

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read
Application And
Notes, If Any,
Attached

PERMIT ISSUED

Permit Number: 080776
AUG 6 2008

CITY OF PORTLAND

This is to certify that NAPPI DISTRIBUTORS / William Hall & Sonshas permission to install 2nd stairwell, add interior separation walls, storage areaAT 1275 PRESUMPSCOT ST 421 A006001

provided that the person or persons who perform or supervise the work in accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cross

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jaime Bonke 8/6/08
Director - Building & Inspection Services

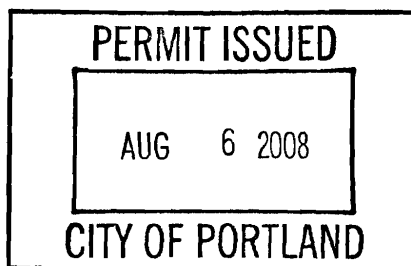
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0776		Issue Date:		CBL: 421 A006001	
Location of Construction: 275 PRESUMPCOT ST		Owner Name: NAPPI DISTRIBUTORS		Owner Address: 235 PRESUMPCOT ST	
Business Name:		Contractor Name: William Hall & Sons		Contractor Address: 334 A Granite St Yarmouth	
Lessee/Buyer's Name		Phone:		Phone: 2078465042	
Past Use: Commercial - warehousing		Proposed Use: Commercial - warehousing - install 2nd stairwell, add interior separation walls in storage area		Permit Fee: \$220.00	
Proposed Project Description: install 2nd stairwell, add interior separation walls in storage area		Cost of Work: \$20,000.00		CEO District: 4	
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>		INSPECTION: Use Group: <i>S2</i> Type: <i>2B</i> <i>IBC-2003</i>	
		Signature: <i>Greg Cross</i>		Signature: <i>AMB 8/6/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: _____ Date: _____			

Permit Taken By: Idobson	Date Applied For: 06/26/2008	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>8/6/30/08</i>
	Date: _____			
	Date: _____			


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation	PORTLAND
Street Subdivision Lot #	277 100 WINDYBROOK ST

PROPERTY OWNERS NAME

Last:	ANDREWS	First:	WILLIAM
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Applicant Name:	WILLIAM ANDREWS
Mailing Address of Owner/Applicant (If Different)	100 WINDYBROOK ST PORTLAND, ME 04103

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant

Date

3/15/08

PORTLAND

PERMIT # 10714 TOWN COPY

Date Permit Issued:

03/16/08

\$ 1154

If Double Fee Charged

Local Plumbing Inspector Signature

L.P.I. # 017321

421 A6

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY WATER

Plumbing To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D. HOUSING DEALER/MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER

LICENSE # 02788

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.	02	Hosebib / Sillcock		Bathtub (and Shower)
	04	Floor Drain		Shower (Separate)
OR		Urinal		Sink
		Drinking Fountain		Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	01	Grease / Oil Separator		Dish Washer
		Roof Drain		Garbage Disposal
OR		Bidet		Laundry Tub
		Other: _____	01	Water Heater
TRANSFER FEE [\$6.00]	07	Fixtures (Subtotal) Column 2	01	Fixtures (Subtotal) Column 1
			07	Fixtures (Subtotal) Column 2
			08	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

8-6-08
Date



Signature of Inspections Official

8/6/08
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0776	Date Applied For: 06/26/2008	CBL: 421 A006001
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Location of Construction: 275 PRESUMPCOT ST	Owner Name: NAPPI DISTRIBUTORS	Owner Address: 235 PRESUMPCOT ST	Phone:
Business Name:	Contractor Name: William Hall & Sons	Contractor Address: 334 A Granite St Yarmouth	Phone: (207) 846-5042
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - warehousing - install 2nd stairwell, add interior separation walls in storage area	Proposed Project Description: install 2nd stairwell, add interior separation walls in storage area
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/30/2008

Note:**Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 08/06/2008

Note:**Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 08/01/2008

Note:**Ok to Issue:**

- 1) Batteries shall be disconnected when vehicles are stored.
- 2) Emergency lights are required to be tested at the electrical panel.
- 3) All means of egress to remain accessible at all times
- 4) Emergency lights and exit signs are required
- 5) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.

Comments:

8/4/2008-jmb: Left voicemail for both David Landman and Dale Ackley for details on stair cross section and clarification on wall type.

8/5/2008-jmb: David L. Called back and will submit additions and revisions

8/6/2008-jmb: Revisions were submitted, ok to issue



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>275 Presumpscot St.</u>		
Total Square Footage of Proposed Structure/Area <u>existing - no change</u>		Square Footage of Lot <u>existing - no change</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>421 A 6</u>		Applicant *must be owner, Lessee or Buyer* Name <u>Waldron Realty</u> Address <u>178 US Route One</u> City, State & Zip <u>Falmouth ME 04105</u> Telephone: <u>207-781-2813</u>
Lessee/DBA (If Applicable) <u>n/a</u>	Owner (if different from Applicant) Name Address City, State & Zip <u>n/a</u>	Cost Of Work: \$ <u>20,000-</u> C of O Fee: \$ _____ Total Fee: \$ <u>220-</u>
Current legal use (i.e. single family) <u>Storage</u> If vacant, what was the previous use? <u>n/a</u> Proposed Specific use: <u>Storage</u> Is property part of a subdivision? <u>no</u> If yes, please name <u>n/a</u> Project description: <u>Install 2nd stairwell and code egress wall at existing stair. Add interior separation walls in storage area.</u>		
Contractor's name: <u>William Hall & Sons</u> Address: <u>334 A Granite St</u> City, State & Zip <u>Yarmouth ME 04096</u> Telephone: <u>846-5042</u> Who should we contact when the permit is ready: <u>Dale at Project Reserves</u> Telephone: <u>831-1180</u> Mailing address: <u>P.O. Box 661 Yarmouth ME 04096</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6-26-08

This is not a permit; you may not commence ANY work until the permit is issue

JUN 26 2008

TO: CAPT. COREY CASS (FAX 874-8716)
PFD
FR: DAVID LANDMANN, R.A. (671-4552 call)
THA
RE: 275 PRESUMSCOTT ST.

7.24.08

Code Review 275 Presumscot Street Portland Maine

Classification: **"Storage" Ordinary Hazard** (42.8.15) Car storage only
no repairs performed = not "Industrial", NOT "Parking" (no patrons), NO fuel dispensing
Floor Area: 160' x 180' = 28,800 s.f. first floor + 22' x 80' = 1,760 2nd Floor.
Occupancy: Not applicable (However, since it is a club assume 100 s.f. / person = 300 persons)

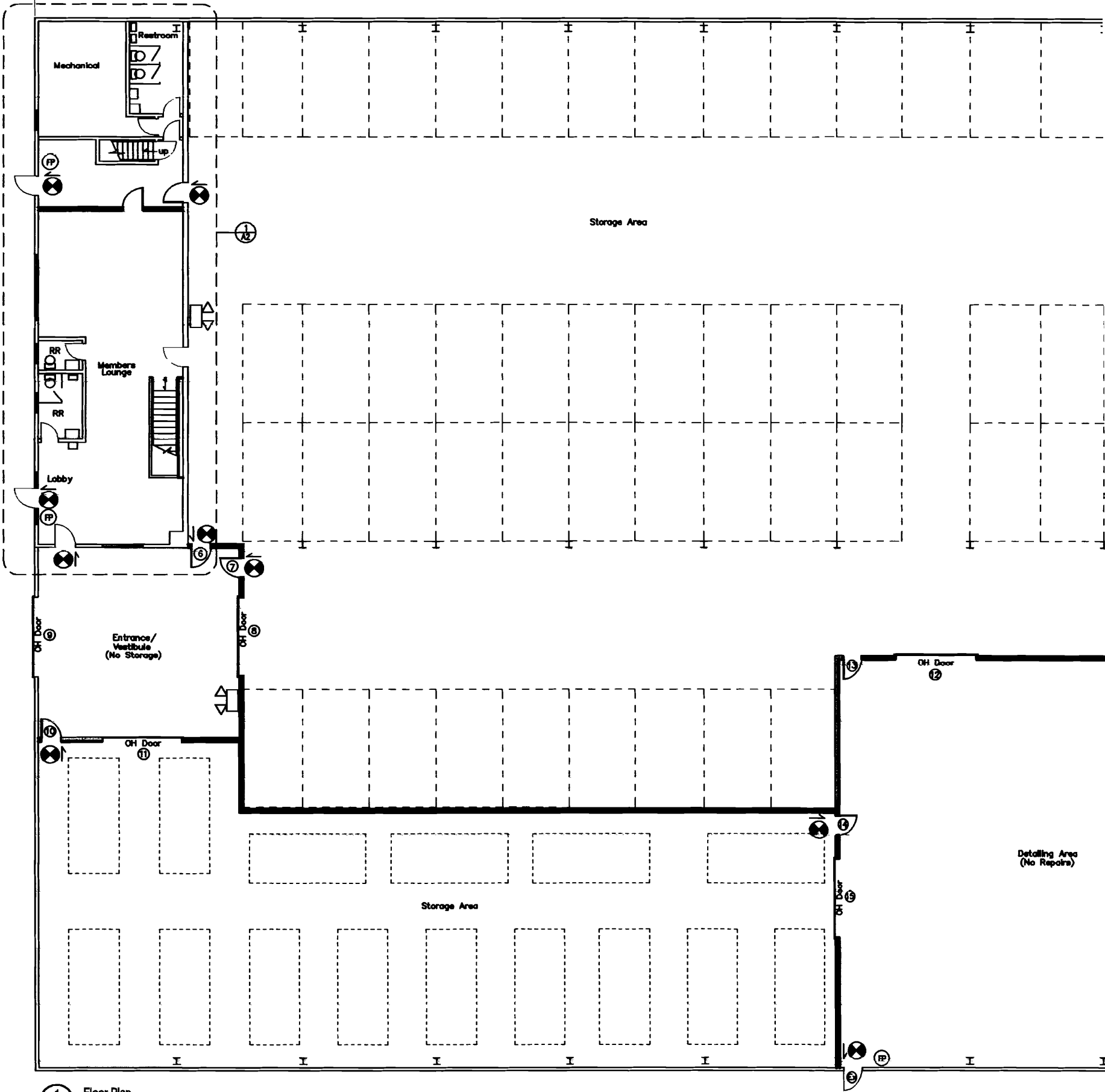
Fire alarm is NOT required (42.3.4)
A Supervised Automatic Fire Sprinkler is existing.

Maximum Dead End: 50' unsprinkled /100; sprinkled
Maximum Travel Distance: 200' unsprinkled, 400' sprinkled (**Ordinary Hazard**)
Maximum Common Path: 100'

No egress through overhead doors when occupancy > 10 persons

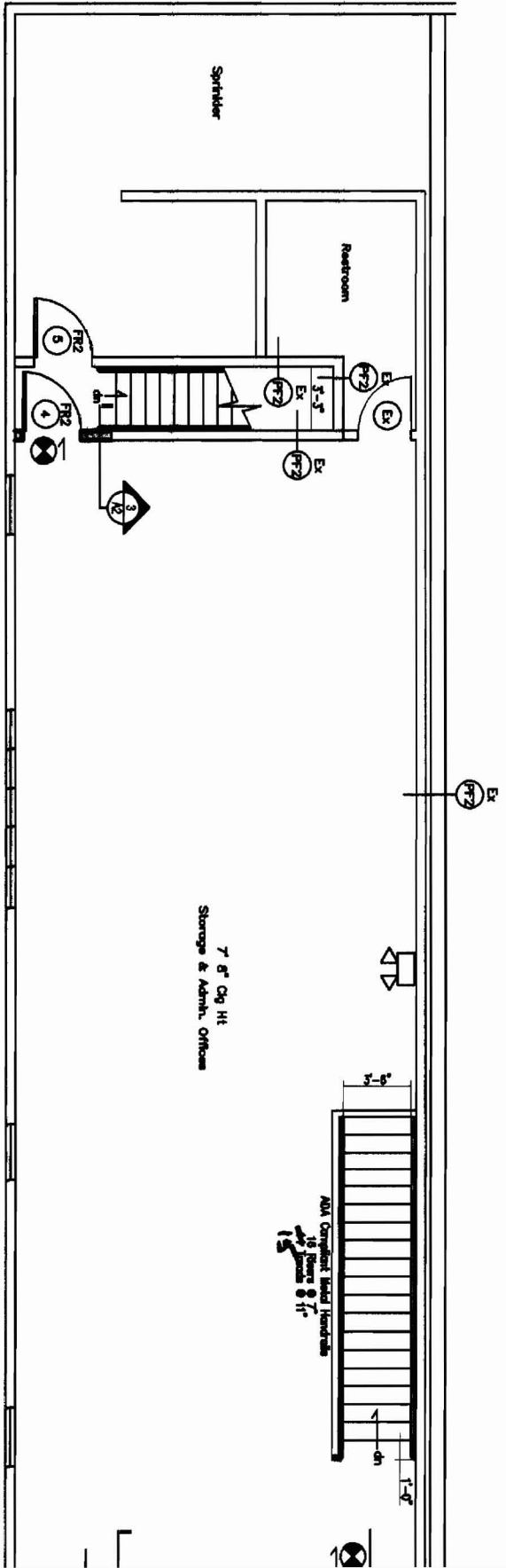
The second floor is permitted one enclosed exit rated 1 hour if the travel distance of 100' is not exceeded (42.2.4.1). The second open stair is permitted (per 8.2.5.7) as long as it is not a required exit.

180'-0"
FIELD VERIFY

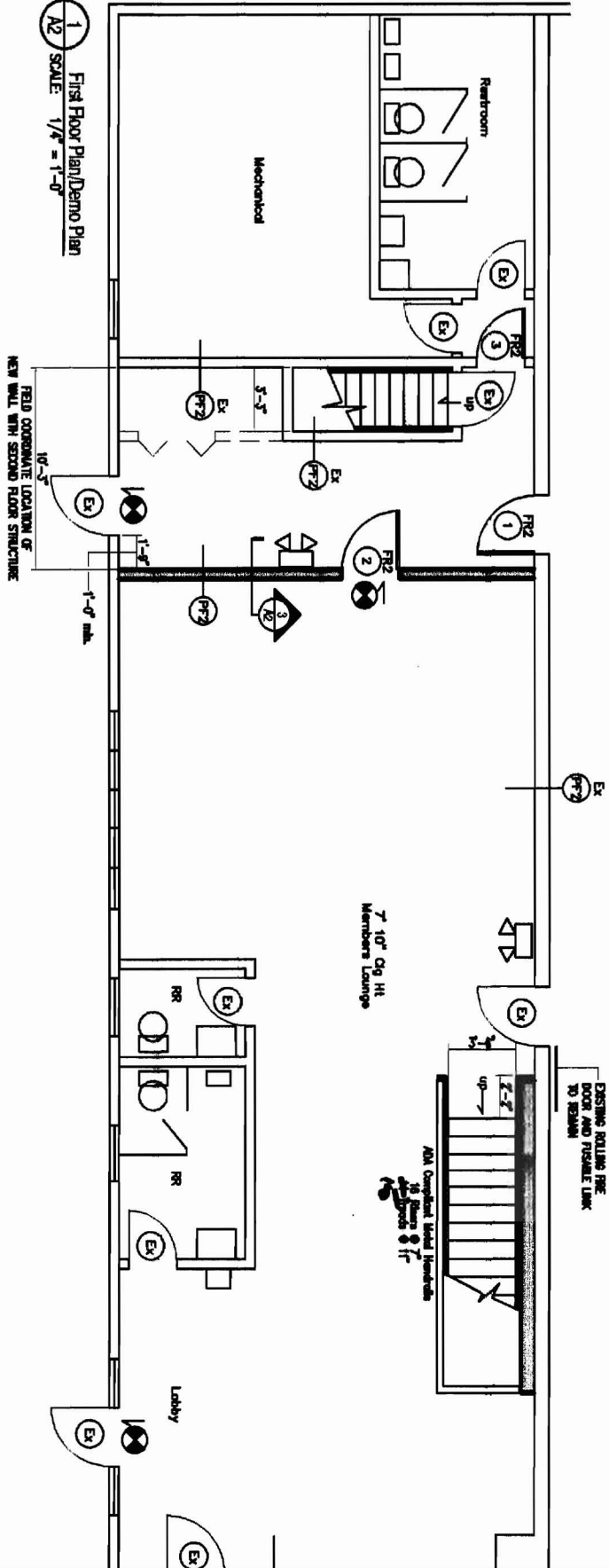


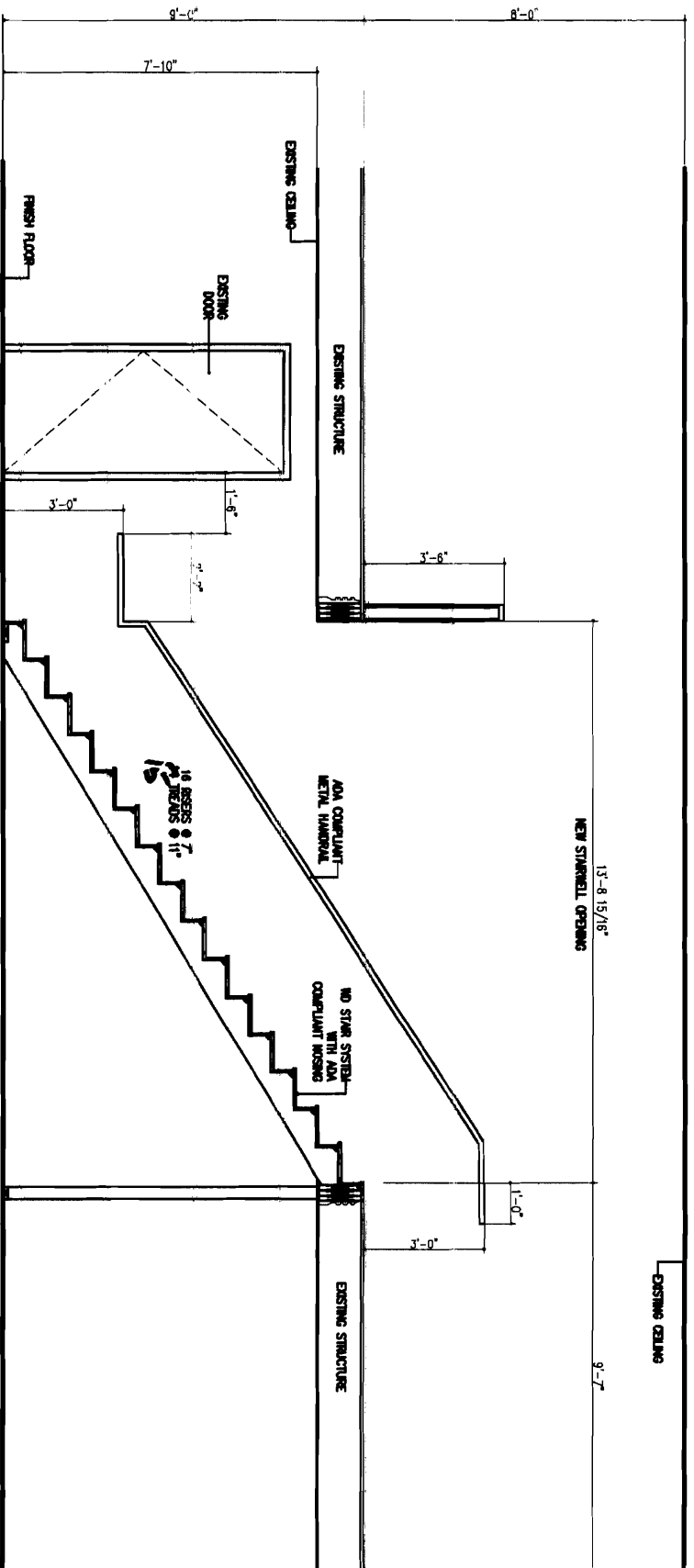
1 Floor Plan
A1 SCALE: 1/8" = 1'-0"

2 Second Floor Plan/Demo Plan
SCALE: 1/4" = 1'-0"

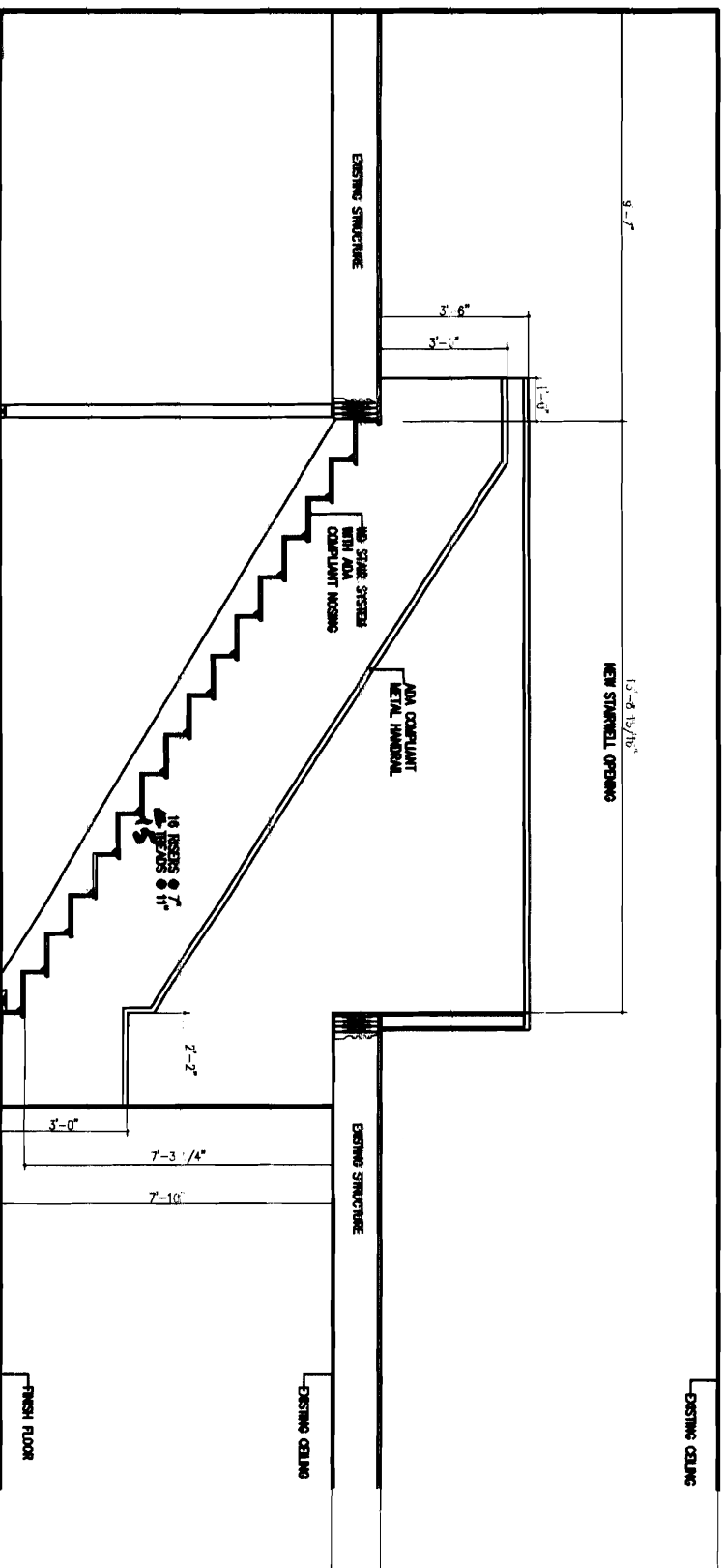


1 First Floor Plan/Demo Plan
SCALE: 1/4" = 1'-0"

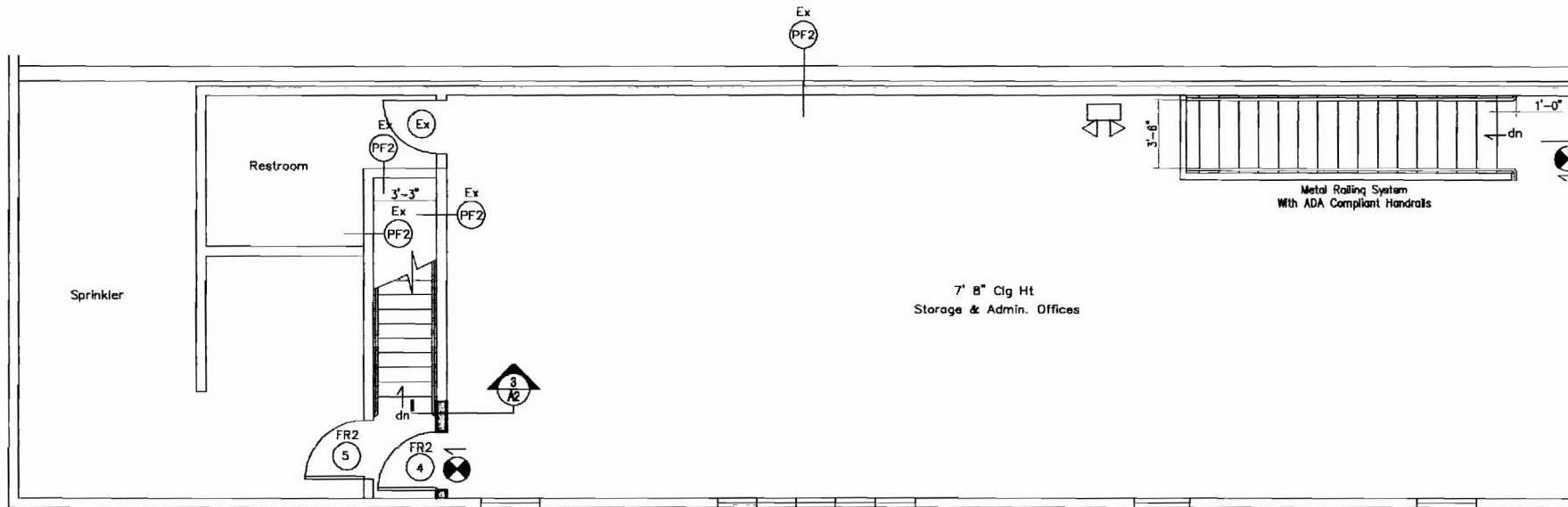




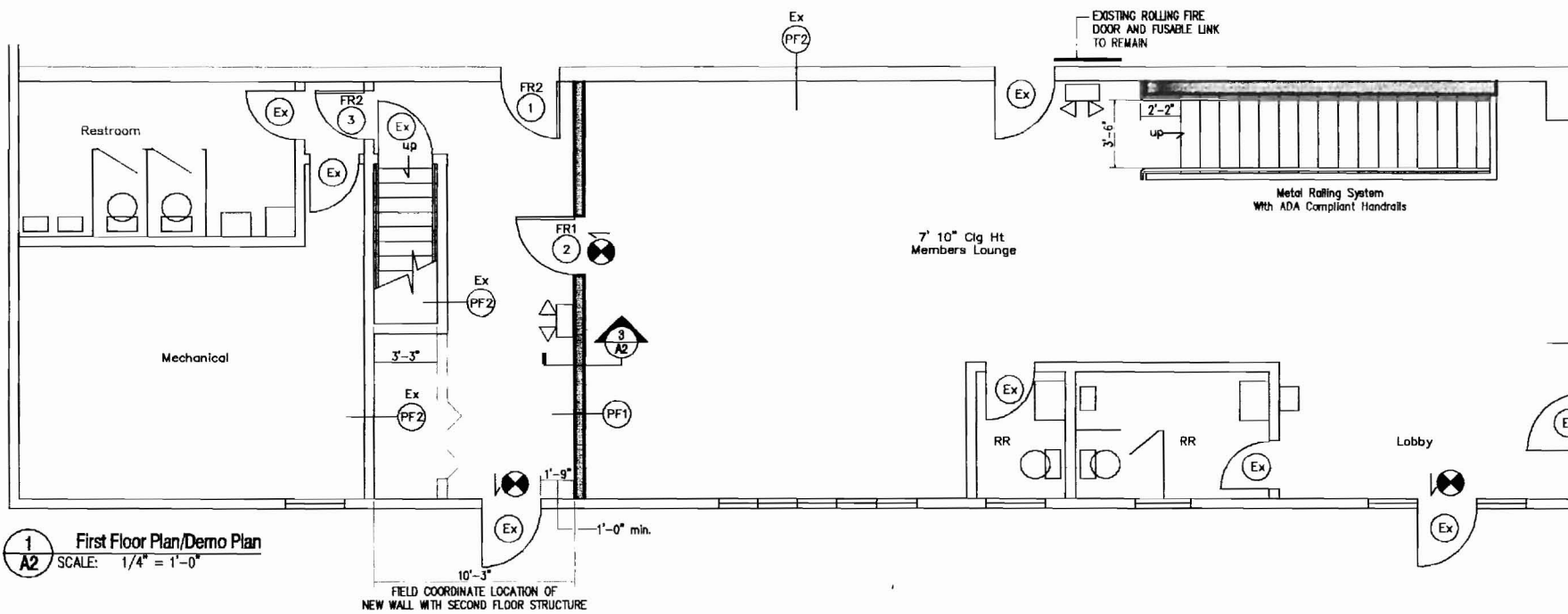
1 Section Thru New Stairwell
 A3 SCALE: 1/2" = 1'-0"



2 Section Thru New Stairwell
 A3 SCALE: 1/2" = 1'-0"

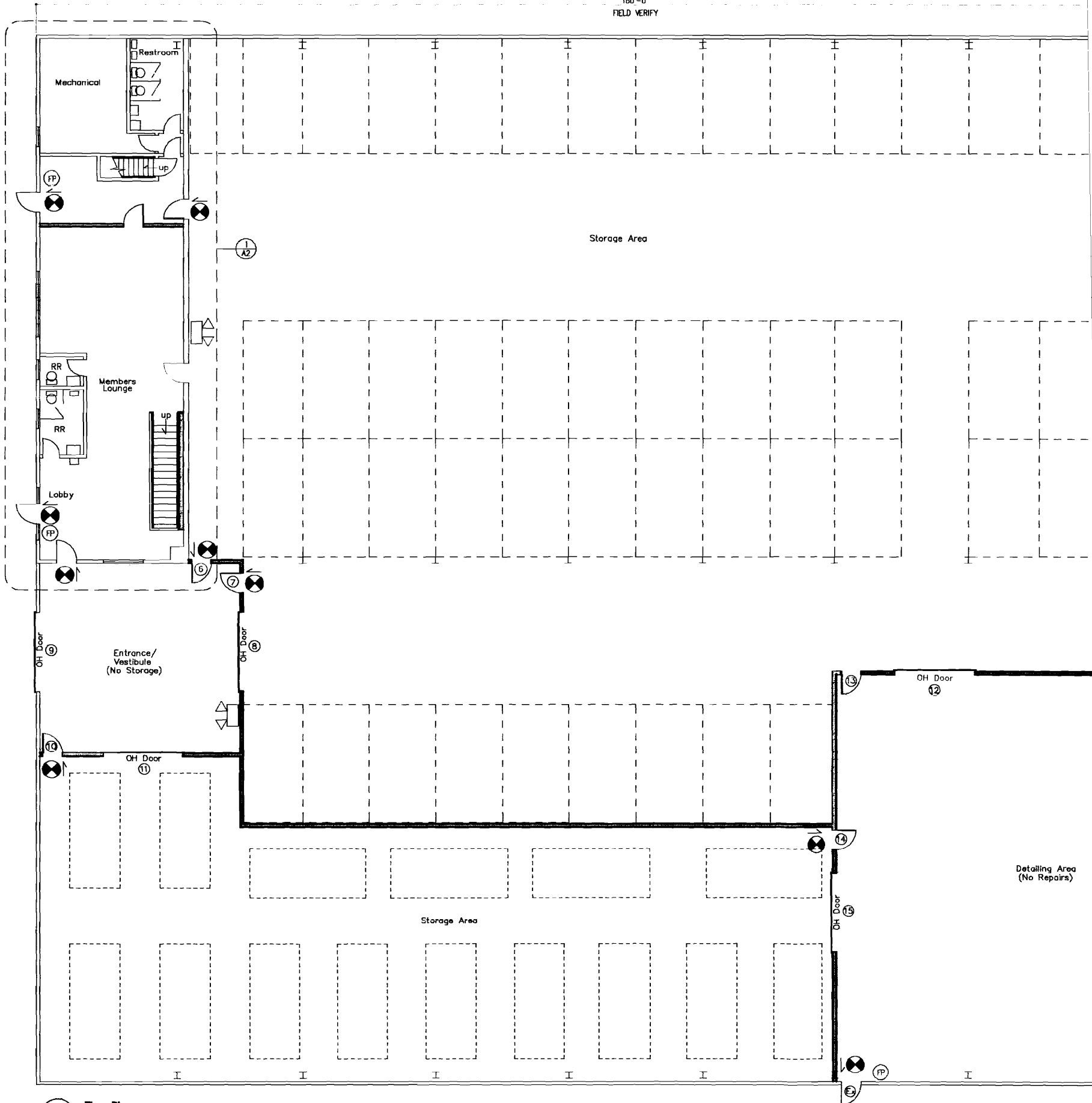


2 Second Floor Plan/Demo Plan
A2 SCALE: 1/4" = 1'-0"



1 First Floor Plan/Demo Plan
A2 SCALE: 1/4" = 1'-0"

180'-0"
FIELD VERIFY



1 Floor Plan
A1 SCALE: 1/8" = 1'-0"