

# PARKING LOT EXPANSION MOODY'S COLLISION CENTERS

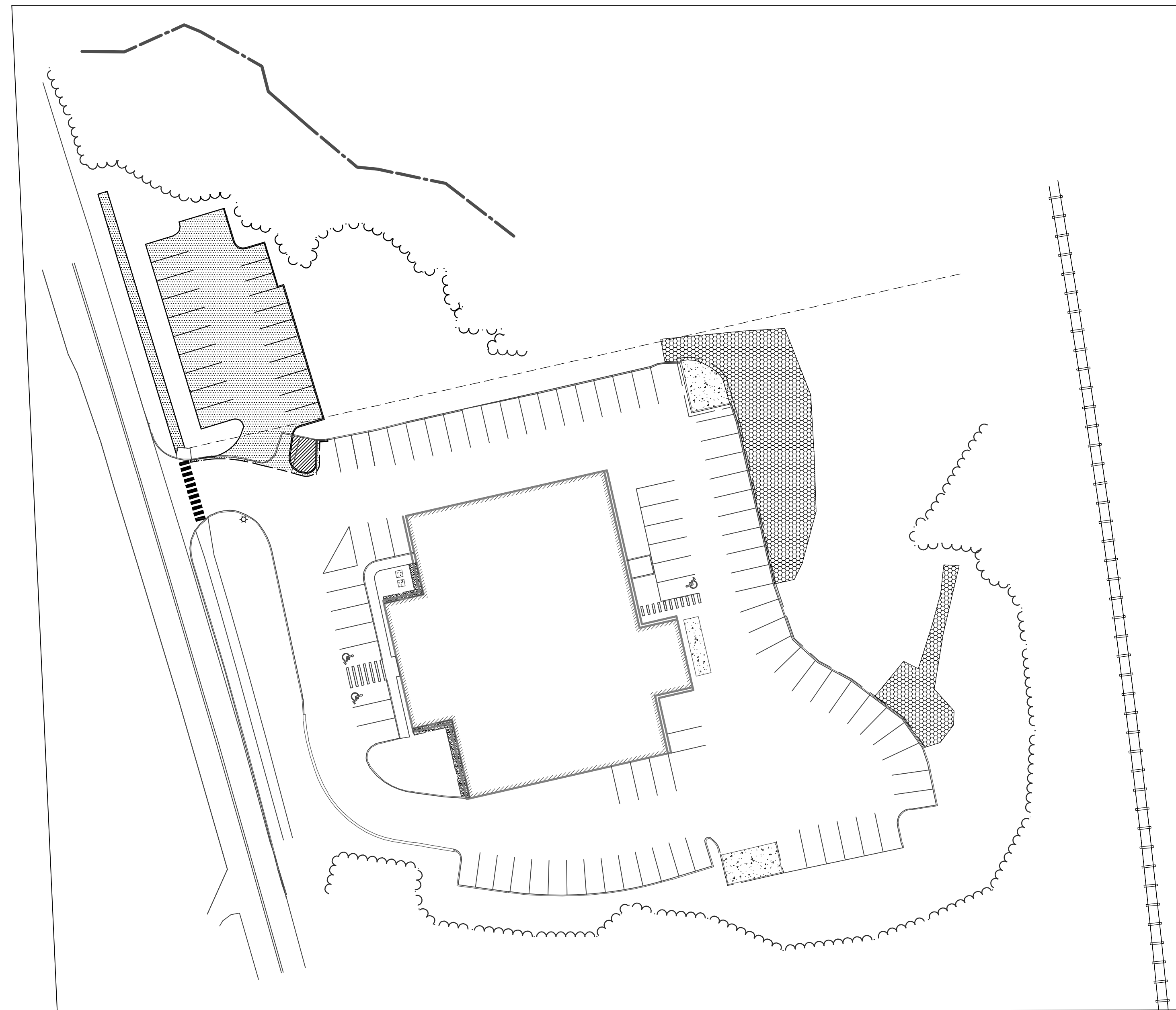
495 PRESUMPCOT STREET  
PORTLAND, MAINE 04103

APPLICANT:  
REAL ESTATE  
HOLDINGS, LLC  
200 NARRAGANSETT STREET  
GORHAM, MAINE 04038

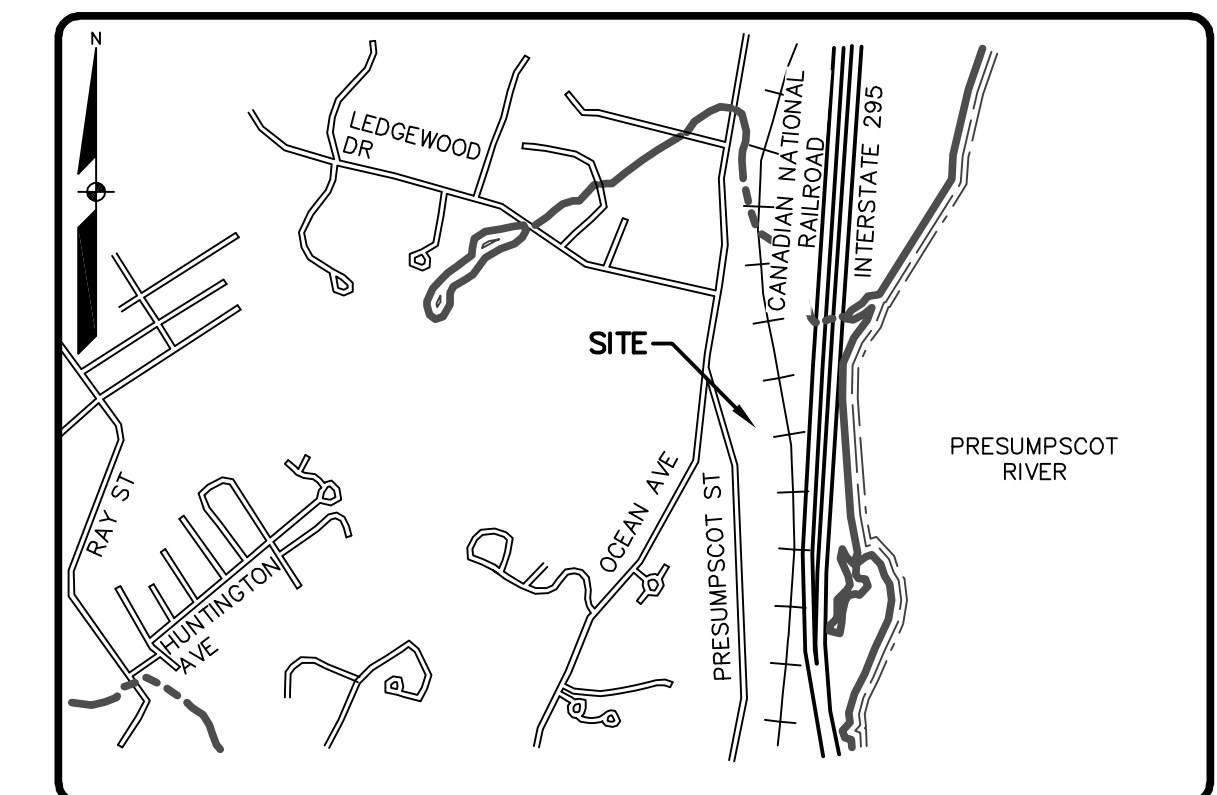
ENGINEER/SURVEYOR:

**SEBAGO**  
TECHNICS  
WWW.SEAGOTECHNICS.COM

75 John Roberts Rd. Suite 1A South Portland, ME 04106  
250 Goddard Rd. Suite B Lewiston, ME 04240  
Tel. 207-200-2100 Tel. 207-783-5656



SCALE: 1"=40'



LOCATION MAP

NTS

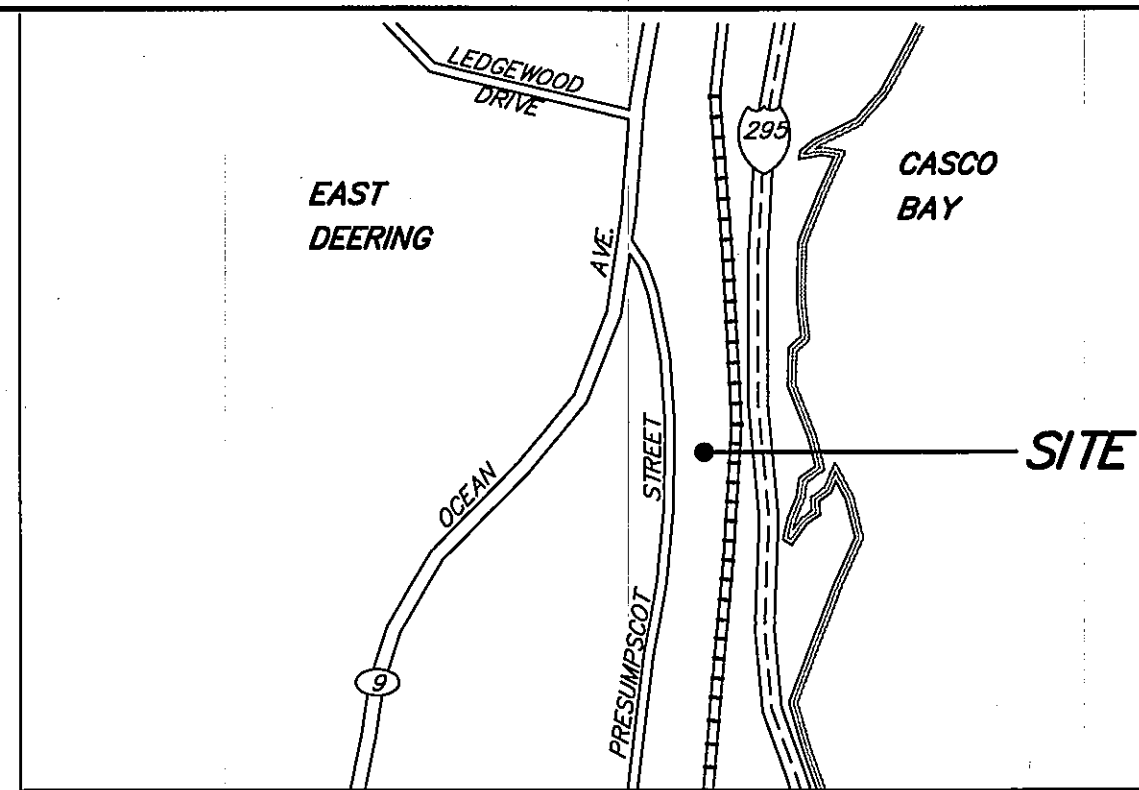
## SHEET INDEX:

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	GRADING AND UTILITY PLAN
5	DETAILS
6	DETAILS



**GENERAL NOTES:**

- THE RECORD OWNER OF THE PARCEL IS REAL ESTATE HOLDINGS LLC BY DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD) IN BOOK 28299 PAGE 76 AND BOOK 28922 PAGE 76.
- THE PROPERTY IS SHOWN AS MAP-BLOCK-LOTS 415-B-9, 418A-C-001, AND 419A-A-7-8 ON THE CITY OF PORTLAND TAX MAPS AND IS LOCATED IN THE IM ZONE.
- SPACE AND BULK CRITERIA FOR THE IM ZONE ARE AS FOLLOWS:  
MIN. LOT SIZE: NONE FOR PROPOSED USES  
MIN. STREET FRONTAGE: 60 FEET  
MIN. FRONT YARD: 1 FOOT PER FOOT OF BUILDING HEIGHT  
MIN. SIDE YARD: 1 FOOT PER FOOT OF BUILDING HEIGHT UP TO MAX. OF 25 FEET  
MIN. REAR YARD: 1 FOOT PER FOOT OF BUILDING HEIGHT UP TO MAX. OF 25 FEET  
MAX. BUILDING HEIGHT: 75 FEET  
MAX. IMPERVIOUS SURFACE RATIO: 75%  
\* SEE ORDINANCE FOR MORE PARTICULAR INFORMATION
- TOTAL AREA OF PARCEL IS APPROXIMATELY 3.3 ACRES.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON PLAN REFERENCED IN 7A AND DEED 28922 PAGE 76.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD SURVEYS BY SEBAGO TECHNICS, INC., FROM 2007 THROUGH 2015.
- PLAN REFERENCES:  
A. A PLAN ENTITLED BOUNDARY SURVEY/SITE PLAN OF 489 PRESUMPSCOT STREET, PORTLAND MAINE FOR 489 PRESUMPSCOT STREET, LLC BY BACK BAY BOUNDARY, INC., DATED 3/06/2003, AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 626.  
B. A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE DURING SEPTEMBER 2007 BY ALEX FINEMORE, SEBAGO TECHNICS, INC. AND LOCATED BY GROUND SURVEY. THIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1987 WETLANDS DELINEATION MANUAL AUTHORED AND PUBLISHED BY THE U.S. ARMY CORPS OF ENGINEERS.  
C. THE BEARINGS, COORDINATES, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD88 IN US FEET. THE VERTICAL SHIFT TO NAVD 1929 AT THIS SITE IS 0.659 FT. AS COMPUTED BY THE U.S. ARMY CORPS OF ENGINEERS CORPSCON PROGRAM VERSION 6.0.1.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.



N.T.S.

DESIGNED: MWE

CHECKED: MWE

REVISIONS:

NO.	DATE	DESCRIPTION
1	8-6-15	REVISED PER CITY COMMENTS
2	7-8-15	CITY OF PORTLAND SITE PLAN

STATUS: [ ]

DATE: [ ]

REVISIONS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

MATTHEW W. EK, PLS2117

**SEBAGO**  
TECHNICS

WWW.SEAGOTECHNICS.COM

75 John Roberts Rd., Suite B  
South Portland, ME 04106  
Tel: 207-200-2100 Fax: 207-763-9666

250 Goddard Rd., Suite B  
Lewiston, ME 04240

EXISTING CONDITIONS PLAN

OF:

**MOODY'S COLLISION CENTER**  
489 PRESUMPSCOT STREET  
PORTLAND, ME

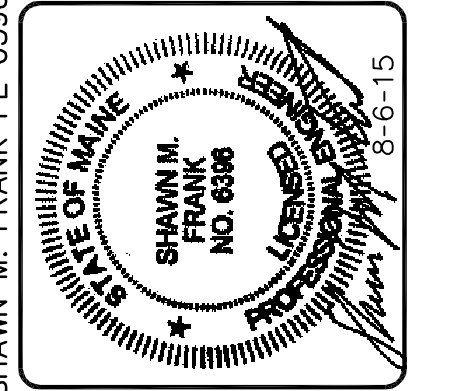
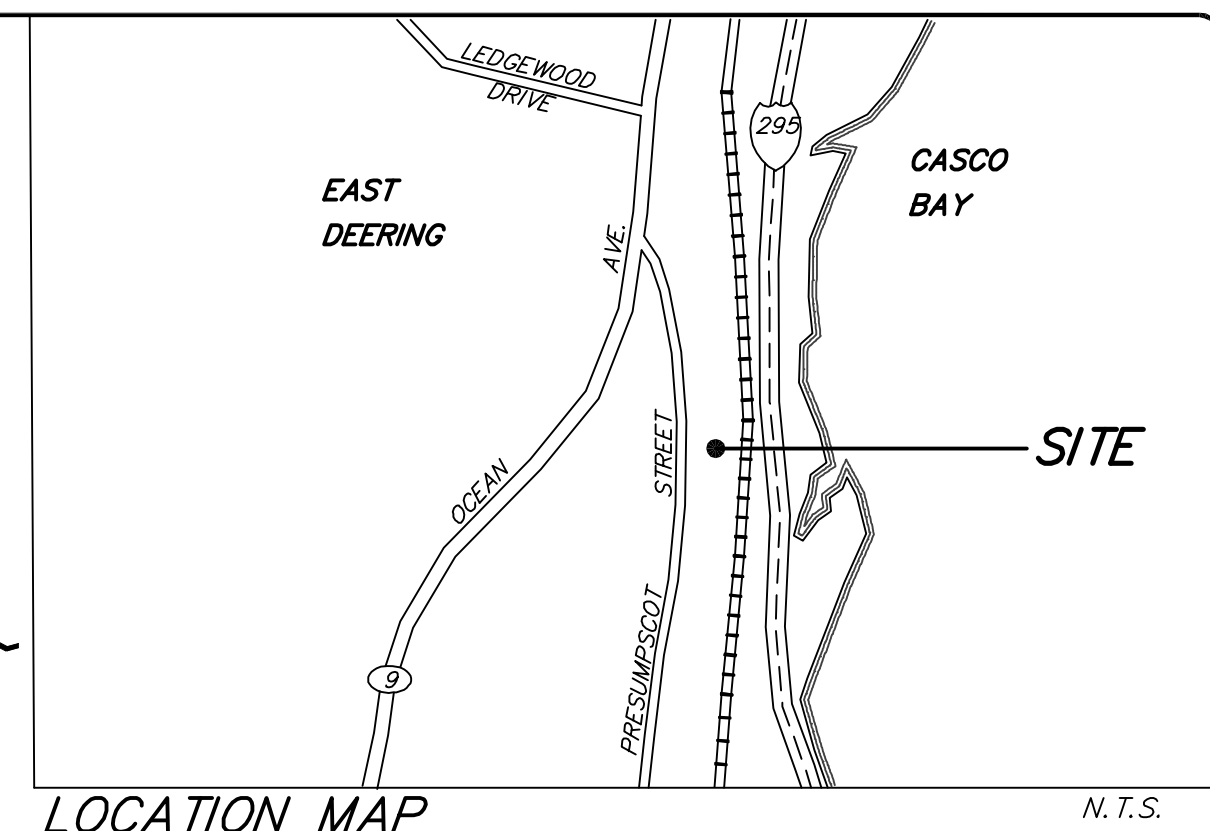
FOR:

**MOODY'S COLLISION CENTER**  
200 NARRAGANSETT STREET  
PORTLAND, MAINE 04103

PROJECT NO. 07548

SCALE 1" = 30'

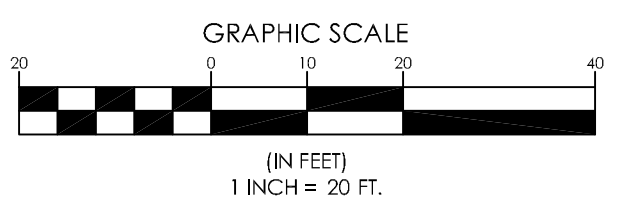
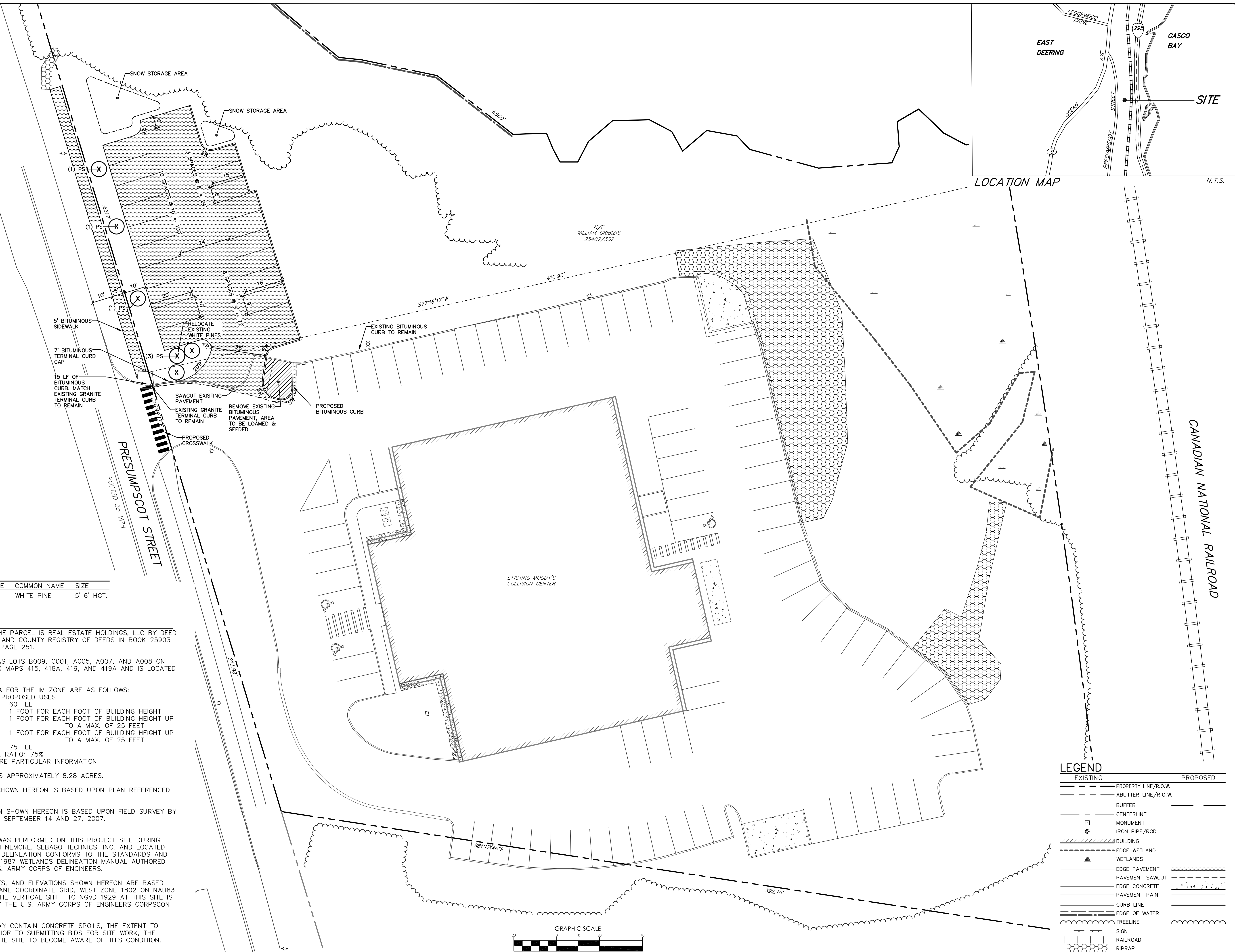




DESIGNED	CHECKED
DJS	SMF
B. ISMF 8-6-15 REVISED PER CITY COMMENTS A. ISMF 7-8-15 CITY OF PORTLAND SITE PLAN REV. BY: DATE: STATUS: THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.	

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
PS	6	PINUS STROBUS	WHITE PINE	5'-6" HGT.

- GENERAL NOTES**
- THE RECORD OWNER OF THE PARCEL IS REAL ESTATE HOLDINGS, LLC BY DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 25903 PAGE 271 AND BOOK 2961 PAGE 251.
  - THE PROPERTY IS SHOWN AS LOTS B009, C001, A005, A007, AND A008 ON THE CITY OF PORTLAND TAX MAPS 415, 418A, 419, AND 419A AND IS LOCATED IN THE IM ZONE.
  - SPACE AND BULK CRITERIA FOR THE IM ZONE ARE AS FOLLOWS:  
 MIN. LOT SIZE: NONE FOR PROPOSED USES  
 MIN. STREET FRONTAGE: 60 FEET  
 MIN. FRONT YARD: 1 FOOT FOR EACH FOOT OF BUILDING HEIGHT  
 MIN. SIDE YARD: 1 FOOT FOR EACH FOOT OF BUILDING HEIGHT UP TO A MAX. OF 25 FEET  
 MIN. REAR YARD: 1 FOOT FOR EACH FOOT OF BUILDING HEIGHT UP TO A MAX. OF 25 FEET  
 MAX. BUILDING HEIGHT: 75 FEET  
 MAX. IMPERVIOUS SURFACE RATIO: 75%  
 \* SEE ORDINANCE FOR MORE PARTICULAR INFORMATION
  - TOTAL AREA OF PARCEL IS APPROXIMATELY 8.28 ACRES.
  - BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON PLAN REFERENCED IN 7A.
  - TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD SURVEY BY SEBAGO TECHNICS, INC., ON SEPTEMBER 14 AND 27, 2007.
  - A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE DURING SEPTEMBER 2007 BY ALEX FINEMORE, SEBAGO TECHNICS, INC. AND LOCATED BY GROUND SURVEY. THIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1987 WETLANDS DELINEATION MANUAL AUTHORED AND PUBLISHED BY THE U.S. ARMY CORPS OF ENGINEERS.
  - THE BEARINGS, COORDINATES, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD88 IN US FEET. THE VERTICAL SHIFT TO NGVD 1929 AT THIS SITE IS 0.699 FT. AS COMPUTED BY THE U.S. ARMY CORPS OF ENGINEERS CORPSCON PROGRAM VERSION 6.0.1.
  - EXISTING ON-SITE SOILS MAY CONTAIN CONCRETE SPOILS, THE EXTENT TO WHICH ARE UNCERTAIN. PRIOR TO SUBMITTING BIDS FOR SITE WORK, THE CONTRACTOR SHALL VISIT THE SITE TO BECOME AWARE OF THIS CONDITION.



LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE/R.O.W.
	ABUTTER LINE/R.O.W.
	BUFFER
	CENTERLINE MONUMENT
	IRON PIPE/ROD
	BUILDING
	EDGE WETLAND
	WETLANDS
	EDGE PAVEMENT
	PAVEMENT SAWCUT
	EDGE CONCRETE
	PAVEMENT PAINT
	CURB LINE
	EDGE OF WATER
	TREELINE
	SIGN
	RAILROAD
	RIPRAP
	LIGHT POLE
	STREAM

**SEBAGO TECHNICS**  
 WWW.SEBAGOTECHNICS.COM  
 75 John Roberts Rd., Suite B  
 South Portland, ME 04106  
 Tel.: 207-200-2100

**SITE PLAN: PARKING LOT EXPANSION**  
 OF: MOODY'S COLLISION CENTER: PORTLAND  
 668 PRESUMPSCOT STREET  
 PORTLAND, ME 04103  
 FOR: REAL ESTATE HOLDINGS, LLC  
 200 NARRAGANSETT STREET  
 CORHAMME 04038

PROJECT NO.	SCALE
07548	1" = 20'

SHEET 3 OF 6



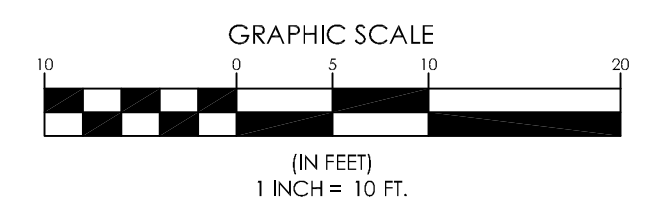


### CONSTRUCTION NOTES

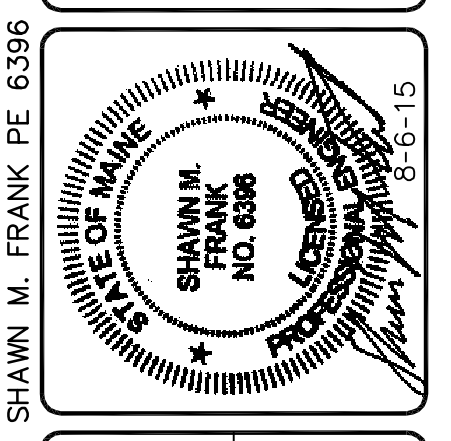
1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL BMP'S" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY OF THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (811) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
11. CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS.
12. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
13. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
14. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
15. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
16. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
17. THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL OUTSIDE OF THE LIMITS OF CLEARING MAY BE NECESSARY TO REMOVE DEAD OR DYING TREES OR TREE LIMBS. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
18. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
19. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
20. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
21. WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
22. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
23. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
24. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
25. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
26. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.
27. ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SMH'S, CB'S, HYDRANTS, ETC., IN CONJUNCTION WITH DESIGN AND OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS INC. BY OTHERS. PRIOR TO ANY CONSTRUCTION, EXCAVATION, TEST BORINGS, DRILLING, ETC., DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.

### LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE/R.O.W.	--- PROPERTY LINE/R.O.W.
--- SETBACK	--- SETBACK
--- STREAM	--- STREAM
--- EDGE PAVEMENT	--- EDGE PAVEMENT
--- PAVEMENT SAWCUT	--- PAVEMENT SAWCUT
--- PAVEMENT PAINT	--- PAVEMENT PAINT
--- CURB LINE	--- CURB LINE
--- TREELINE	--- TREELINE
---+120.00---+118.00--- CONTOURS	---+120.00--- CONTOURS
X120.00 SPOT GRADE	+120.00 SPOT GRADE
--- GUARD RAIL	--- GUARD RAIL
◇ HYDRANT	◇ HYDRANT
--- STORM DRAIN	--- STORM DRAIN
--- UNDER DRAIN	--- UNDER DRAIN
--- CATCH BASIN	--- CATCH BASIN
--- OHU OVERHEAD UTILITY	--- OHU OVERHEAD UTILITY
--- EROSION CONTROL BLANKET	--- EROSION CONTROL BLANKET
--- FILTER BARRIER	--- FILTER BARRIER
--- RIPRAP	--- RIPRAP



SHAWN M. FRANK PE 6396



DESIGNED	CHECKED
DJS	SMF
B SMF 8-6-15	REVISED PER CITY COMMENTS
A SMF 7-8-15	CITY OF PORTLAND SITE PLAN
REVI BY:	DATE:
STATUS:	DATE:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

### SEBAGO TECHNICS

WWW.SEBAGOTECHNICS.COM  
250 Goddard Rd.  
Suite B  
Leicester, MA 01545  
Tel. 207-783-5656

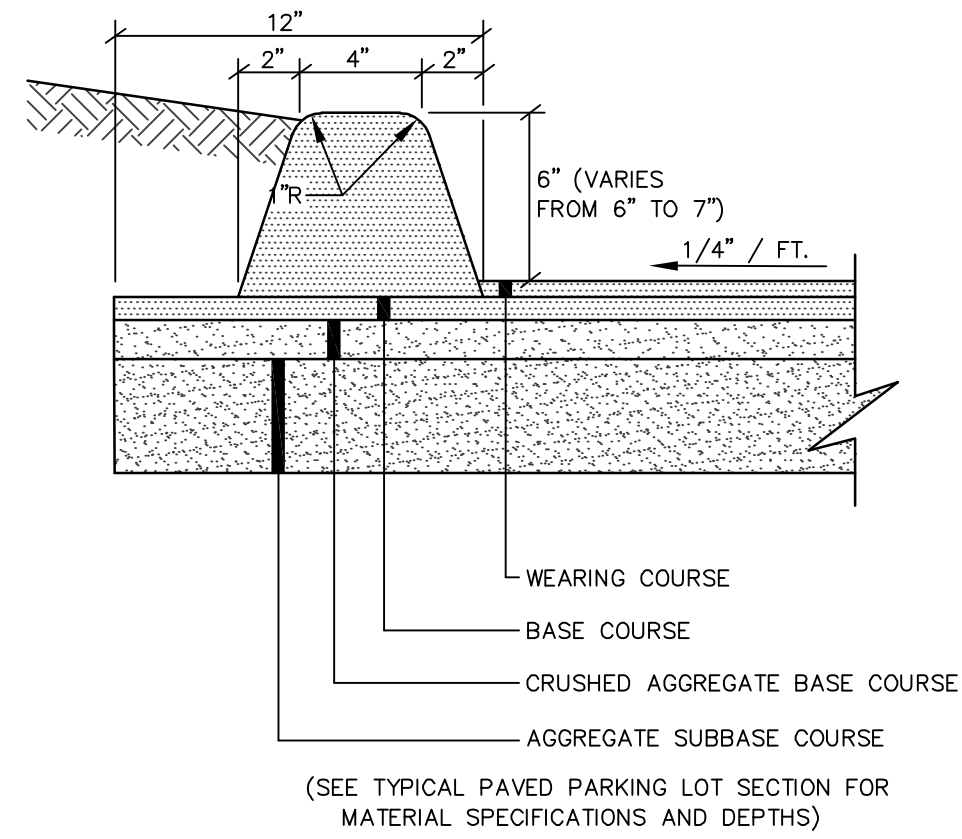
GRADING UTILITY PLAN  
OF:  
**MOODY'S COLLISION CENTER: PORTLAND**  
495 PRESUMPSCOT STREET  
PORTLAND, ME 04103  
FOR:  
**REAL ESTATE HOLDINGS, LLC**  
200 NARRAGANSETT STREET  
GORHAM, ME 04038

PROJECT NO.	SCALE
07548	1" = 10'

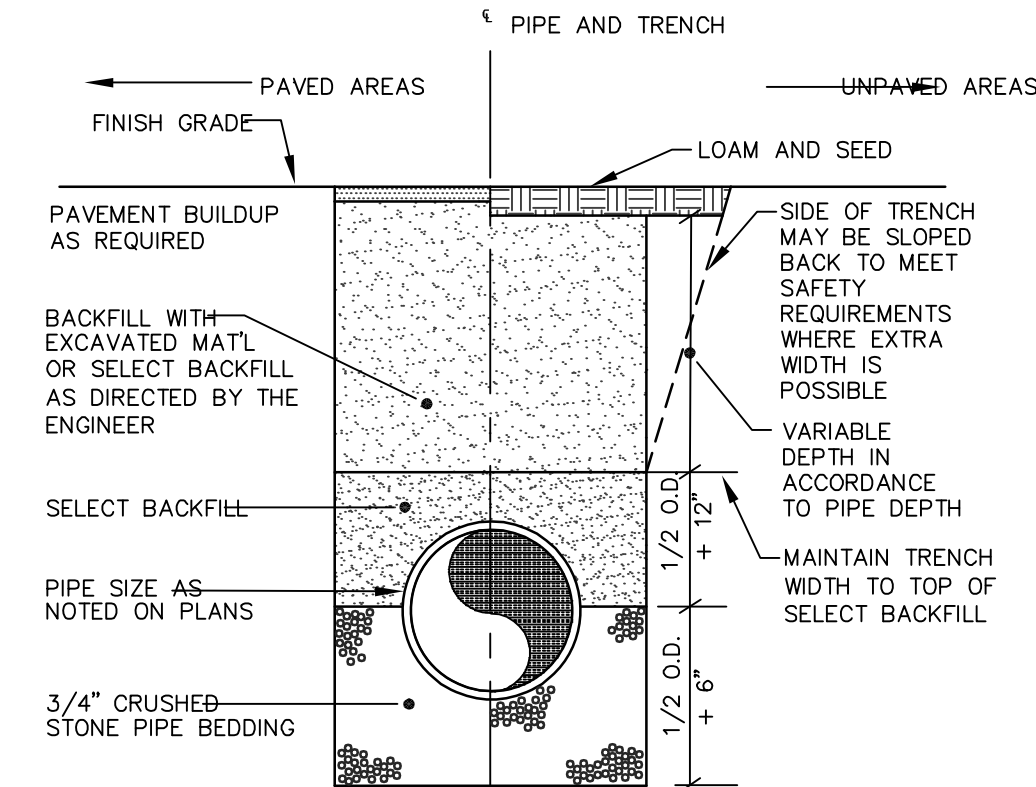
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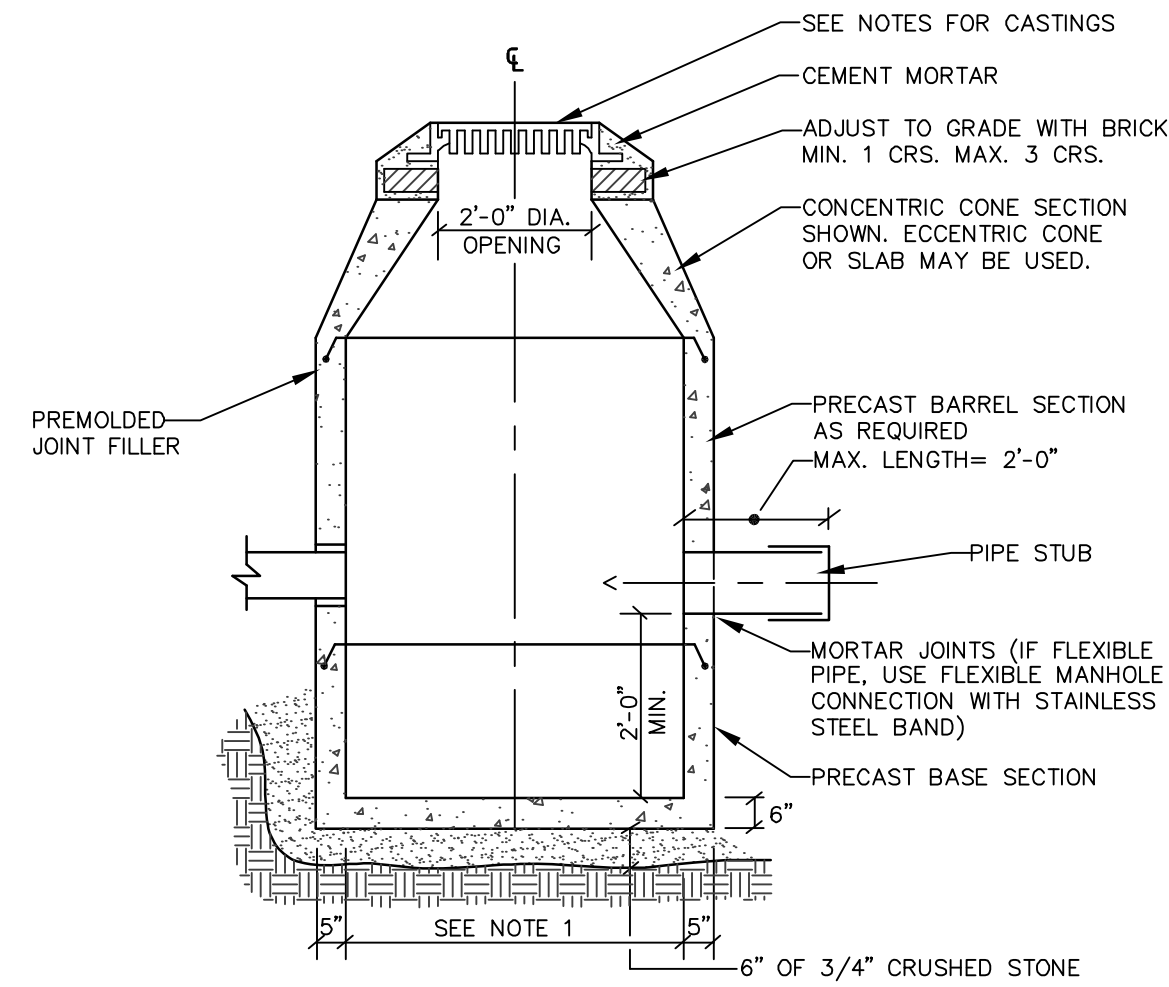




**BITUMINOUS CURB SECTION**  
NOT TO SCALE

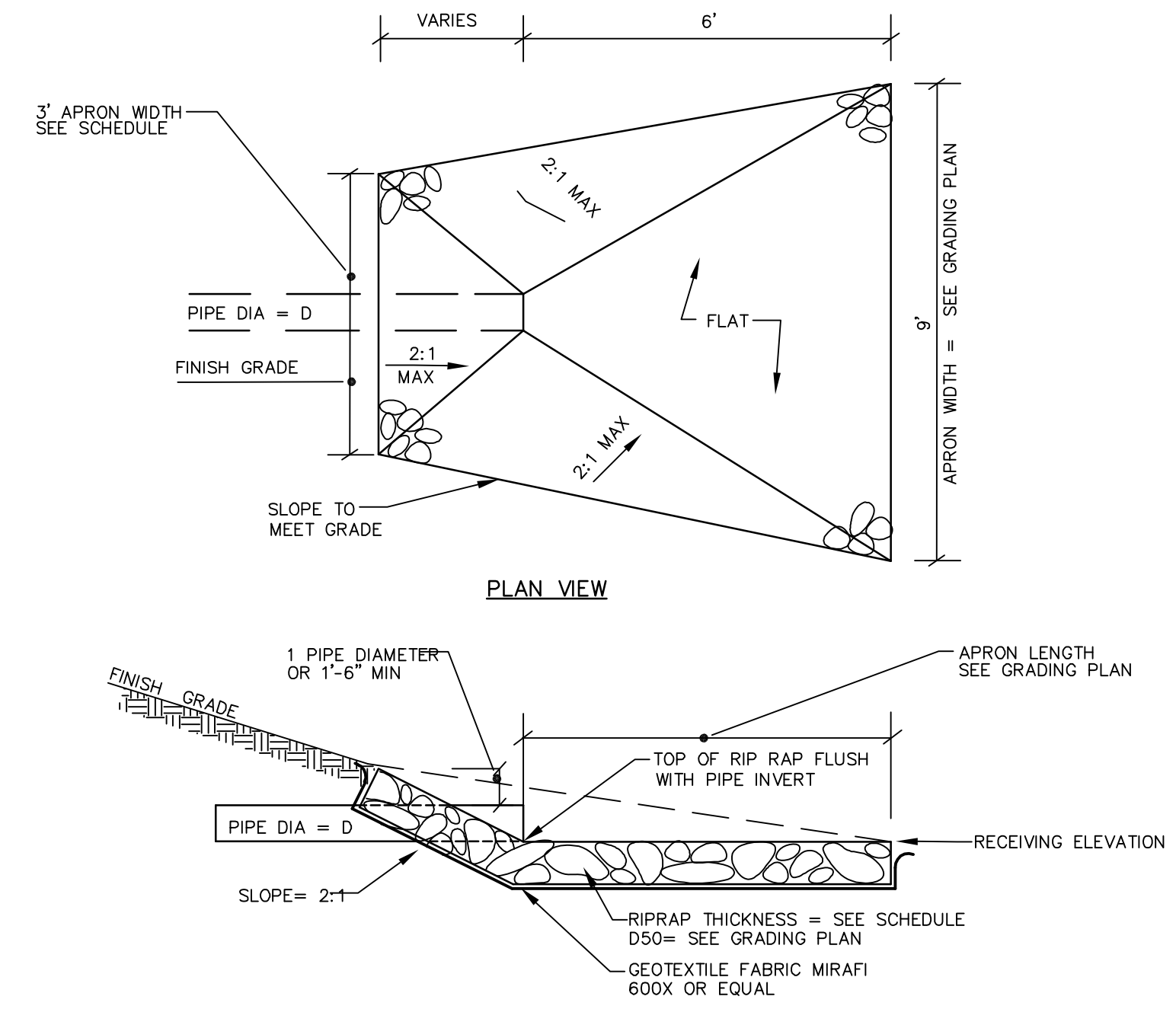


**TYPICAL TRENCH SECTION**  
NOT TO SCALE



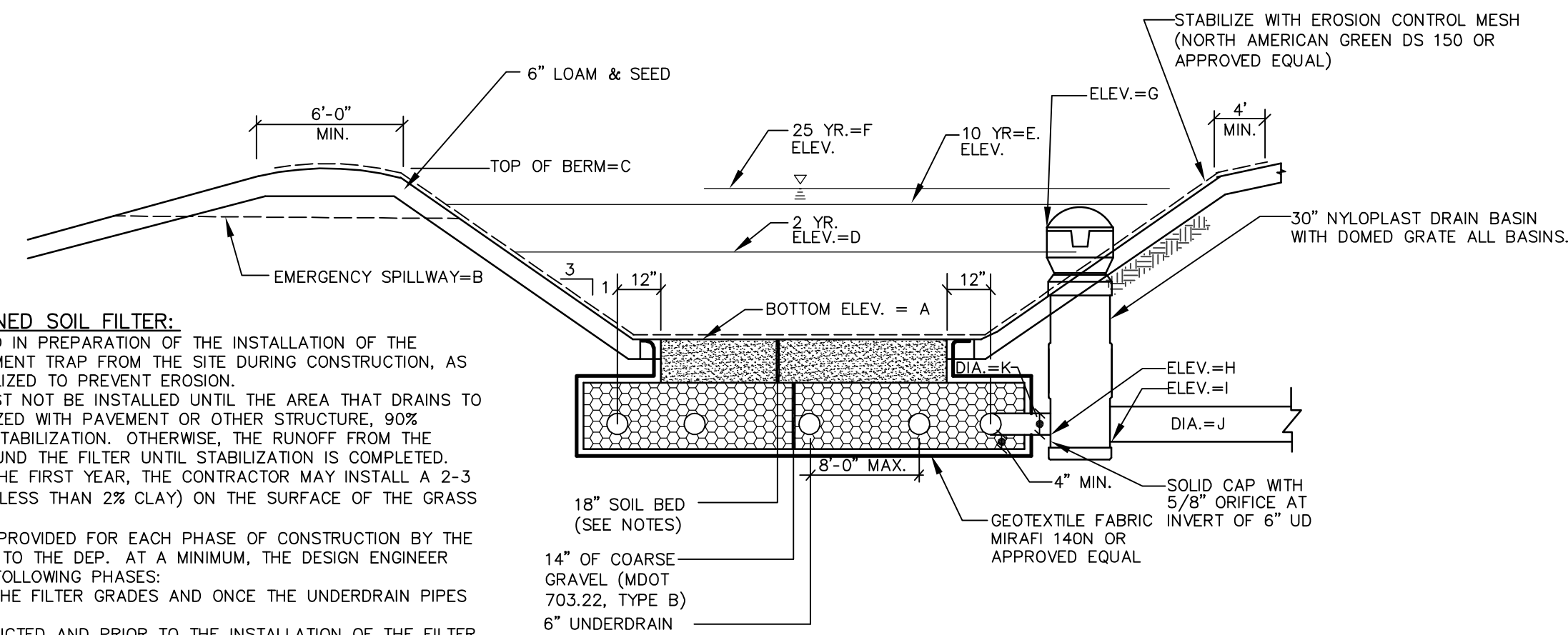
- NOTES:**
- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
  - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
  - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
  - CATCH BASIN FRAME AND GRATE TO BE NEENAH FOUNDRY R-2554, OR APPROVED EQUAL.

**TYPICAL CATCH BASIN**  
NOT TO SCALE



- NOTES:**
- RIPRAP TO BE PROCESSED ANGULAR ROCK
  - RIPRAP GRADATION SHALL BE A WELL GRADED MIX FROM ABOUT 1.5 TIMES D SIZE TO 25 PERCENT OF THE D SIZE
  - THE RIPRAP STONES SHALL BE CAREFULLY PLACED FROM THE TOE OF THE SLOPE UPWARD
  - STONES SHALL BE LOWERED TO THE SLOPE AND NOT BE ALLOWED TO DROP MORE THAN 12" ONTO THE GEOTEXTILE
  - THE FINISHED SURFACE SHALL BE A RELATIVELY SMOOTH, UNIFORMLY SLOPED SURFACE

**RIPRAP APRON**  
NOT TO SCALE



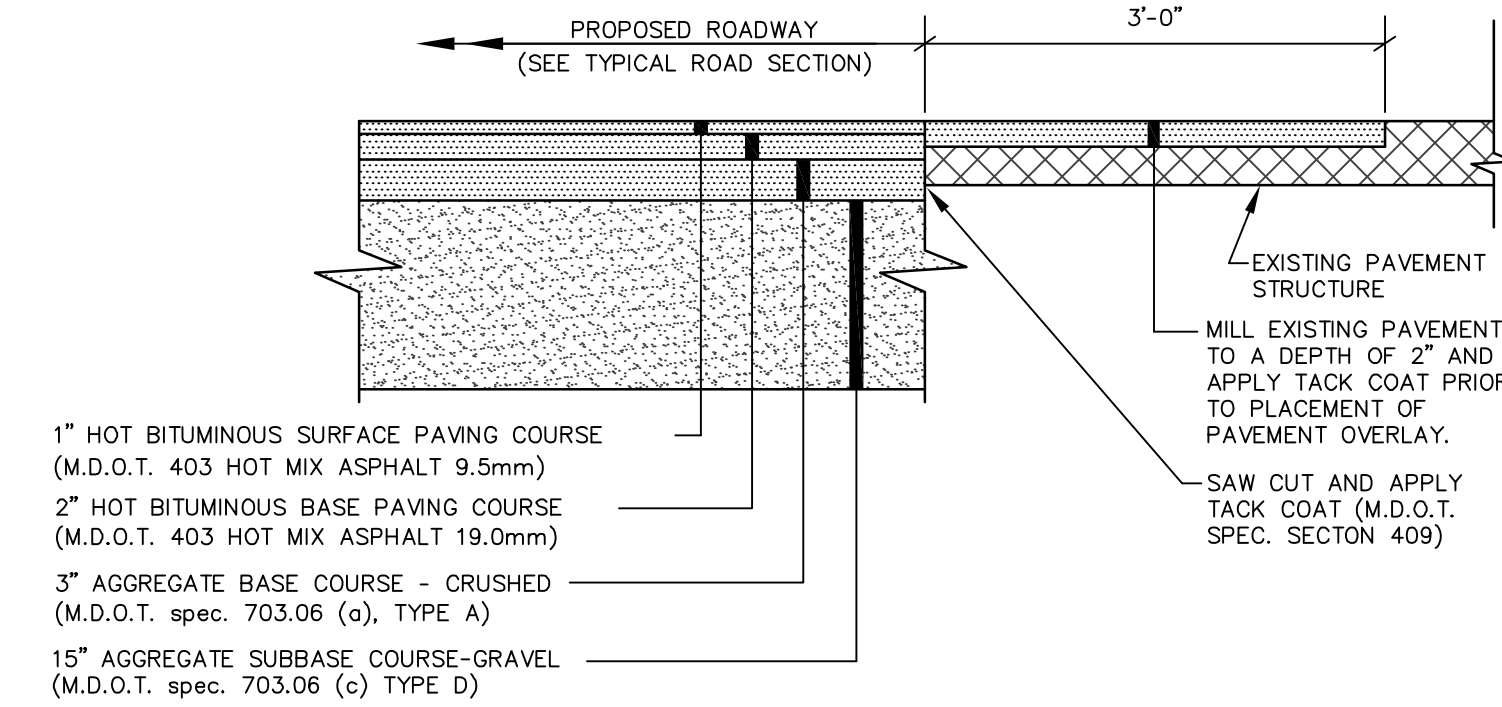
- CONSTRUCTION NOTES FOR UNDERDRAINED SOIL FILTER:**
- THE AREA OF THE BASIN MAY BE EXCAVATED IN PREPARATION OF THE INSTALLATION OF THE UNDERDRAIN AND CAN BE USED FOR A SEDIMENT TRAP FROM THE SITE DURING CONSTRUCTION, AS LONG AS THE BASIN IS MULCHED AND STABILIZED TO PREVENT EROSION.
  - THE SOIL FILTER MEDIA AND VEGETATION MUST NOT BE INSTALLED UNTIL THE AREA THAT DRAINS TO THE FILTER HAS BEEN PERMANENTLY STABILIZED WITH PAVEMENT OR OTHER STRUCTURE, 90% VEGETATION COVER, OR OTHER PERMANENT STABILIZATION. OTHERWISE, THE RUNOFF FROM THE CONTRIBUTING AREA MUST BE DIVERTED AROUND THE FILTER UNTIL STABILIZATION IS COMPLETED.
  - IF VEGETATION IS NOT ESTABLISHED WITHIN THE FIRST YEAR, THE CONTRACTOR MAY INSTALL A 2-3 INCH LAYER OF SANDY LOAM TOPSOIL (WITH LESS THAN 2% CLAY) ON THE SURFACE OF THE GRASS FILTER AND RESEED/MULCH.
  - INSPECTION OF THE FILTER BASIN SHALL BE PROVIDED FOR EACH PHASE OF CONSTRUCTION BY THE DESIGN ENGINEER WITH REQUIRED REPORTING TO THE DEP. AT A MINIMUM, THE DESIGN ENGINEER SHALL INSPECT THE CONSTRUCTION AT THE FOLLOWING PHASES:
    - AFTER PRELIMINARY CONSTRUCTION OF THE FILTER GRADES AND ONCE THE UNDERDRAIN PIPES ARE INSTALLED BUT NOT BACKFILLED.
    - AFTER THE DRAINAGE LAYER IS CONSTRUCTED AND PRIOR TO THE INSTALLATION OF THE FILTER MEDIA.
    - AFTER THE FILTER MEDIA HAS BEEN INSTALLED AND SEEDED.
    - AFTER ONE YEAR TO INSPECT HEALTH OF THE VEGETATION AND MAKE CORRECTIONS, AND
    - ALL MATERIAL USED FOR THE CONSTRUCTION OF THE FILTER BASIN SHALL BE APPROVED BY THE DESIGN ENGINEER AFTER TESTS BY A CERTIFIED LABORATORY SHOW THAT THEY ARE PASSING DEP SPECIFICATIONS.
  - THE CONTRACTOR SHALL IDENTIFY THE LOCATION OF THE SOURCE OF EACH COMPONENT OF THE FILTER MEDIA. ALL RESULTS OF THE FIELD AND LABORATORY TESTING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR CONFIRMATION. THE CONTRACTOR SHALL
    - SUBMIT SAMPLES OF EACH TYPE OF MATERIAL TO BE BLENDED FOR THE MIXED FILTER MEDIA AND SAMPLES OF THE UNDERDRAIN BEDDING MATERIAL. SAMPLES MUST BE A COMPOSITE OF THREE GRABS FROM THE STOCKPILE OR PIT FACE. SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY.
    - PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES, 1996A) ON EACH TYPE OF THE SAMPLE MATERIAL. THE RESULTING SOIL FILTER MEDIA MIXTURE MUST HAVE 8% TO 12% BY WEIGHT PASSING THE #200 SIEVE, A CLAY CONTENT OF LESS THAN 2% (DETERMINED BY HYDROMETER GRAIN SIZE ANALYSIS) AND HAVE 10% DRY WEIGHT OF ORGANIC MATTER.
    - PERFORM A PERMEABILITY TEST ON THE SOIL FILTER MEDIA CONFORMING TO ASTM D2434 WITH THE MIXTURE COMPACTED TO 90-92% OF MAXIMUM DRY DENSITY BASED ON ASTM D698.

- EMBANKMENT CONSTRUCTION NOTES:**
- CONSTRUCTION OF COMMON BORROW MATERIAL MEETING M.D.O.T. SPECIFICATIONS
  - PLACE BORROW MATERIAL IN 12" LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY
  - INSTALL RIPRAP AND EROSION CONTROL MESH WHERE SPECIFIED ON PLANS
  - LOAM, SEED, AND STABILIZE IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN.

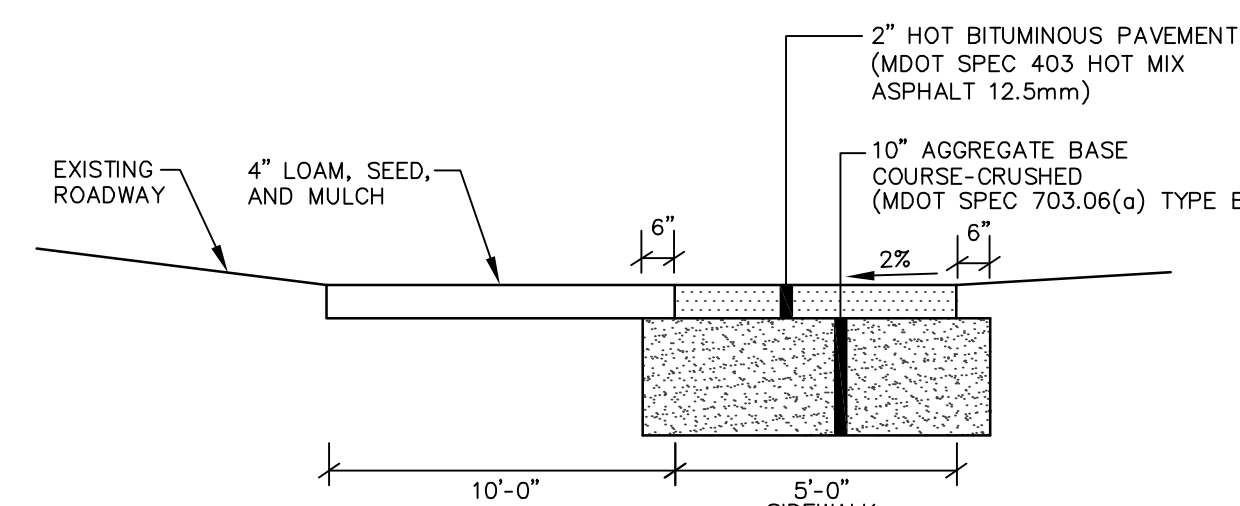
UNDERDRAIN GRASS FILTER	POND DIMENSIONS										
	ELEVATION IN FEET										
	A	B	C	D	E	F	G	H	I	J	K
USF-1	36.00	37.50	38.00	37.10	37.16	37.19	37.10	33.67	33.50	12	6

- UNDERDRAINED FILTER NOTES:**
- THE SOIL BED SHALL CONSIST OF A SILTY SAND SOIL OR SOIL MIXTURE COMBINED WITH 20% TO 25% BY VOLUME OF A MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH. THE RESULTING MIXTURE MUST HAVE NO LESS THAN 8% PASSING THE 200 SIEVE AND SHALL HAVE A CLAY CONTENT OF LESS THAN 2%. THE SAND USED IN THE MIXTURE SHALL MEET THE FOLLOWING SPECIFICATIONS:
    - SIEVE #30 - 100 PERCENT PASSING
    - SIEVE #4 - 95-100 PERCENT PASSING
    - SIEVE #8 - 80-100 PERCENT PASSING
    - SIEVE #16 - 50-85 PERCENT PASSING
    - SIEVE #30 - 25-60 PERCENT PASSING
    - SIEVE #60 - 10-30 PERCENT PASSING
    - SIEVE #100 - 2-10 PERCENT PASSING
    - SIEVE #200 - 0-5 PERCENT PASSING
  - COMPACTION OF THE SOIL BED MATERIAL SHALL BE AVOIDED. IF COMPACTION OCCURS, ROTOTILL AGAIN PRIOR TO SEEDING OR SODDING.

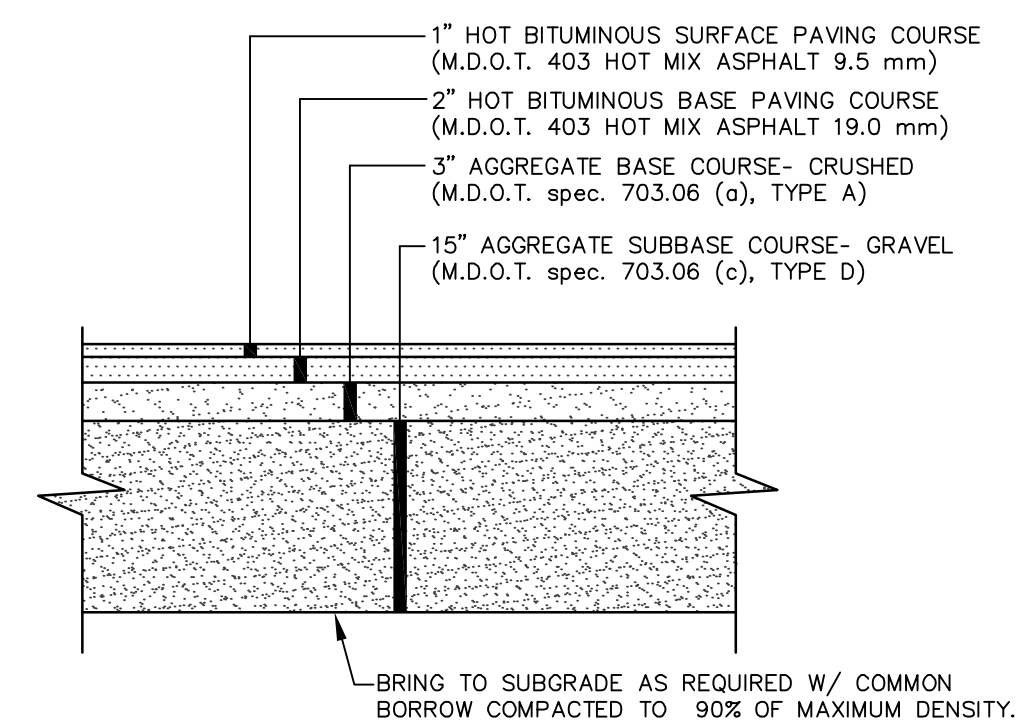
**DETENTION BASIN WITH UNDERDRAINED GRASS FILTER**  
NOT TO SCALE



**TYPICAL PAVEMENT JOINT**  
NOT TO SCALE



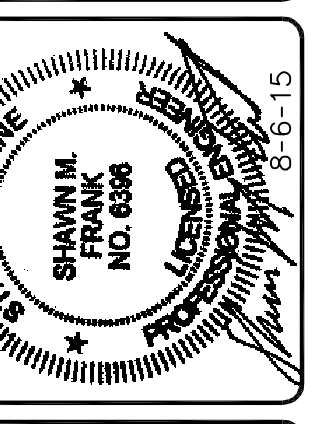
**TYP. PAVED SIDEWALK DETAIL**  
NOT TO SCALE



- NOTES:**
- COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACT.
  - CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
  - CONTRACTOR MAY REPLACE BITUMINOUS PAVING SECTION WITH TWO (2) 1-1/2" LIFTS OF 12.5mm SUPERPAVE MIX. SUBMIT PAVEMENT MIX DESIGN PRIOR TO CONSTRUCTION.

**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE

SHAWN M. FRANK PE 6396



DESIGNED	CHECKED
DJS	SMF
REVISED PER CITY COMMENTS	
B SMF 8-6-15	CITY OF PORTLAND SITE PLAN
A SMF 7-8-15	DATE: STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.	

**SEBAGO TECHNICS**  
WWW.SEBAGOTECHNICS.COM  
75 John Roberts Rd., Suite B  
South Portland, ME 04106  
Tel: 207-200-9100 Tel: 207-783-5656

**DETAILS: PARKING LOT EXPANSION**  
OF: **MOODY'S COLLISION CENTER: PORTLAND**  
495 PRESUMPSCOT STREET  
PORTLAND, ME 04103  
FOR: **REAL ESTATE HOLDINGS, LLC**  
200 NAPRAGANSETT STREET  
GORHAM, ME 04038

PROJECT NO.	SCALE
07548	NTS

SHEET 6 OF 6

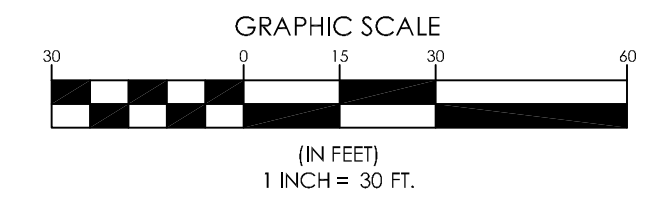
07548.dwg, 146.6 - DETAIL-2





**LEGEND**

- WATERSHED BOUNDARY
- TIME OF CONCENTRATION
- REACH
- WATERSHED LABEL
- REACH
- DETENTION POND
- SOILS BOUNDARY



DESIGNED	CHECKED
DJS	SMF
B   SMF   8-6-15   REVISED PER CITY COMMENTS A   SMF   7-8-15   CITY OF PORTLAND SITE PLAN REV. BY: DATE STATUS: <small>THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.</small>	

**SEBAGO**  
TECHNICS

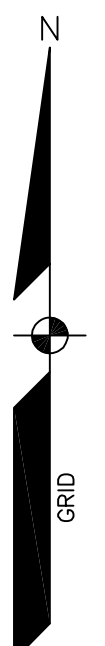
WWW.SEBAGOTECHNICS.COM  
 75 John Roberts Rd. Suite B 04240  
 South Yarmouth, ME 04106  
 Tel. 207-200-2100 Tel. 207-783-5656

PRE-DEVELOPMENT WATERSHED MAP  
 OF:  
 MOODY'S COLLISION CENTER: PORTLAND  
 495 PRESUMPSCOT STREET  
 PORTLAND, ME 04103  
 FOR:  
 REAL ESTATE HOLDINGS, LLC  
 200 NARRAGANSETT STREET  
 GORHAM, ME 04038

PROJECT NO. 07548  
 SCALE 1" = 30'

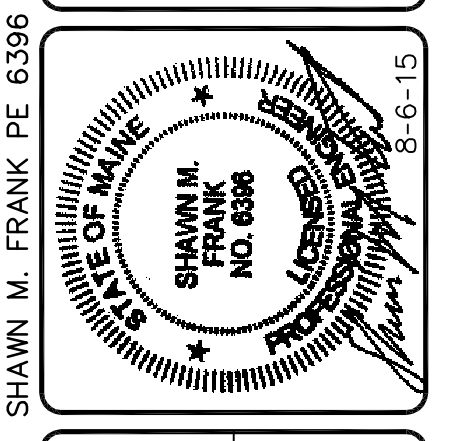
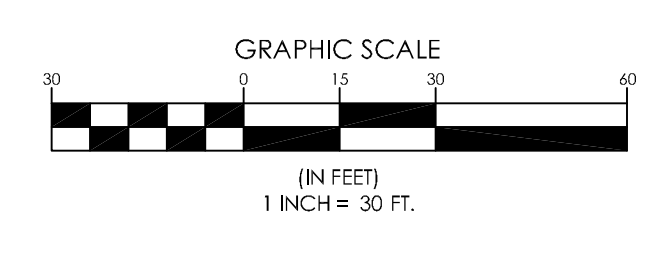
SHEET 1 OF 3

SHAWN M. FRANK PE 6396



**LEGEND**

	WATERSHED BOUNDARY
	TIME OF CONCENTRATION
	REACH
	WATERSHED LABEL
	REACH
	DETENTION POND
	SOILS BOUNDARY



DESIGNED	CHECKED
DJS	SMF
B   SMF   8-6-15   REVISED PER CITY COMMENTS A   SMF   7-8-15   CITY OF PORTLAND SITE PLAN REV. BY: DATE: STATUS: THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.	

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CURRENT-DEVELOPMENT WATERSHED  
 OF:  
 MOODY'S COLLISION CENTER: PORTLAND  
 495 PRESUMPSCOT STREET  
 PORTLAND, ME 04103  
 FOR:  
 REAL ESTATE HOLDINGS, LLC  
 200 NARRAGANSETT STREET  
 GORHAM, ME 04038

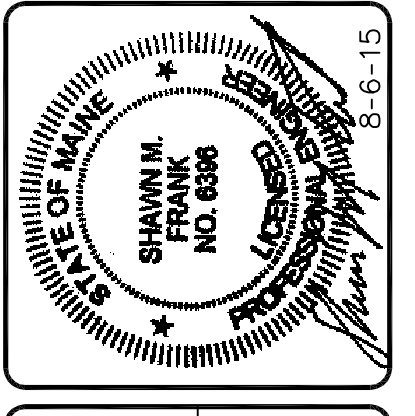
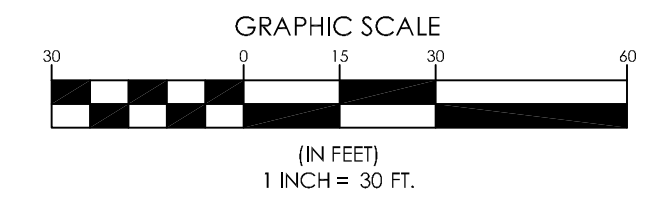
PROJECT NO.	SCALE
07548	1" = 30'





**LEGEND**

- WATERSHED BOUNDARY
- TIME OF CONCENTRATION
- REACH
- WATERSHED LABEL
- REACH
- DETENTION POND
- SOILS BOUNDARY



DESIGNED	CHECKED
DJS	SMF
B SMF 8-6-15 REVISED PER CITY COMMENTS A SMF 7-8-15 CITY OF PORTLAND SITE PLAN REV. BY: DATE: STATUS: <small>THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.</small>	

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POST-DEVELOPMENT WATERSHED MAP  
 OF:  
 MOODY'S COLLISION CENTER: PORTLAND  
 495 PRESUMPSCOTT STREET  
 PORTLAND, ME 04103  
 FOR:  
 REAL ESTATE HOLDINGS  
 200 NAPRAGANSETT STREET  
 GORHAM, ME 04038

PROJECT NO.	SCALE
07548	1" = 30'