

OCEAN RIDGE CONDOMINIUMS 852 OCEAN AVENUE PORTLAND, MAINE

UNITS 33, 34, & 35

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CIVIL ENGINEER:

SEBAGO TECHNICS
ONE CHABOT STREET
WESTBROOK, MAINE 04098
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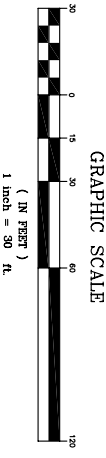
STRUCTURAL ENGINEER:

L & L STRUCTURAL ENGINEERING SERVICES, INC.
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MARCH 28, 2005



VORTECH UNIT 2
MODEL 4000 (MFR.)
CONFIRM SIZING
BEFORE INSTALLATION)

REV.	BY:	DATE:	STATUS:
A	LRB	3-7-01	SUBMIT FOR SITE PLAN REVIEW
B	LRB	4-24-01	REVISOR REVISED PLANS PER CITY REVIEW
C	LRB	6-04-01	REVISOR REVISED PLANS PER CITY COMMENTS
D	LRB	7-10-01	REVISOR REVISED PLANS PER CITY COMMENTS
E	LRB	8-8-01	REVISOR REVISED PLANS PER CITY COMMENTS
F	LRB	12-3-02	REVISOR REVISED WATER LINE
G	LRB	12-6-02	ADDED GAS, REVISED SANI. WATER
H	LRB	1-23-03	ADDED GAS, REVISED SANI. WATER

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AMENDMENTS OR OMISSIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

GRADING AND UTILITY PLAN - 2
OF:
OCEAN RIDGE CONDOMINIUMS
897 OCEAN AVENUE
PORTLAND, MAINE
FOR:
OCEAN RIDGE REALTY, LLC
91 OCEAN HOUSE ROAD
CAPE ELIZABETH, MAINE 04107

Sebago Technics
Engineering & Planning for the Future
Webster, Me 04098-1339
Tel (207) 856-0277

DESIGN BY:	JDA
DRAWN BY:	MAL
CHECKED BY:	LRB
DATE:	3-6-01
SCALE:	1"=30'
FIELD BK:	54
PROJ. NO.:	84180
DRAWING:	84180/02

SHEET 6 OF 18

GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and structural, mechanical, electrical, plumbing, and other drawings. All dimensions shall be in feet and inches. Dimensions of openings, doors, insets, registers, sleeves, depressions, and other details not shown on structural drawings. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be in accordance with the specifications. All proprietary products shall be installed in accordance with the manufacturers written instructions.
- The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, steeking temporary bracing, and other measures to ensure the safety of the building during erection. The contractor shall be responsible for the safety of the building and its components during erection. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

- Building code: BOCA Basic Building Code (1999)
- Design Live Loads: (Ground snow load = 60 PSF)
Roof:.....42 PSF + Drift
Living areas:.....40 PSF

- Design wind loads are based on exposure B using 85 mph basic wind speed.
- Seismic design utilizes the following criteria:
 - Building framing system: Concentrically braced frames, and shear walls
 - Analysis procedure: Equivalent Lateral Force Procedure.
 - Seismic hazard exposure group: "1"
 - Seismic performance category: "C"
 - Soil profile type: "S1"
 - Peak velocity-related acceleration (AV): "0.10"
 - Peak acceleration (Aa): "0.10"
 - Response modification factor (R): "5"
 - Deflection amplification factor (Cd): "4 1/2"

FOUNDATION NOTES:

- Foundations have been designed with a presumptive soil bearing capacity indicated in of 2000 PSF to be verified in the field.
 - Interior/spread footings and exterior strip footings shall be founded on native soil or compacted structural fill. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements. Concrete slabs shall be moist cured.
 - Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:
- | SCREEN OR SIEVE SIZE | PERCENT FINER BY WEIGHT |
|----------------------|-------------------------|
| 4 inch | 100 |
| 3 inch | 90 to 100 |
| 1/4 inch | 25 to 90 |
| NO. 40 | 0 to 30 |
| NO. 200 | 0 to 5 |

- Structural fill beneath slabs shall be placed in layers not exceeding 12" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
- Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
- Exterior concrete slabs on grade shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W14x44 W1F.
- Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES:

- All concrete work shall conform to ACI 318--Latest Edition.
- Concrete strength at 28 days shall be:
 - 4000 PSI for basement walls
 - 3000 PSI for footings, frost walls and piers
 - 4000 PSI for all slabs on grade
- All concrete shall be air entrained 4%-6% with approved admixtures.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318--Latest edition.
- Welded wire fabric shall be provided in flat sheets.
- Fiber reinforced concrete shall conform to ASTM C-1116.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit (6) blue line prints and (1) reproducible (send) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices of W1F shall be 6" minimum.
- Concrete finishes: See specifications and Architectural drawings. For additional information consult hardwood floor manufacturer for preferred concrete finish before placement.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
- The general contractor shall be responsible for coordination of door bond out locations, slab depression and other required bond outs. Coordinate location of bond outs with Architectural, Mechanical & Plumbing, Electrical and Kitchen equipment vendors as necessary to properly install each specific item.
- Provide control joints in slabs as follows:
 - 15' x 15' (225 SF) with fibermesh reinforcement
 - 20' x 20' (400 SF) with welded wire fabric reinforcement

STRUCTURAL STEEL NOTES:

- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"--Latest edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR.B.
 - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" ASTM A325 high strength bolts except where field welding is indicated on the drawings. All welding shall conform to AWS D1.1--Latest edition. Welding electrodes shall be E70XX.

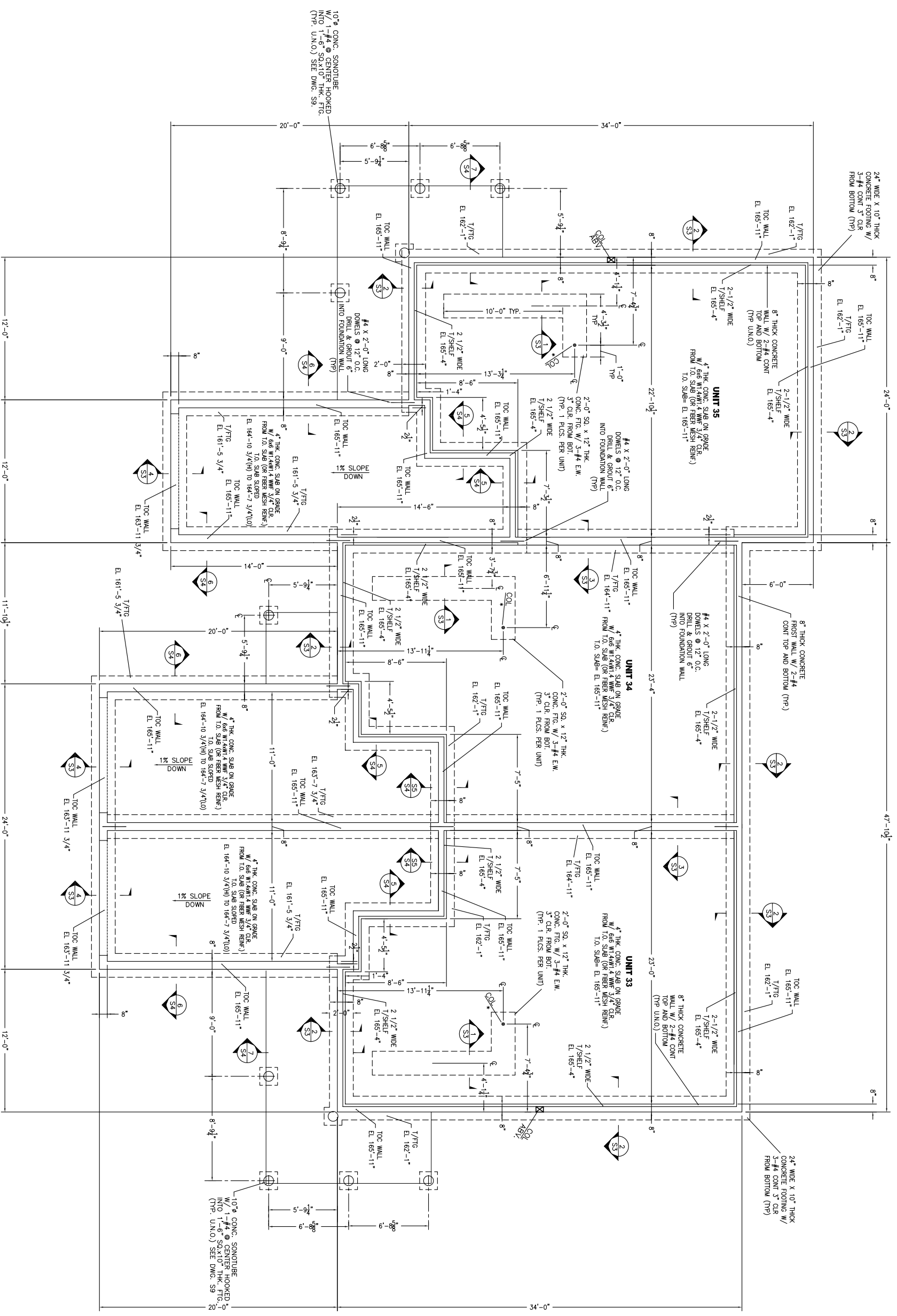
TIMBER TRUSS FRAMING:

- Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.R. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
- Applicable specifications:
 - National Design Specification for stress graded lumber and its fastening (NDS).
 - Design specifications for light metal plate connected wood trusses (TP1--Latest edition)
- Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
- Submittals:
 - Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
 - Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
- All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TP1 mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
- Connector plates shall be galvanized.
- Timber trusses shall be designed in accordance with BOCA and ASCE 7-99.
- Provide permanent bottom chord bracing in accordance with the truss plate institute (TP1--latest edition).
- Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.
- Maximum permissible floor live load deflection = L/480 See S8 for floor loadings

TIMBER FRAMING:

- All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) --latest edition.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
- Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWPA C-18. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Provide Simpson H2.5 hurricane anchors where timber framing and/or trusses bear on walls.
- Nailing not specified shall conform with BOCA 1999.
- Exterior wall sheathing shall be 1/2" thick APA rated sheathing fastened with 10d nails @ 4" o.c. at panel edges and 6" o.c. intermediate. (Typ unless otherwise noted)
- Floor decking shall be 3/4" thick APA rated "STURJO-FLOOR" plywood sheathing fastened with construction adhesive and 10d nails @ 6" o.c. at panel edges and intermediate.
- Roof sheathing shall be 5/8" thick APA rated sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
- All 2 x P.T. sill plates shall be installed on sill sealer.

S1	OCEAN RIDGE CONDOMINIUMS 852 OCEAN AVENUE PORTLAND, MAINE	designed by: JHL	rev.	date	description	appr'd	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: mark.leasure@verizon.net
	GENERAL NOTES UNITS 33, 34 & 35	drawn by: JMH					
		checked by: JHL					
		scale: NO SCALE					
		date: 3-28-05					
	plot date:						
	project # 23035						



FOUNDATION PLAN
1/4"=1'-0"

NOTES

1. SEE GENERAL NOTES ON S1.
2. 2" x 2" ANCHORS 3'-1/2" LATEX COLUMN ON A 6" x 6" SQ. 1/2" THICK CONCRETE FOOTING W/ 4" x 4" E.W. 3" CLEAR FROM BOTTOM OF FOOTING.
3. VERIFY GRADES IN FIELD.

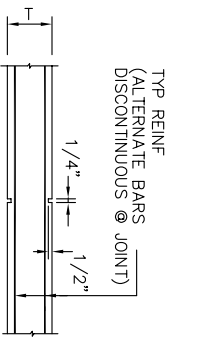
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OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 FOUNDATION PLAN
 UNITS 33, 34 & 35

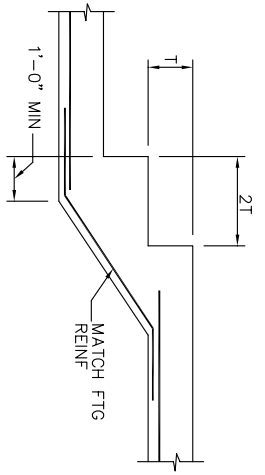
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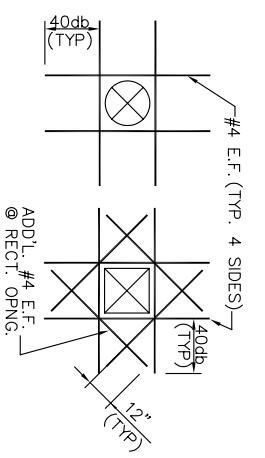
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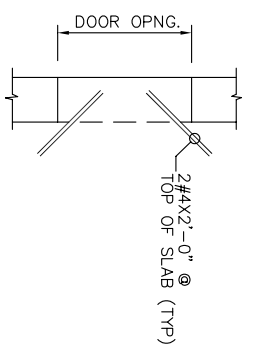
TYP CONTROL JOINT IN WALL
N.T.S.



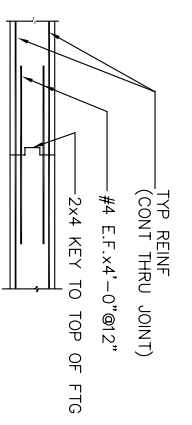
TYP STEP FOOTING DETAIL
N.T.S.
NOTE: T = FOOTING THICKNESS



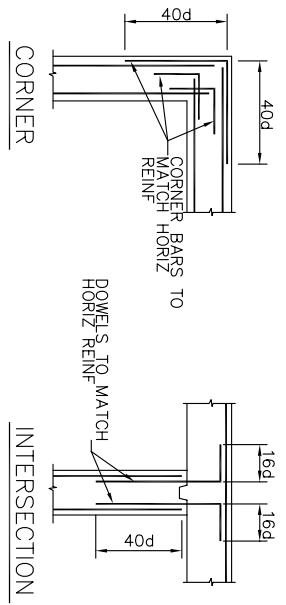
TYP. OPENING IN WALL OR SLAB
N.T.S.
NOTE: OPENING IN SLAB APPLIES @ ALL OPENINGS



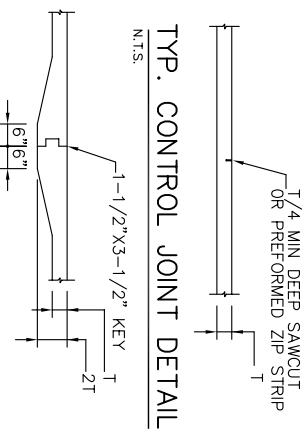
TYP. SLAB CORNER DETAIL @ DOOR
N.T.S.
NOTE: PROVIDE 2#x4'-0\"/>



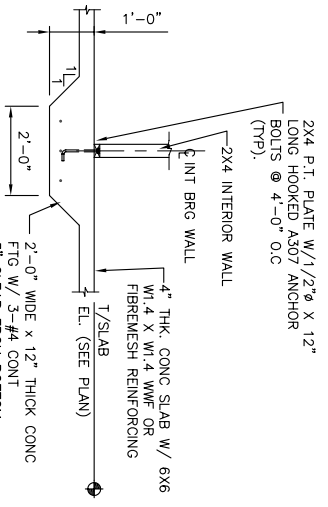
TYP. CONSTRUCTION JOINT IN WALL
N.T.S.



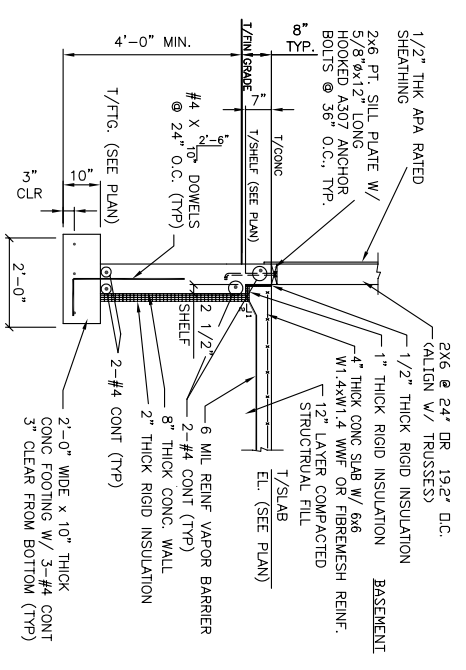
TYP WALL REINF DETAILS
N.T.S.



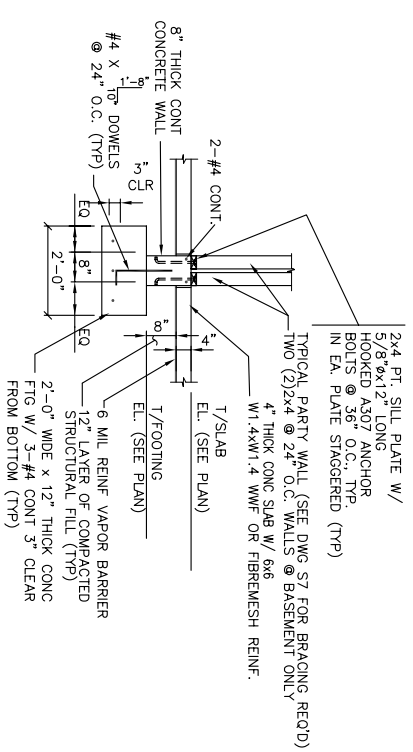
TYP. CONTROL JOINT DETAIL
N.T.S.



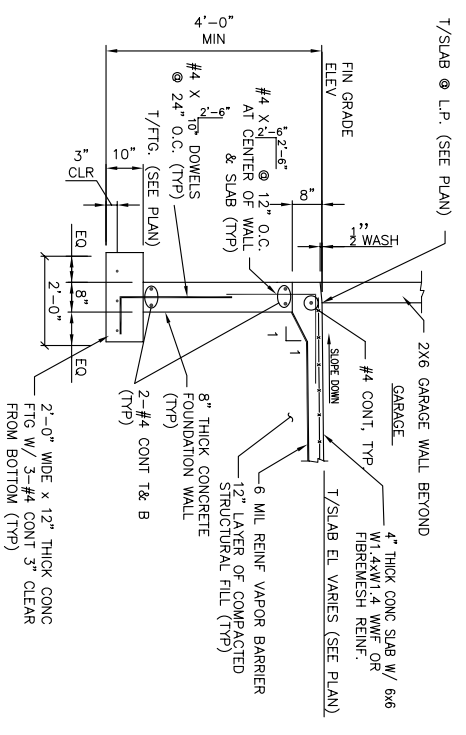
SECTION TYPICAL THICKENED SLAB
1/2\"/>



SECTION TYPICAL EXTERIOR FROST WALL
S2



SECTION TYPICAL PARTY WALL
1/2\"/>

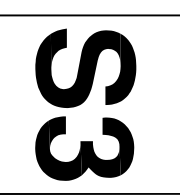


SECTION TYPICAL GARAGE ENTRY SLAB
1/2\"/>

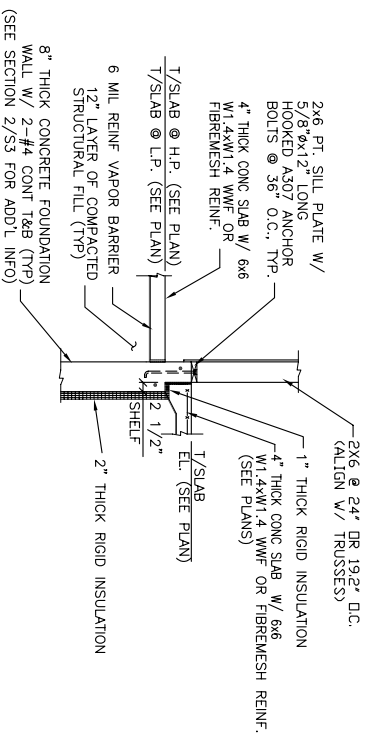
PROVIDE 2#x4'-0\"/>

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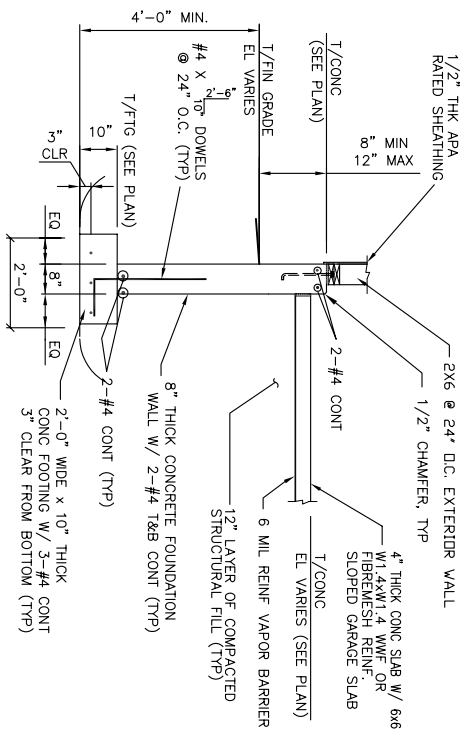
L & L STRUCTURAL ENGINEERING SERVICES, INC.
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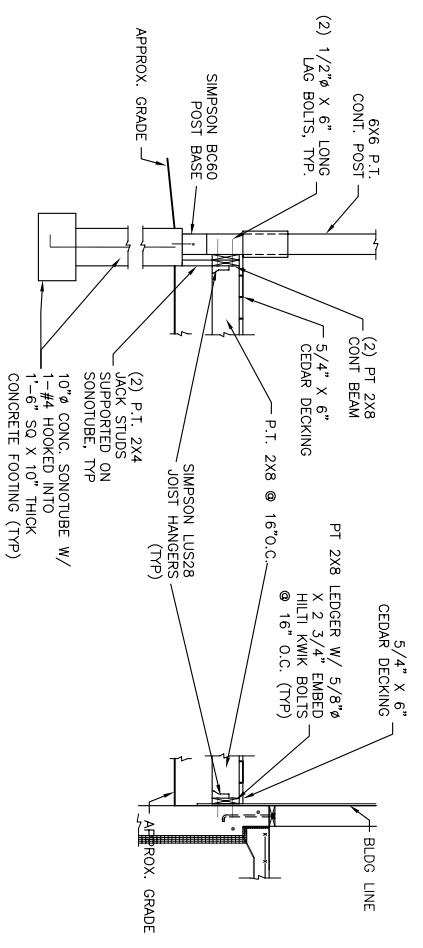
OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 FOUNDATION DETAILS
 UNITS 33, 34 & 35



SECTION 5
TYPICAL WALL
ADJACENT TO GARAGE S2, S5
1/2" = 1'-0"



SECTION 6
TYPICAL GARAGE
SIDE WALLS S2
1/2" = 1'-0"



SECTION 7
TYPICAL ENTRY PORCHES S2, S5
1/2" = 1'-0"

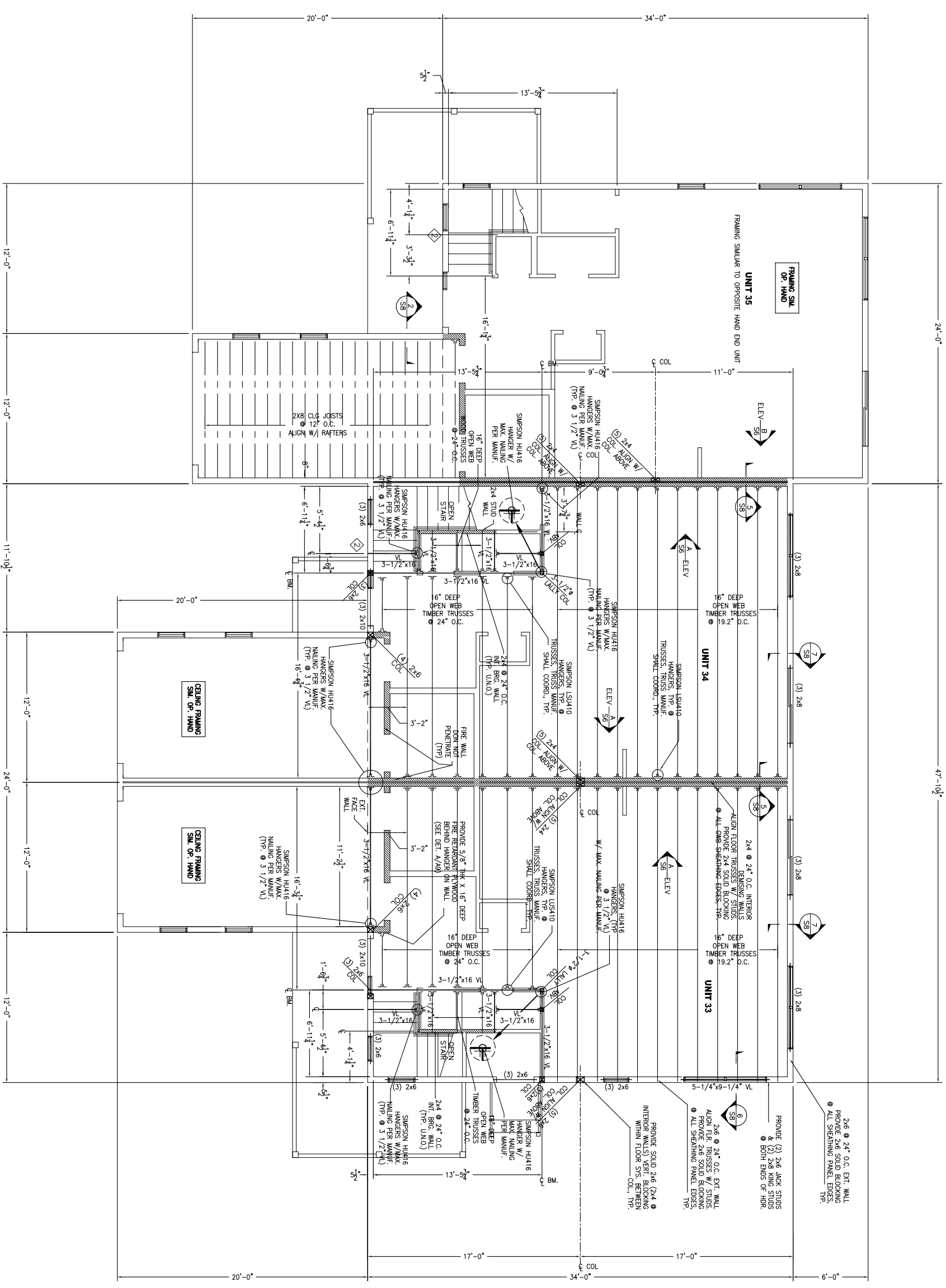
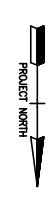
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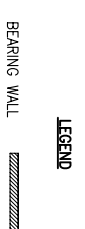
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S4

OCEAN RIDGE CONDOMINIUMS
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 FOUNDATION DETAILS
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SECOND FLOOR FRAMING PLAN
1/4"=1'-0"



OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR FRAMING PLAN
UNITS 33, 34 & 35

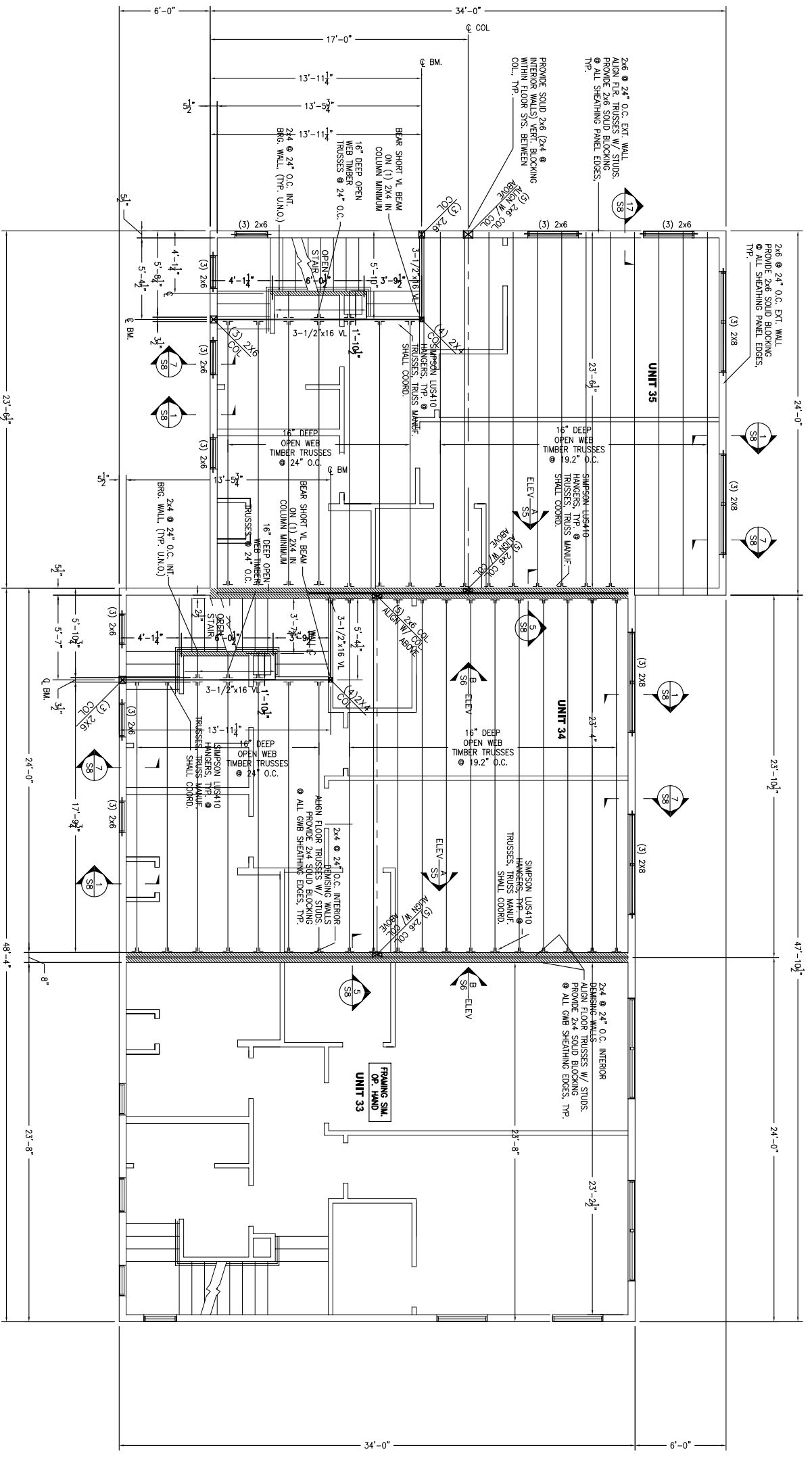
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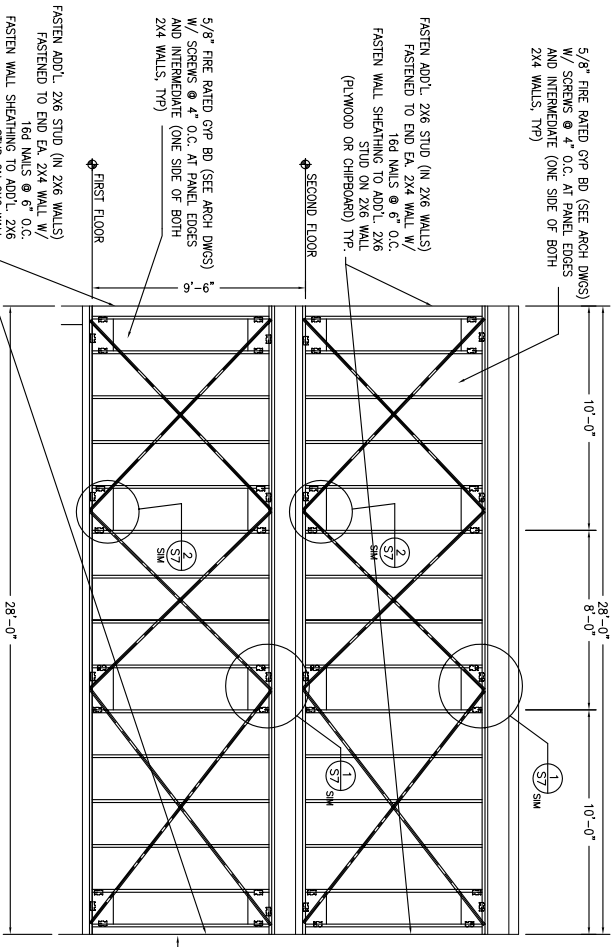
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- NOTES:**
- SEE GENERAL NOTES ON ST.
 - 2x4 INDICATES VERSUM BEAM MANUFACTURED BY BOSE BOSQUES CORP. OR OTHER BRAND EQUIV.
 - PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT WALLS AT BOTH ENDS OF HEBERS. (TYP. UNID.)

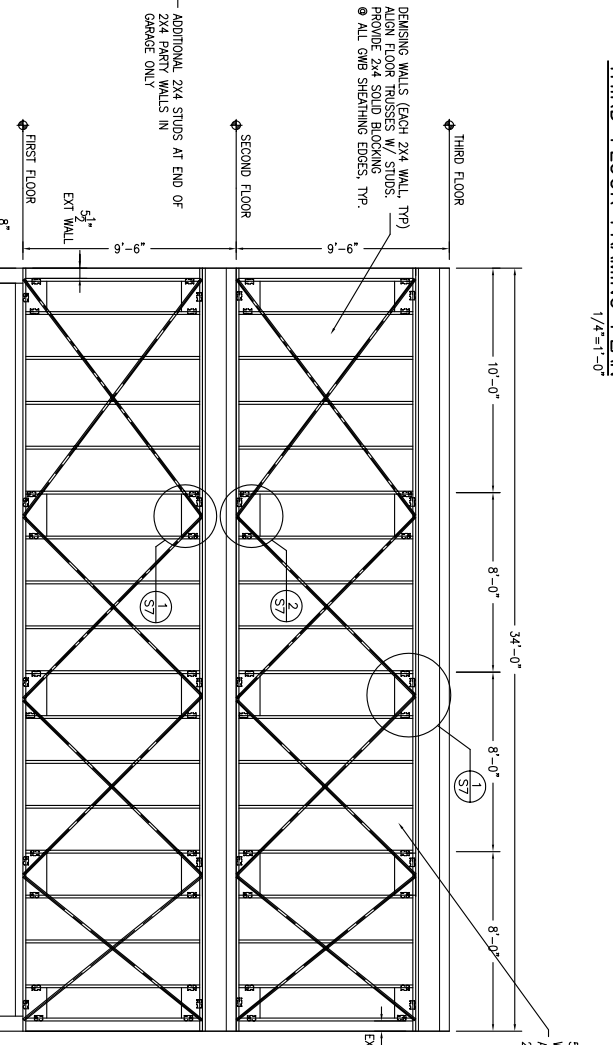




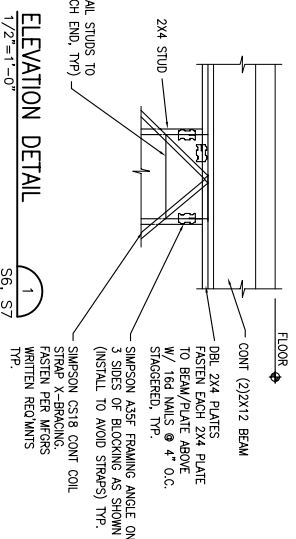
THIRD FLOOR FRAMING PLAN
1/4"=1'-0"



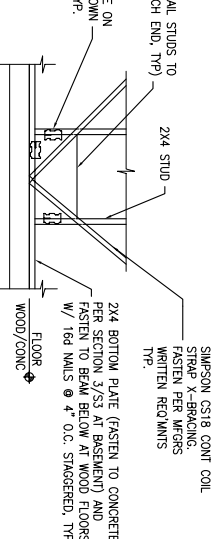
BRACING ELEVATION A
1/4"=1'-0"



BRACING ELEVATION B
1/4"=1'-0"



ELEVATION DETAIL 1
1/2"=1'-0"



ELEVATION DETAIL 2
1/2"=1'-0"



LEGEND

- NOTES:**
- SEE GENERAL NOTES ON S1.
 - "L" INDICATES VERSAWALL BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
 - PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS. (TYP. UNO.)

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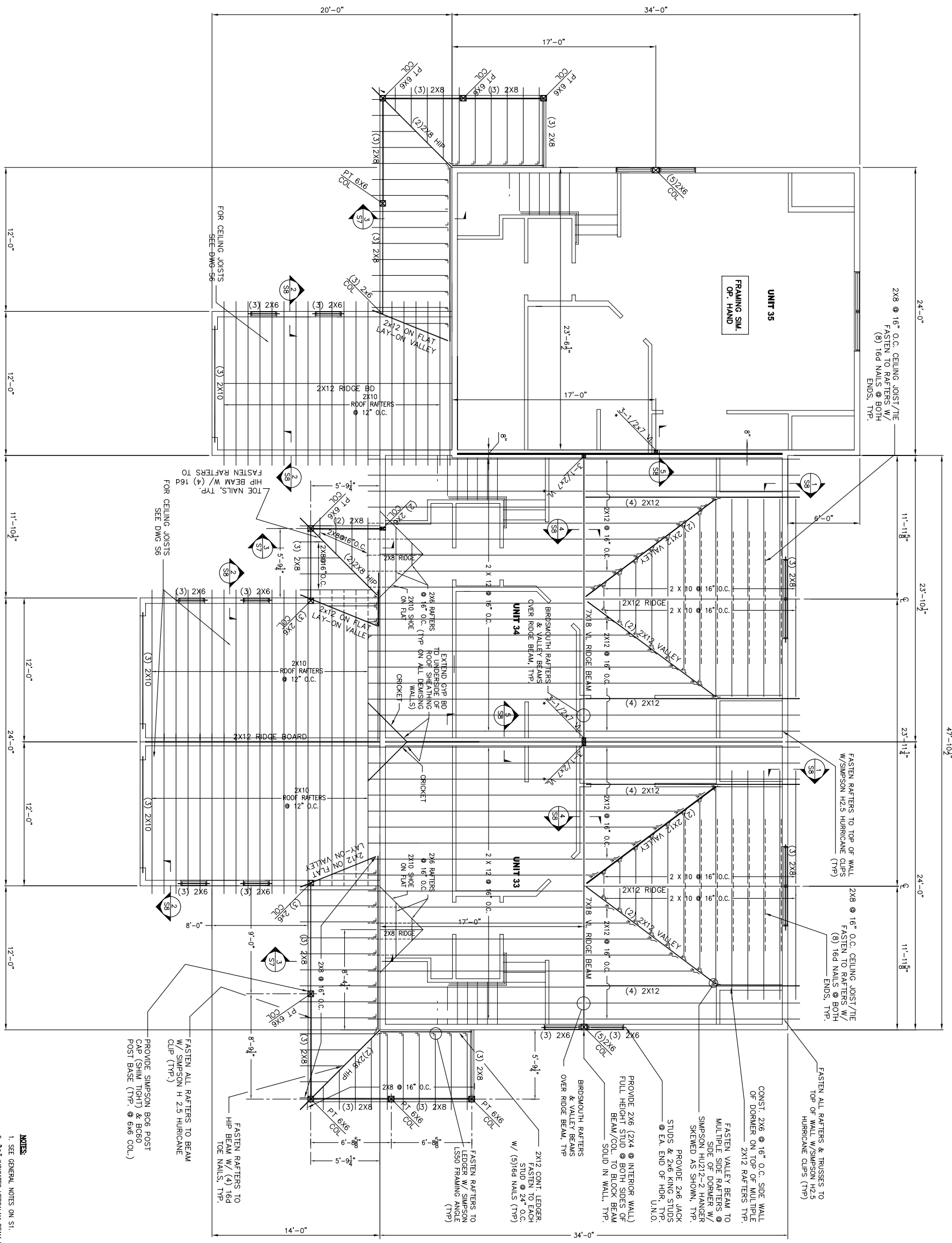
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THIRD FLOOR FRAMING PLAN
UNITS 33, 34 & 35



THESE DRAWINGS HAVE BEEN PREPARED BY THE STRUCTURAL ENGINEERING DEPARTMENT OF L & L STRUCTURAL ENGINEERING SERVICES, INC. IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER. NO OTHER ENGINEER HAS REVIEWED THESE DRAWINGS.

THESE DRAWINGS HAVE BEEN PREPARED BY L & L STRUCTURAL ENGINEERING SERVICES, INC. IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS. THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR THESE DRAWINGS TO BE VALID. THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR THESE DRAWINGS TO BE VALID. THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR THESE DRAWINGS TO BE VALID.

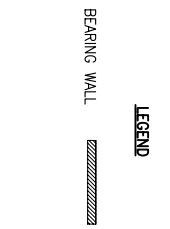


ROOF FRAMING PLAN
1/4"=1'-0"

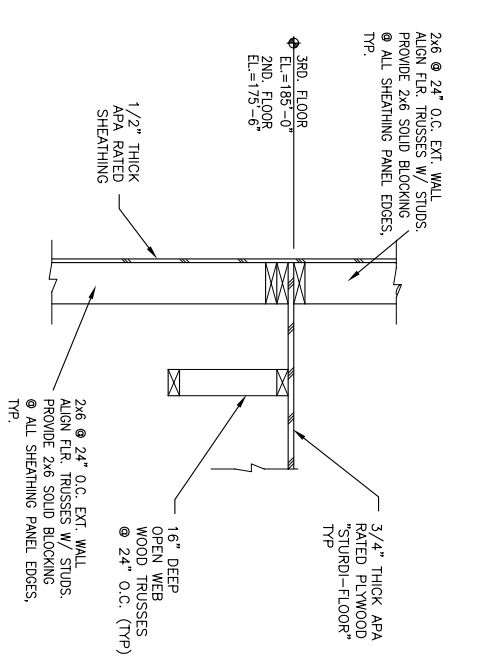
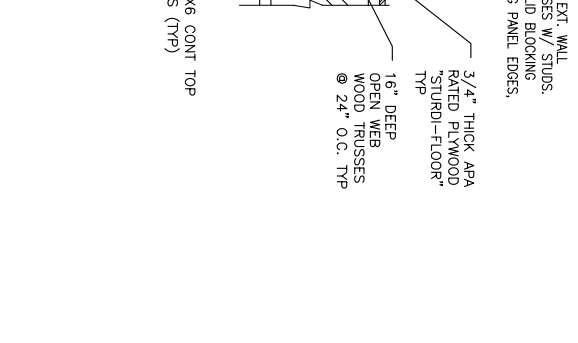
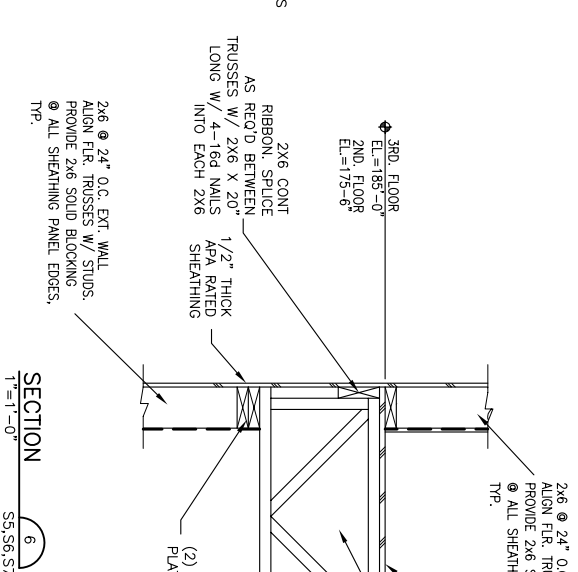
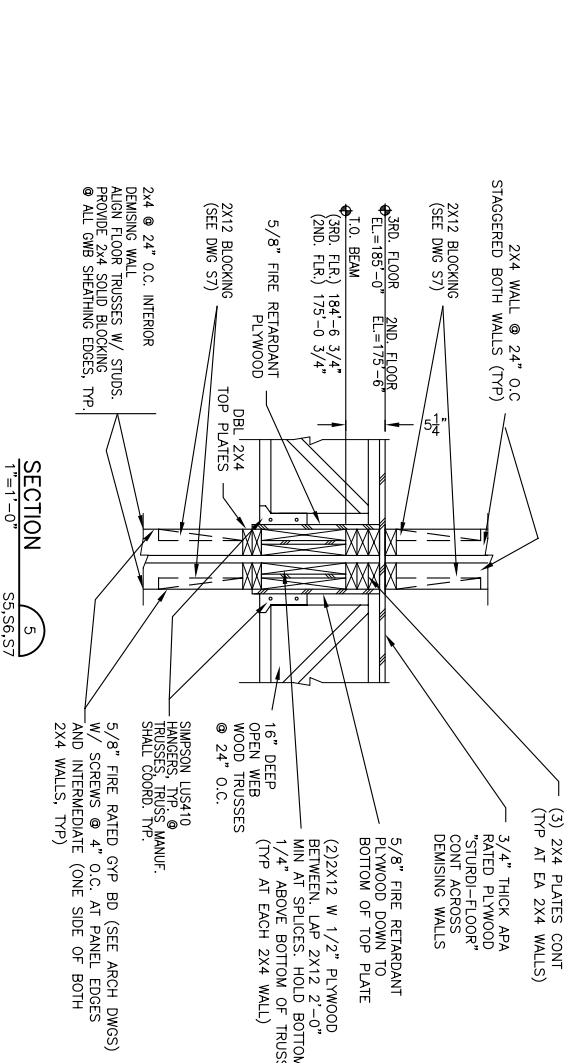
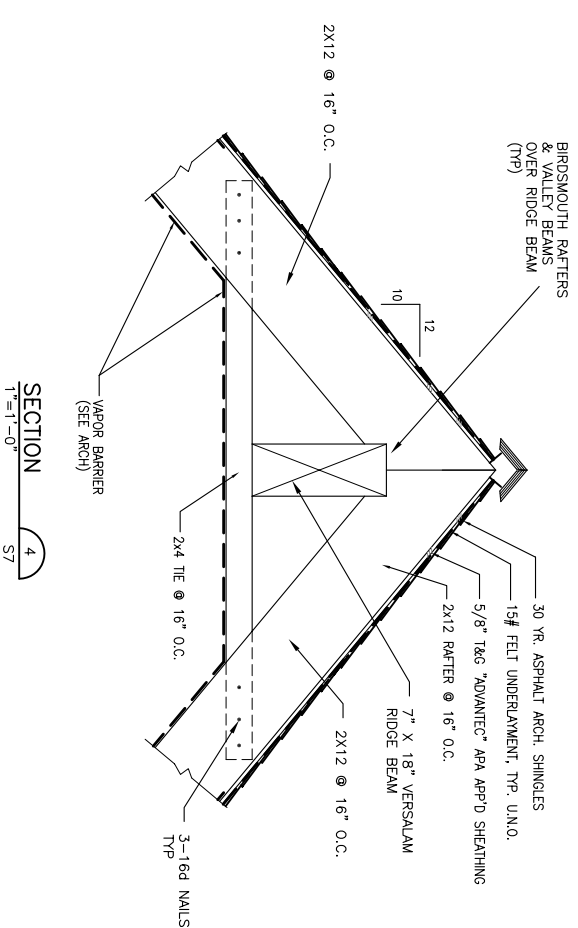
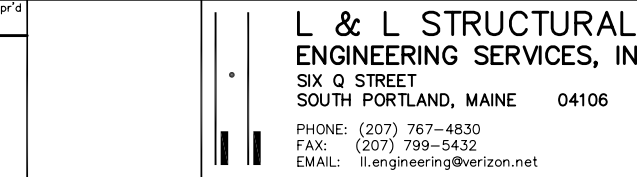
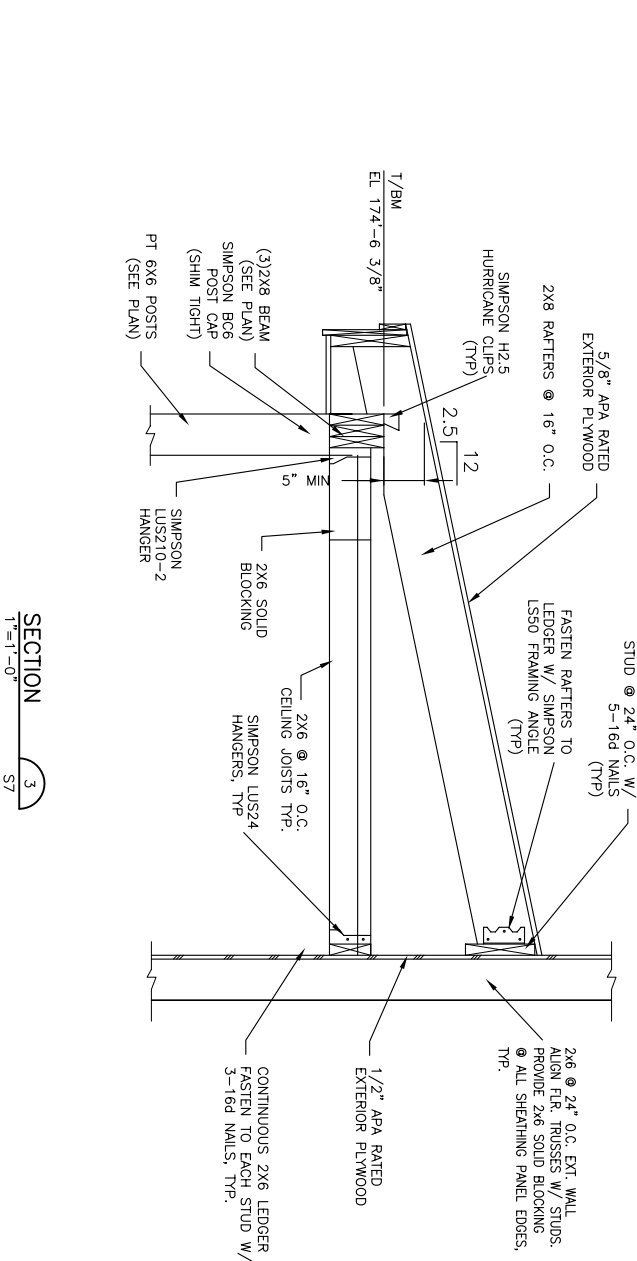
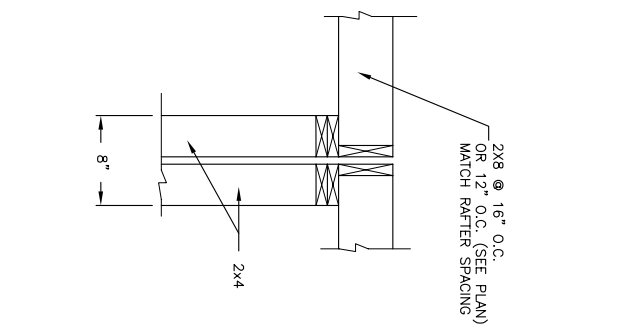
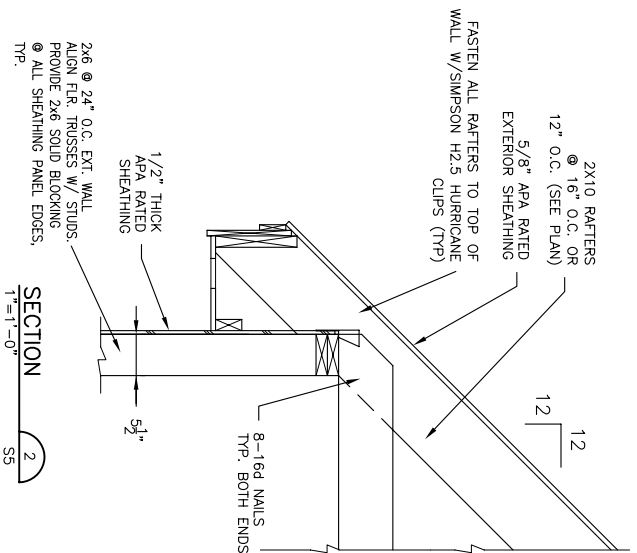
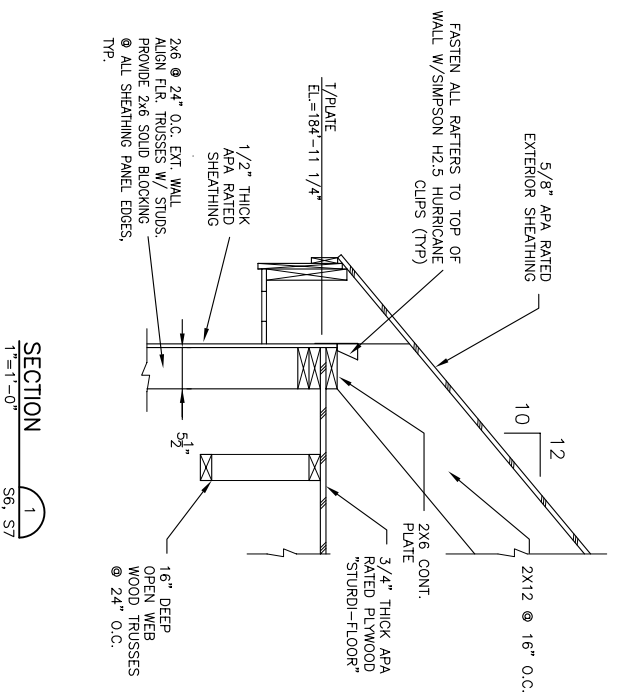
- NOTES:**
1. SEE GENERAL NOTES ON S1.
 2. "VL" INDICATES VERSALUM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
 3. * INDICATES COLUMN PROPERTIES SHALL BE "VERA-LUM BEAM" 3080 FB DF (E=2.0x10⁹ PSI AND R=3080 PSI).
 4. ROOF TRUSS LOADING SHALL BE AS FOLLOWS:

TCL=40 PSF
TCD=10 PSF
BCL=0 PSF
BDC=10 PSF

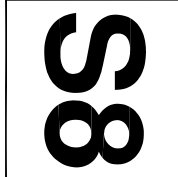
TRUSS TYPE "A" @ 24" O.C.



	OCEAN RIDGE CONDOMINIUMS 852 OCEAN AVENUE PORTLAND, MAINE		designed by: JHL drawn by: JML checked by: JHL scale: date: 3-28-05 plot date: - project #: 23035	rev. date description app'd	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: ll.engineering@verizon.net
	ROOF FRAMING PLAN UNITS 33, 34 & 35				



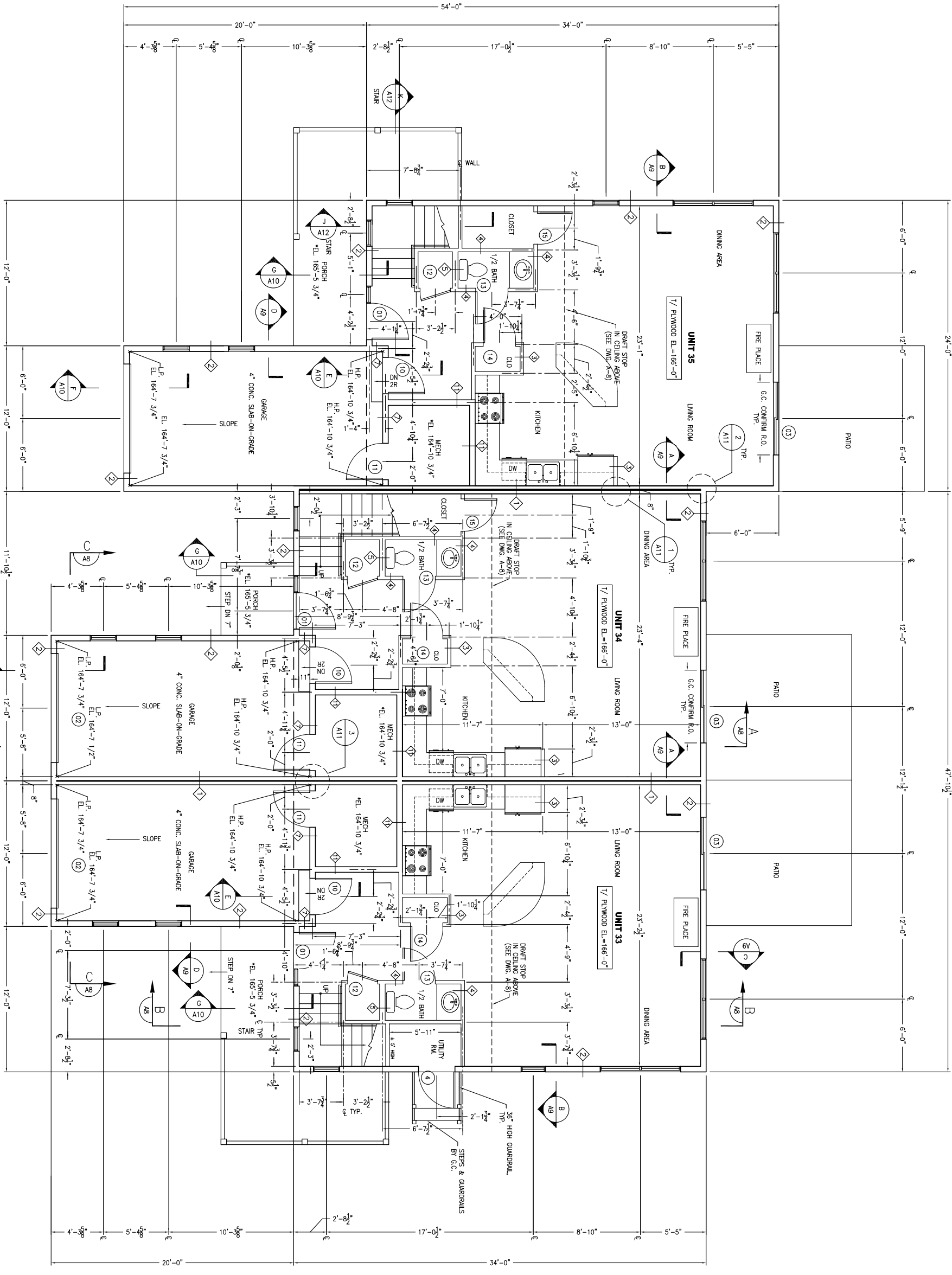
THESE DRAWINGS HAVE BEEN GENERATED BY L&L STRUCTURAL ENGINEERING SERVICES, INC. USING THE L&L STRUCTURAL ENGINEERING SOFTWARE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DATA ENTERED INTO THE SOFTWARE. L&L STRUCTURAL ENGINEERING SERVICES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.



OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 FRAMING SECTIONS AND DETAILS
 UNITS 33, 34 & 35

designed by:	rev.	date	description	appr'd
JHL				
drawn by:				
JML				
checked by:				
JHL				
scale:				
date:				
3-28-05				
plot date:				
project #:				
23035				

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 PHONE: (207) 767-4830
 FAX: (207) 799-5432
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FIRST FLOOR PLAN
1/4"=1'-0"

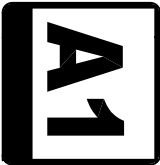
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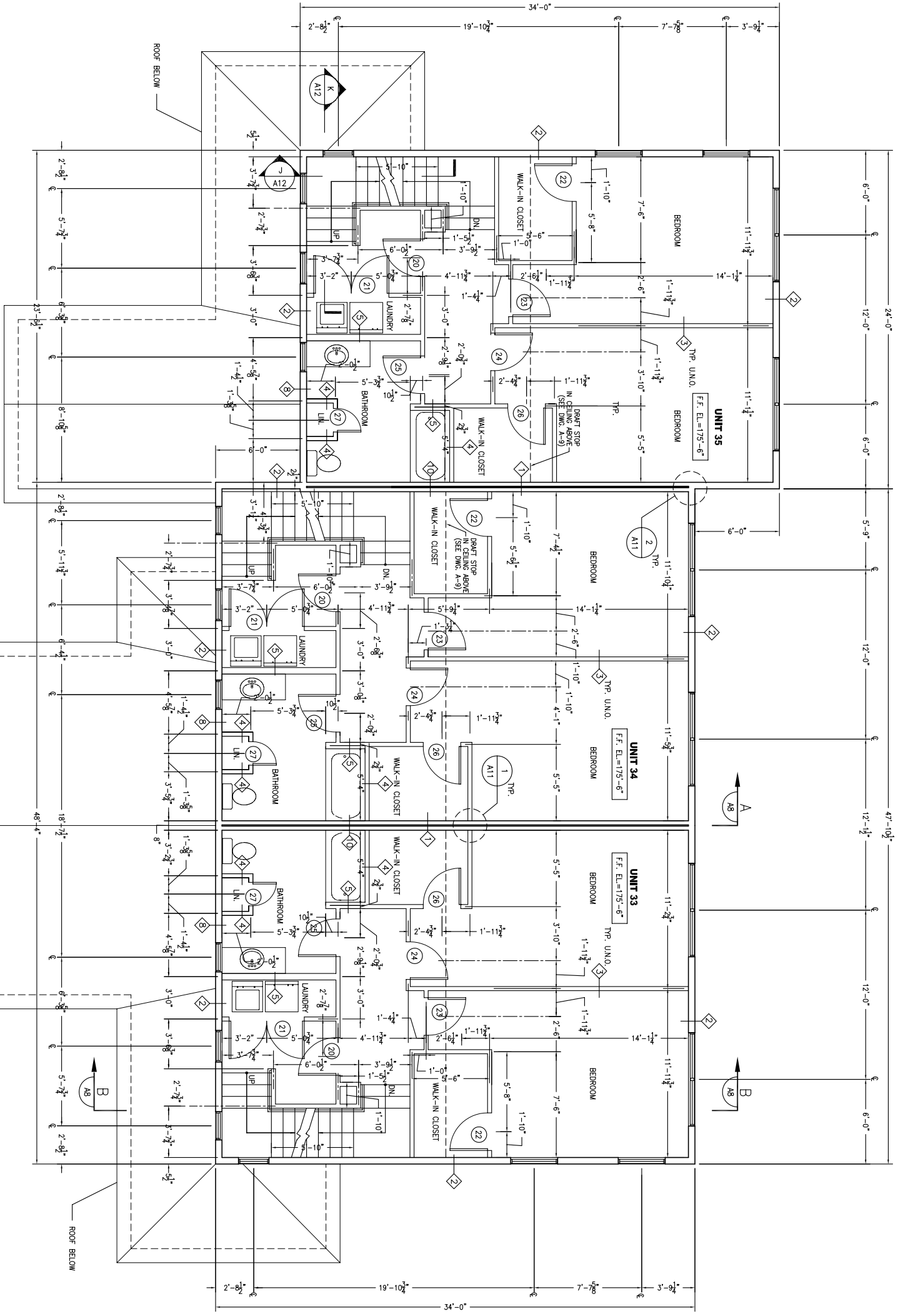
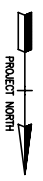
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
- 2) FOR WALL TYPES, SEE DWG. A12
- 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.
- 4) KITCHEN EQUIPMENT & LAYOUT BY OTHERS

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
 FIRST FLOOR PLAN
 UNITS 33, 34 & 35

JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS





SECOND FLOOR PLAN
1/4"=1'-0"

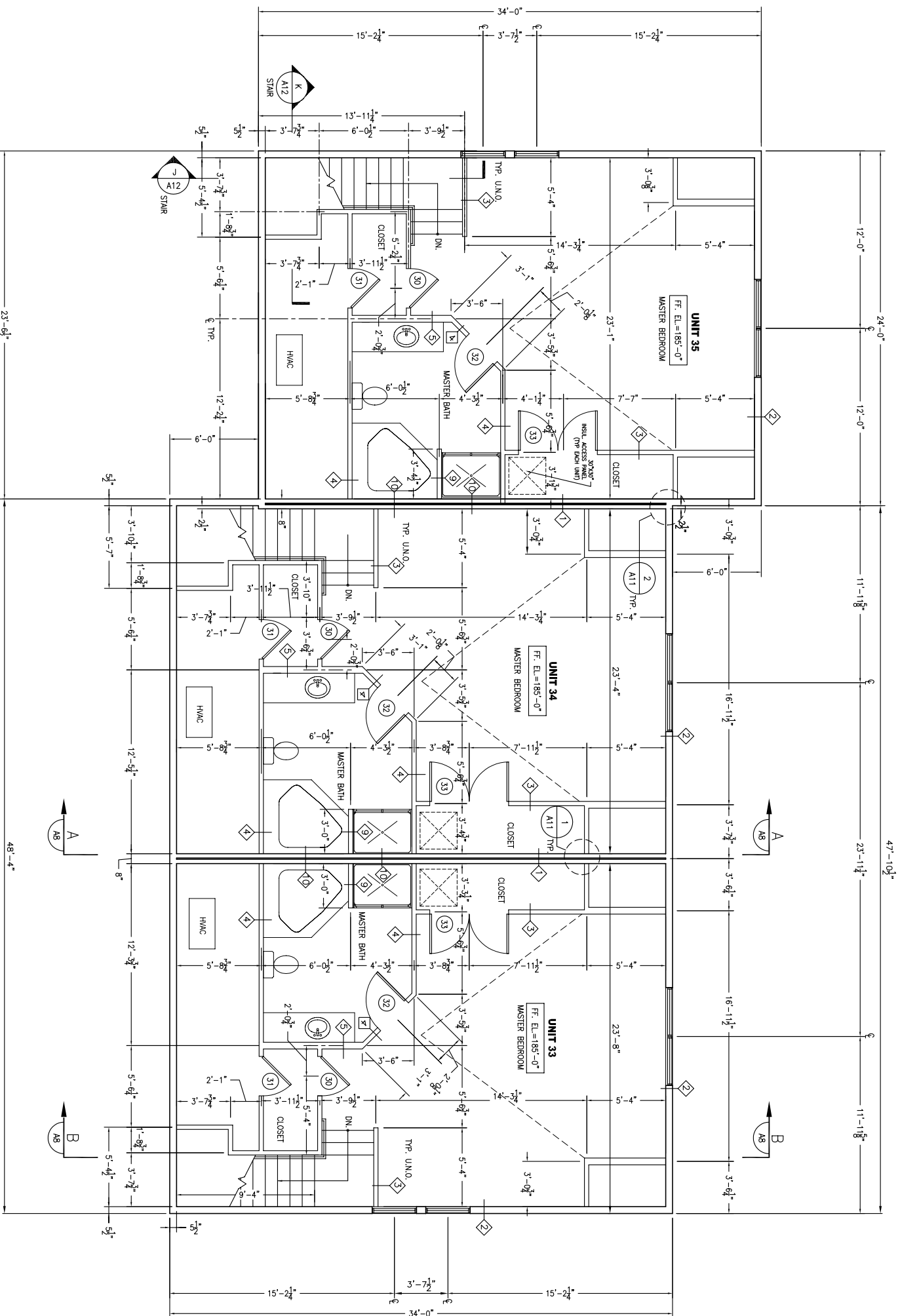
- NOTES:**
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
 - 2) FOR WALL TYPES, SEE DWG. A12
 - 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
1	3-28-05	

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR PLAN
UNITS 33, 34 & 35



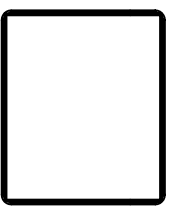


THIRD FLOOR PLAN
1/4"=1'-0"

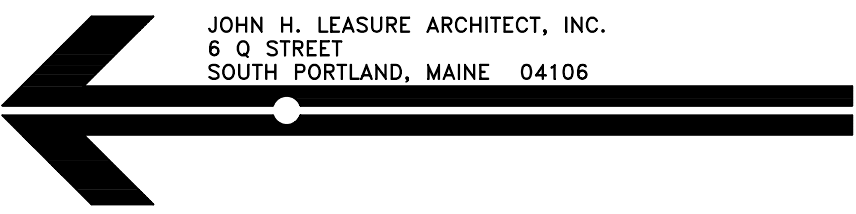
- NOTES:**
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
 - 2) FOR WALL TYPES, SEE DWG. A9.
 - 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
 THIRD FLOOR PLAN
 UNITS 33, 34 & 35

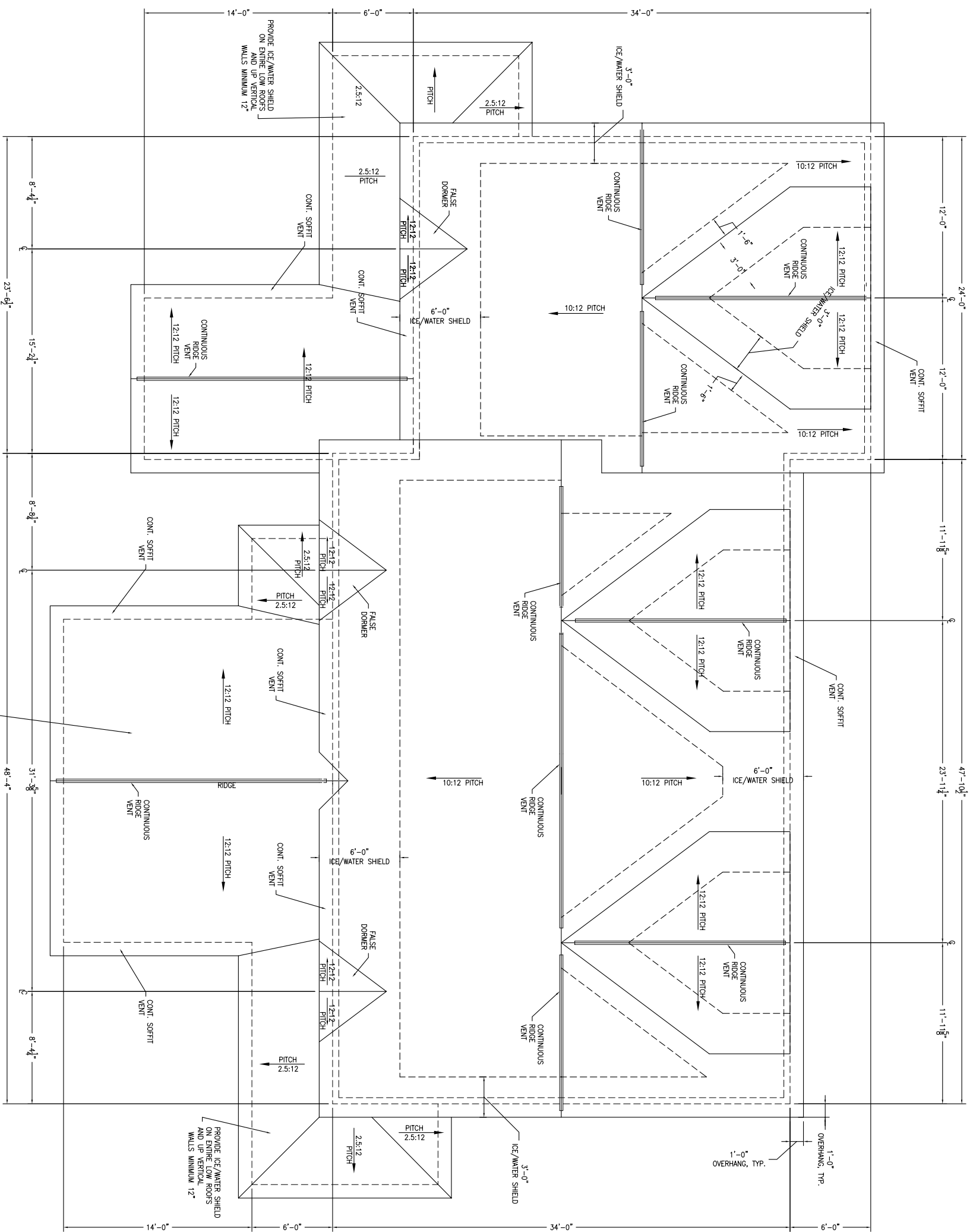
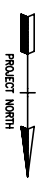
REV.	DATE	STATUS
1	3-28-05	



JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106



A3



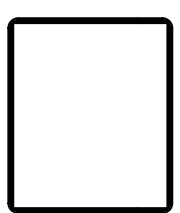
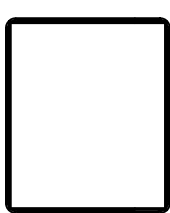
ROOF PLAN
1/4"=1'-0"

PROVIDE ICE/WATER SHIELD ON ENTIRE GARAGE ROOFS AND UP VERTICAL WALLS MINIMUM 12"

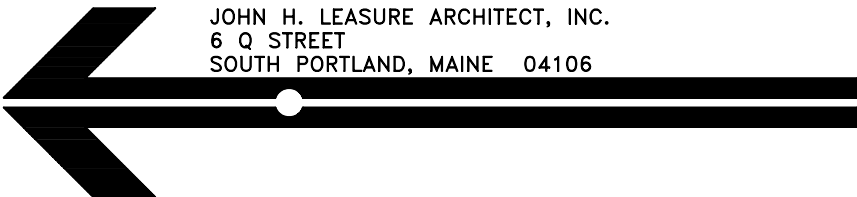
PROVIDE ICE/WATER SHIELD ON ENTIRE LOW ROOFS AND UP VERTICAL WALLS MINIMUM 12"

- NOTES:**
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
 - 2) SEE AS FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.

REV.	DATE	STATUS
	3-28-05	

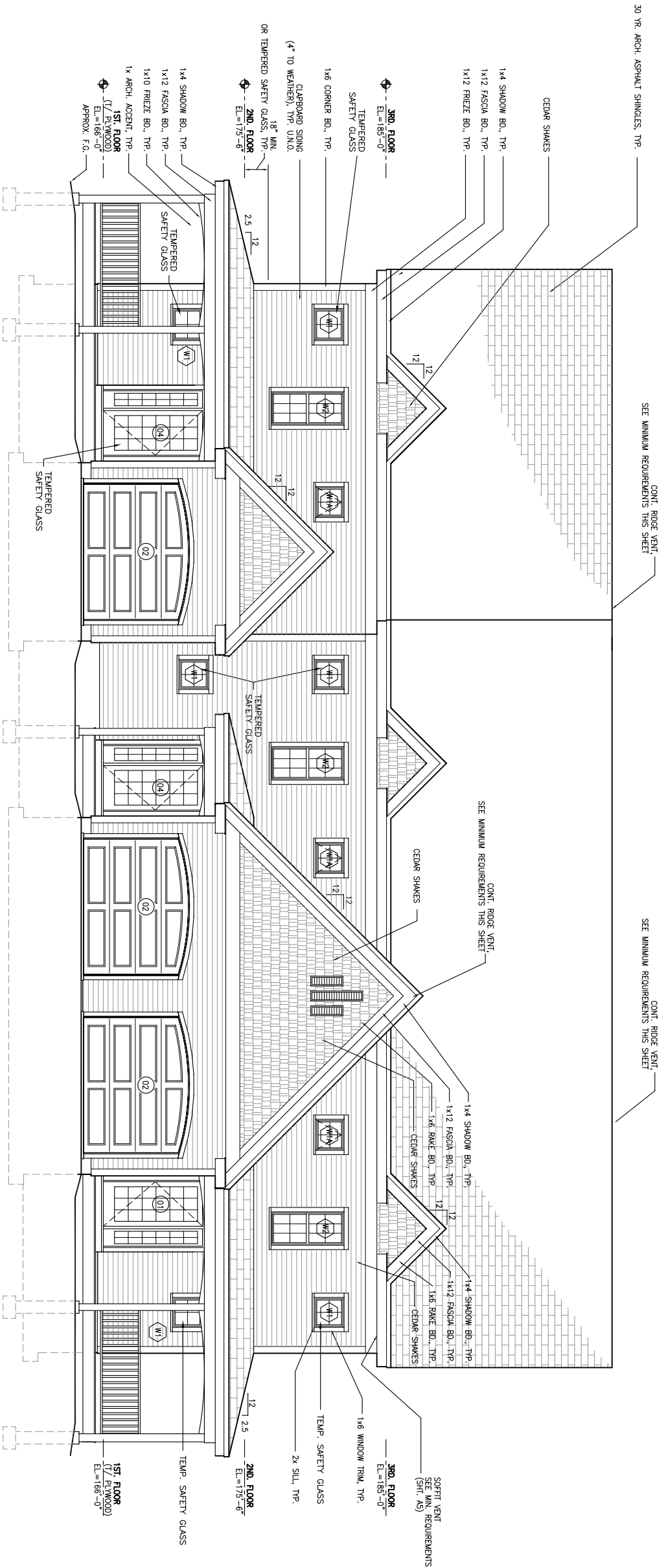


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6 Q STREET
SOUTH PORTLAND, MAINE 04106



OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF PLAN
UNITS 33, 34 & 35

A4



EAST ELEVATION
1/4"=1'-0"

ATTIC MINIMUM VENTILATION REQUIREMENTS
(WITH VAPOR BARRIER AT CEILING)

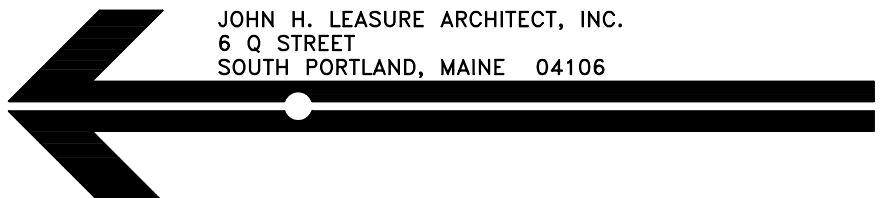
MAIN ROOF EACH UNIT, TYP.	REQ'D. TOTAL FREE AREA	COMMENTS
RIDGE	1.4 SF.	
SOFFIT	1.4 SF.	
GARAGES		
RIDGE	.88 SF.	
SOFFIT	.88 SF.	
3RD. FLOOR DORMERS (EA)	0.32 SF.	(SEE A7)
RIDGE	0.32 SF.	(SEE A7)
SOFFIT	0.32 SF.	(SEE A7)

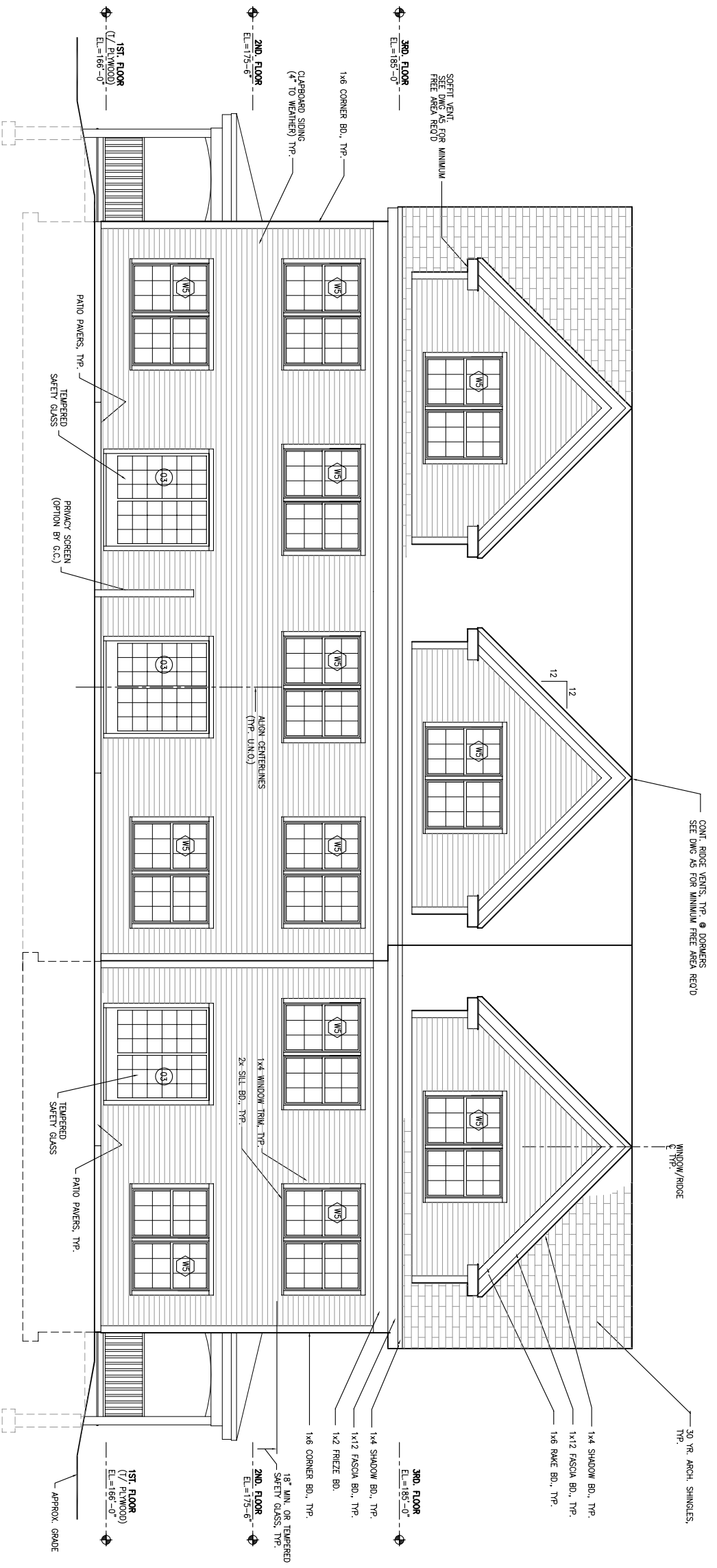
NOTE:
1. IF GRANTY VENTILATION IS UNSUFFICIENT TO MEET MINIMUM REQ'MENTS OR NOT UNIFORMLY DISTRIBUTED, THEN MECHANICAL METHODS MUST BE USED TO PROVIDE MINIMUM REQUIREMENTS AS LISTED ABOVE. (CONSULT MECHANICAL, P.E. FOR PROPER DESIGN)
2. G.C. SHALL VERIFY RIDGE AND SOFFIT PRODUCTS AND PROVIDE THE MINIMUM CLEAR FREE AREA REQ'D AS SHOWN ABOVE. SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW & APPROVAL.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
EAST ELEVATION
UNITS 33, 34 & 35

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
	3-28-05	





WEST ELEVATION

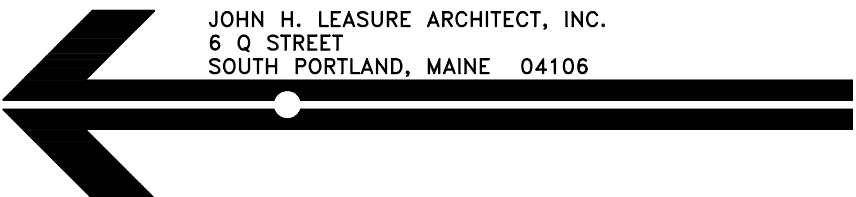
1/4"=1'-0"

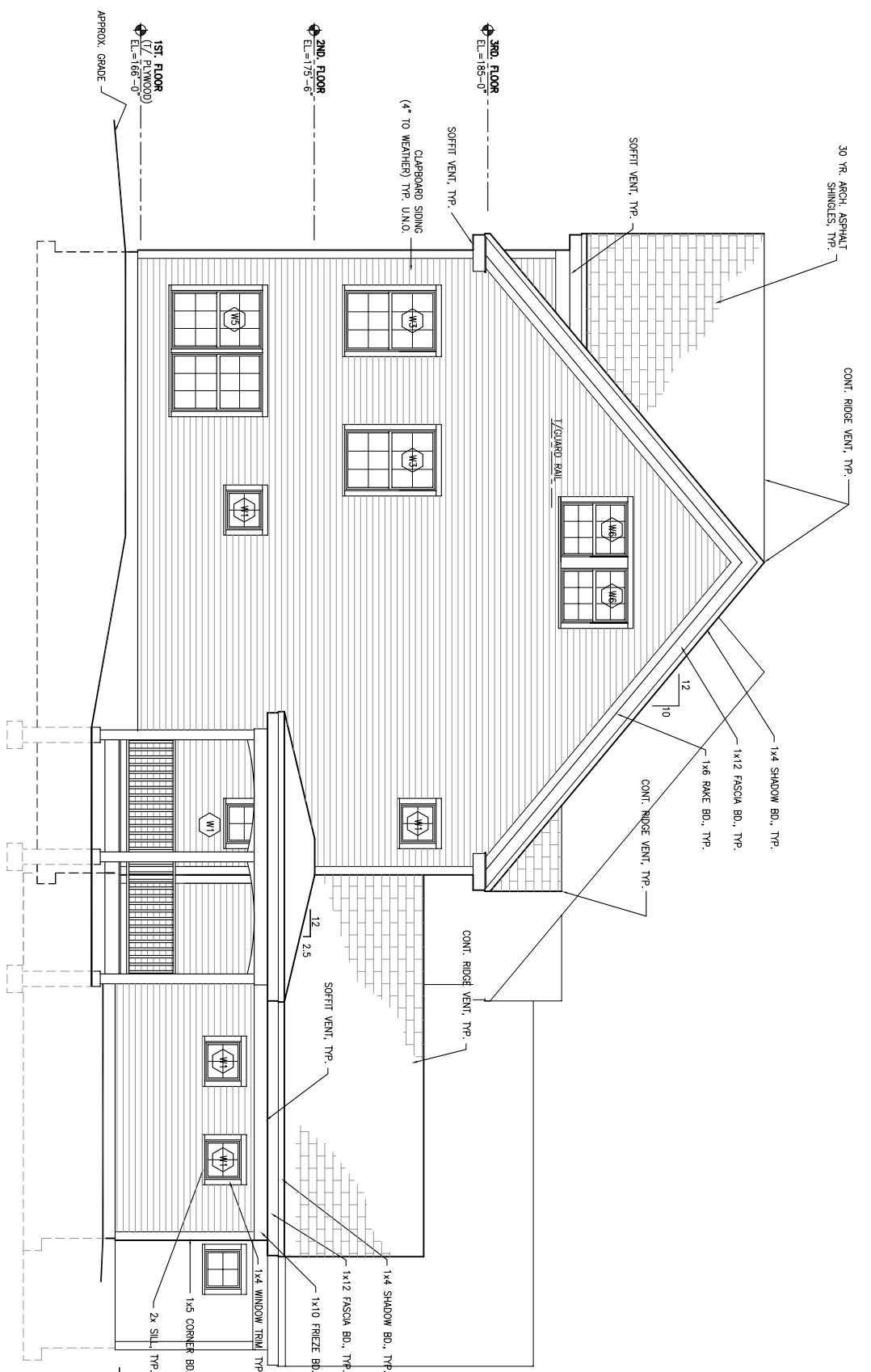
NOTE:
SEE DWG. A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
WEST ELEVATION
UNITS 33, 34 & 35

REV.	DATE	STATUS
1	3-28-08	

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

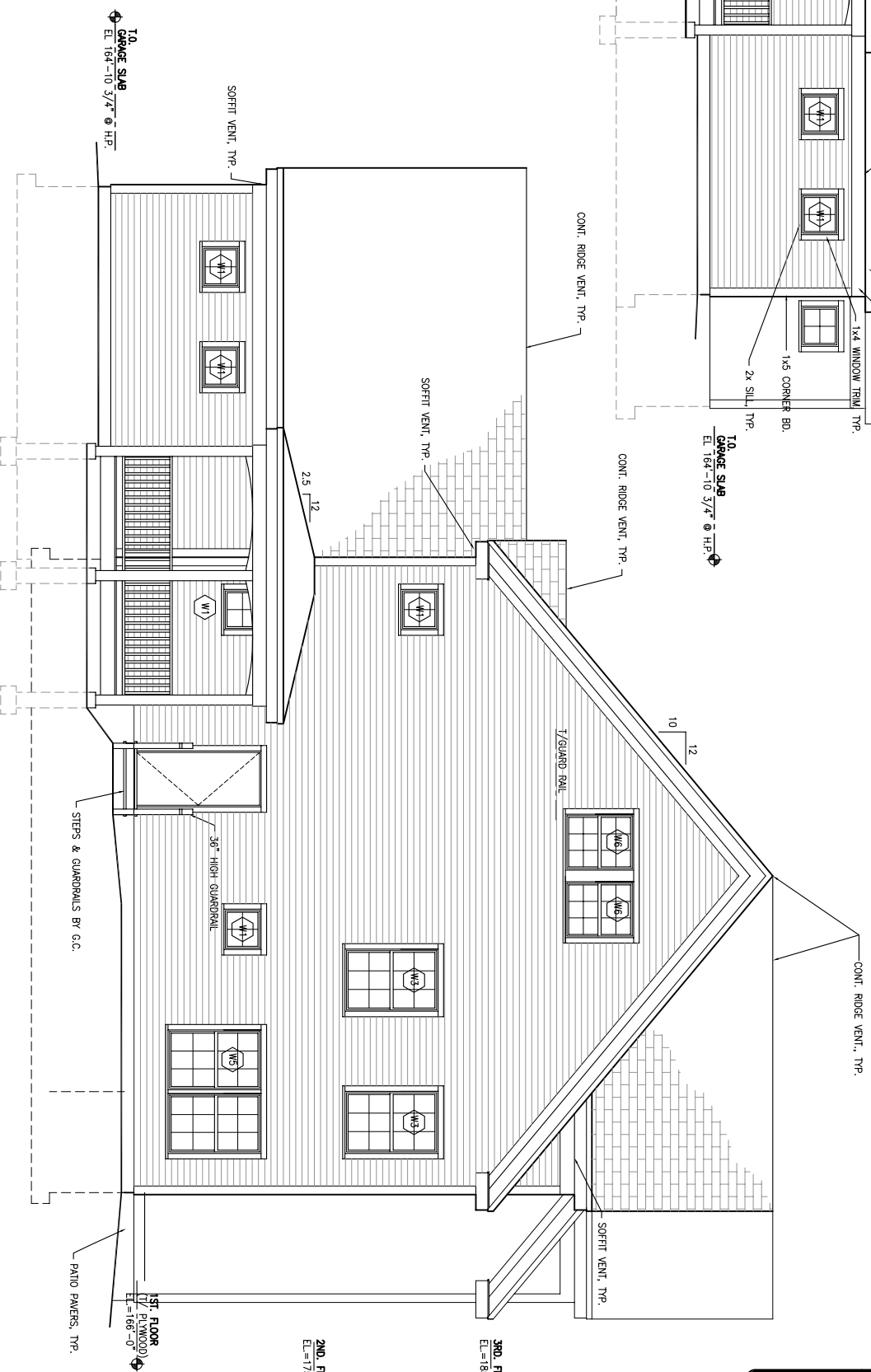




SOUTH ELEVATION

1/4"=1'-0"

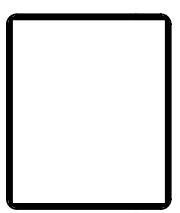
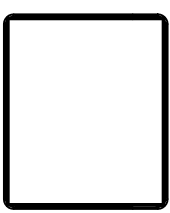
NOTE:
SEE DWG. A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.



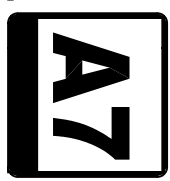
NORTH ELEVATION

1/4"=1'-0"

REV.	DATE	STATUS
1	3-28-05	



OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
NORTH & SOUTH ELEVATIONS
UNITS 33, 34 & 35



JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

1ST FLOOR (1/2 PLYWOOD) EL=166'-0"
APPROX. GRADE

2ND FLOOR EL=175'-0"

3RD FLOOR EL=185'-0"

TO GARAGE SLAB EL 164'-10 3/4" @ H.P.

TO GARAGE SLAB EL 164'-10 3/4" @ H.P.

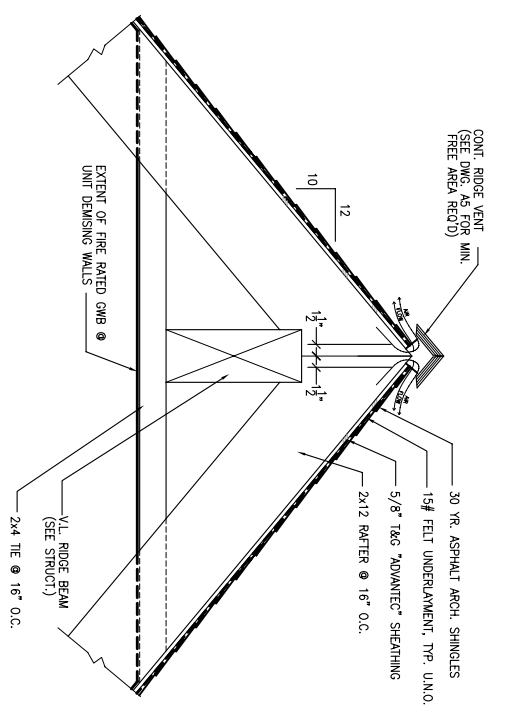
10' GARAGE SLAB EL 164'-10 3/4" @ H.P.

10' GARAGE SLAB EL 164'-10 3/4" @ H.P.

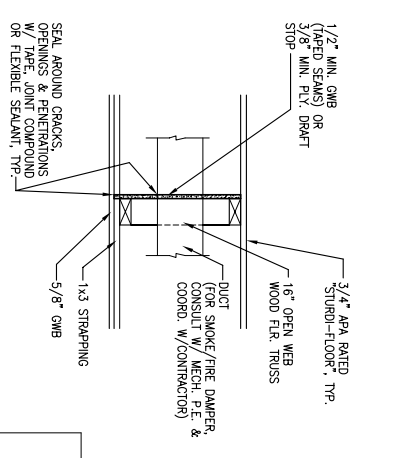
1ST FLOOR (1/2 PLYWOOD) EL=166'-0"

2ND FLOOR EL=175'-0"

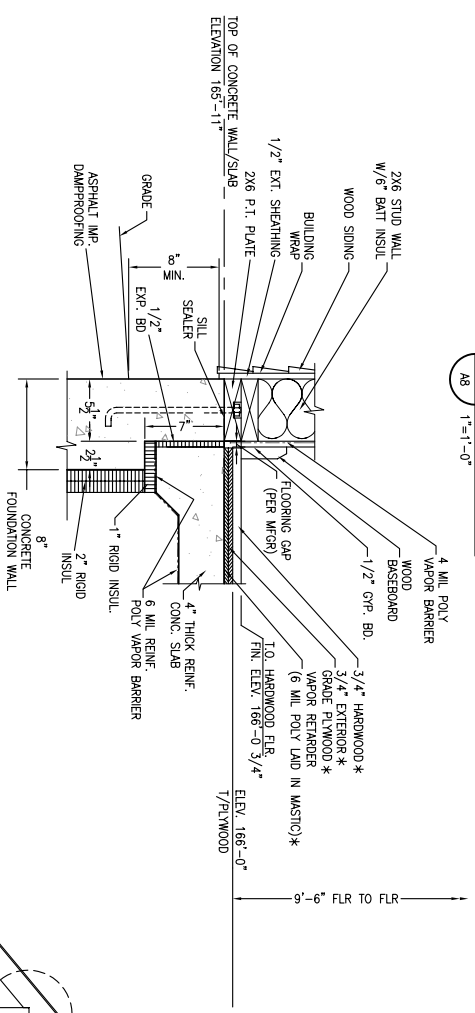
3RD FLOOR EL=185'-0"



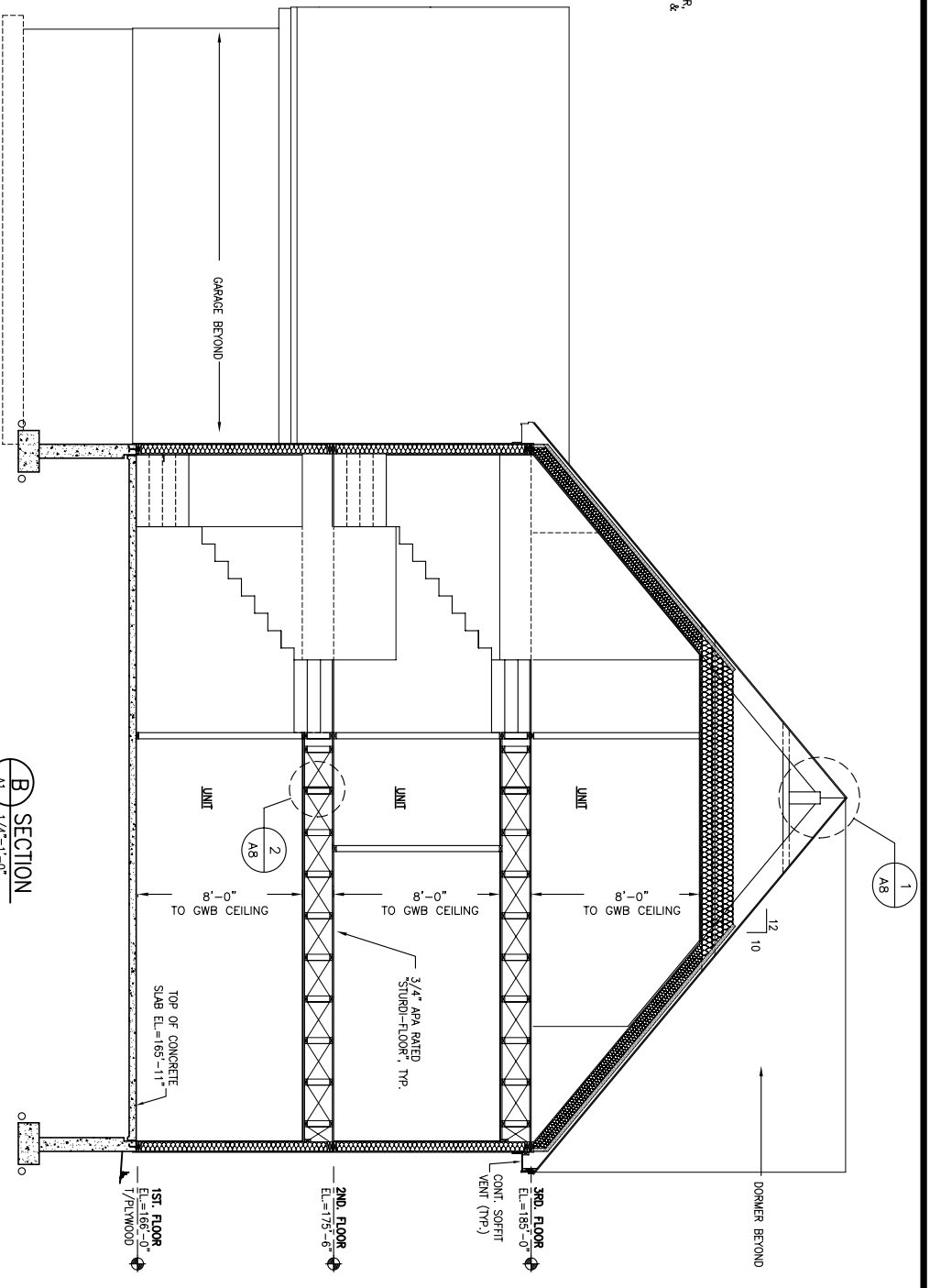
1 RIDGE VENT
1"=1'-0"



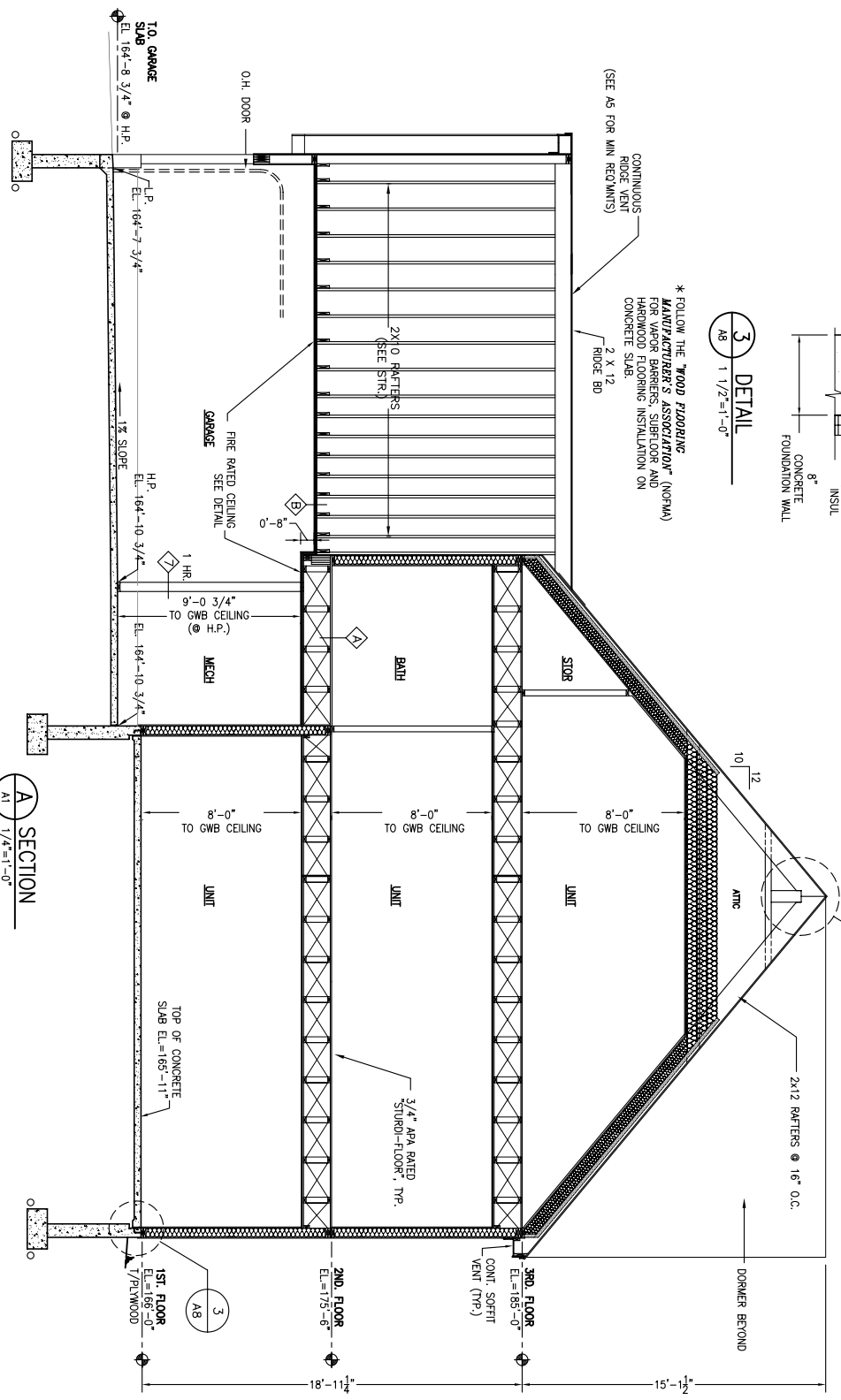
2 DRAFT STOP
1"=1'-0"



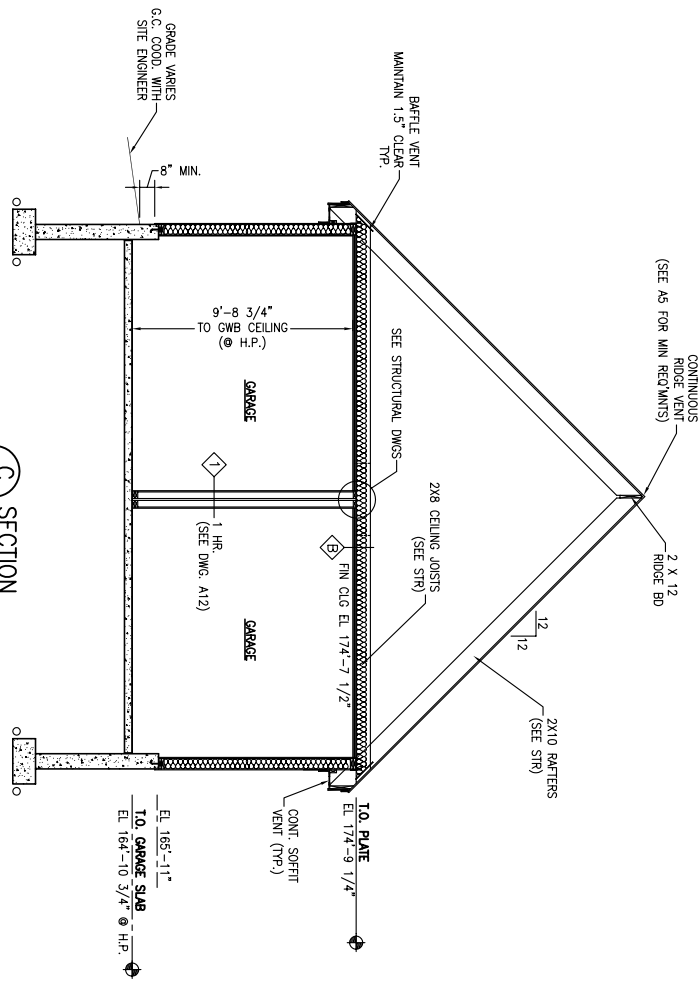
3 DETAIL
1 1/2"=1'-0"



A1 SECTION
1/4"=1'-0"

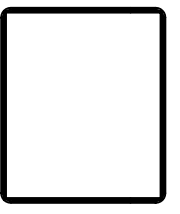
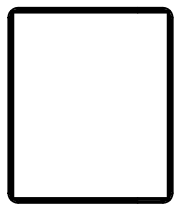


A8 SECTION
1/4"=1'-0"



A12 SECTION
1/4"=1'-0"

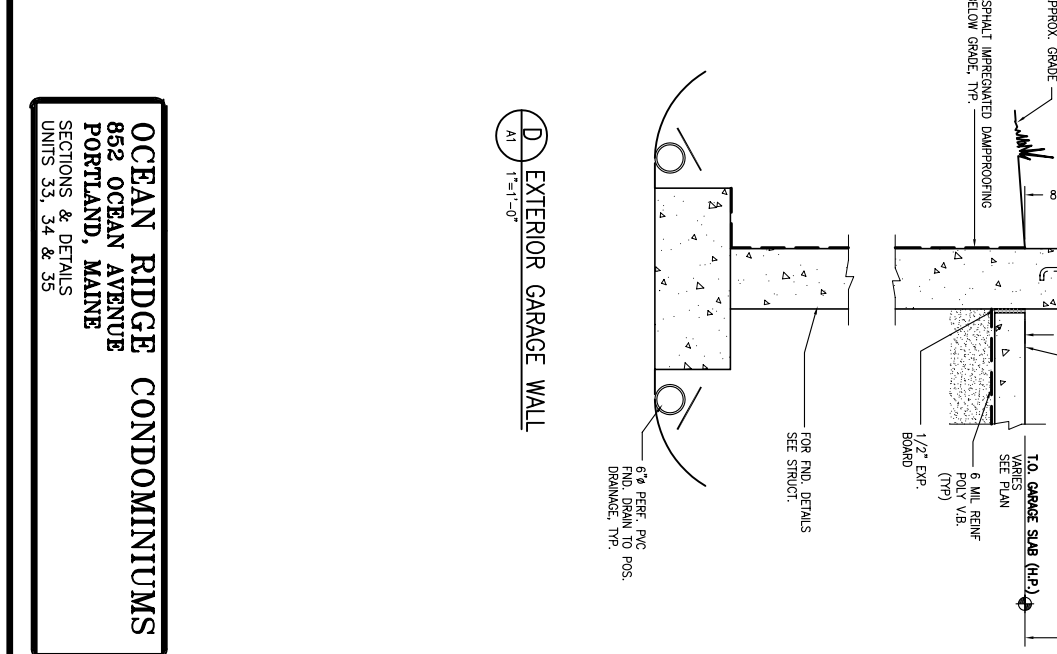
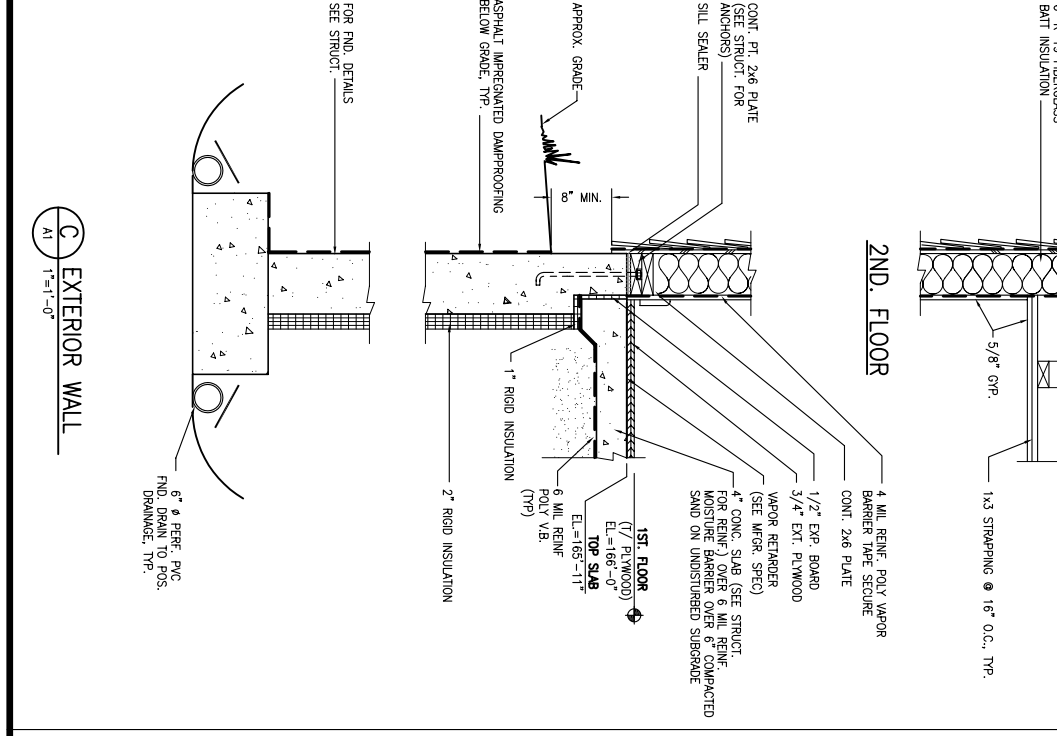
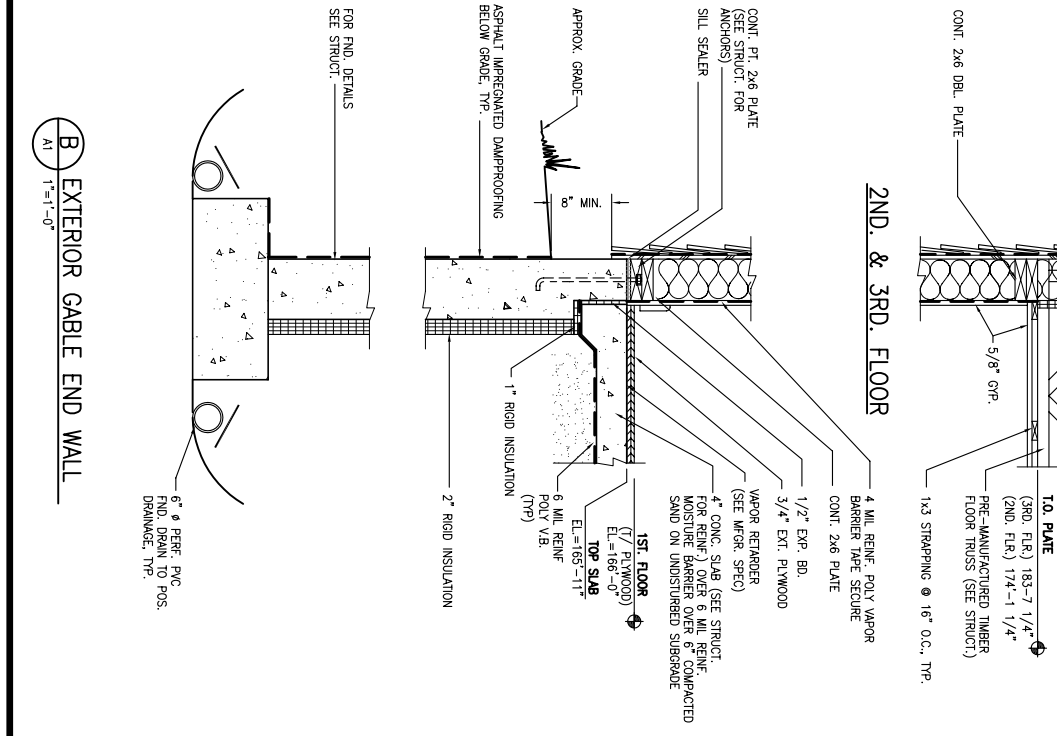
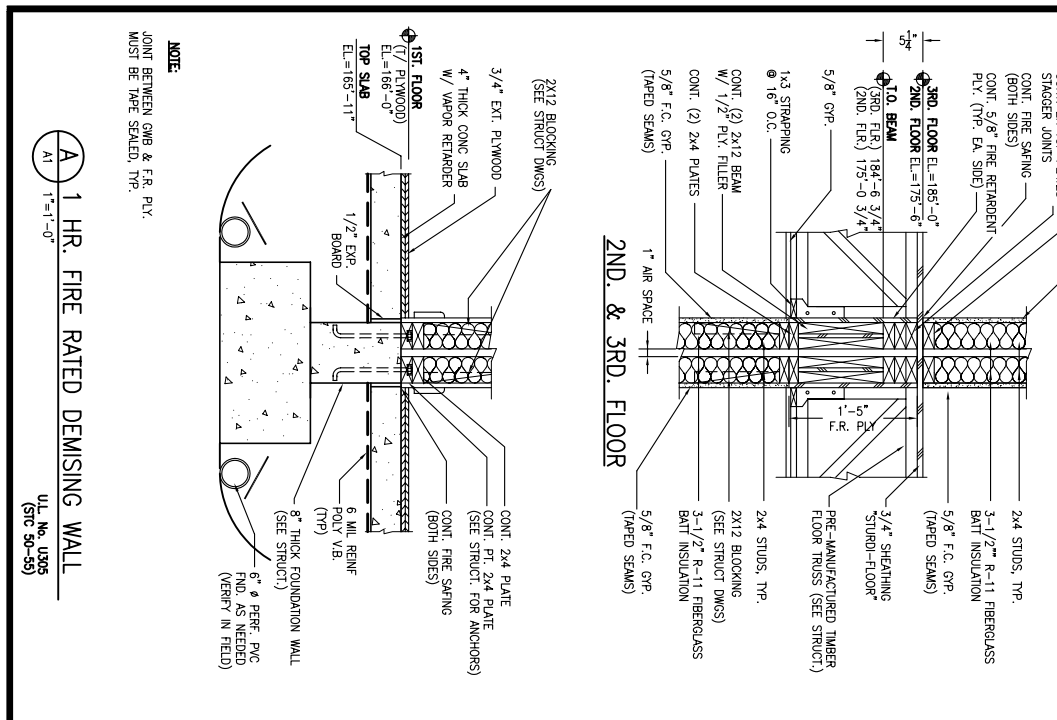
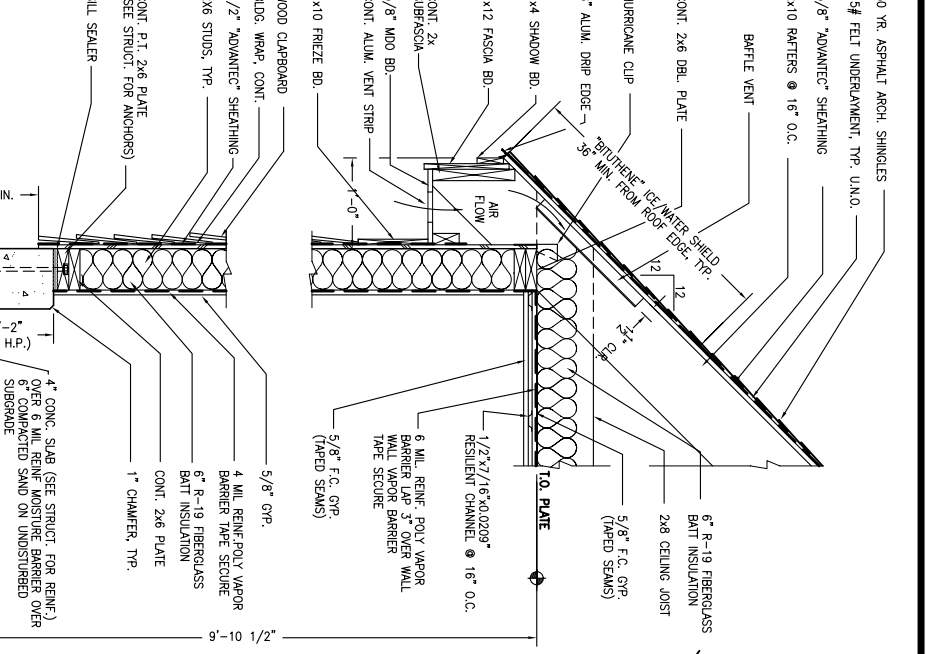
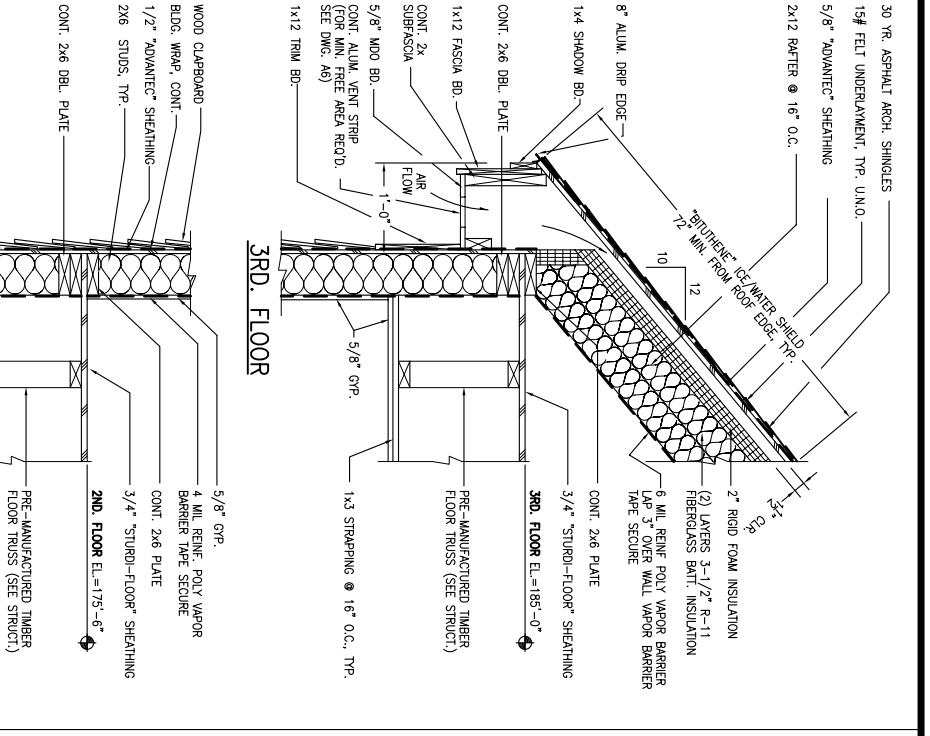
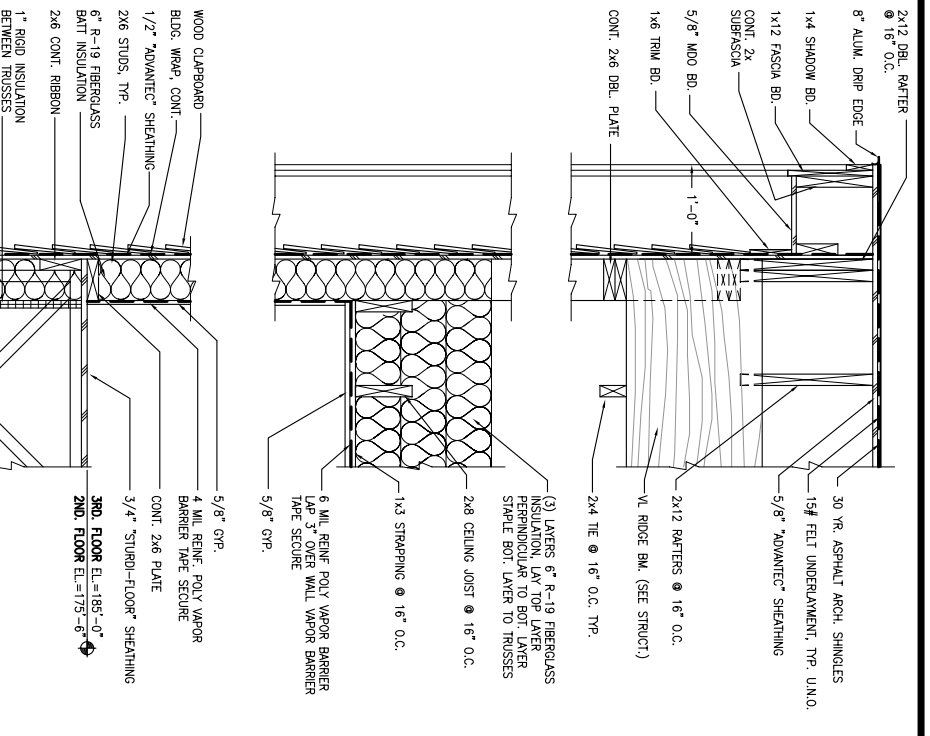
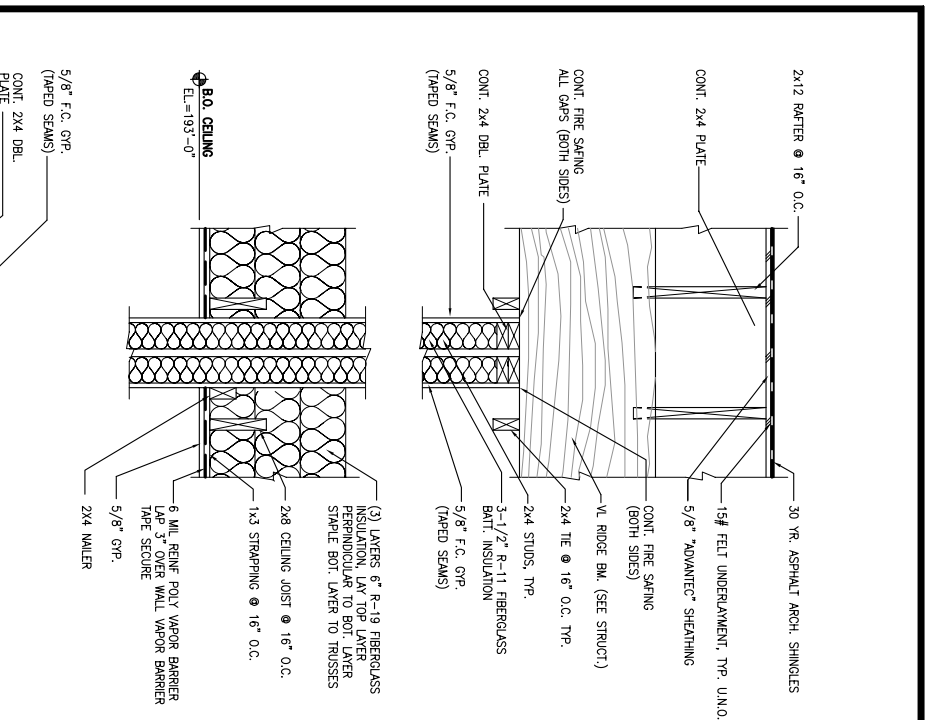
REV.	DATE	STATUS
3	3-28-05	



JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
BUILDING SECTIONS
UNITS 33, 34 & 35





REV.	DATE	STATUS
1	3-28-05	

NOTE:
 JOINT BETWEEN GRB & F.R. PLX. MUST BE LAKE SEALED, TYP.

A 1 HR. FIRE RATED DEMISING WALL
 U.L. No. U395 (SIC 50-55)

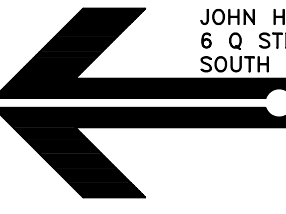
B EXTERIOR GABLE END WALL
 U.L. No. U395 (SIC 50-55)

C EXTERIOR WALL
 U.L. No. U395 (SIC 50-55)

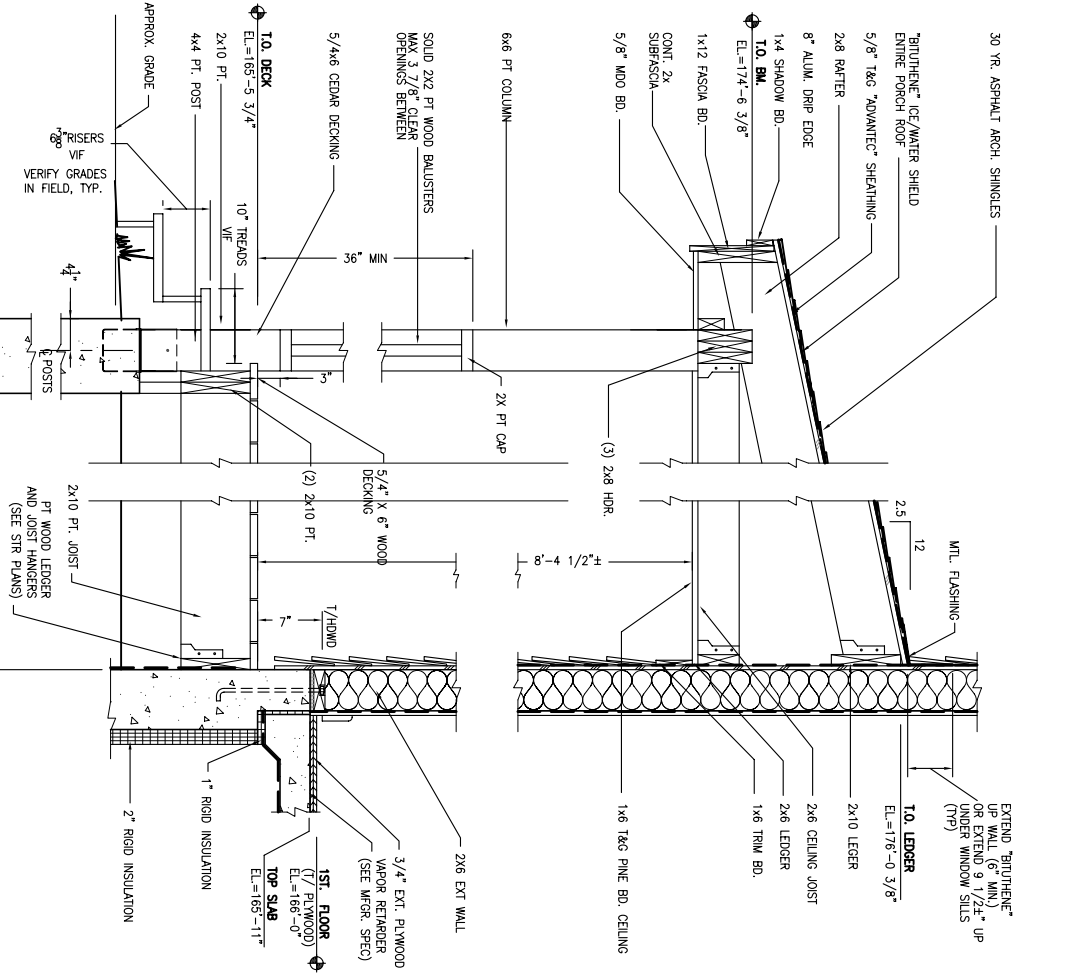
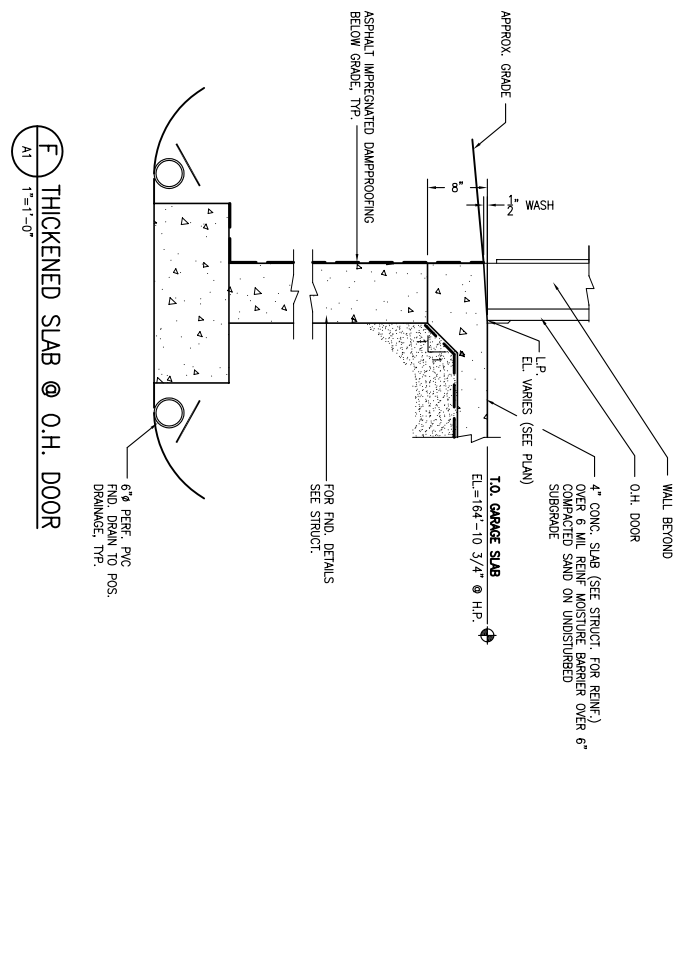
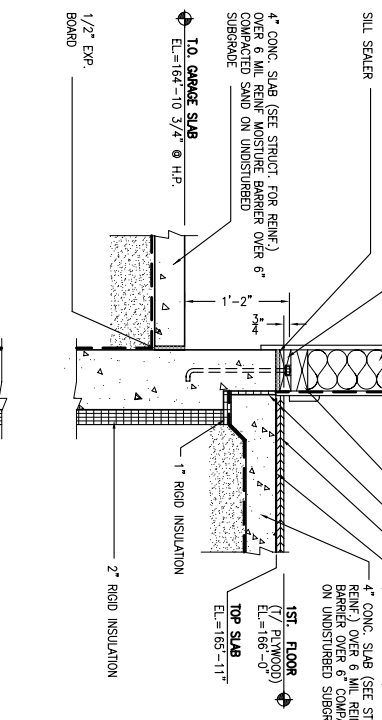
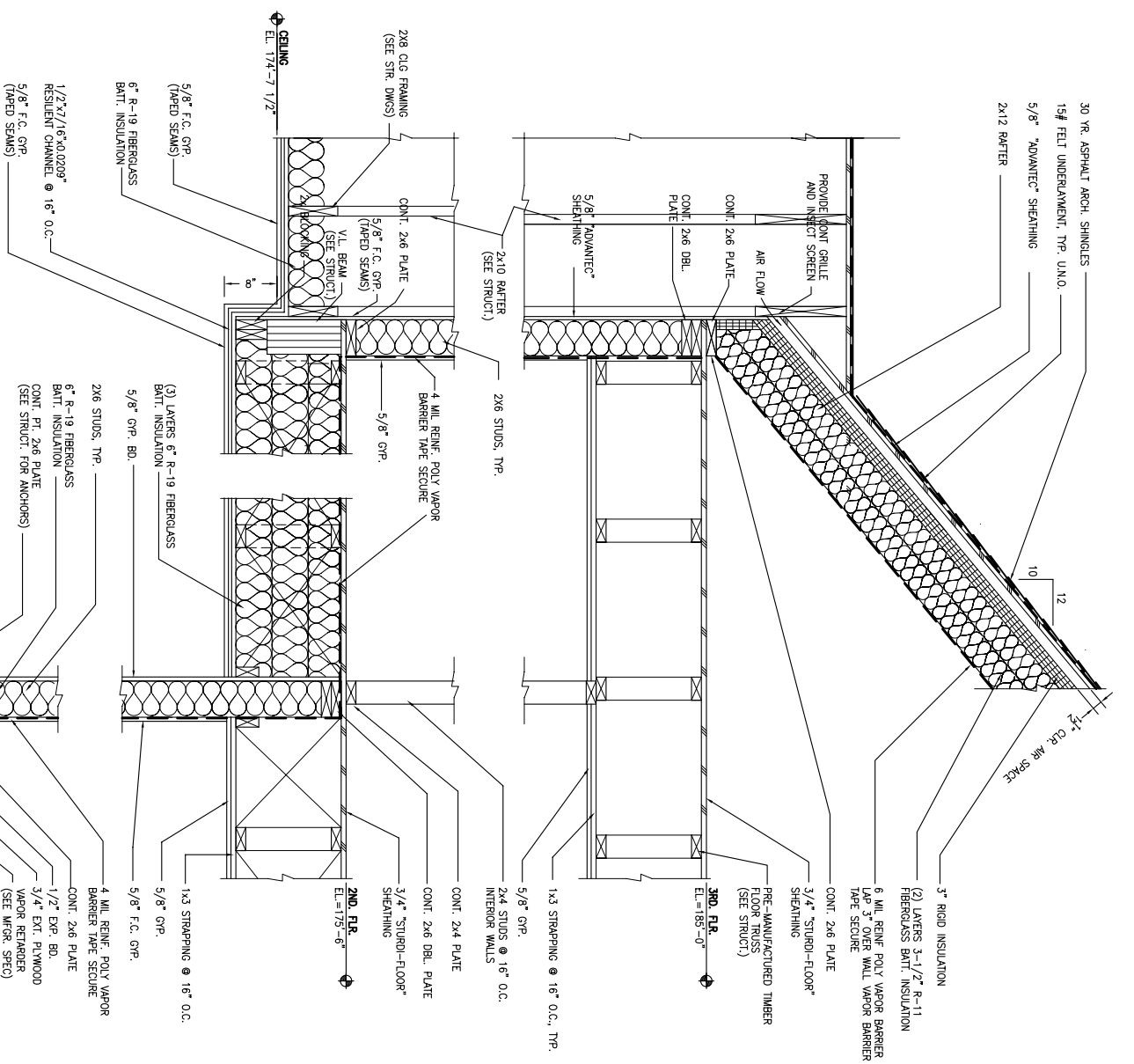
D EXTERIOR GARAGE WALL
 U.L. No. U395 (SIC 50-55)

JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106

A9



OCEAN RIDGE CONDOMINIUMS
 862 OCEAN AVENUE
 PORTLAND, MAINE
 SECTIONS & DETAILS
 UNITS 33, 34 & 35



E GARAGE/RESIDENCE COMMON WALL
1"=1'-0"

F THICKENED SLAB @ O.H. DOOR
1"=1'-0"

G PORCH
1"=1'-0"

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECTIONS & DETAILS
UNITS 33, 34 & 35

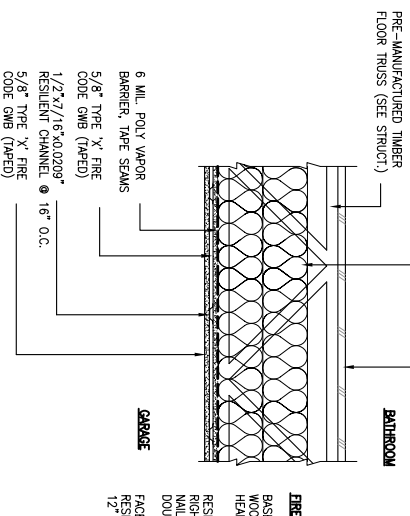
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
3-	28-05	

A10

CEILING TYPES

(2) LAYERS 6" R-19 FIBERGLASS INSULATION. LAY TOP LAYER PERPENDICULAR TO BOT. LAYER STAPLE BOT. LAYER TO TRUSSES



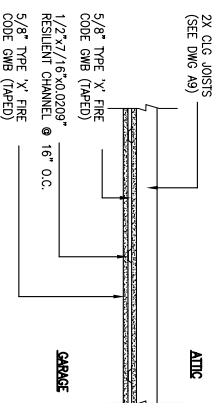
FIRE RESISTANT CEILING

BASE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG, 0.113" SHANK, 19/64" HEADS, 7" O.C. ALL SEAMS TAPED.

RESULANT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL, 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO RESULANT FURRING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

A (1 HR. FIRE RATED)



FIRE RESISTANT CEILING

BASE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG, 0.113" SHANK, 19/64" HEADS, 7" O.C. ALL SEAMS TAPED.

RESULANT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL, 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

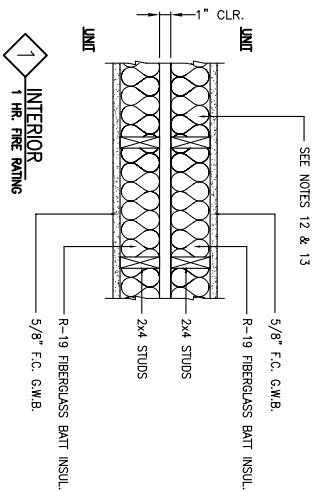
FACE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO RESULANT FURRING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

B (1 HR. FIRE RATED)

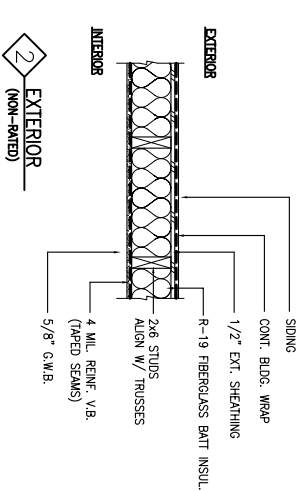
GENERAL NOTES

- 1 - ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS, AND VERIFY PROPOSED RENOVATIONS, NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES, AND PROCEED UNDER CONTRACTUAL CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- 2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXISTING CONDITIONS AND SEQUENCE TO INSURE THE SHEET'S INTENT IS MET. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS, SUCH MATERIAL SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- 3 - ALL WORK SHALL BE IN ACCORDANCE WITH ANSI, BOCA 1999/NBC NFPA 101, AND ALL LOCAL, STATE & FEDERAL REQUIREMENTS.
- 4 - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- 5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
- 6 - MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION STATE AND FEDERAL STANDARDS.
- 7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MAXIMUM 7 3/4" RISER AND A MAXIMUM 10" DEEP TREAD.
- 8 - FINISHES SHALL BE DRYWALL, TAPED, SANDED AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS.
- 9 - COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- 10 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.
- 11 - FIRE DOOR ASSEMBLY, INCLUDING THE DOORWAY, FRAME, DOOR AND NECESSARY HARDWARE SHALL CONFORM TO NFPA-101 SECTION 5-1.
- 12 - ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SEALED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE SEALING MATERIAL IF NEEDED.
- 13 - VERTICAL CUTOUTS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED IN THE CENTER OF THE BEAM. PROVIDE FIRE APPROVED CUTOUTS SHALL BE LOCATED BEHIND JOIST BEARINGS.
- 14 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL.

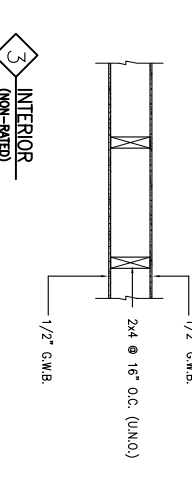
WALL TYPES



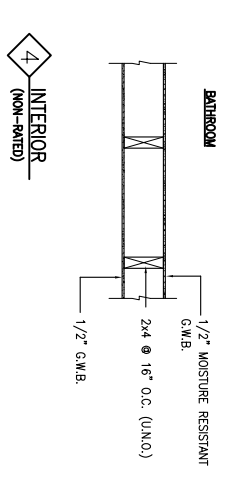
1 INTERIOR (1 HR. FIRE RATING)



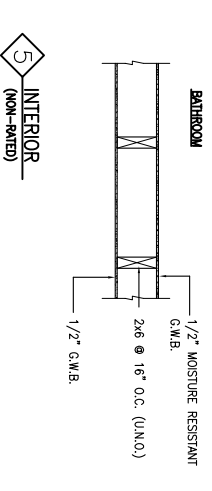
2 EXTERIOR (NON-RATED)



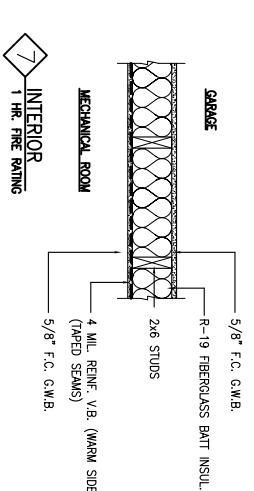
3 INTERIOR (NON-RATED)



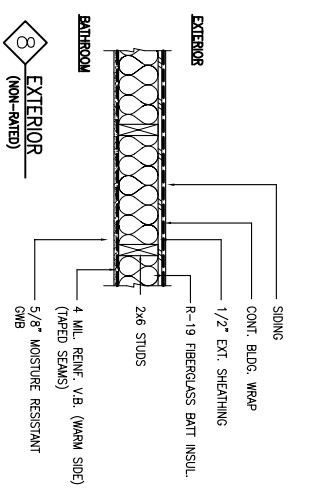
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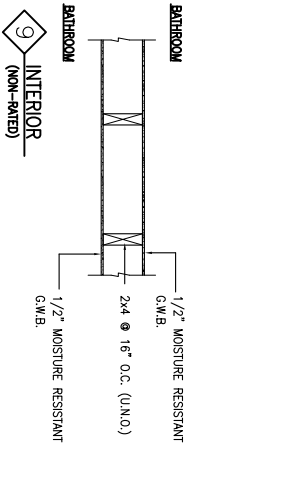
5 INTERIOR (NON-RATED)



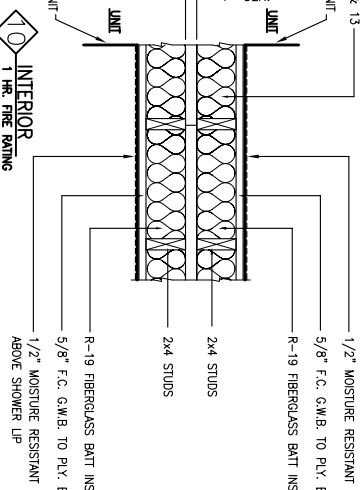
7 INTERIOR (1 HR. FIRE RATING)



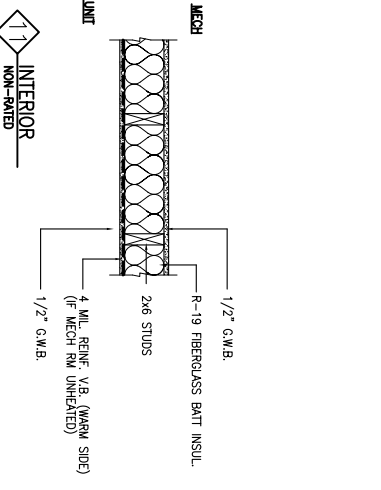
8 EXTERIOR (NON-RATED)



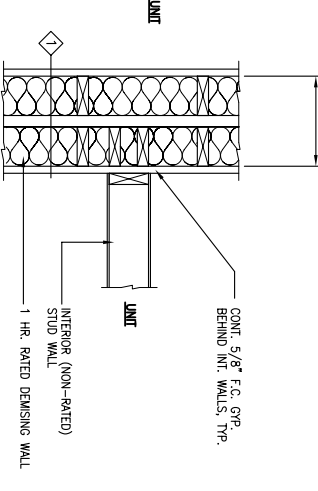
9 INTERIOR (NON-RATED)



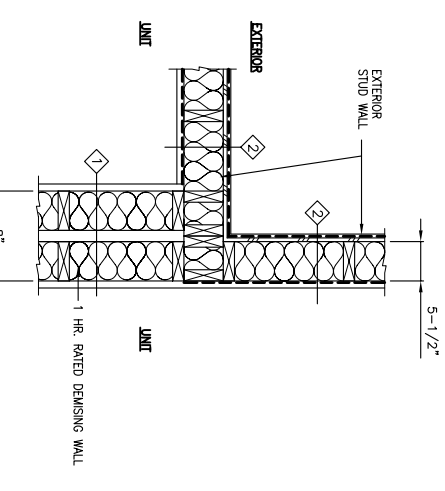
10 INTERIOR (1 HR. FIRE RATING)



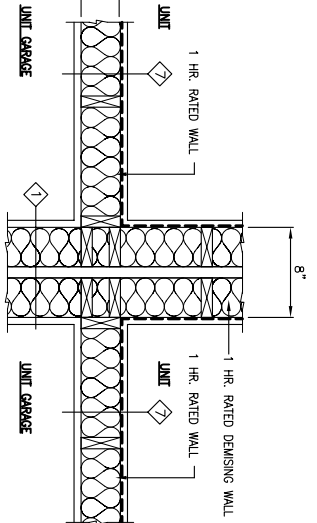
11 INTERIOR (NON-RATED)



1 DEMISING WALL/INTERIOR WALL



2 DEMISING WALL/EXTERIOR WALL



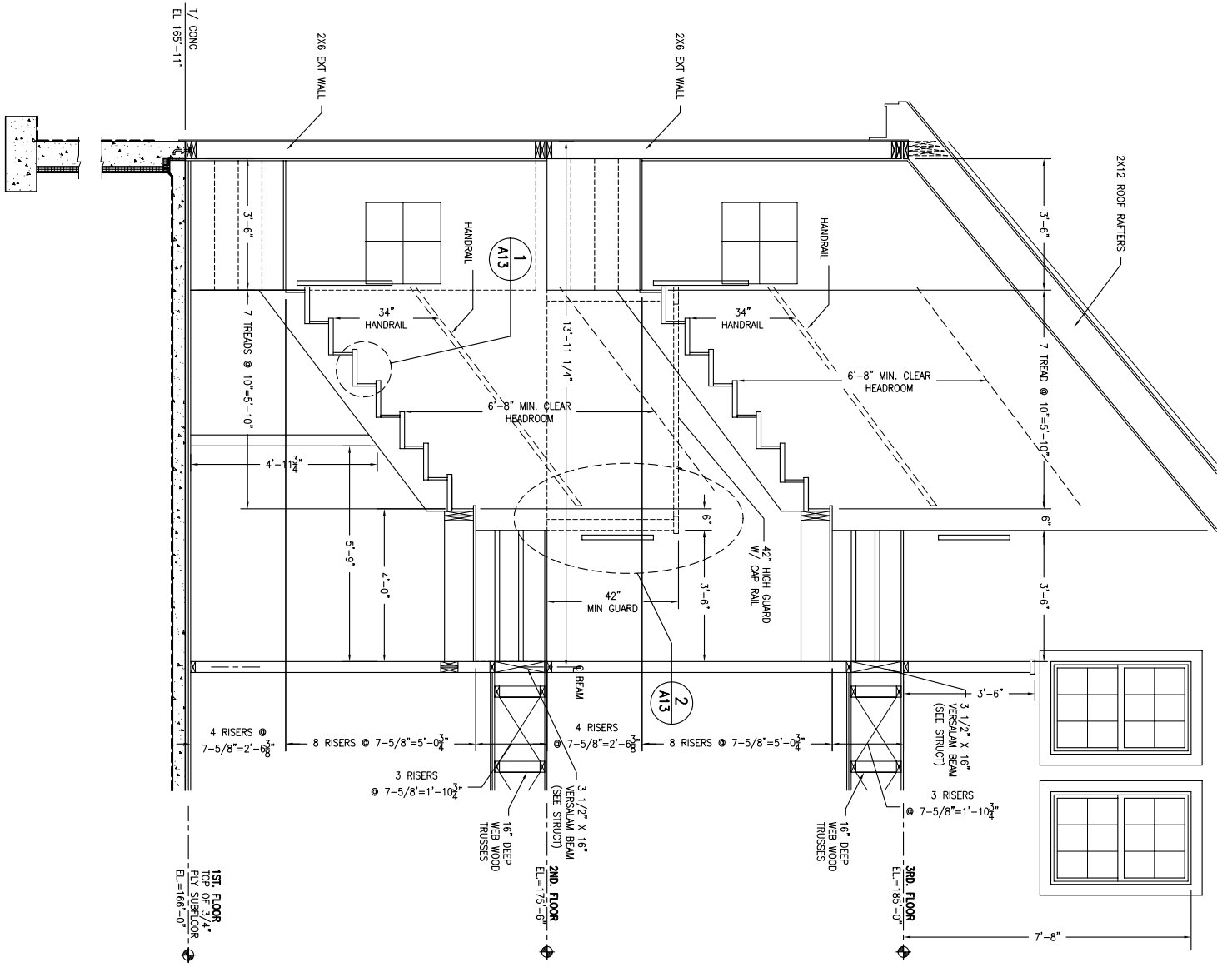
3 GARAGE/UNIT DEMISING WALL

OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 WALL TYPES & DETAILS
 UNITS 33, 34 & 35

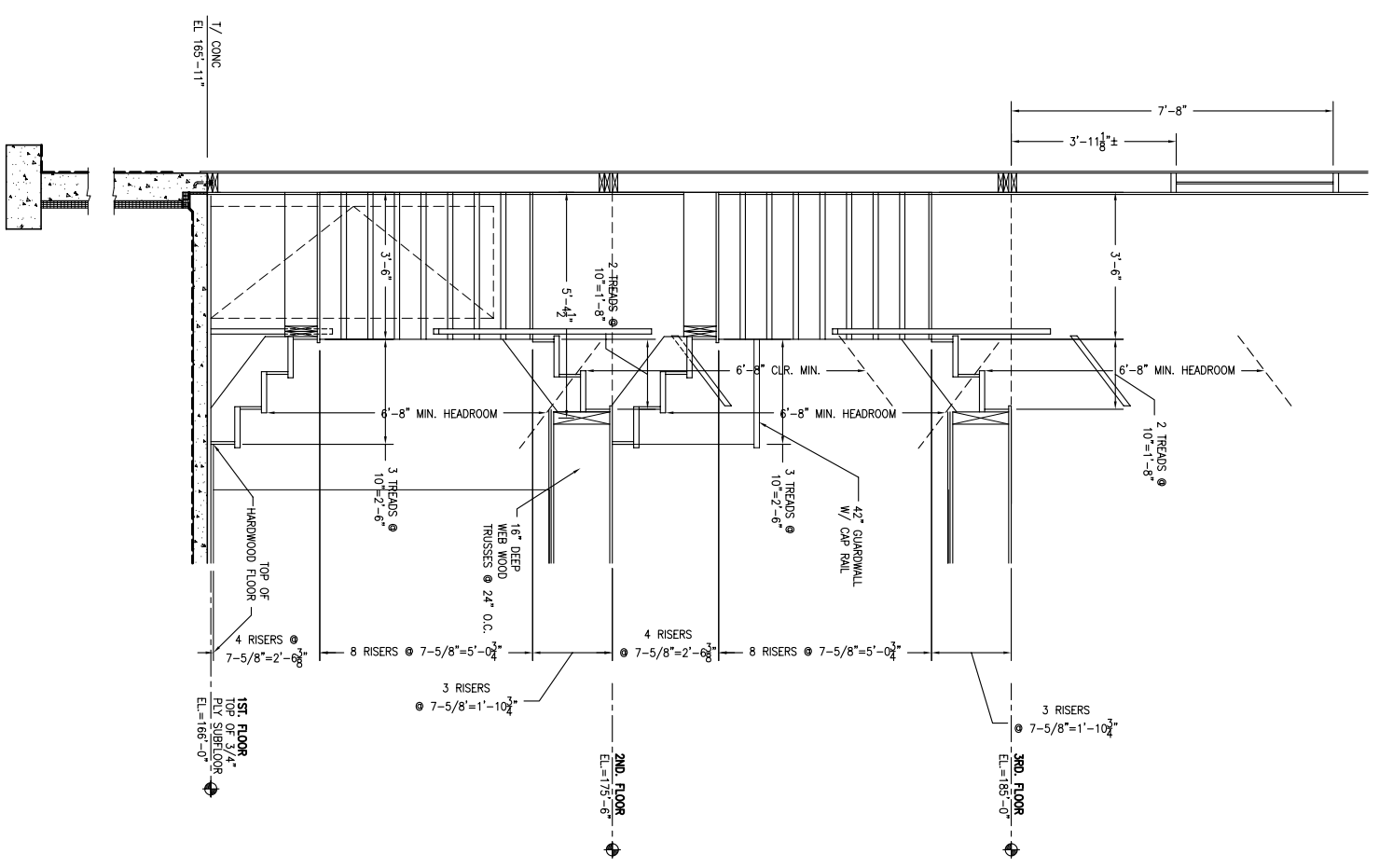
JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106

A11

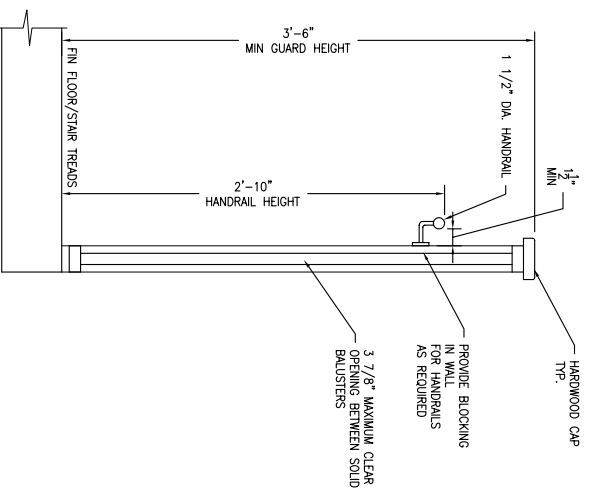
REV.	DATE	STATUS
1	3-28-05	



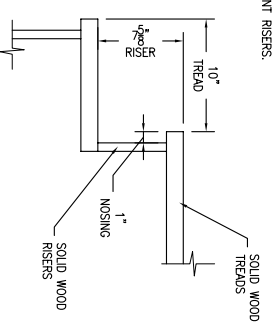
J SECTION
A1.2&3 1/2"=1'-0"



K SECTION
A1.2&3 1/2"=1'-0"



2 DETAIL
A12 1"=1'-0"



1 DETAIL
A12 1 1/2"=1'-0"

- NOTES
- 1) NOSING SHALL BE MINIMUM 3/4", MAXIMUM 1 1/4"
 - 2) VARIATIONS SHALL NOT EXCEED 3/16" IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS.

NOTE
BEGIN STAIR RISER DIMENSIONS FROM FINISHED HARDWOOD FLOORS.

REV.	DATE	STATUS
	3-28-05	

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
STAIR SECTIONS & DETAILS
UNITS 33, 34 & 35

A12

DOOR SCHEDULE

DOOR SCHEDULE ABBREVIATIONS	
CLO.	CLOSER
D.C.	DOOR CHAIN
DK.	DOOR KNOCKER
D.S.	DOOR SWEEP
EHO	ELECTR. HOLD OPENER
ES	ELECTRIC STRIKE
F.I.P.	FINGER JINTED PRIMED
FR	FIRE RATED
HA	HANDICAP ACCESSIBLE
HC	HOLLOW CORE HARDBOARD
HM	HOLLOW METAL
INS	INSULATED
K	KICKPLATE (PUSH SIDE)
KL	KEY LOCK
MTL	METAL
NO.	NUMBER
P.H.	PANIC HARMWARE
P.P.	PUSH/PULL
P.	PULL
P.R.S.	PRIVACY SET
P.S.	PASSAGE SET
S.	STEEL
S.C.	SOLID CORE HARDBOARD
S.H.	SPRING HINCE
S.L.	SPRIT JAMB (WOOD)
TEMP.	TEMPERED
THK	THICKNESS
WD	WOOD (SOLID)
WG	WIRE GLASS
V	VENNER

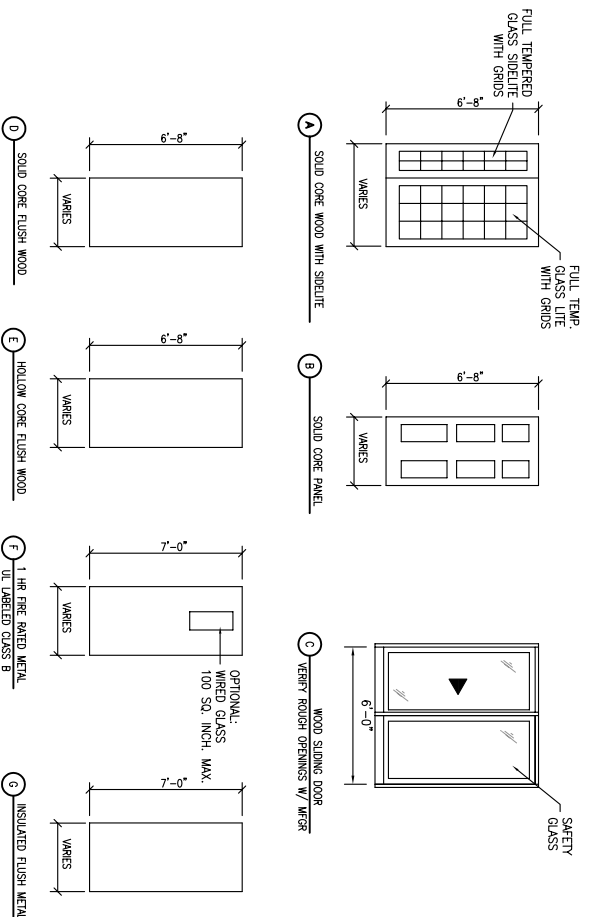
NO.	TYPE	SIZE	THK.	F.R.	HDWE SET	MAT.	GLASS		REMARKS	TYPE	MAT.	F.R.	DETAILS		MAT.	SILL HT.	THRESHOLD
							SIZE	TYPE					HEAD	JAMB			
EXTERIOR																	
01	A	3'-0" x 6'-8"	1 3/8"		KNOB	WOOD	-	-	INS. KL. TEMP. DS	BB	WOOD	-	-	C	ALUM.	-	-
02	I	9'-0" x 7'-0"			WFR	INSUL.	-	-	INSUL. O.H. GARAGE DOOR	DD	WOOD	-	-	C	WOOD	-	-
03	C	6'-0" x 6'-8"			WFR	WFR	-	-	INS. TEMP	BB	WOOD	-	-	C	ALUM.	-	-
04	G	3'-0" x 6'-8"	1 3/8"		PULL	18GA MTL	-	-	INS. KL. DC	AA	MTL	-	-	C	ALUM.	-	-
FIRST FLOOR																	
10	F	3'-0" x 6'-8"	1 3/4"	1 HR.	KNOB	18GA MTL	-	-	INS. CLO. DS	CC	MTL	-	-	D		-	-
11	F	3'-0" x 6'-8"	1 3/4"	1 HR.	KNOB	18GA MTL	-	-	INS. SH. LOCKSET. DS	CC	MTL	-	-	D		-	-
12	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	P.S.	BB	WD	-	-	C	WOOD	-	-
13	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	P.R.S.	BB	WD	-	-	C	WOOD	-	-
14	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	P.S.	BB	WD	-	-	C	WOOD	-	-
15	B	2'-8" x 6'-8"	1 3/4"		KNOB	WD	-	-	SH. DS. PS	BB	WD	-	-	C	WOOD	-	-
SECOND FLOOR																	
20	B	PR 2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	P.R.S.	BB	WD	-	-	C	WOOD	-	-
21	B	PR 2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PS	BB	WD	-	-	C	WOOD	-	-
22	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PS	BB	WD	-	-	C	WOOD	-	-
23	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PNS	BB	WD	-	-	C	WOOD	-	-
24	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PNS	BB	WD	-	-	C	WOOD	-	-
25	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PNS	BB	WD	-	-	C	WOOD	-	-
26	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PS	BB	WD	-	-	C	WOOD	-	-
27	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PS	BB	WD	-	-	C	WOOD	-	-
THRD FLOOR																	
30	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	LOCKSET	BB	WD	-	-	C	WOOD	-	-
31	B	2'-8" x 4'-0"	1 3/8"		KNOB	WD	-	-	PS	BB	WD	-	-	C	WOOD	-	-
32	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PS	BB	WD	-	-	C	WOOD	-	-
33	B	PR 2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	PNS	BB	WD	-	-	C	WOOD	-	-

WINDOW SCHEDULE

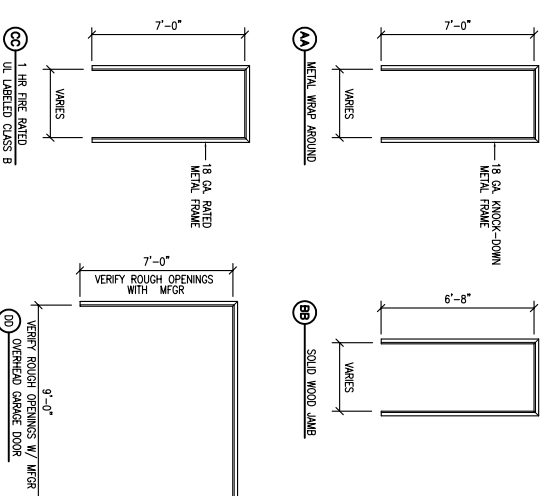
NO.	TYPE	MANUF	CAT NO.	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS	
							HEAD	JAMB
W1	C	"HANCOCK"	P12824*	N/A	2'-2" x 2'-0"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W1A	E	"HANCOCK"	-	N/A	2'-2" x 2'-0"	"HANCOCK LUMBER WINDOW TYPE" AWNING	-	-
W2	A	"HANCOCK"	PH2860*	N/A	2'-4" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W3	A	"HANCOCK"	PH4060*	N/A	3'-4" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W5	B	"HANCOCK"	PH4060-2*	N/A	6'-7 1/2" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W6	A	"HANCOCK"	PH3644*	N/A	3'-0" x 3'-8"	"HANCOCK LUMBER WINDOW TYPE" HEAD HGT @ 7'-8" AFF	-	-

**NOTE 1:
EACH BEDROOM OR SLEEPING AREA SHALL HAVE AN EGRESS WINDOW MIN. 20" IN WIDTH, 24" IN HEIGHT & SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR (MINIMUM ONE EACH BEDROOM)

DOOR TYPES

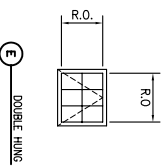
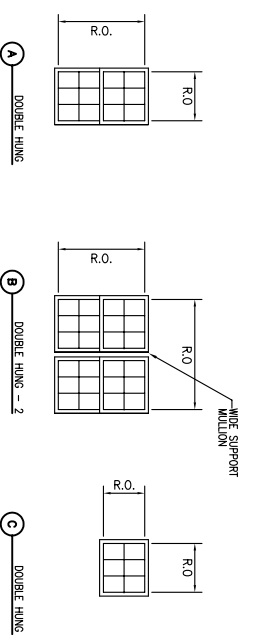


FRAME TYPES



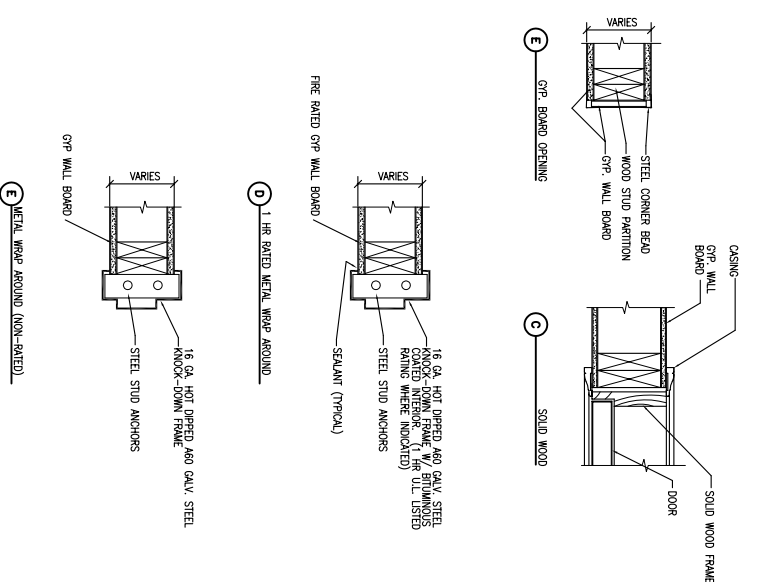
NOTES
1) - WINDOW AND DOOR QUANTITIES SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

WINDOWS



NOTES:
PROVIDE TEMPERED SAFETY GLASS IN ALL STAIR WINDOWS, WITHIN 24" OF DOORS AND LESS THAN 18" ABOVE FINISHED FLOOR NEXT TO A WALKING SURFACE.

JAMB TYPES



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SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
DOOR AND WINDOW SCHEDULE
UNITS 33, 34 & 35

A13