TO 90% OF THE GROUND SURFACE.
   B. DRIVE OVER WITH TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
   C. BLANKET WITH TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING ON GRADES GREATER THAN 5%.
4. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF ASPHALT, WOOD FIBRE OR PAPER FIBRE AND WATER, WHICH IS SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 10/1 AND 4/15.
5. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN OCTOBER 1ST AND APRIL 15TH. SHOULD SEEDING BE NECESSARY BETWEEN THESE DATES, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED:
   A. ONLY UNFROZEN LOAM SHALL BE USED.
   B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
   C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
   D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.5 LBS/1000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
   E. FERTILIZING, SEEDING AND MULCHING SHALL BE DONE ON LOAM THE DAY THE LOAM IS SPREAD.
   F. HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE. WINTER MULCHING RATES, AS SPECIFIED ABOVE IN SUBSECTION 5.A. OF THE "CONSTRUCTION PHASE" SECTION, SHOULD BE APPLIED DURING THIS PERIOD.
5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 80% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE DESIGN PROFESSIONAL THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO.

MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL, AND AT LEAST ONCE A WEEK, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. SILT FENCE SHALL BE INSPECTED AND REPAIRED. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING.
2. CONSTRUCTION ENTRANCE SHALL BE VISUALLY INSPECTED AND REPAIRED AS NEEDED. ANY AREAS SUBJECT TO RUTTING SHALL BE STABILIZED IMMEDIATELY. IF THE VOIDS OF THE CONSTRUCTION ENTRANCE BECOME FILLED WITH MUD, MORE CRUSHED STONE SHALL BE ADDED AS NEEDED. THE PUBLIC ROADWAY SHALL BE SWEPT SHOULD MUD BE DEPOSITED/TRACKED ONTO THEM.

STANDARDS FOR STABILIZING SITES FOR THE WINTER

THE FOLLOWING STANDARDS AND METHODOLOGIES SHALL BE USED FOR STABILIZING THE SITE DURING THE WINTER CONSTRUCTION PERIOD

1. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES (ANY AREA HAVING A GRADE GREATER THAN 25%) - THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15TH. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15TH, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.
   A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A RATE OF 3 POUNDS PER 1000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED HAY MULCH OVER THE SEEDING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS.
   B. STABILIZE THE SLOPE WITH WOOD-WASTE COMPOST - THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD-WASTE COMPOST ON THE SLOPE BY NOVEMBER 15TH. THE CONTRACTOR WILL NOT USE WOOD-WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
   C. STABILIZE THE SLOPE WITH STONE RIPRAP - THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15TH. THE DEVELOPMENTS OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.
2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS - BY SEPTEMBER 15TH THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ON OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.
   A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER, 1, THEN THE CONTRACTOR WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM III OF THIS STANDARD.
   B. STABILIZE THE SOIL WITH SOD - THE CONTRACTOR WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
   C. STABILIZE THE SOIL WITH MULCH - BY NOVEMBER 15TH THE CONTRACTOR WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, THE CONTRACTOR WILL ANCHOR THE MULCH WITH NETTING OR OTHER METHOD TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL

EROSION CONTROL REMOVAL

AN AREA IS CONSIDERED STABLE IF IT IS PAVED OR IF 80% GROWTH OF PLANTED SEEDS IS ESTABLISHED. ONCE AN AREA IS CONSIDERED STABLE, THE EROSION CONTROL MEASURES CAN BE REMOVED AS FOLLOWS:

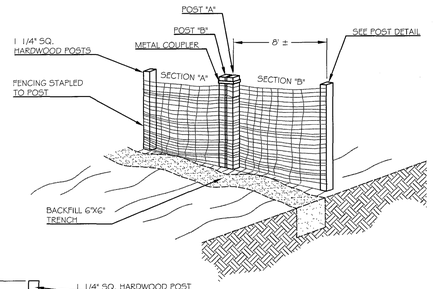
1. SILT FENCE
   SILT FENCE SHALL BE DISPOSED OF LEGALLY AND PROPERLY OFF-SITE. ALL SEDIMENT TRAPPED BEHIND THESE CONTROLS SHALL BE DISTRIBUTED TO AN AREA UNDERGOING FINAL GRADING OR REMOVED AND RELOCATED OFF-SITE.
2. CATCH BASIN PROTECTION
   CATCH BASIN INLET PROTECTION SHALL BE REMOVED FOLLOWING PERMANENT STABILIZZTION OF UPGRADIENT AREAS. SEDIEMENT SHALL BE REMOVED FROM TEH SACK AND LEGALLY DISPOSED. SEDIMENT SHALL NOT BE WASHED INTO THE CATCH BASIN.
3. MISCELLANEOUS
   ONCE ALL THE TRAPPED SEDIMENTS HAVE BEEN REMOVED FROM THE TEMPORARY SEDIMENTATION DEVICES THE DISTURBED AREAS MUST BE REGRADED IN AN AESTHETIC MANNER TO CONFORM TO THE SURROUNDING TOPOGRAPHY. ONCE GRADED THESE DISTURBED AREAS MUST BE LOAMED (IF NECESSARY), FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE RATES PREVIOUSLY STATED.

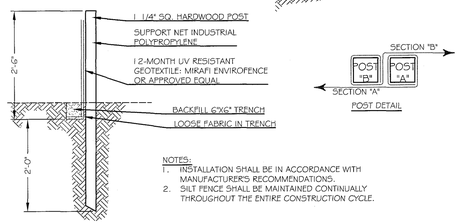
THE ABOVE EROSION CONTROLS MUST BE REMOVED WITHIN 30 DAYS OF FINAL STABILIZATION OF THE SITE.

CONFORMANCE WITH THIS PLAN AND FOLLOWING THESE PRACTICES WILL RESULT IN A PROJECT THAT COMPLIES WITH THE STATE REGULATIONS AND THE STANDARDS OF THE NATURAL RESOURCES PROTECTION ACT, AND WILL PROTECT WATER QUALITY IN AREAS DOWNSTREAM FROM THE PROJECT.

1 / C-200 — EROSION AND SEDIMENTATION CONTROL NOTES

*NOT TO SCALE*

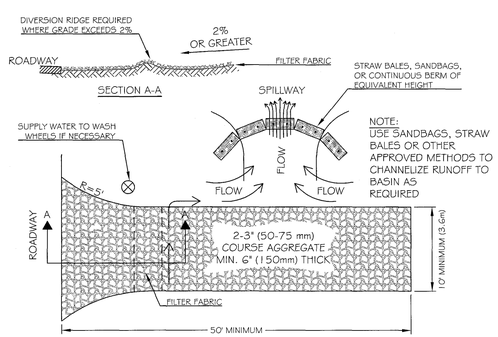



NOTES:
1. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. SILT FENCE SHALL BE MAINTAINED CONTINUALLY THROUGHOUT THE ENTIRE CONSTRUCTION CYCLE.

2 / C-200 — PREFABRICATED SILT FENCE

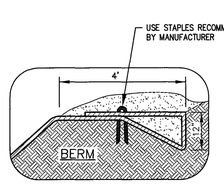
NOT TO SCALE



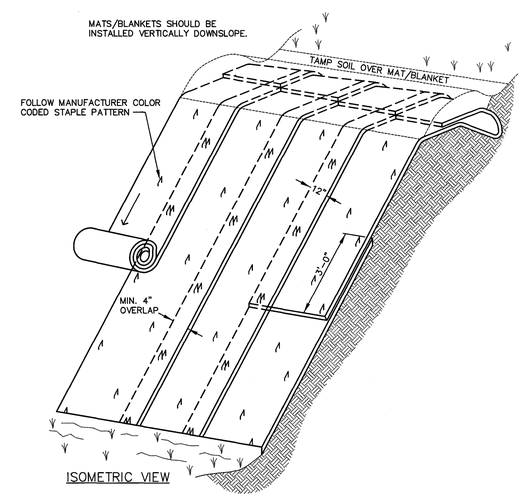

NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

3 / C-200 — STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE




INSTALLATION INSTRUCTIONS:
1. TURF REINFORCEMENT MAT (TRM) MATERIAL SHALL BE ENKAMAT 7020, OR APPROVED EQUAL.
2. EROSION CONTROL BLANKET (ECB) SHALL BE BIONET S75BN SINGLE NET STRAW BLANKET BY NORTH AMERICAN GREEN OR APPROVED EQUAL.
3. FOR TRM INSTALLATION ONLY:
   3.1. APPLY 5" OF LOAM ONTO THE GROUND SURFACE.
   3.2. OVER TOP THE 5" OF LOAM, UNROLL MAT IN THE DIRECTION OF WATER FLOW.
4. MAT SHOULD LIE FLAT. DO NOT STRETCH MAT OVER GROUND. STRETCHING MAY CAUSE MAT TO BRIDGE DEPRESSIONS IN THE SURFACE AND ALLOW EROSION UNDERNEATH.
5. BURY TRANSVERSE TERMINAL ENDS OF MAT TO SECURE AND PREVENT EROSIVE FLOW UNDERNEATH.
6. SECURE MAT SNUGLY INTO ALL TRANSVERSE CHECK SLOTS.
7. BACKFILL AND COMPACT TRENCHES AND CHECK SLOTS AFTER STAKING THE MAT IN BOTTOM OF TRENCH.
8. OVERLAP ROLL ENDS BY THREE (3) FEET (MIN.) WITH UPSLOPE MAT ON TOP TO PREVENT UPLIFT OF MAT END BY WATER FLOW. IF INSTALLING IN THE DIRECTION OF A CONCENTRATED WATER FLOW, START NEW ROLLS IN A TRANSVERSE DITCH.
9. OVERLAP ADJACENT EDGES OF MAT BY THREE (3) INCHES (MIN.) AND STAKE.
10. USE WOOD STAKES OR STAPLES FOR PINNING MAT TO THE GROUND SURFACE, PER MANUFACTURER'S RECOMMENDATIONS.
11. IN ALL TRANSVERSE TERMINAL TRENCHES AND CHECK SLOTS, STAKE EACH MAT AT ITS CENTER AND OVERLAP EDGES BEFORE BACKFILLING AND COMPACTING.
12. STAKE OVERLAPS LONGITUDINALLY AT THREE (3) TO FIVE (5) FOOT INTERVALS.
13. FOR TRM ONLY: WORK ADDITIONAL 1" OF LOAM INTO THE MAT AND THEN SEED AND MULCH.




4 / C-200 — STRAW MATTING AND TRM EROSION CONTROL

NOT TO SCALE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

STATE OF MAINE — SILAS W. CANAVAN No. 12639 — LICENSED PROFESSIONAL ENGINEER — 11/30/17

WALSH ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com


LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 939-1717

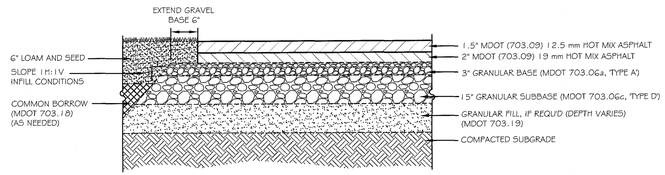
APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: N.T.S.
PROJ. NO.
DWG. NO. C-200

PROPOSED PRESUMPSCOT STREET BUSINESS PARK
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS

CITY OF PORTLAND APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
-118
C-200
DATE OF APPROVAL 3/14/2018
PLANNER Christian Roadman
PROJECT NO. 2017-286




1 / C-201 BITUMINOUS CONCRETE PAVEMENT SECTION

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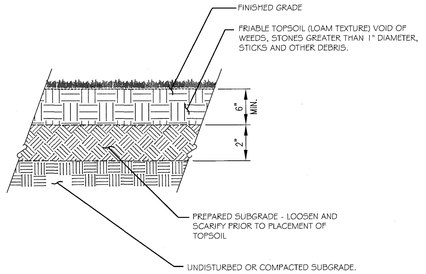


2 / C-201 LAWN INSTALLATION DETAIL

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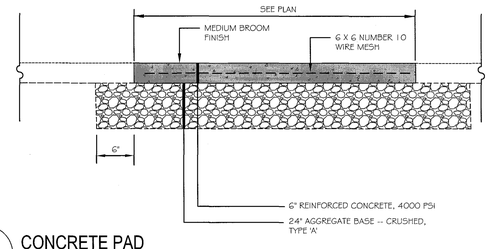
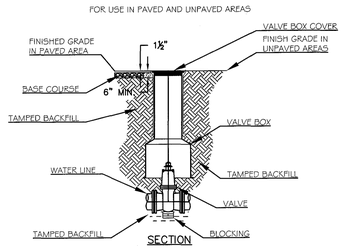



3 / C-201 CONCRETE PAD

NOT TO SCALE

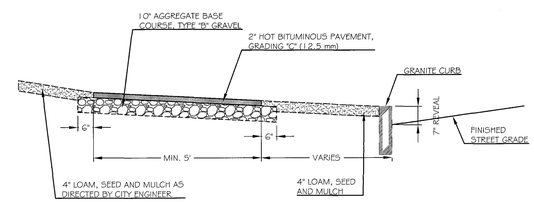
Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018




NOTES:
1. ALL WORK TO CONFORM TO THE PORTLAND WATER DISTRICT STANDARDS AND REQUIREMENTS.
2. D.I.P. MAY BE USED FOR VALVE BOX EXTENSIONS.
3. VALVE BOX SHOULD NOT CONTACT WATER MAIN OR VALVE.
4. CONCRETE PROTECTOR RING SHALL BE USED IN ALL UNPAVED AREAS.

4 / C-201 VALVE AND VALVE BOX INSTALLATION DETAIL

NOT TO SCALE




5 / C-201 BITUMINOUS SIDEWALK

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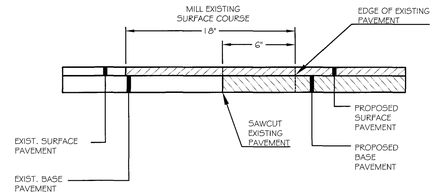
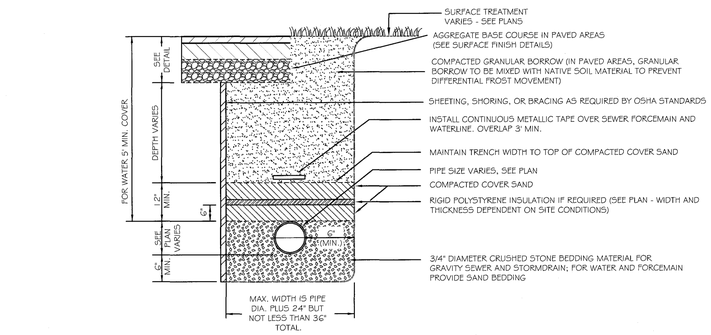


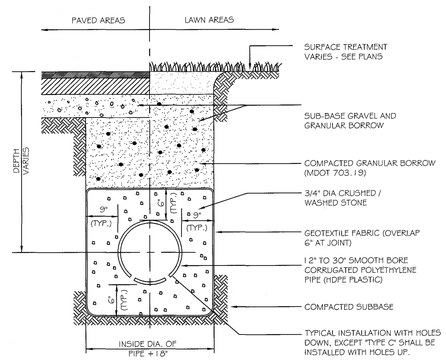

6 / C-201 HMA PAVEMENT BUTT JOINT DETAIL

*NOT TO SCALE*




7 / C-201 TYPICAL PIPE TRENCHING DETAIL

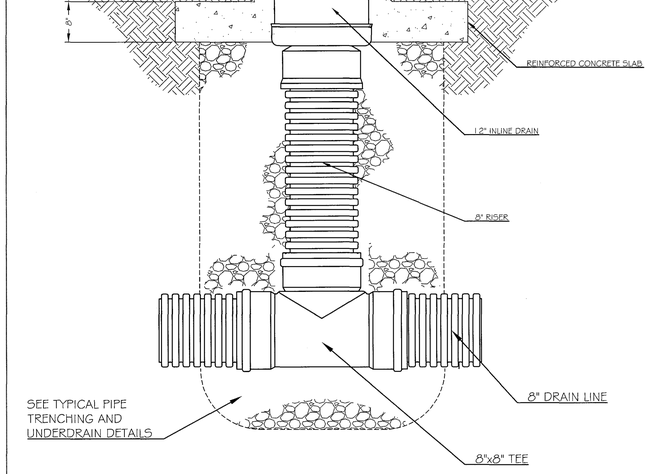
NOT TO SCALE




NOTES:
1. BACKFILL MATERIAL WITHIN TRENCH BEYOND UNDERDRAIN LATERAL LIMITS SHALL, AS A MINIMUM, CONFORM TO THE REQUIREMENTS OF GRANULAR BORROW.
2. UNDERDRAIN SHALL CONFORM TO THE REQUIREMENTS OF MDOT 605.04, TYPE "B", EXCEPT AS NOTED.
3. OUTLETS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM AS SHOWN ON THE PLANS, OR GRADED BY GRAVITY TO A SUITABLE DISCHARGE POINT.

8 / C10.2 UNDERDRAIN DETAIL

NOT TO SCALE




9 / C-201 INLINE DRAIN DETAIL

NOT TO SCALE

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| B | 3/7/18 | REVISED PER STAFF COMMENTS AND RESUBMITTED TO THE CITY OF PORTLAND | DEPT. | SWC | PBB |
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

STATE OF MAINE
SILAS W. CANAVAN
No. 12639
LICENSED PROFESSIONAL ENGINEER
3/7/18

WALSH ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com



**LAND DESIGN SOLUTIONS**
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717

APPLICANT & OWNER:
**JAKE'S DEVELOPMENT, INC.**
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

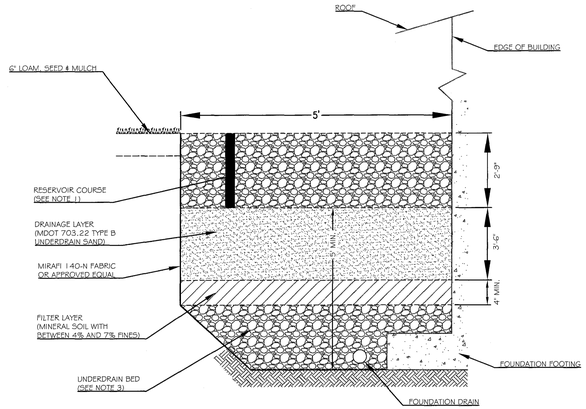
DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: N.T.S.

**PROPOSED PRESUMPSCOT STREET BUSINESS PARK**
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

**SITE DETAILS**

PROJ. NO. 2017-288
DWG. NO. C-201

CITY OF PORTLAND
APPROVED: SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE: 3/14/2018
PERMIT NO. 18-115
PLANNER: Christian Roadman




DRIPLINE SECTION

NOTES:

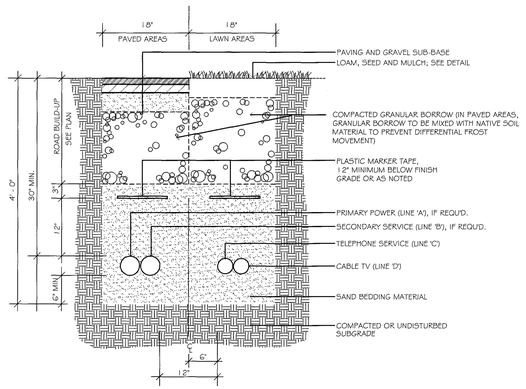
1. RESERVOIR COURSE SHALL CONSIST OF CLEAN WASHED MDOT 703.22 TYPE C UNDERDRAIN STONE.
2. TREATMENT FILTER MEDIA SHALL CONSIST OF A MINERAL SOIL AGGREGATE WITH BETWEEN 4 AND 7% FINES (PASSING THE #200 SIEVE). BACKFILL MATERIAL FOR THE FOUNDATION MAY BE USED IF IT MEETS THE ABOVE CRITERIA.
3. UNDERDRAIN BED SHALL CONSIST OF GRAVEL MEETING MDOT SPEC. 703.22, TYPE B.
4. THE DRIPLINE TRENCH SHALL EXTEND THE LENGTH OF THE BUILDING OR AREA OF ROOF TO BE TREATED.
5. THE DRIPLINE IS PART OF THE STORMWATER TREATMENT SYSTEM AND SHALL NOT BE REMOVED OR ALTERED IN ANY WAY.

CONSTRUCTION OVERSIGHT

INSPECTIONS BY A PROFESSIONAL ENGINEER SHALL CONSIST OF WEEKLY VISITS TO THE SITE TO INSPECT EACH OF THE ROOF DRIP EDGE FILTER'S UNDERDRAIN CONSTRUCTION, FILTER MATERIAL PLACEMENT, AND OVERFLOW FROM INITIAL GROUND DISTURBANCE TO FINAL STABILIZATION OF THE FILTER.

1 C-202 **TYPICAL ROOF DRIPLINE FILTER DETAIL**

*NOT TO SCALE*



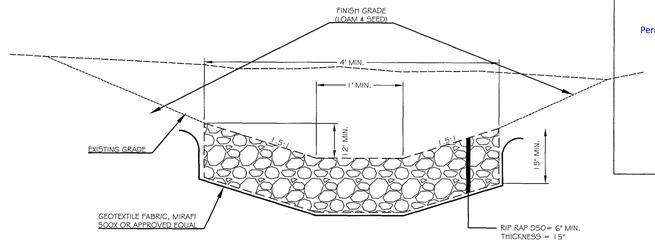

| SERVICE | CONDUIT SIZE* | CONDUIT TYPE | UTILITY |
|---|---|---|---|
| 'A' | 4" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | PRIMARY POWER |
| 'B' | 4" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | SECONDARY POWER |
| 'C' | 3" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | TELEPHONE |
| 'D' | 3" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | CATV |

NOTES:

1. ALL WORK SHALL COMPLY WITH THE RESPECTIVE UTILITY COMPANY STANDARDS.
2. SEE UTILITIES PLANS FOR CONDUIT LOCATIONS.
3. CONTRACTOR TO PROVIDE 1/4" POLYPROPYLENE PULL ROPES IN ALL CONDUITS.
4. CONTRACTOR SHALL VERIFY CONDUIT SIZE WITH APPLICABLE UTILITY COMPANIES.

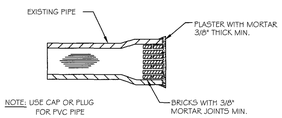
2 C-202 **UNDERGROUND UTILITY TRENCH SECTION (MULITPLE CONDUITS)**

*NOT TO SCALE*



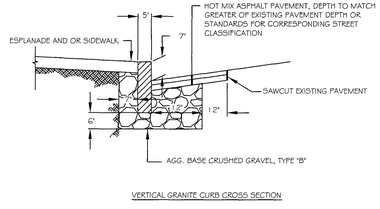

3 C-202 **RIPRAP SWALE DETAIL**

NOT TO SCALE

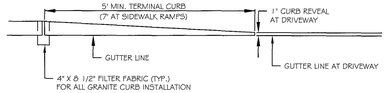



4 C-202 **PIPE ABANDONMENT DETAIL**

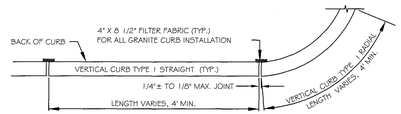
NOT TO SCALE




VERTICAL GRANITE CURB CROSS SECTION



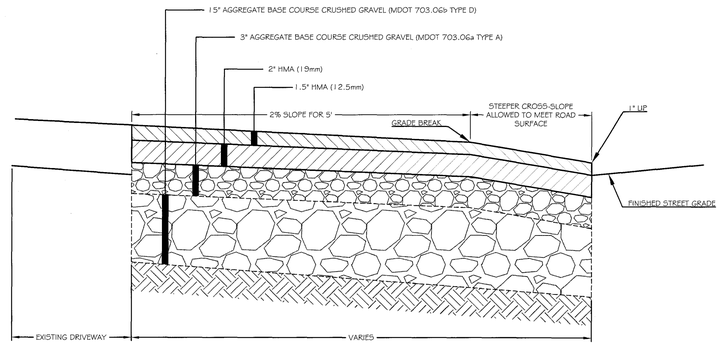

TERMINAL CURB PROFILE




VERTICAL GRANITE CURB PLAN VIEW

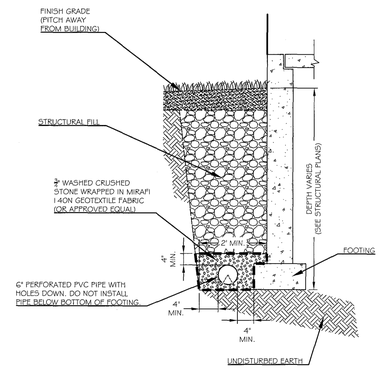
5 C-202 **GRANITE CURB INSTALLATION IN EXISTING STREETS DETAIL**

*NOT TO SCALE*




6 C-202 **BITUMINOUS DRIVEWAY APRON DETAIL**

NOT TO SCALE




7 C-202 **FOUNDATION DRAIN DETAIL**

NOT TO SCALE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| B | 3/7/18 | REVISED PER STAFF COMMENTS AND RESUBMITTED TO THE CITY OF PORTLAND | DEPT. | SWC | PBB |
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

STATE OF MAINE — SILAS W. CANAVAN No. 12639 — LICENSED PROFESSIONAL ENGINEER — 3/7/18

WALSH ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
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P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717

APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

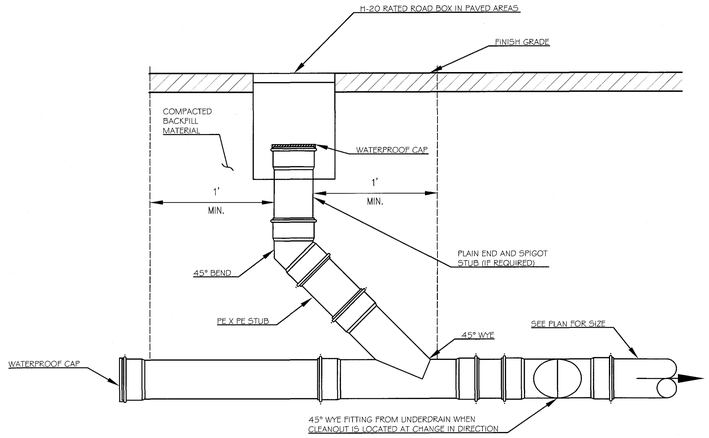
DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: N.T.S.

PROPOSED PRESUMPSCOT STREET BUSINESS PARK
314–316 PRESUMPSCOT STREET, PORTLAND, MAINE

SITE DETAILS

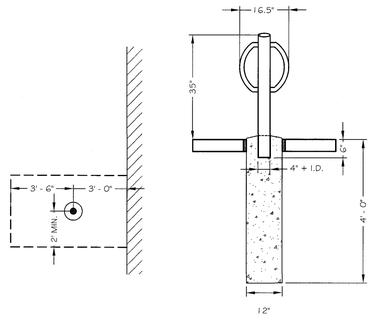
PROJ. NO. —
DWG. NO. C-202

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval
and Standard Conditions
DATE OF APPROVAL 3/14/2018
PLANNER Christian Roadman
PROJECT NO. 2017-286



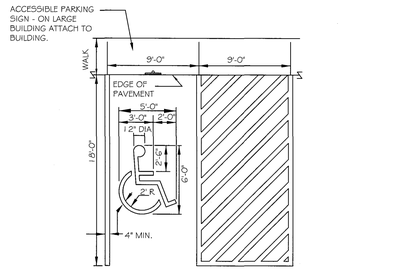

1 C-203 **SEWER/STORMDRAIN CLEANOUT**

NOT TO SCALE




2 C-203 **BIKE HITCH MOUNTING DETAIL**

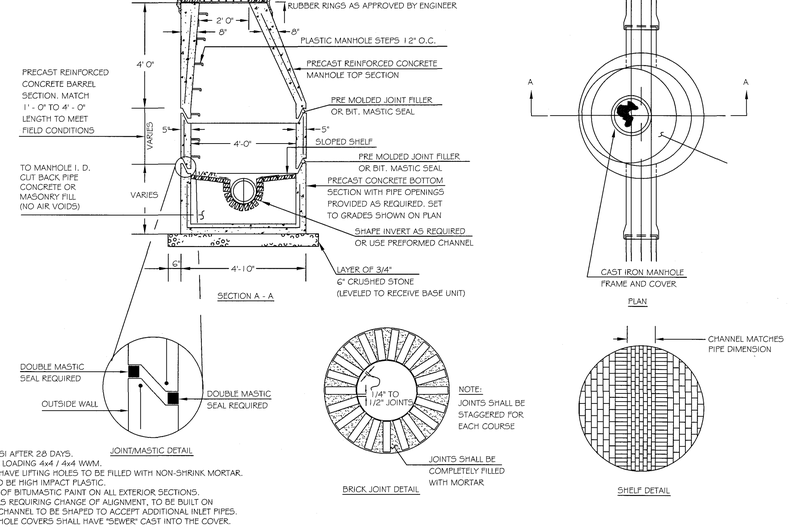
*NOT TO SCALE*




NOTE:
1. ALL ACCESSIBLE PARKING SPACE SIGNS SHALL BE MUTCD R7-8, ' VAN ACCESSIBLE' PLAQUES (MUTCD R7-8P) SHALL BE PROVIDED FOR ALL SPACES WITH AN 8' WIDE (OR WIDER) AISLE. BOTTOM OF SIGNS SHALL BE MIN. 5' ABOVE GRADE.
2. PAINT ALL PAVEMENT STRIPES AND LINES 4 INCHES WIDE (TYP.)
3. ALL ACCESSIBLE PARKING SPACES SHALL MEET MOST RECENT ADA STANDARDS FOR ACCESSIBLE DESIGN

3 C-203 **ACCESSIBLE PARKING STALL DETAIL**

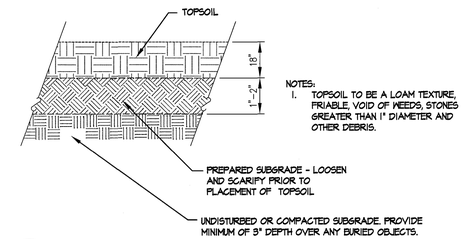
*NOT TO SCALE*




NOTES:
1. CONCRETE 4000 PSI AFTER 28 DAYS.
2. REINFORCING H-20 LOADING 4x4 / 4x4 WWM.
3. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
4. MANHOLE STEPS TO BE HIGH IMPACT PLASTIC.
5. APPLY TWO COATS OF BITUMASTIC PAINT ON ALL EXTERIOR SECTIONS.
6. MANHOLE CHANNELS REQUIRING CHANGE OF ALIGNMENT, TO BE BUILT ON SMOOTH RADIUS. CHANNEL TO BE SHAPED TO ACCEPT ADDITIONAL INLET PIPES.
7. ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE COVER.

4 C-203 **TYPICAL SANITARY MANHOLE**

NOT TO SCALE

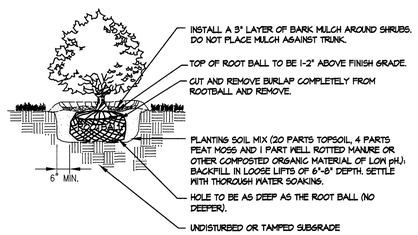



NOTES:
1. TOPSOIL TO BE A LOAM TEXTURE, FRIABLE, VOID OF WEEDS, STONES GREATER THAN 1" DIAMETER AND OTHER DEBRIS.

5 C-203 **PLANT BED DETAIL**

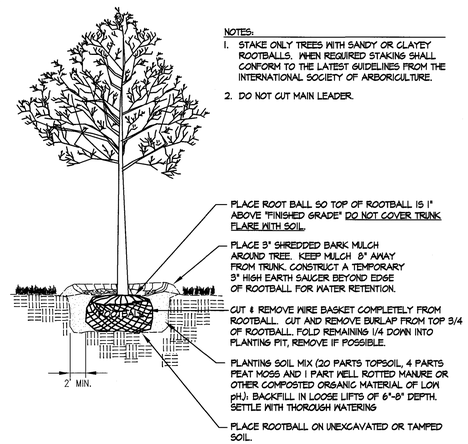
*NOT TO SCALE*

NOTES:
1. CONSTRUCT TEMPORARY PLANT SAUCER FROM MULCH TO ASSIST WITH WATER RETENTION. SAUCER NOT REQUIRED WHEN SHRUB OCCURS IN A PLANT BED.
2. WHEN PLANTING CONTAINER GROWN PLANTS-REMOVE THE BALL FROM THE CONTAINER AND LOOSEN THE OUTSIDE LAYER OF THE ROOT SYSTEM BY SCORING WITH A CLEAN KNIFE. DIVIDE ALL CIRCLING ROOTS.
3. SHRUBS TO BE WATERED IMMEDIATELY AFTER PLANTING.




6 C-203 **SHRUB PLANTING DETAIL**

*NOT TO SCALE*




NOTES:
1. STAKE ONLY TREES WITH SANDY OR CLAYEY ROOTBALLS. WHEN REQUIRED STAKING SHALL CONFORM TO THE LATEST GUIDELINES FROM THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
2. DO NOT CUT MAIN LEADER.

7 C-203 **TREE PLANTING DETAIL**

*NOT TO SCALE*

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

SILAS W. CANAVAN No. 12639 LICENSED PROFESSIONAL ENGINEER STATE OF MAINE
11/30/17

WALSH ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com


LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 934-1717

APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: N.T.S.

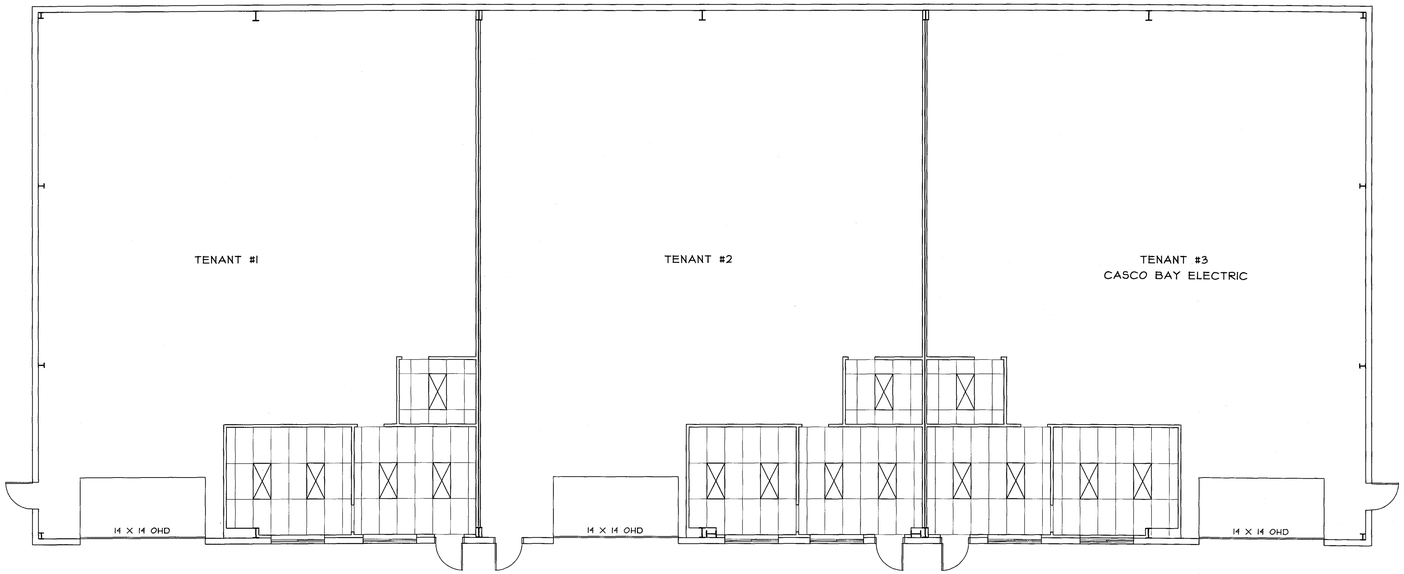
PROPOSED PRESUMPSCOT STREET BUSINESS PARK
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

SITE DETAILS

PROJ. NO. 115
DWG. NO. C-203

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval
and Standard Conditions
DATE 3/14/2018
PLANNER Christian Roadman




ALL CEILINGS 8'-3" A.F.P.

BISKUP CONSTRUCTION, INC.
16 DANIELLE DRIVE
WINDHAM, MAINE 04062
TEL. (207) 892-9800
FAX. (207) 892-9895
WWW.BISKUPCONSTRUCTION.COM

STAMP

STATE OF MAINE
JAMES M. STREETER
NO. 11182
LICENSED
PROFESSIONAL ENGINEER

J. M. STREETER
ARCHITECTURAL ENGINEER
44 CARSOE DRIVE
PORTLAND, MAINE 04103 (207) 797-3093

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
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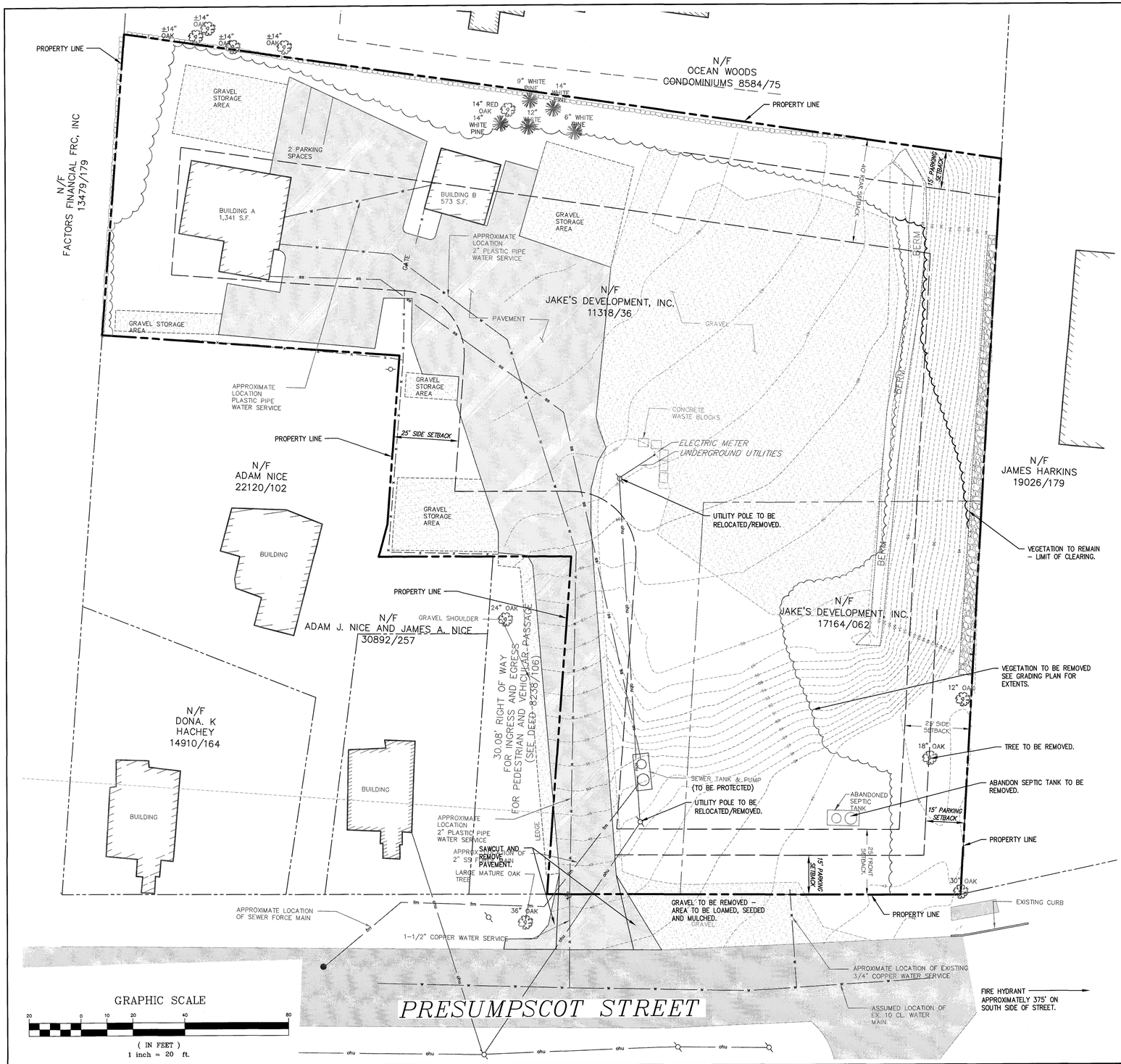
| | |

DATE: 5/30/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



SHEET TITLE
CEILING PLAN

SHEET NUMBER
A-5




## GENERAL PROJECT NOTES:

1. THE PROPERTY OWNER OF RECORD IS:
   JAKE'S DEVELOPMENT, INC.
   30 LEDGEWOOD DRIVE
   FALMOUTH, ME 04105
2. TAX ASSESSORS REFERENCE: 423-A-33, 20, 13 & 12
3. BOUNDARY SURVEY WAS PROVIDED BY:
   CULLENBERG LAND SURVEYING
   892 OLD DANVILLE ROAD
   AUBURN, ME 04210
4. TOPOGRAPHIC AND OTHER EXISTING CONDITIONS INFORMATION WAS PROVIDED BY CULLENBERG LAND SURVEYING, AERIAL MAPPING AND IN THE FIELD OBSERVATIONS BY THE DESIGN TEAM.
5. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON-SITE AND OFF-SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND CLEARLY MARKED.
6. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL DRAWINGS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS AND CONDUCT THE WORK IN ACCORDANCE WITH THESE PERMITS AND APPROVALS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL ADDITIONAL PERMITS, STREET OPENINGS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK.
8. ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS AS WELL AS MANUFACTURER'S RECOMMENDATIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM WORK SHOWN ON THESE PLANS. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF PORTLAND TECHNICAL STANDARDS AND DETAILS..
10. THE CONTRACTOR SHALL LIMIT THE CONSTRUCTION ACTIVITY TO THE LIMITS SHOWN ON THE PLANS, UNLESS OTHERWISE AUTHORIZED BY THE OWNERS REPRESENTATIVE.
11. THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION. SEE DRAWINGS C-102 AND C-200 FOR EROSION CONTROL MEASURES.
12. THERE IS A MORATORIUM ON STREET OPENINGS IN PRESUMPSCOT STREET UNTIL 8-14-2018.

## EXISTING UTILITY NOTES:

1. THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 60 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.

LEGEND:

- PROJECT BOUNDARY LINE
- ABUTTER BOUNDARY LINE
- SETBACK LINE
- OVERHEAD UTILITY (OHU)
- UNDERGROUND UTILITY (UGU)
- SANITARY SEWER FORCE MAIN (FM)
- SANITARY SEWER (SS)
- WATER SERVICE (W)
- CONTOUR (43)
- UTILITY POLE
- BUILDING
- RIPRAP
- GRAVEL
- BITUMINOUS CONCRETE PAVEMENT
- TREE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
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| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

LICENSED LANDSCAPE ARCHITECT
PETER B. BIEGEL
No. 2624
STATE OF MAINE
3/7/18


LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717


APPLICANT & OWNER:
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30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: 1"=20'

PROPOSED PRESUMPSCOT STREET BUSINESS PARK
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

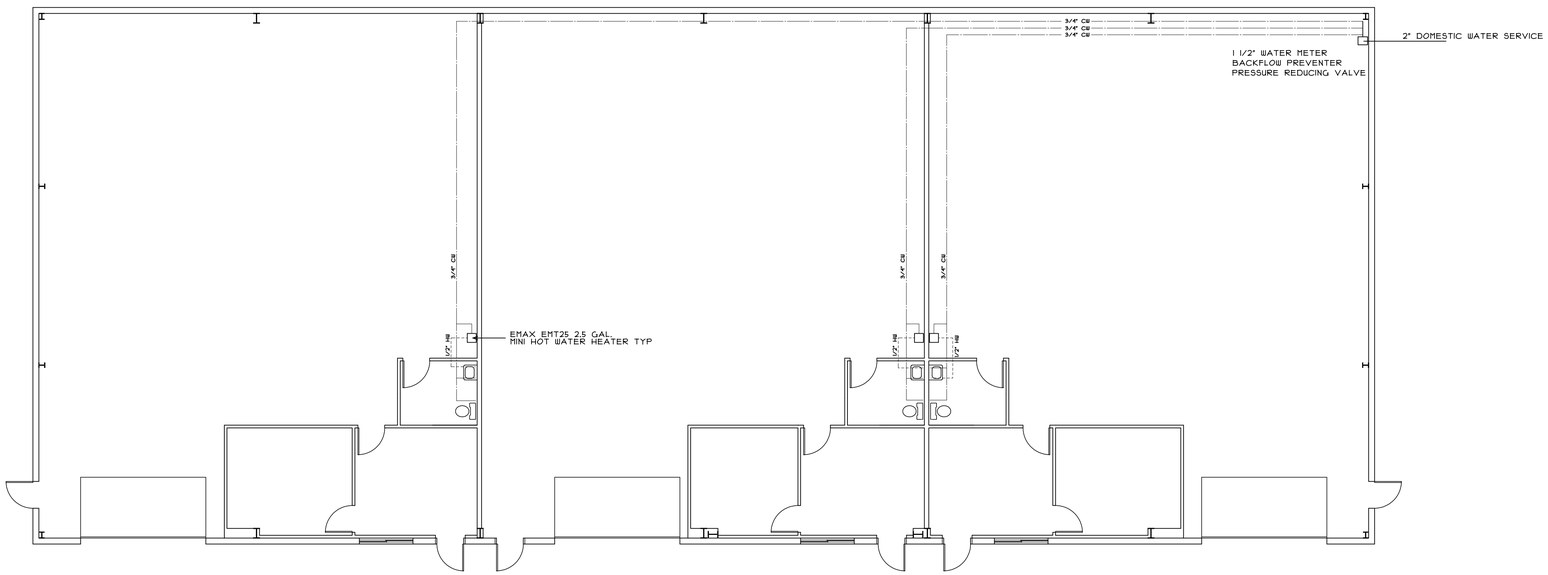
EXISTING CONDITIONS AND DEMOLITION PLAN

PROJ. NO. 16-115
DWG. NO. C-100
REV. -100

CITY OF PORTLAND
APPROVED SITE PLAN
With Conditions of Approval
See Standard Conditions

DATE of APPROVAL 3/14/2018
PLANNER Christian Roadman
PROJECT NO. 2017-286

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018




BISKUP CONSTRUCTION, INC.
14 DANIELLE DRIVE
WINDHAM, MAINE 04062
TEL. (207) 892-9800
FAX. (207) 892-9895
WWW.BISKUPCONSTRUCTION.COM

STAMP

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOTT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
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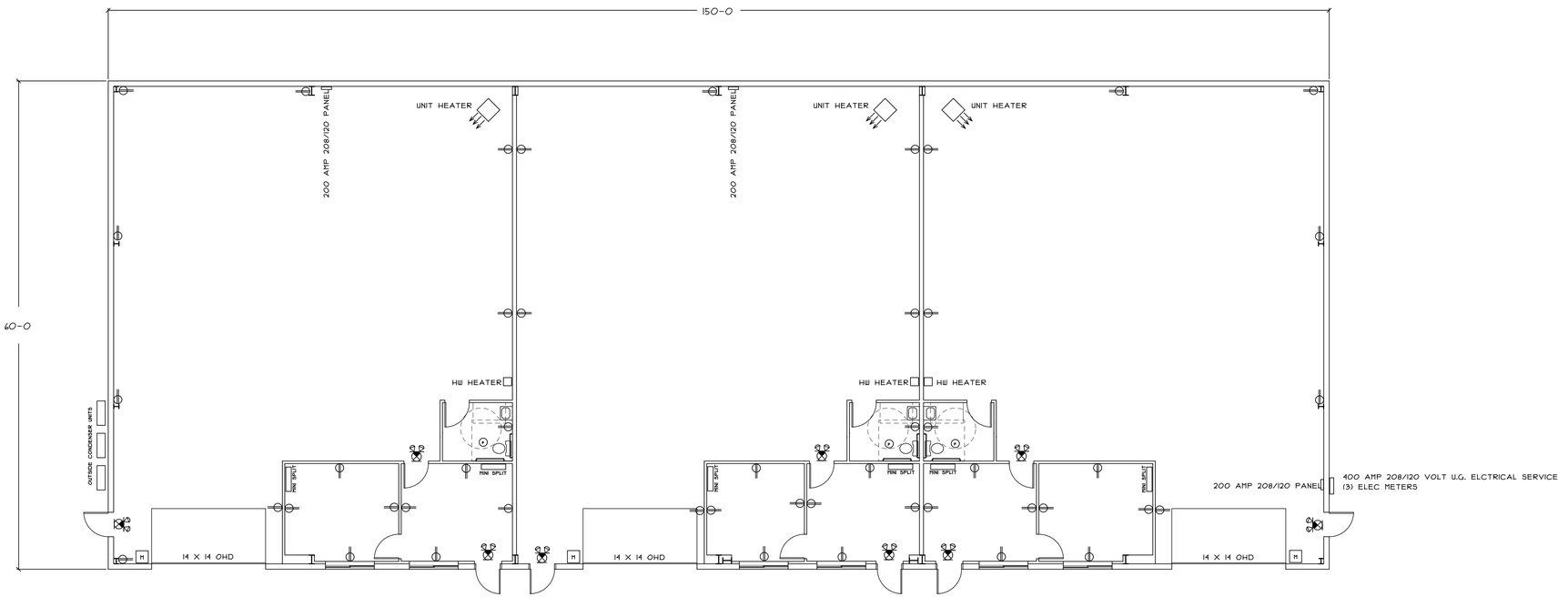
| | |
| | |

DATE: 5/4/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



SHEET TITLE
DOMESTIC WATER PLAN

SHEET NUMBER
P-2
SHEET 2 OF 2




DUPLEX RECEPTACLE
OHD DOOR OPERATOR
EXHAUST FAN
EXIT/EMERGENCY LIGHT

BISKUP CONSTRUCTION, INC.
16 DANIELLE DRIVE
WINDHAM, MAINE 04062
TEL. (207) 892-9800
FAX. (207) 892-9895
WWW.BISKUPCONSTRUCTION.COM

STAMP

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOTT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
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DATE: 5/4/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB

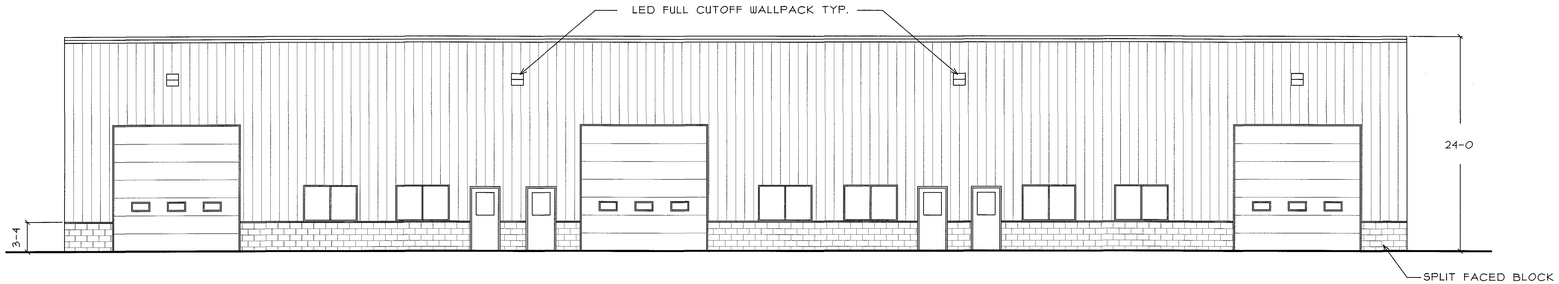


SHEET TITLE

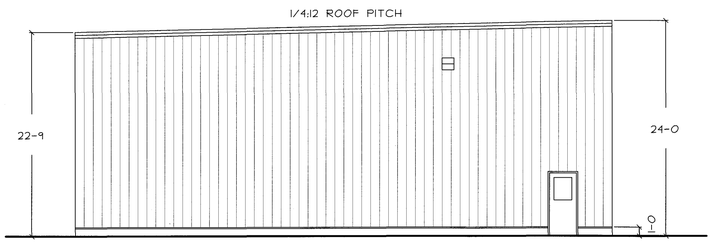
ELECTRICAL PLAN

SHEET NUMBER

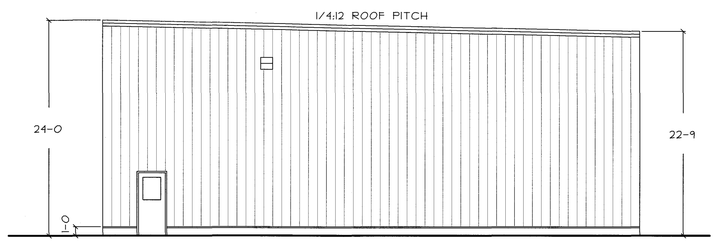
E-1



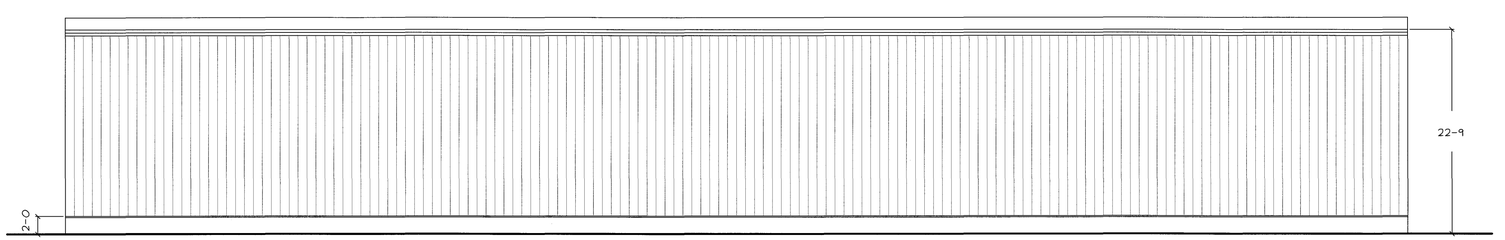

FRONT ELEVATION




LEFT ELEVATION




RIGHT ELEVATION




REAR ELEVATION

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

BISKUP CONSTRUCTION, INC.
16 DANIELLE DRIVE
WINDHAM, MAINE 04062
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STAMP

STATE OF MAINE
JAMES M. STREETER
NO. 11152
5/31/18
LICENSED PROFESSIONAL ENGINEER

J. M. STREETER
ARCHITECTURAL ENGINEER
44 CARSOE DRIVE
PORTLAND, MAINE 04103 (207) 797-3093

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
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| | |

DATE: 5/30/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-3
SHEET 3 OF 5

## GENERAL NOTES

BUILDING CODES: MUBEC, IBC 2015, NFPA 1 (2009), NFPA 10, NFPA 13, NFPA 101 (2006), IECC 2009

THIS BUILDING DOES NOT HAVE A SPRINKLER SYSTEM, BUT WILL HAVE A FIRE ALARM SYSTEM

THE BUILDING IS A PRE-ENGINEERED METAL BUILDING BY PACKAGE STEEL SYSTEMS, INC. OF SUTTON, MA., BUILDING MANUFACTURER TO PROVIDE STRUCTURAL DESIGN, BUILDING ENVELOPE DETAILS, AND LETTER OF CERTIFICATION.

FOUNDATION DESIGN TO BE BY ASSOCIATED DESIGN PROFESSIONALS

ALL DOORS SHALL BE 3'-0" WIDE AND HAVE HANDICAPPED LEVER TYPE HARDWARE

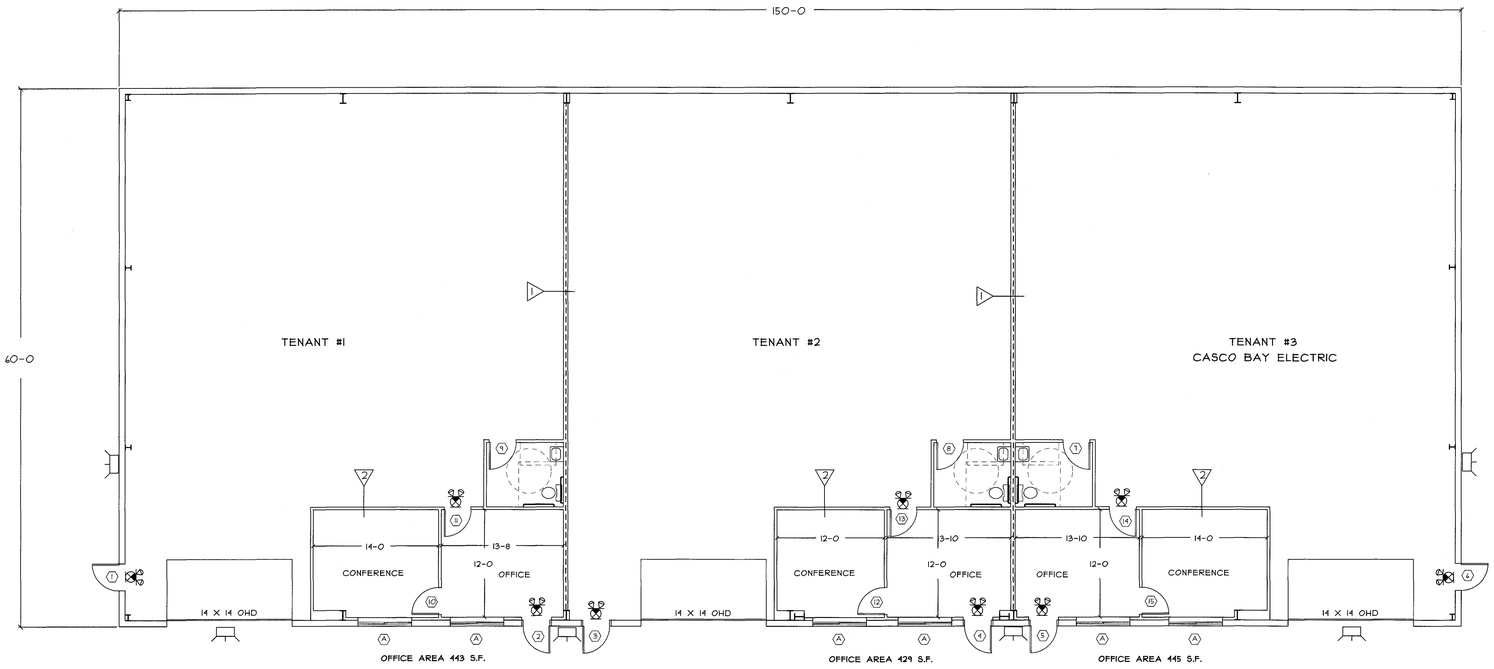
5 LB ABC FIRE EXTINGUISHERS SHALL BE MOUNTED AT EVERY EXIT

HANDICAPPED SIGNAGE SHALL BE MOUNTED AT 5'-0" A.F.F. AT ALL FUTURE BATHROOMS AND EXITS

THE BUILDING WILL BE HEATED BY GAS FIRED REZNOR HEATING UNITS

SEPARATE PERMITS ARE REQUIRED FOR THE ELECTRICAL, PLUMBING, AND HVAC WORK

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018





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PROFESSIONAL ENGINEER


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| DATE | DESCRIPTION |
|---|---|
| | |
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| | |

DATE: 5/30/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB

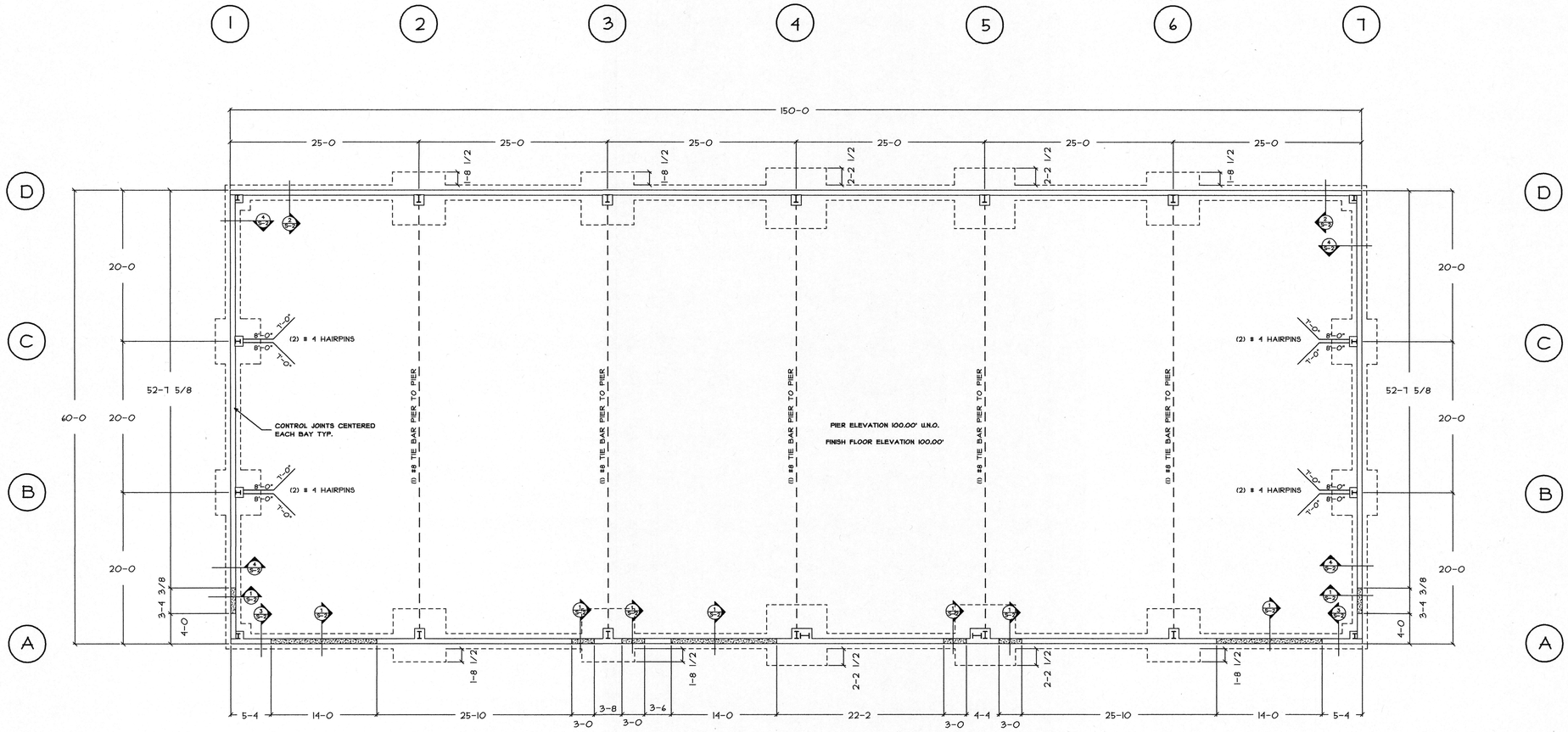


SHEET TITLE

FLOOR PLAN

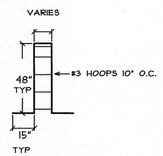
SHEET NUMBER

A-1




## FOOTING & PIER SCHEDULE

| LOCATION | FOOTING SIZE | FOOTING REBAR | PIER SIZE | PIER REBAR | ANCHOR BOLTS |
|---|---|---|---|---|---|
| | | | | | |
| 1A, 1D, 7A, 7D | 3'-4" X 3'-4" X 1'-0" | 3 #5 E.W BOTT. | 12" X 12" | 2 #5 "U" BARS, 15" X 48" X 10" | 3/4" X 18" A 307 HEADED |
| 1B, 1C, 7B, 7C | 6'-0" X 6'-0" X 1'-0" | 6 #5 E.W BOTT. | 16" X 12" | 2 #5 "U" BARS, 15" X 48" X 12" | 3/4" X 18" A 307 HEADED |
| 2A, 3A, 6A, 2D, 3D, 6D | 7'-0" X 7'-0" X 1'-2" | 8 #5 E.W BOTT. | 16" X 16" | 2 #5 "U" BARS, 15" X 48" X 12", 2 #5 "U" BARS, 15" X 48" X 16" | 3/4" X 18" A 521 THREADED ROD WITH NUT |
| 4D, 5D | 8'-0" X 8'-0" X 1'-2" | 9 #5 E.W. BOTT. | 16" X 16" | 2 #5 "U" BARS, 15" X 48" X 12", 2 #5 "U" BARS, 15" X 48" X 16" | 3/4" X 18" A 521 THREADED ROD WITH NUT |
| 4A, 5A | 8'-0" X 8'-0" X 1'-4" | 11 #5 E.W. BOTT. | 32" X 16" | 6 #5 "U" BARS, 15" X 48" X 16" | 3/4" X 18" A 521 THREADED ROD WITH NUT |
| | | | | | |




"U" BARS

GENERAL NOTES:

ALL FOOTINGS TO BEAR ON 6" OF 3/4" STONE ATOP UNDISTURBED SOIL, WITH AN ALLOWABLE NET, BEARING CAPACITY OF 3,000 PSF.

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE, 28 DAYS = 3,000 PSI.

MINIMUM YIELD STRENGTH OF REINF. STEEL = 60,000 PSI.

REINF. STEEL SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE, LATEST EDITION

CONCRETE WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" ACI 301, LATEST EDITION

BACKFILL BOTH SIDES OF ALL WALLS SIMULTANEOUSLY

FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT BY SUMMIT GEOENGINEERING DATED 11/11/2016. THIS DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR SETTLEMENT OF THE BUILDING, OR DISCREPANCIES OF ON SITE CONDITIONS. A GEOTECHNICAL ENGINEER SHALL BE CONTACTED IF ANY UNSUITABLE MATERIALS ARE ENCOUNTERED.

BISKUP CONSTRUCTION, INC.
14 DANIELLE DRIVE
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80 Leighton Road, Falmouth, Maine 04105
Office (207) 878-1729
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E-Mail adp@adpengineering.com

STAMP
STATE OF MAINE
AARON S. WILSON
NO 10428
LICENSED PROFESSIONAL ENGINEER

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOT STREET
PORTLAND, MAINE

REVISIONS

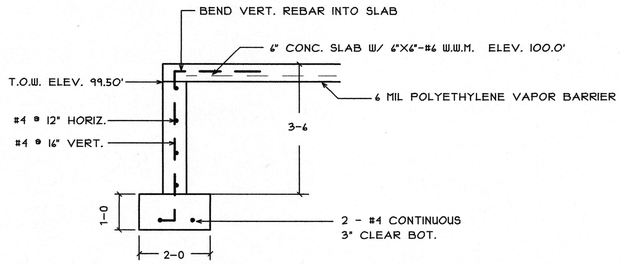
| DATE | DESCRIPTION |
|---|---|
| | |

DATE: 6/6/2018
SCALE: 1/8" = 1'-0"
DESIGNER: AW
CHECKED BY: JB



SHEET TITLE
FOUNDATION PLAN

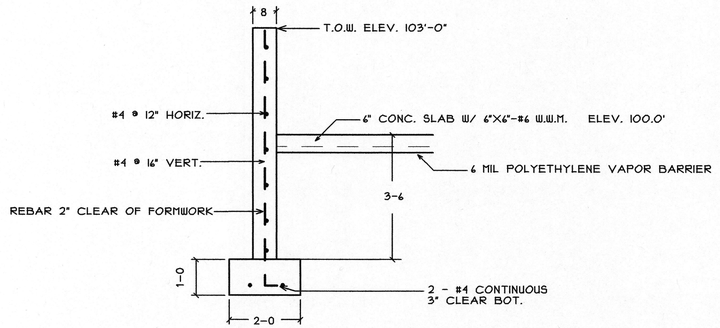
SHEET NUMBER
S-1




## SECTION THRU DOOR OPENINGS

SCALE: 1/2"=1'-0"

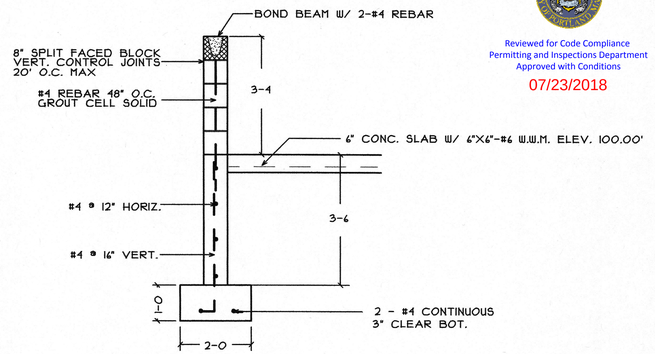
1 / S-1




## WALL SECTION

SCALE: 1/2"=1'-0"

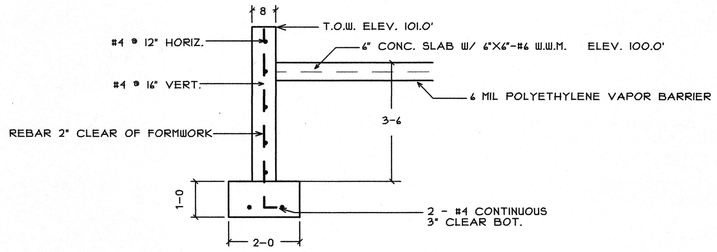
2 / S-1




## WALL SECTION

SCALE: 1/2"=1'-0"

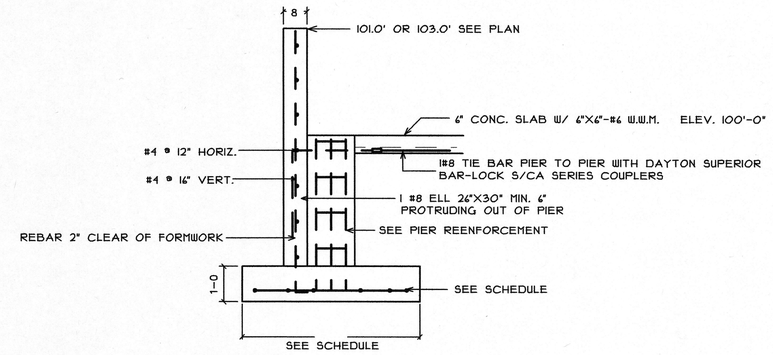
3 / S-1



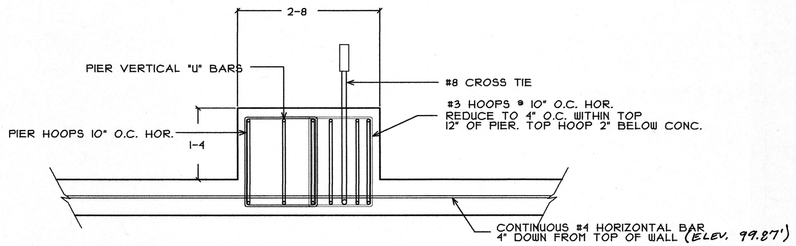

## WALL SECTION

SCALE: 1/2"=1'-0"

4 / S-1

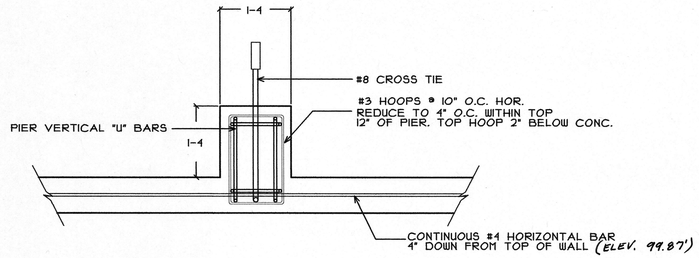



## WALL SECTION @ PIERS
## 2A - 6A, 2D - 6D




## PIER REINFORCEMENT
## 4A, 5A

SCALE: 3/4" = 1'-0"




## PIER REINFORCEMENT
## 2A, 3A, 6A
## 2D THRU 6D

SCALE: 3/4" = 1'-0"

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

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STAMP

STATE OF MAINE
AARON S. WILSON
NO 10429
LICENSED
PROFESSIONAL ENGINEER

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
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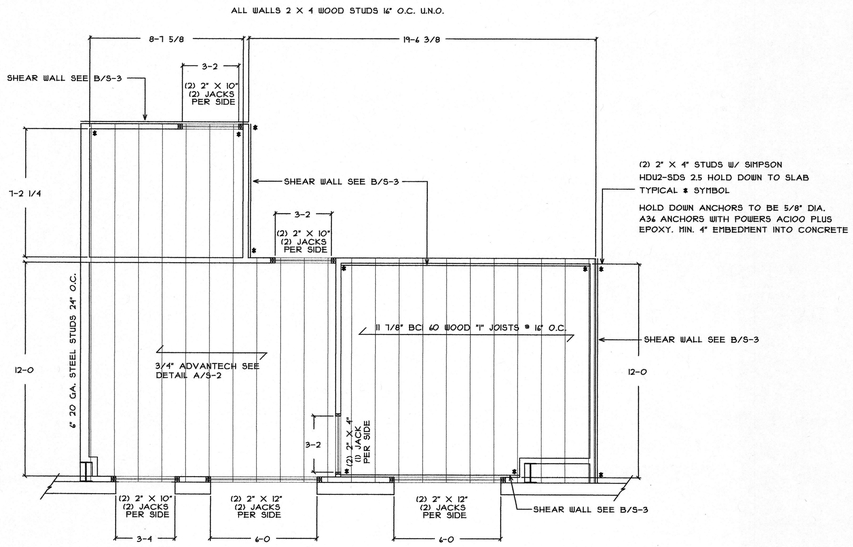
DATE: 6/6/2018
SCALE: 1/2" = 1'-0"
DESIGNER: AW
CHECKED BY: JB



SHEET TITLE
FOUNDATION DETAILS

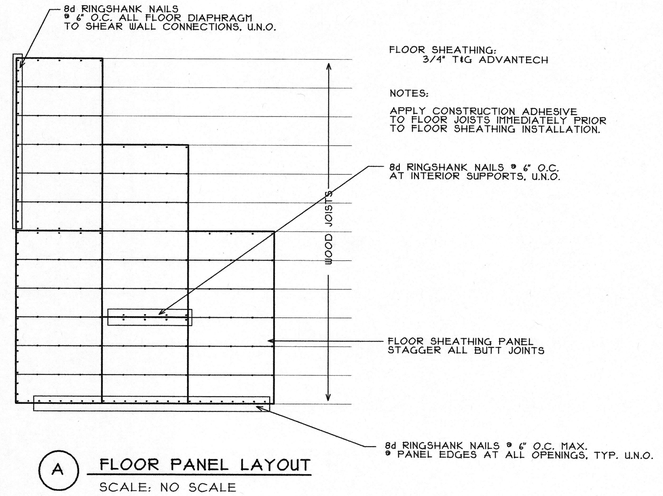
SHEET NUMBER
S-2




FLOOR DESIGN LOAD: 125 PSF LIGHT WAREHOUSE STORAGE

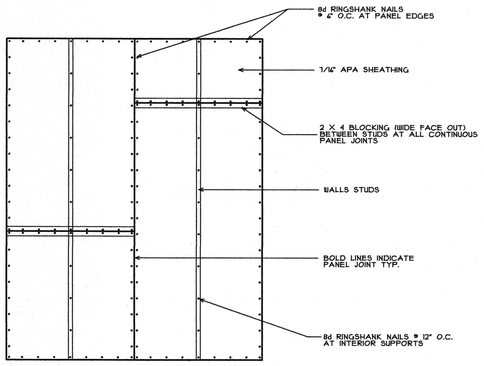
SCALE: 1/4" = 1'-0"

TYPICAL (3) TENANT SPACES




A FLOOR PANEL LAYOUT

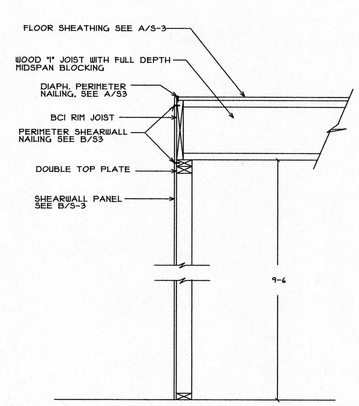
SCALE: NO SCALE




■ OPTIONAL: PANELS MAY BE INSTALLED LONG SIDE HORIZONTAL WITH CONTINUOUS HORIZONTAL BLOCKING AT SEAMS

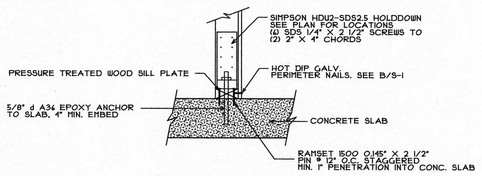
B SHEARWALL PANEL LAYOUT

SCALE: 1/2" = 1'-0"




C FLOOR JOIST DETAIL

SCALE: NO SCALE




D SILL PLATE DETAIL

SCALE: NO SCALE

## GENERAL STRUCTURAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
   - -IBC BUILDING CODE 2015 ED
   - -ANSI-ASCE 7-05
   - -ACI 318-05 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
   - -ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
   - -AISC STEEL CONSTRUCTION MANUAL 9TH ED ASD
   - -AISI COLD FORMED STEEL DESIGN MANUAL, 2001
   - -ANSI-AF&PA NDS-2005
2. DESIGN LOADS
   2.1. GRAVITY ROOF DESIGN LOADS:

| | |
|---|---|
| MEZZ LIVE LOAD | 125 PSF |
| MEZZ DEAD LOAD | 15 PSF |

THIS P.E. REVIEW COVERS STRUCTURAL FLOOR AND WALL FRAMING ELEMENTS FOR GRAVITY AND LATERAL LOADS DETAILED ON SHEET THIS SHEET ONLY. THIS P.E. REVIEW IS BASED ON THE MINIMUM DESIGN LOADS AND CONSTRUCTION STANDARDS SET FORTH THE IBC 2015 BUILDING CODE. DESIGN AND DETAIL FOR ALL OTHER FRAMING ELEMENTS, WIND/SEISMIC DESIGN, FRAMING CONNECTIONS, VENEER DESIGN, COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, THERMAL/MOISTURE PROTECTION (INCLUDING ROOFING AND INSULATION) LIFE SAFETY CODE REQUIREMENTS, AND OTHER ELEMENTS NOT SPECIFICALLY REPRESENTED HEREIN HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

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STAMP

STATE OF MAINE — AARON S. WILSON — NO 10428 — LICENSED PROFESSIONAL ENGINEER

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOT STREET
PORTLAND, MAINE

| REVISIONS | |
|---|---|
| DATE | DESCRIPTION |
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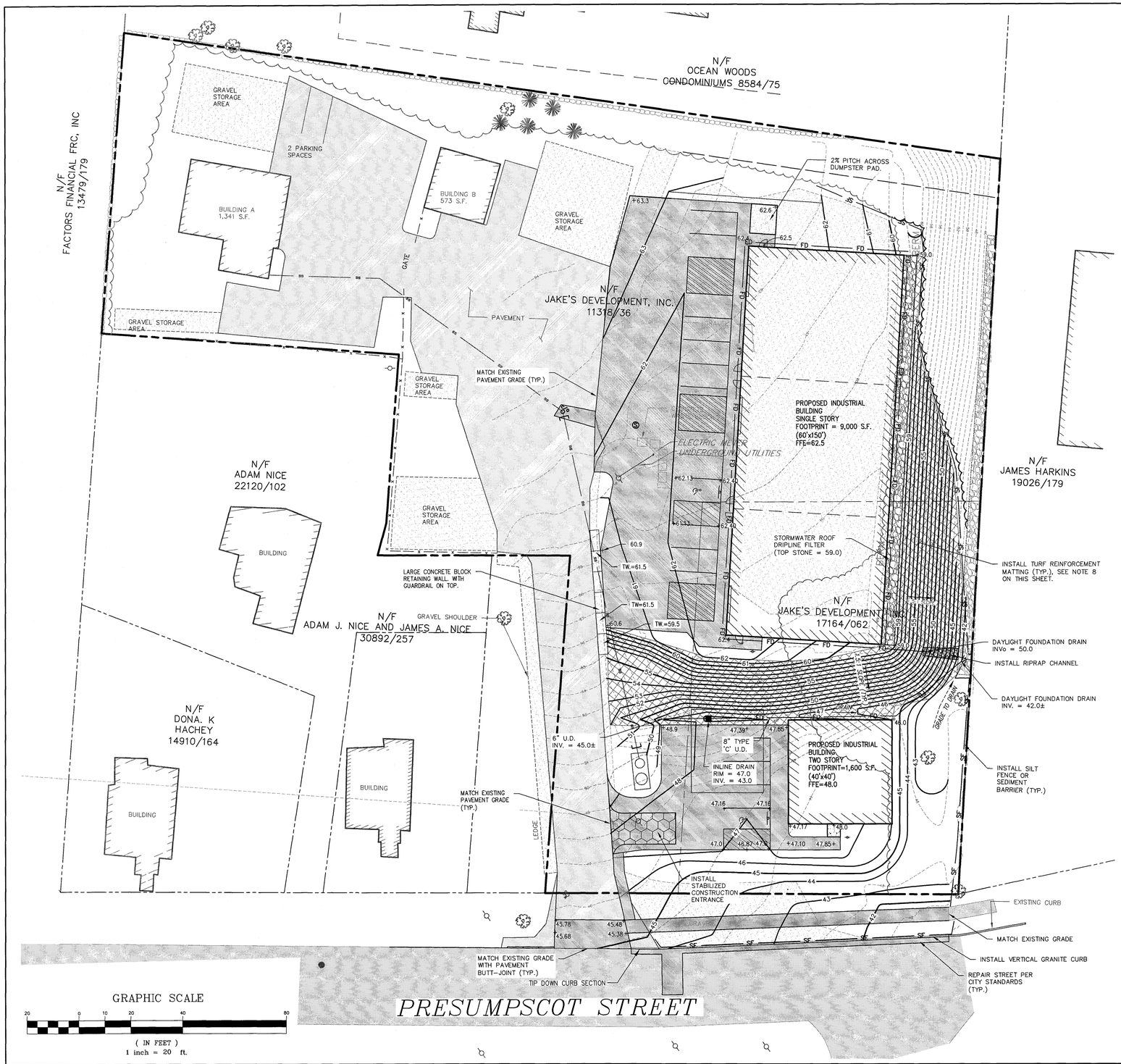
DATE: 6/6/2018
SCALE: AS SHOWN
DESIGNER: AW
CHECKED BY: JB



SHEET TITLE
FRAMING DETAILS

SHEET NUMBER
S-3

SHEET 3 OF 3




GRAPHIC SCALE

20 0 10 20 40 80

( IN FEET )
1 inch = 20 ft.

## GRADING & DRAINAGE NOTES:

1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
2. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND PLANTING BEDS.
4. CONTRACTOR TO ADJUST EXISTING AND PROPOSED UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
5. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
6. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS.
7. ALL WALKS SHALL HAVE A 2% CROSS SLOPE.
8. WHERE SLOPES IN DISTURBED AREAS EXCEED 3:1 AND IN SWALES THE CONTRACTOR SHALL INSTALL CURLEX 11 EROSION CONTROL BLANKET FROM AMERICAN EXCELSIOR. WHERE SLOPES EQUAL OR EXCEED 2:1, CONTRACTOR SHALL INSTALL ENKAMAT 7020 TURF REINFORCEMENT MATTING, OR APPROVED EQUAL.
9. ALL DRAINAGE PIPE NOT CALLED OUT ON THE DRAWINGS SHALL BE SMOOTH INTERIOR, CORRUGATED EXTERIOR, HDPE, N-12 AS MANUFACTURED BY ADS.
10. ALL UNSUITABLE AND UNUSED MATERIALS WHICH CAN NOT BE DISPOSED OF ON SITE SHALL BE REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
11. SEE SHEET C-200 FOR EROSION CONTROL NOTES, SEQUENCE AND DETAILS.
12. REFER TO DRAWINGS C-100 THRU C-104, C-200 THRU 203 AND THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

## LEGEND:

- PROJECT BOUNDARY LINE
- ABUTTER BOUNDARY LINE
- SETBACK LINE
- OVERHEAD UTILITY — OHU
- UNDERGROUND UTILITY — UGU
- SANITARY SEWER FORCE MAIN — FM
- SANITARY SEWER — SS
- WATER SERVICE — W
- CONTOUR — 43
- UTILITY POLE
- BUILDING
- RIPRAP
- GRAVEL
- BITUMINOUS CONCRETE PAVEMENT
- TREE
- TURF REINFORCEMENT MATTING

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| B | 3/7/18 | REVISED PER STAFF COMMENTS AND RESUBMITTED TO THE CITY OF PORTLAND | DEPT. | SWC | PBB |
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9888 | www.walsh-eng.com


STATE OF MAINE
SILAS W. CANAVAN
No. 12639
LICENSED PROFESSIONAL ENGINEER
3/7/18

LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717

APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: –
DRAWN: –
CHKD: –
DATE: NOV. 2017
SCALE: 1"=20'

PROPOSED PRESUMPSCOT STREET BUSINESS PARK
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

GRADING, DRAINAGE AND EROSION CONTROL PLAN

PROJ. NO. 16-115 REV. B
DWG. NO. C-102 -102

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE of APPROVAL 3/14/2018
PLANNER Christian Roadman
PROJECT NO. 2017-286

## IBC 2015: CODE DATA

| | |
|---|---|
| OCCUPANT LOAD - TABLE 1004.1.2 | 91 IND. 7,683/100=77 B 1,317/100=14 |
| USE GROUP CLASSIFICATION - SECTION 306.2, 304.1 | F-1 FACTORY INDUSTRIAL, B BUSINESS |
| TYPE OF CONSTRUCTION - TABLE 601 | V B |
| ACTUAL BUILDING AREA | 9,000 S.F. |
| BUILDING AREA LIMITATION - TABLE 506.2 | 8,500 S.F. (NO SPRINKLER) |
| STREET FRONTAGE INCREASE - 506.3.3 | 850 S.F. (SEE BELOW) |
| ALLOWABLE BUILDING AREA | 9,350 S.F. |
| BUILDING HEIGHT LIMITATION - TABLE 504.4 | 1 STORY |
| BUILDING HEIGHT | 24'-0" 1 STORY |
| FIRE SUPPRESSION: 903.2.4 | NOT REQUIRED |
| FIRE RESISTANT CONSTRUCTION: | |
| STRUCTURAL FRAME | NA |
| EXTERIOR BEARING WALLS | NA |
| INTERIOR BEARING WALLS | NA |
| EXTERIOR NONBEARING WALLS | NA |
| FIRE WALLS & PARTY WALLS TABLE 508.4 | NO SEPARATION REQUIRED |
| FLOOR CONSTRUCTION | NA |
| ROOF CONSTRUCTION | NA |
| STAIR ENCLOSURES | NA |
| EXIT ACCESS TRAVEL DISTANCE TABLE 1017.2 | 200' (NO SPRINKLER SYSTEM) |
| COMMON PATH OF TRAVEL SEE NFPA 101-2009 TABLE A7.6 | 50' (NO SPRINKLER SYSTEM) |
| MINIMUM NUMBER OF EXITS - TABLE 1004.3.1 | 2 |
| ACCESSORY USE | NA |
| FIRE EXTINGUISHERS - TABLE 906.3(1) | 2-A, 1 AT EACH EXIT |
| GENERAL NOTES | |

STREET FRONTAGE INCREASE 506.3.3

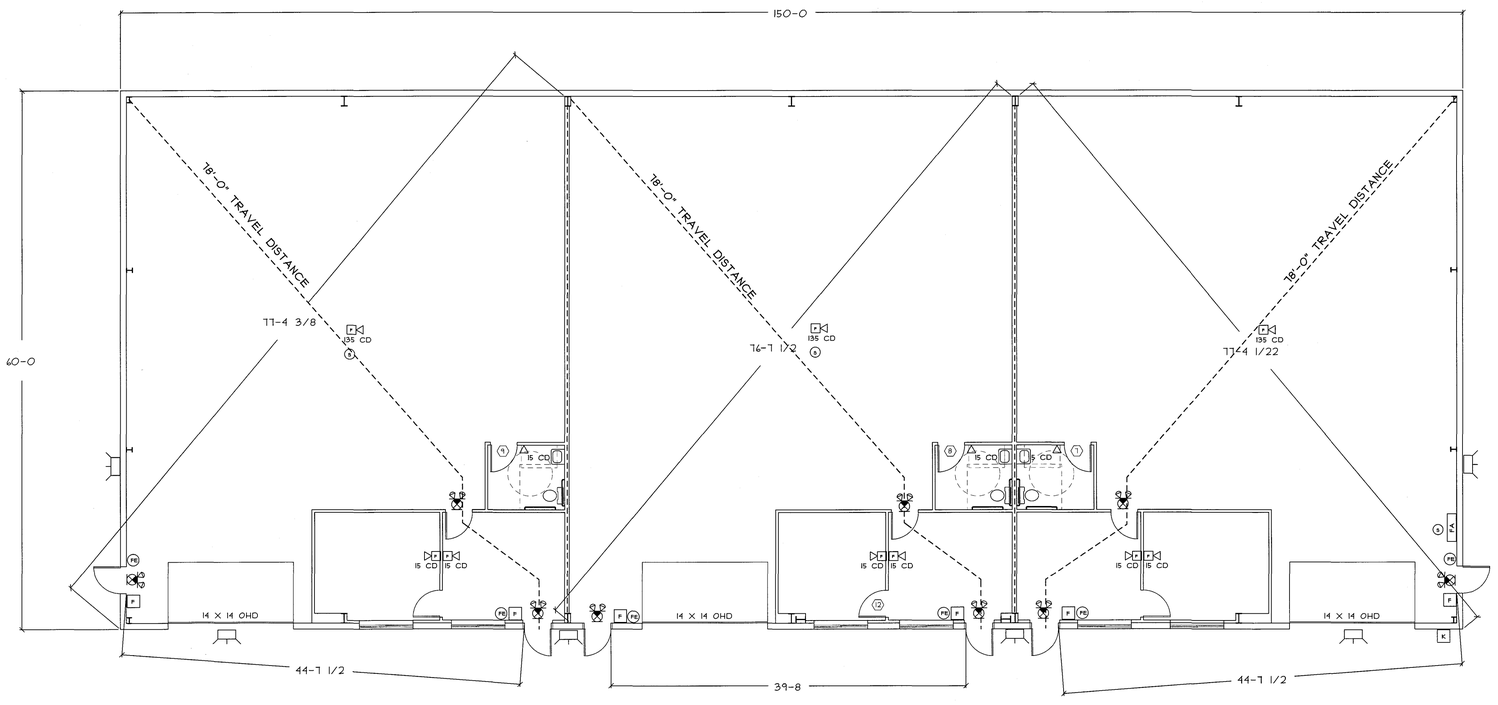
AREA INCREASE = [150/120-0.25] 30/30
AREA INCREASE = 0.10 OR 850 S.F.

## NFPA 101: CODE DATA - 2009 EDITION

| | |
|---|---|
| OCCUPANT LOAD - TABLE 7.3.1.2 | 91 IND. 7,683/100=77 B 1,317/100=14 |
| USE GROUP CLASSIFICATION 40.1.4.1, 38.1.4 | GENERAL INDUSTRIAL, BUSINESS |
| TYPE OF CONSTRUCTION - TABLE 8.1 | V (000) |
| ACTUAL BUILDING AREA | 9,000 S.F. |
| BUILDING HEIGHT | 24'-0" 1 STORY |
| FIRE SUPPRESSION: 40.3.5, 38.3.5 | NOT REQUIRED |
| FIRE RESISTANT CONSTRUCTION: | |
| STRUCTURAL FRAME | NA |
| EXTERIOR BEARING WALLS | NA |
| INTERIOR BEARING WALLS | NA |
| EXTERIOR NONBEARING WALLS | NA |
| FIRE WALLS & PARTY WALLS 6.1.14.3.2 MIXED USE | NO SEPARATION REQUIRED |
| FLOOR CONSTRUCTION | NA |
| ROOF CONSTRUCTION | NA |
| STAIR ENCLOSURES | NA |
| EXIT ACCESS TRAVEL DISTANCE - TABLE 40.2.6 | 200' (NO SPRINKLER SYSTEM) |
| COMMON PATH OF TRAVEL - TABLE 40.2.5 | 50' (NO SPRINKLER SYSTEM) |
| MINIMUM NUMBER OF EXITS 40.2.4.1.1 | 2 |
| ACCESSORY USE | NA |
| FIRE EXTINGUISHERS | 2-A, 1 AT EACH EXIT |
| GENERAL NOTES | |

## NFPA 1: CODE DATA - 2009 EDITION

| | |
|---|---|
| OCCUPANT LOAD - TABLE 14.8.1.2 | 91 IND. 7,683/100=77 B 1,317/100=14 |
| USE GROUP CLASSIFICATION - SECTION 6.1.12 6.1.11 | GENERAL INDUSTRIAL, BUSINESS |
| TYPE OF CONSTRUCTION - TABLE A.12.2.1 | V (000) |
| ACTUAL BUILDING AREA | 9,000 S.F. |
| BUILDING HEIGHT | 24'-0" 1 STORY |
| FIRE SUPPRESSION: | NONE REQUIRED |
| FIRE WALLS & PARTY WALLS | NA |
| COMMON PATH OF TRAVEL 14.10.1.1.4 | 50' (NO SPRINKLER SYSTEM) |
| MINIMUM NUMBER OF EXITS 14.9.1.1 | 2 |
| FIRE EXTINGUISHERS - TABLE 13.6.8.2.1.1 | 2-A, 1 AT EACH EXIT |
| GENERAL NOTES | |




- F MANUAL PULL STATION
- F ADA HORN/STROBE
- ADA STROBE ONLY
- FA ALARM PANEL
- S SMOKE DETECTOR
- EXIT SIGN
- EMERGENCY LIGHT PACK
- K KNOX BOX
- FE FIRE EXTINGUISHER

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018


BISKUP CONSTRUCTION, INC.
16 DANIELLE DRIVE
WINDHAM, MAINE 04062
TEL. (207) 892-9800
FAX. (207) 892-9895
WWW.BISKUPCONSTRUCTION.COM


STAMP

STATE OF MAINE
JAMES M STREETER
NO./11162
5/31/18
LICENSED
PROFESSIONAL ENGINEER


J. M. STREETER
ARCHITECTURAL
ENGINEER
44 CARSOE DRIVE
PORTLAND, MAINE 04103 (207) 797-3093


PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
| | |
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| | |

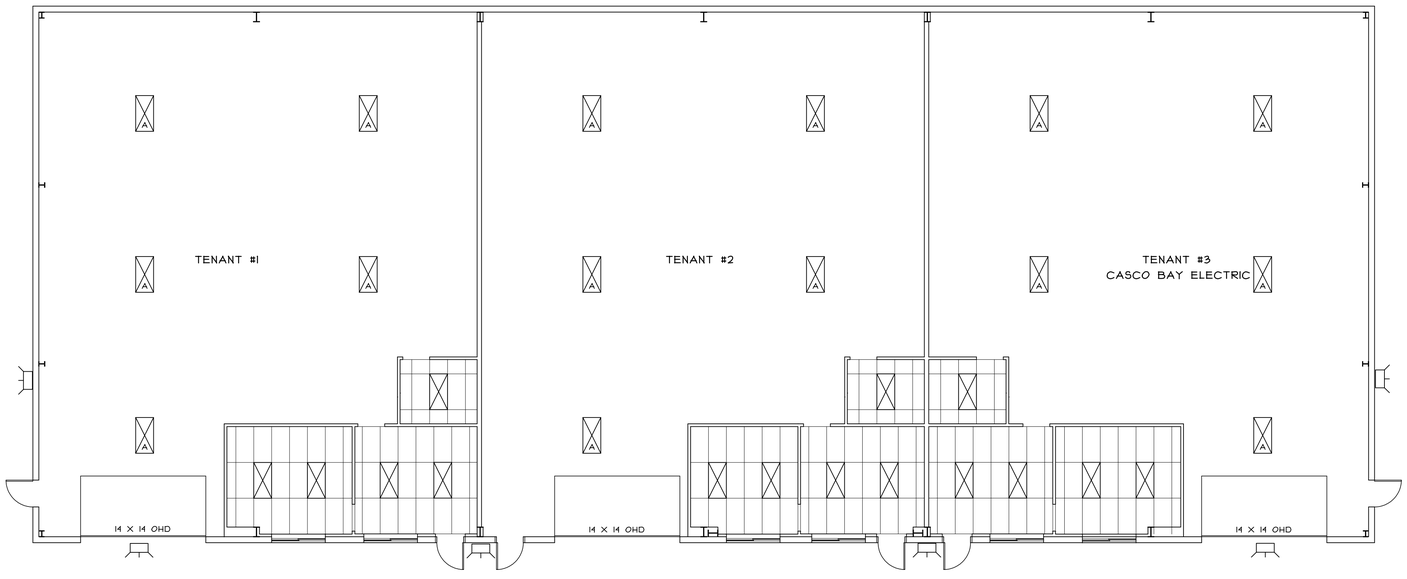
DATE: 5/30/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



SHEET TITLE
LIFE SAFETY PLAN

SHEET NUMBER
A-2

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018




ALL CEILINGS 8'-3" A.F.F.

RAB LED FULL CUTOFF WPLED52N

ALEO LED SLB2-145/850/F XE G3

ALEO LED LT-CD-24LE-34/840 XE G3

BISKUP CONSTRUCTION, INC.
16 DANIELLE DRIVE
WINDHAM, MAINE 04062
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STAMP

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOTT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
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DATE: 5/4/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



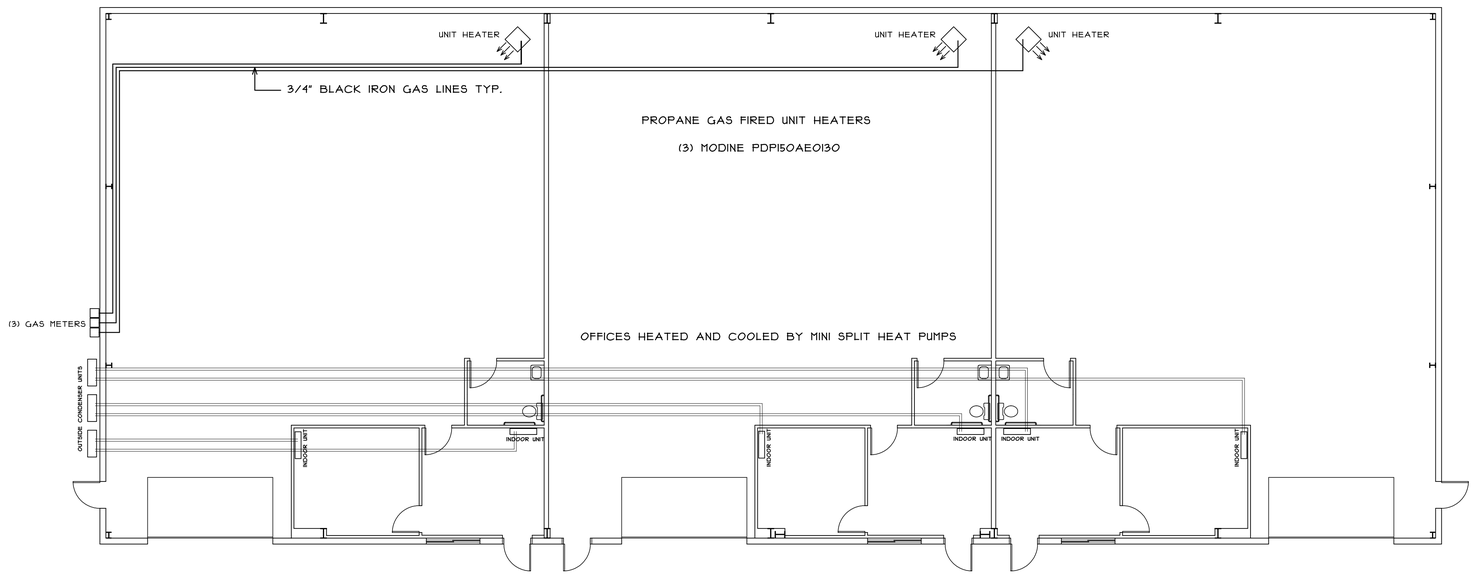
SHEET TITLE

LIGHTING PLAN

SHEET NUMBER

E-2

SHEET 2 OF 2




BISKUP CONSTRUCTION, INC.
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STAMP

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOTT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
| | |
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| | |

DATE: 5/4/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



SHEET TITLE

MECHANICAL PLAN

SHEET NUMBER

M-1

SHEET 1 OF 1


DRAINAGE LEGEND

- SUBCATCHMENT BOUNDARY
- 1 — SUBCATCHMENT DESIGNATION
- A — TIME OF CONCENTRATION FLOW
- 1 — POND
- AP#1 — ANALYSIS POINT

NOTES

1. SOIL INFORMATION OBTAINED FROM THE FOLLOWING SOURCE:
   1.1. SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE. WEB SOIL SURVEY. AVAILABLE ONLINE AT HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/. ACCESSED JULY 22, 2016.
2. CONTOURS SHOWN OUTSIDE OF THE GROUND SURVEY AREA ARE BASED ON LIDAR TOPOGRAPHIC INFORMATION OBTAINED FROM THE MAINE OFFICE OF GIS.

Tc FLOW LINE DATA:

SUBCATCHMENT 1.0

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| A-B | 50' | 0.035 | SHEET FLOW |
| B-C | 70 | 0.100 | SHEET FLOW |

SUBCATCHMENT 2.1

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| A-B | 150' | 0.067 | SHEET FLOW |
| B-C | 240' | 0.031 | SHALLOW CONCENTRATED FLOW |
| C-D | 150' | 0.110 | SHALLOW CONCENTRATED FLOW |

SUBCATCHMENT 2.2

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| DIRECT ENTRY, 5 MINUTE MINIMUM | | | |

SUBCATCHMENT 3.1

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| A-B | 15' | 0.016 | SHEET FLOW |
| B-C | 40' | 0.125 | SHEET FLOW |
| C-D | 140' | 0.041 | SHALLOW CONCENTRATED FLOW |
| D-E | 30' | 0.540 | SHALLOW CONCENTRATED FLOW |
| E-F | 170' | 0.013 | TRAPEZOIDAL CHANNEL FLOW |

SUBCATCHMENT 3.2

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| DIRECT ENTRY, 5 MINUTE MINIMUM | | | |

SUBCATCHMENT 3.3

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| DIRECT ENTRY, 5 MINUTE MINIMUM | | | |

GRAPHIC SCALE

30 0 15 30 60 120

1 inch = 30 ft.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| B | 3/6/18 | REVISED PER CITY COMMENTS | DEPT. | SWC | SWC |
| A | 11/21/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN REVIEW | DEPT. | SWC | SWC |

WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com



STATE OF MAINE
SILAS W. CANAVAN
No. 12639
REGISTERED PROFESSIONAL ENGINEER

LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717

APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: Nov 2017
SCALE: 1"=30'

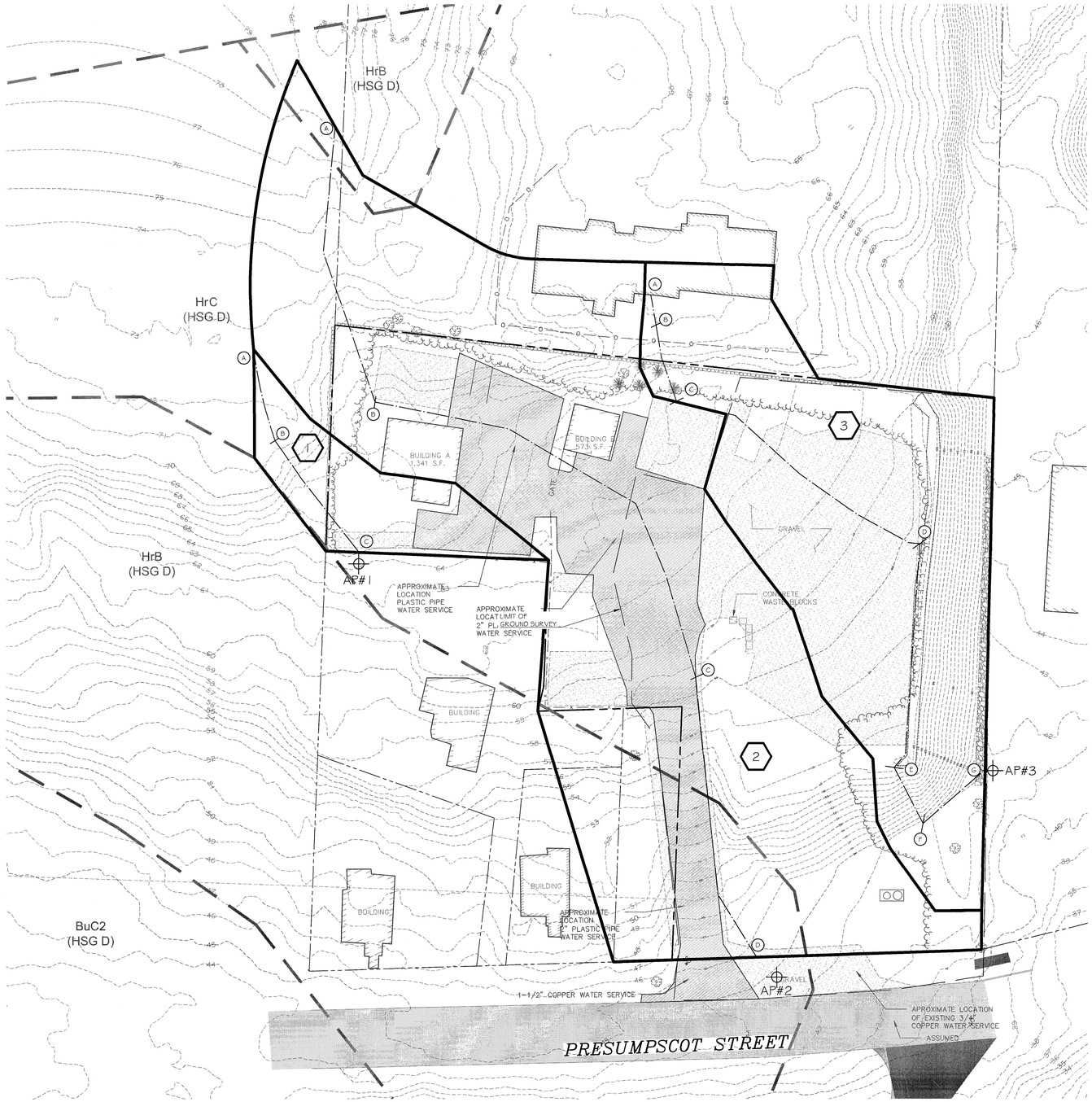
PROPOSED INDUSTRIAL DEVELOPMENT
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

POST DEVELOPMENT
DRAINAGE PLAN

PROJ. NO. 3-115
DWG. NO. D-102
D-102

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval & Standard Conditions
DATE OF APPROVAL 3/14/2018
PLANNER Christian Roadman
2017-286

Drawing Name: P:\338 - 314 Presumpscot St, Portland\LA CAD\338 - Drainage | Plot Date / Time: Mar. 6, 18 / 5:10 PM




DRAINAGE LEGEND

SUBCATCHMENT BOUNDARY

SUBCATCHMENT DESIGNATION

TIME OF CONCENTRATION FLOW

ANALYSIS POINT

AP# 1

Tc FLOW LINE DATA:

SUBCATCHMENT 1.0

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| A-B | 50' | 0.035 | SHEET FLOW |
| B-C | 70 | 0.070 | SHEET FLOW |

SUBCATCHMENT 2.0

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| A-B | 150' | 0.067 | SHEET FLOW |
| B-C | 240' | 0.031 | SHALLOW CONCENTRATED FLOW |
| C-D | 150' | 0.097 | SHALLOW CONCENTRATED FLOW |

SUBCATCHMENT 3.0

| SEGMENT | LENGTH | SLOPE | FLOW TYPE |
|---|---|---|---|
| A-B | 15' | 0.016 | SHEET FLOW |
| B-C | 40' | 0.125 | SHEET FLOW |
| C-D | 150' | 0.040 | SHALLOW CONCENTRATED FLOW |
| D-E | 120' | 0.023 | TRAPEZOIDAL CHANNEL FLOW |
| E-F | 35' | 0.400 | SHALLOW CONCENTRATED FLOW |
| F-G | 40' | 0.050 | TRAPEZOIDAL CHANNEL FLOW |

NOTES

1. SOIL INFORMATION OBTAINED FROM THE FOLLOWING SOURCE:
   1.1. SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE. WEB SOIL SURVEY. AVAILABLE ONLINE AT HTTP://WEBSOILSURVEY.NRCS.USDA.GOV. ACCESSED JULY 22, 2016.
2. CONTOURS SHOWN OUTSIDE OF THE GROUND SURVEY AREA ARE BASED ON LIDAR TOPOGRAPHIC INFORMATION OBTAINED FROM THE MAINE OFFICE OF GIS.

GRAPHIC SCALE

30 0 15 30 60 120

1 inch = 30 ft.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| B | 3/6/18 | REVISED PER CITY COMMENTS | DEPT. | SWC | SWC |
| A | 11/21/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN REVIEW | DEPT. | SWC | SWC |


WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com




STATE OF MAINE
SILAS W. CANAVAN
No. 12639
LICENSED PROFESSIONAL ENGINEER
3/6/18

LAND DESIGN SOLUTIONS
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1117

APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: Jun 2017
SCALE: 1"=30'

PROPOSED INDUSTRIAL DEVELOPMENT
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

PRE DEVELOPMENT
DRAINAGE PLAN

PROJ. NO. 5-115

DWG. NO. D-101

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval
and Standard Conditions
DATE OF APPROVAL 3/14/2018
PLANNER Christian Roadman

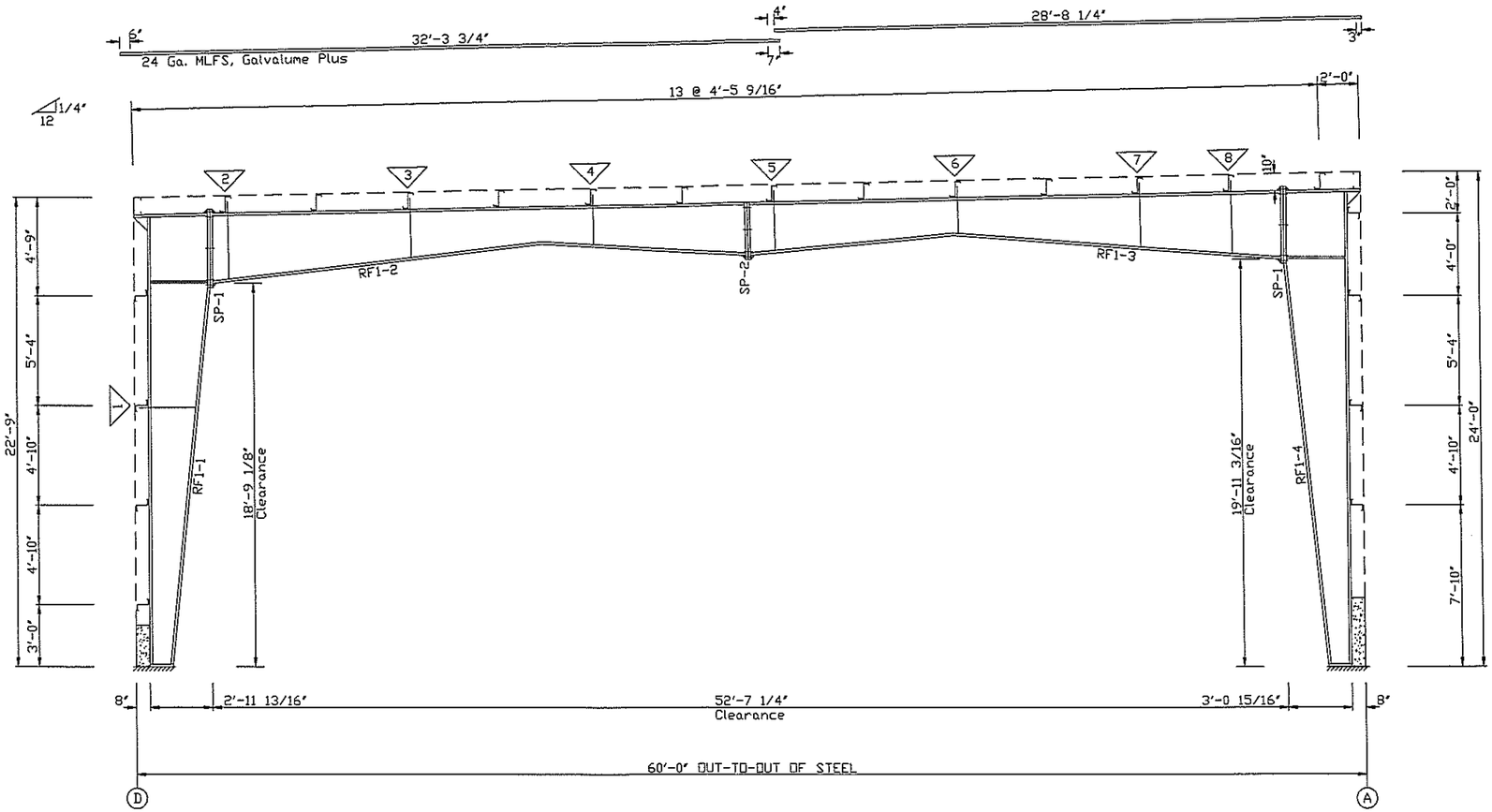
Drawing Name: P:\JOB - 314 Presumpscot St, Portland\C CAD\JOB - Drawings | Plot Date / Time: Mar 6, 18 / 5:10 PM

| SPLICE BOLT TABLE | | | | | | |
|---|---|---|---|---|---|---|
| Mark | Qty Top | Bot | Int | Type | Dia | Length |
| SP-1 | 4 | 4 | 2 | A325 | 7/8" | 2 1/2" |
| SP-2 | 2 | 4 | 2 | A325 | 3/4" | 2" |

| FLANGE BRACE TABLE | | | |
|---|---|---|---|
| ▽ ID | MARK | LENGTH | SIDES |
| 1 | FB44.5A | 3'-8 1/2" | 2 |
| 2 | FB57.4A | 4'-9 3/8" | 2 |
| 3 | FB41.5A | 3'-5 1/2" | 1 |
| 4 | FB28.9B | 2'-4 7/8" | 1 |
| 5 | FB41.6A | 3'-5 5/8" | 1 |
| 6 | FB27.5A | 2'-3 1/2" | 1 |
| 7 | FB43.1A | 3'-7 1/8" | 1 |
| 8 | FB46.5A | 3'-10 1/2" | 2 |

FBxA – 1-1/2"x1-1/2"x1/8"
FBxB – 2"x2"x1/8"
FBxC – 2-1/2"x2-1/2"x3/16"

| MEMBER TABLE | | | | | | |
|---|---|---|---|---|---|---|
| Mark | Weight | Web Depth Start/End | Web Plate Thick | Web Plate Length | Outside Flange W x Thk x Length | Inside Flange W x Thk x Length |
| RF1-1 | 904 | 10.5/29.1 | 0.188 | 168.0 | 6 x 5/16" x 262.3 | 6 x 1/2" x 222.1 |
| | | 29.1/35.0 | 0.313 | 95.0 | 6 x 1/2" x 43.3 | |
| RF1-2 | 976 | 38.0/19.0 | 0.250 | 195.6 | 6 x 5/16" x 314.8 | 6 x 5/16" x 196.5 |
| | | 19.0/28.0 | 0.188 | 120.0 | | 6 x 5/16" x 120.3 |
| RF1-3 | 1002 | 28.0/19.0 | 0.188 | 120.0 | 6 x 5/16" x 314.2 | 6 x 5/16" x 120.3 |
| | | 19.0/37.0 | 0.250 | 194.2 | | 6 x 3/8" x 194.2 |
| RF1-4 | 1179 | 36.0/30.0 | 0.313 | 96.9 | 8 x 1/2" x 44.3 | 8 x 5/8" x 236.2 |
| | | 30.0/10.5 | 0.188 | 180.0 | 8 x 5/16" x 277.0 | |




FRAME CROSS SECTION: FRAME LINE 2 3 4 5 6

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

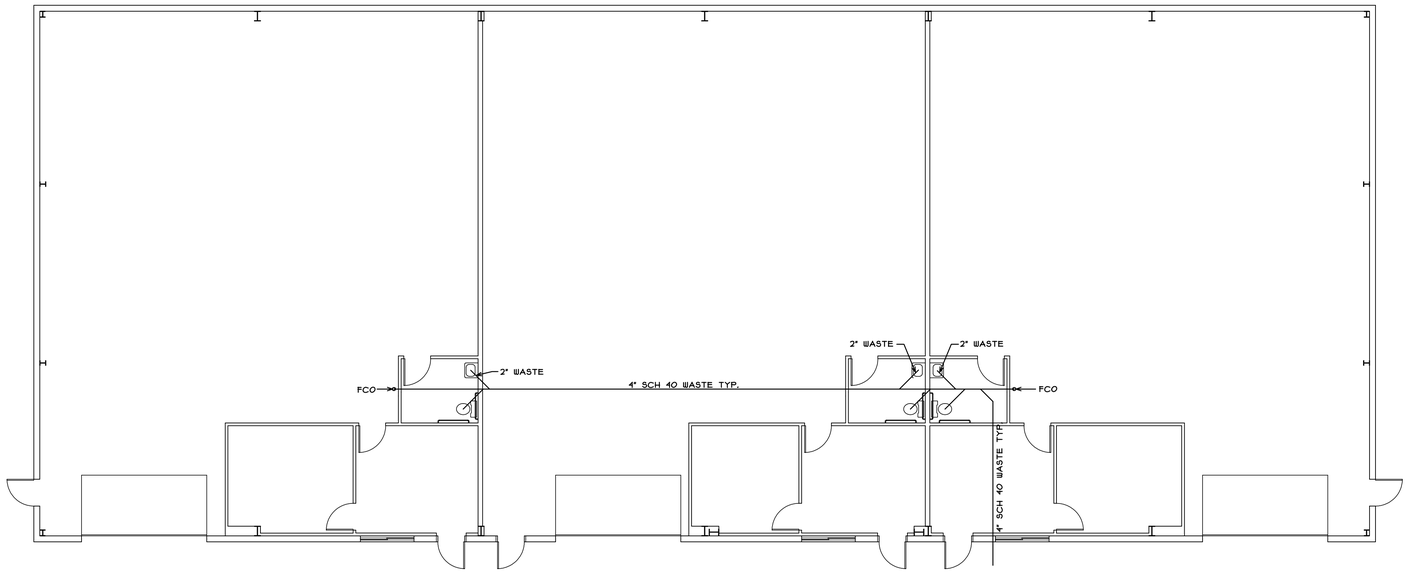
STATE OF MAINE
5/30/18
ZACK R.
McCAIN, III
6869
REGISTERED
PROFESSIONAL ENGINEER

| REV. | DESCRIPTION: | DATE: | DRAFT | ENG. |
|---|---|---|---|---|
| 3 | | | | |
| 2 | | | | |
| 1 | | | | |
| ⚠ | PRELIMINARY DRAWING: NOT FOR CONSTRUCTION / FOR PERMIT ONLY | CURRENT REVISION: 0 | | |

| | | | |
|---|---|---|---|
| PACKAGE STEEL SYSTEMS, INC. | | Biskup Construction Inc. | |
| PROJECT | 320 P Street LLC | RIGID FRAME X-SECTION | |
| ID | 1805-076 | DESIGN: ZRM | DESIGN CHECK: |
| PROJECT | 314 Presumpscott St. | DRAFT: TMZ | DRAFT CHECK: |
| ADDRESS | Portland, ME 04103 | DATE: 5/30/18 | DRAWING: FRXS-1 |

PACKAGE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018




BISKUP CONSTRUCTION, INC.
16 DANIELLE DRIVE
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FAX. (207) 892-9895

WWW.BISKUPCONSTRUCTION.COM

STAMP

PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOTT STREET
PORTLAND, MAINE

REVISIONS

| DATE | DESCRIPTION |
|---|---|
| | |
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| | |
| | |

DATE: 5/4/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



SHEET TITLE

SANITARY WASTE PLAN

SHEET NUMBER

P-1

SHEET 1 OF 2

## DOOR SCHEDULE

| TAG | DOOR SLAB | SIZE | THICKNESS | SWING | FIRE LABEL | FRAME | WALL THICKNESS | REMARKS | |
|---|---|---|---|---|---|---|---|---|---|
| 1 | HM | 3010 | 1 3/4 | LHR | | HM | 4 1/8 | 24 X 30 INS. GLASS | HRDWR SET #1 |
| 2 | HM | 3010 | 1 3/4 | RHR | | HM | 4 1/8 | 24 X 30 INS. GLASS | HRDWR SET #1 |
| 3 | HM | 3010 | 1 3/4 | LHR | | HM | 4 1/8 | 24 X 30 INS. GLASS | HRDWR SET #1 |
| 4 | HM | 3010 | 1 3/4 | RHR | | HM | 4 1/8 | 24 X 30 INS. GLASS | HRDWR SET #1 |
| 5 | HM | 3010 | 1 3/4 | LHR | | HM | 4 1/8 | 24 X 30 INS. GLASS | HRDWR SET #1 |
| 6 | HM | 3010 | 1 3/4 | RHR | | HM | 4 1/8 | 24 X 30 INS. GLASS | HRDWR SET #1 |
| 7 | HM | 3010 | 1 3/4 | LH | | HM | 4 1/8 | | HRDWR SET #2 |
| 8 | HM | 3010 | 1 3/4 | RH | | HM | 4 1/8 | | HRDWR SET #2 |
| 9 | HM | 3010 | 1 3/4 | RH | | HM | 4 1/8 | | HRDWR SET #2 |
| 10 | HM | 3010 | 1 3/4 | LH | | HM | 4 3/4 | | HRDWR SET #3 |
| 11 | HM | 3010 | 1 3/4 | RH | | HM | 4 3/4 | | HRDWR SET #3 |
| 12 | HM | 3010 | 1 3/4 | LH | | HM | 4 3/4 | | HRDWR SET #3 |
| 13 | HM | 3010 | 1 3/4 | RH | | HM | 4 3/4 | | HRDWR SET #3 |
| 14 | HM | 3010 | 1 3/4 | LH | | HM | 4 3/4 | | HRDWR SET #3 |
| 145 | HM | 3010 | 1 3/4 | RH | | HM | 4 3/4 | | HRDWR SET #3 |

HARDWARE SCHEDULE

SET #1 HINGES, CLOSER, LOCKSET, WEATHERSTRIP, THRESHOLD

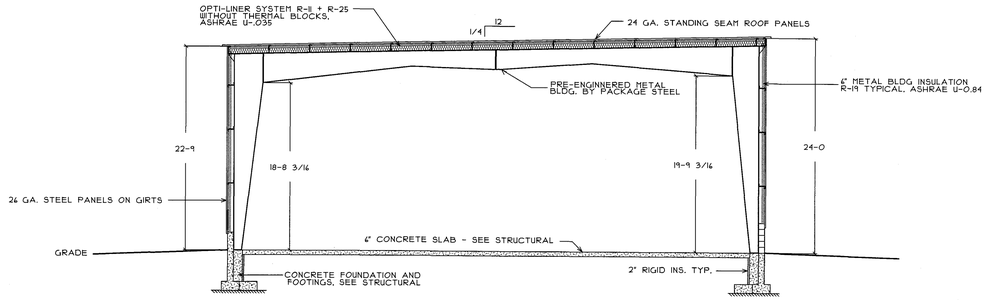
SET #2 HINGES, PRIVACY SET

SET #3 HINGES, PASSAGE SET

NOTE: ALL LOCKS TO BE MASTER KEYED

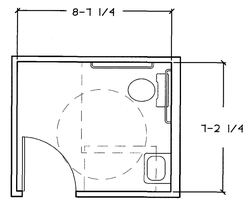
## WINDOW SCHEDULE

| TAG | SIZE | TYPE | MANUFACTURER | GLAZING | "U" VALUE | SHGC | REMARKS |
|---|---|---|---|---|---|---|---|
| A | 72" X 48" | SLIDER | MARVIN INTEGRITY | LOW "E" WITH ARGON | 0.31 | 0.33 | |




BUILDING SECTION

SCALE: 1/8" = 1'-0"

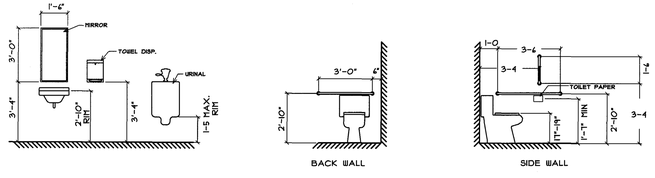



ENLARGED PLAN BATHROOM

SCALE 1/4" = 1'-0"

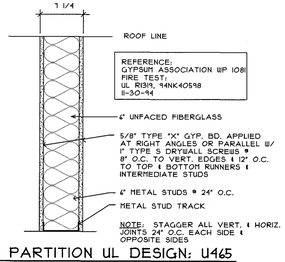
NOTE:

PROVIDE SOLID WOOD BLOCKING IN WALL FOR MOUNTING OF ALL WALL MOUNTED ITEMS



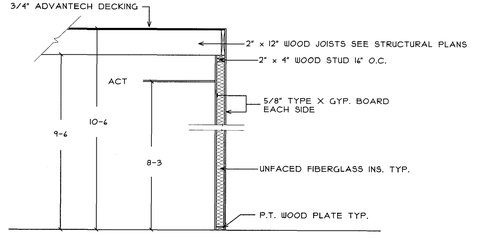

TOILET FIXTURE MOUNTING HEIGHTS

SCALE 1/4" = 1'-0"




1 1 HR. PARTITION UL DESIGN: U465

SCALE: 1 "=1'-0"




2 NON RATED WALL & DECK TYP. U.N.O.

SCALE: 3/8" = 1'-0"

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018


BISKUP CONSTRUCTION, INC.
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STAMP

STATE OF MAINE
JAMES M. STREETER
No. 11762
5/31/18
LICENSED
PROFESSIONAL ENGINEER


J. M. STREETER ARCHITECTURAL ENGINEER
44 GARSOE DRIVE
PORTLAND, MAINE 04103 (207) 797-3093


PROJECT:
PROPOSED BUILDING
320 P STREET, LLC
314 PRESUMPSCOT STREET
PORTLAND, MAINE

REVISIONS

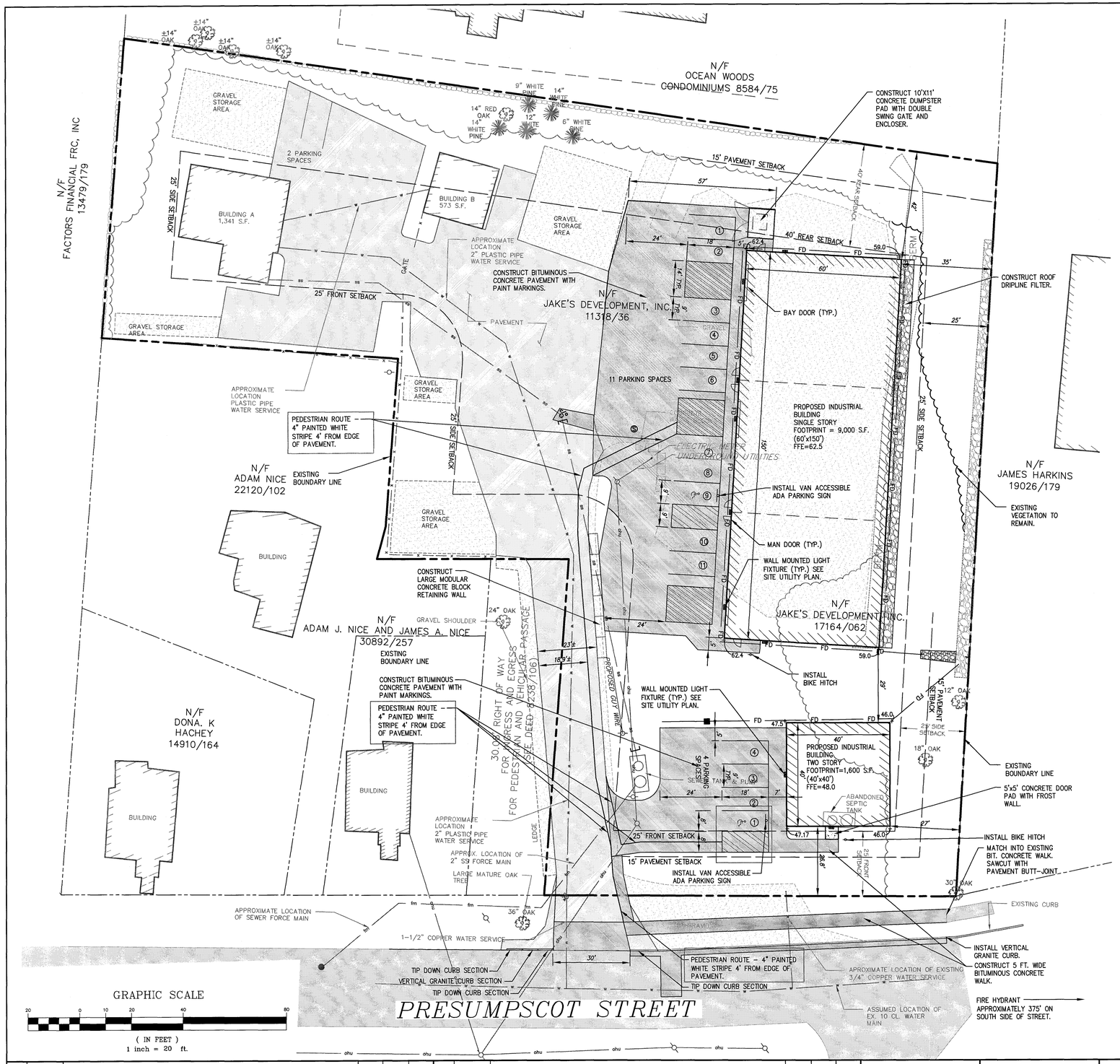
| DATE | DESCRIPTION |
|---|---|
| | |
| | |
| | |
| | |
| | |

DATE: 5/30/2018
SCALE: 1/8" = 1'-0"
DESIGNER: JS
CHECKED BY: JB



SHEET TITLE
SCHEDULES & DETAILS

SHEET NUMBER
A-4




## GENERAL PROJECT NOTES:

1. THE PROPERTY OWNER OF RECORD IS:
   JAKE'S DEVELOPMENT, INC.
   30 LEDGEWOOD DRIVE
   FALMOUTH, ME 04105
2. TAX ASSESSORS REFERENCE: 423-A-33, 20, 13 & 12
3. BOUNDARY SURVEY WAS PROVIDED BY:
   CULLENBERG LAND SURVEYING
   892 OLD DANVILLE ROAD
   AUBURN, ME 04210
4. TOPOGRAPHIC AND OTHER EXISTING CONDITIONS INFORMATION WAS PROVIDED BY CULLENBERG LAND SURVEYING, AERIAL MAPPING AND IN THE FIELD OBSERVATIONS BY THE DESIGN TEAM.
5. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON-SITE AND OFF-SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND CLEARLY MARKED.
6. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL DRAWINGS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS AND CONDUCT THE WORK IN ACCORDANCE WITH THESE PERMITS AND APPROVALS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL ADDITIONAL PERMITS, STREET OPENINGS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK.
8. ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS AS WELL AS MANUFACTURER'S RECOMMENDATIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM WORK SHOWN ON THESE PLANS. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF PORTLAND TECHNICAL STANDARDS AND DETAILS..
10. THE CONTRACTOR SHALL LIMIT THE CONSTRUCTION ACTIVITY TO THE LIMITS SHOWN ON THE PLANS, UNLESS OTHERWISE AUTHORIZED BY THE OWNERS REPRESENTATIVE.
11. THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION. SEE DRAWINGS C-102 AND C-200 FOR EROSION CONTROL MEASURES.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

ZONING SUMMARY:
ZONE: IL – INDUSTRIAL LOW IMPACT
USE: OFFICE, COMMERCIAL & WAREHOUSE

| SPACE AND BULK CRITERIA: | REQUIRED: | EXISTING/PROPOSED: |
|---|---|---|
| MIN. LOT SIZE: | NONE | 71,930 S.F. (1.65 AC) |
| MIN. STREET FRONTAGE: | 60' | 159.45' |
| MIN. FRONT YARD (BLDG.): | 25' | 26' MIN. |
| MIN. SIDE YARD (BLDG.): | 25' | 27' MIN. |
| * MIN. REAR YARD (BLDG): | 40' | 42' MIN. |
| PAVEMENT SETBACK: | 15' | 16' MIN. |
| MAX. BUILDING HEIGHT: (LARGE BLDG) | 45' | 25.5' |
| MAX. BUILDING HEIGHT: (SMALL BLDG) | 45' | 26.4' |
| MAX IMPERVIOUS SURFACE RATIO: | 65% | 64% |

* WHEN ABUTTING A RESIDENTIAL ZONE

PARKING:
REQUIRED SPACE SIZE =9'x18'
AISLE WIDTH (90 DEGREE PARKING) = 24'

| | REQUIRED | EXISTING | PROPOSED |
|---|---|---|---|
| EXISTING INDUSTRIAL (1 SPACE PER 1000 S.F.) | 1,914 S.F./1000=2 SPACES | 2 SPACES | |
| PROPOSED INDUSTRIAL (1 SPACE PER 1000 S.F.) | 9,000 S.F./1000=9 SPACES | | 11 SPACES |
| PROPOSED INDUSTRIAL (1 SPACE PER 1000 S.F.) | 3,200 S.F./1000=4 SPACES | | 4 SPACES |
| TOTAL PARKING SPACES | 15 | 17 | |

LANDSCAPING:
STREET TREES – 1 STREET TREE REQUIRED EVERY 30'-45' ON CENTER IN THE CITY R.O.W ALONG STREET FRONTAGE. FRONTAGE = APPROXIMATELY 127' (NOT INCLUDING THE ENTRANCE DRIVE)/45 =2.8 OR 3 STREET TREES REQUIRED.

LEGEND:

- PROJECT BOUNDARY LINE
- ABUTTER BOUNDARY LINE
- SETBACK LINE
- OVERHEAD UTILITY (OHU)
- UNDERGROUND UTILITY (UGU)
- SANITARY SEWER FORCE MAIN (FM)
- SANITARY SEWER (SS)
- WATER SERVICE (W)
- CONTOUR (43)
- UTILITY POLE
- BUILDING
- RIPRAP
- GRAVEL
- BITUMINOUS CONCRETE PAVEMENT
- TREE
- WALL MOUNTED LIGHT FIXTURE

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| C | 3/18/18 | REVISED PER STAFF COMMENTS AND RESUBMITTED TO THE CITY OF PORTLAND | DEPT. | SWC | PBB |
| B | 2/9/18 | REVISED PER STAFF COMMENTS AND RESUBMITTED TO THE CITY OF PORTLAND | DEPT. | SWC | PBB |
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

LICENSED LANDSCAPE ARCHITECT — PETER B. BIEGEL No. 2624 — STATE OF MAINE — 3/7/18

STATE OF MAINE — SILAS W. CANAVAN No. 12639 — LICENSED PROFESSIONAL ENGINEER — 3/7/18

**LAND DESIGN SOLUTIONS**
LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04021 tel:(207) 829-1717

APPLICANT & OWNER:
JAKE'S DEVELOPMENT, INC.
30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: PBB
DRAWN: DEPT.
CHKD: PBB
DATE: NOV. 2017
SCALE: 1"=20'

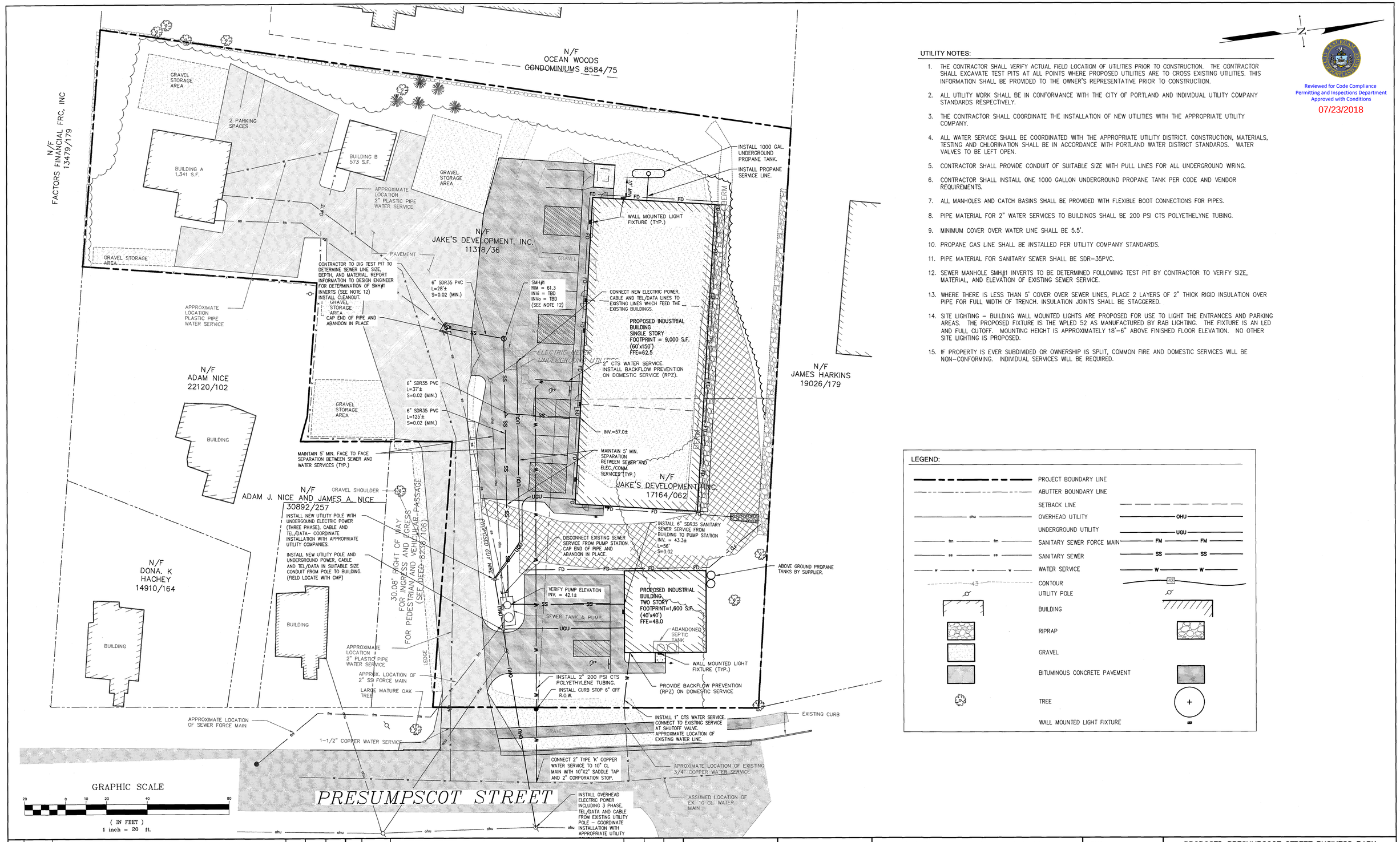
**PROPOSED PRESUMPSCOT STREET BUSINESS PARK**
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

**SITE PLAN**

PROJ. NO. 16-115
DWG. NO. C-101
REV. 1

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions

DATE OF APPROVAL 3/14/2018
PLANNER Christian Roadman
PROJECT NO. 2017-286




## UTILITY NOTES:

1. THE CONTRACTOR SHALL VERIFY ACTUAL FIELD LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXCAVATE TEST PITS AT ALL POINTS WHERE PROPOSED UTILITIES ARE TO CROSS EXISTING UTILITIES. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND INDIVIDUAL UTILITY COMPANY STANDARDS RESPECTIVELY.
3. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
4. ALL WATER SERVICE SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY DISTRICT. CONSTRUCTION, MATERIALS, TESTING AND CHLORINATION SHALL BE IN ACCORDANCE WITH PORTLAND WATER DISTRICT STANDARDS. WATER VALVES TO BE LEFT OPEN.
5. CONTRACTOR SHALL PROVIDE CONDUIT OF SUITABLE SIZE WITH PULL LINES FOR ALL UNDERGROUND WIRING.
6. CONTRACTOR SHALL INSTALL ONE 1000 GALLON UNDERGROUND PROPANE TANK PER CODE AND VENDOR REQUIREMENTS.
7. ALL MANHOLES AND CATCH BASINS SHALL BE PROVIDED WITH FLEXIBLE BOOT CONNECTIONS FOR PIPES.
8. PIPE MATERIAL FOR 2" WATER SERVICES TO BUILDINGS SHALL BE 200 PSI CTS POLYETHELYNE TUBING.
9. MINIMUM COVER OVER WATER LINE SHALL BE 5.5'.
10. PROPANE GAS LINE SHALL BE INSTALLED PER UTILITY COMPANY STANDARDS.
11. PIPE MATERIAL FOR SANITARY SEWER SHALL BE SDR-35PVC.
12. SEWER MANHOLE SMH#1 INVERTS TO BE DETERMINED FOLLOWING TEST PIT BY CONTRACTOR TO VERIFY SIZE, MATERIAL, AND ELEVATION OF EXISTING SEWER SERVICE.
13. WHERE THERE IS LESS THAN 5' COVER OVER SEWER LINES, PLACE 2 LAYERS OF 2" THICK RIGID INSULATION OVER PIPE FOR FULL WIDTH OF TRENCH. INSULATION JOINTS SHALL BE STAGGERED.
14. SITE LIGHTING - BUILDING WALL MOUNTED LIGHTS ARE PROPOSED FOR USE TO LIGHT THE ENTRANCES AND PARKING AREAS. THE PROPOSED FIXTURE IS THE WPLED 52 AS MANUFACTURED BY RAB LIGHTING. THE FIXTURE IS AN LED AND FULL CUTOFF. MOUNTING HEIGHT IS APPROXIMATELY 18'-6" ABOVE FINISHED FLOOR ELEVATION. NO OTHER SITE LIGHTING IS PROPOSED.
15. IF PROPERTY IS EVER SUBDIVIDED OR OWNERSHIP IS SPLIT, COMMON FIRE AND DOMESTIC SERVICES WILL BE NON-CONFORMING. INDIVIDUAL SERVICES WILL BE REQUIRED.

LEGEND:

| | |
|---|---|
| PROJECT BOUNDARY LINE | |
| ABUTTER BOUNDARY LINE | |
| SETBACK LINE | |
| OVERHEAD UTILITY | OHU |
| UNDERGROUND UTILITY | UGU |
| SANITARY SEWER FORCE MAIN | FM FM |
| SANITARY SEWER | SS SS |
| WATER SERVICE | W W |
| CONTOUR | 43 |
| UTILITY POLE | |
| BUILDING | |
| RIPRAP | |
| GRAVEL | |
| BITUMINOUS CONCRETE PAVEMENT | |
| TREE | |
| WALL MOUNTED LIGHT FIXTURE | |

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/23/2018

| REV. | DATE | STATUS | BY | CHKD. | APPD. |
|---|---|---|---|---|---|
| B | 2/9/18 | REVISED PER PORTLAND WATER DISTRICT COMMENTS RESUBMITTED TO THE CITY | DEPT. | SWC | PBB |
| A | 11/30/17 | SUBMITTED TO THE CITY OF PORTLAND FOR LEVEL 2 SITE PLAN APPLICATION | DEPT. | SWC | PBB |

WALSH ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com


STATE OF MAINE
SILAS W. CANAVAN
No. 12639
LICENSED PROFESSIONAL ENGINEER
2/9/18

LAND DESIGN SOLUTIONS
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30 LEDGEWOOD DRIVE, FALMOUTH, MAINE 04105

DESIGN: -
DRAWN: -
CHKD: -
DATE: NOV. 2017
SCALE: 1"=20'

PROPOSED PRESUMPSCOT STREET BUSINESS PARK
314-316 PRESUMPSCOT STREET, PORTLAND, MAINE

SITE UTILITY PLAN

PROJ. NO. 16-115
DWG. NO. C-103
REV. B

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE OF APPROVAL 3/14/2018
PLANNER Christian Roadman
PROJECT# 2017-288