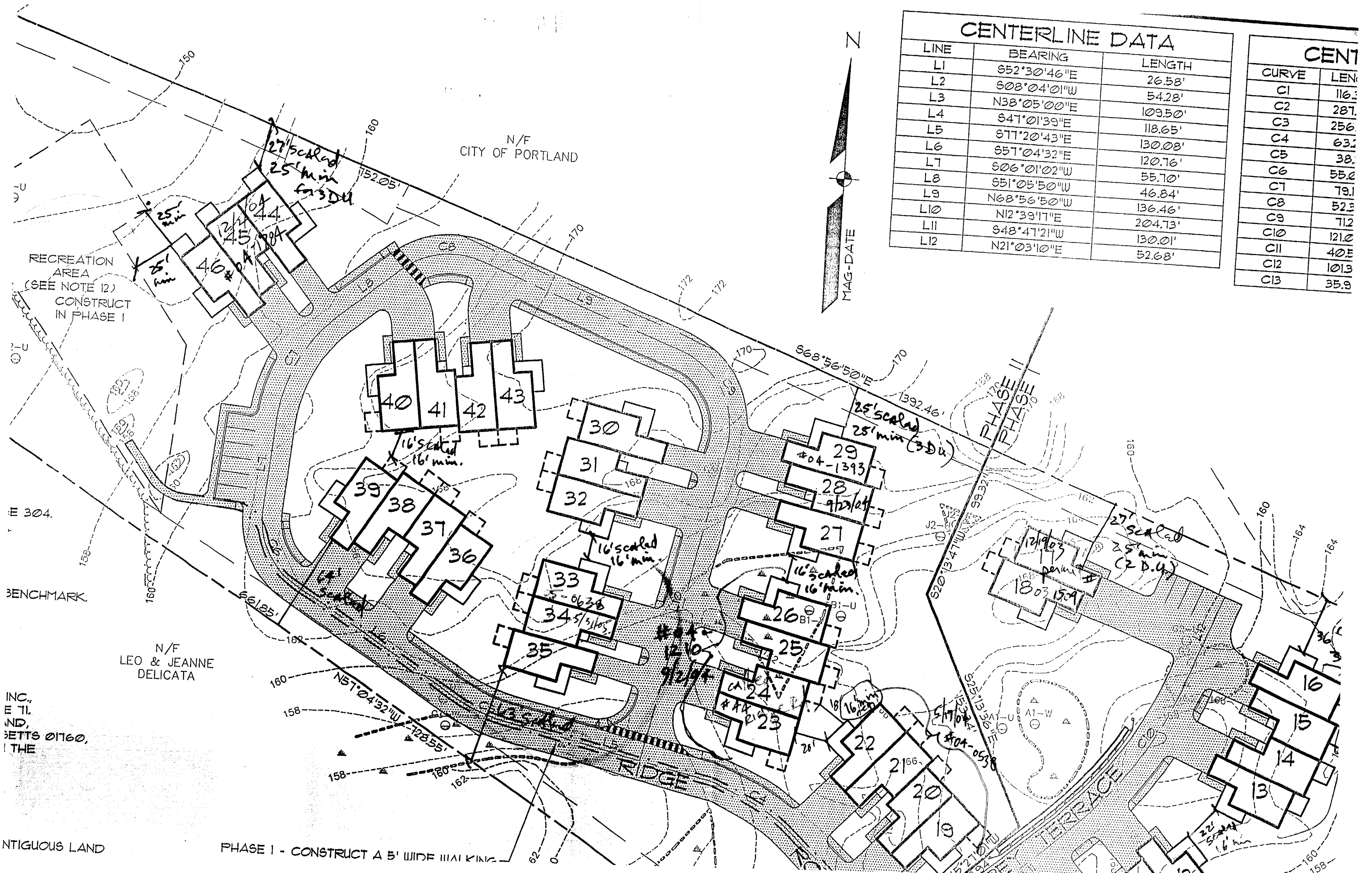

CENTERLINE DATA

LINE	BEARING	LENGTH
L1	S52°30'46"E	26.58'
L2	S08°04'01"W	54.28'
L3	N38°05'00"E	109.50'
L4	S47°01'39"E	118.65'
L5	S77°20'43"E	130.08'
L6	S57°04'32"E	120.76'
L7	S06°01'02"W	55.70'
L8	S51°05'50"W	46.84'
L9	N68°56'50"W	136.46'
L10	N12°39'17"E	204.73'
L11	S48°47'21"W	130.01'
L12	N21°03'10"E	52.68'

CENT

CURVE	LENG
C1	116.3
C2	287.
C3	256.
C4	63.2
C5	38.
C6	55.0
C7	79.1
C8	52.3
C9	71.2
C10	121.0
C11	40.5
C12	101.3
C13	35.9

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE

UNITS **33, 34,** & *35*

ARCHITECT:

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CIVIL ENGINEER:

SEBAGO TECHNICS
ONE CHABOT STREET
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STRUCTURAL ENGINEER:

L & L STRUCTURAL ENGINEERING SERVICES, INC.
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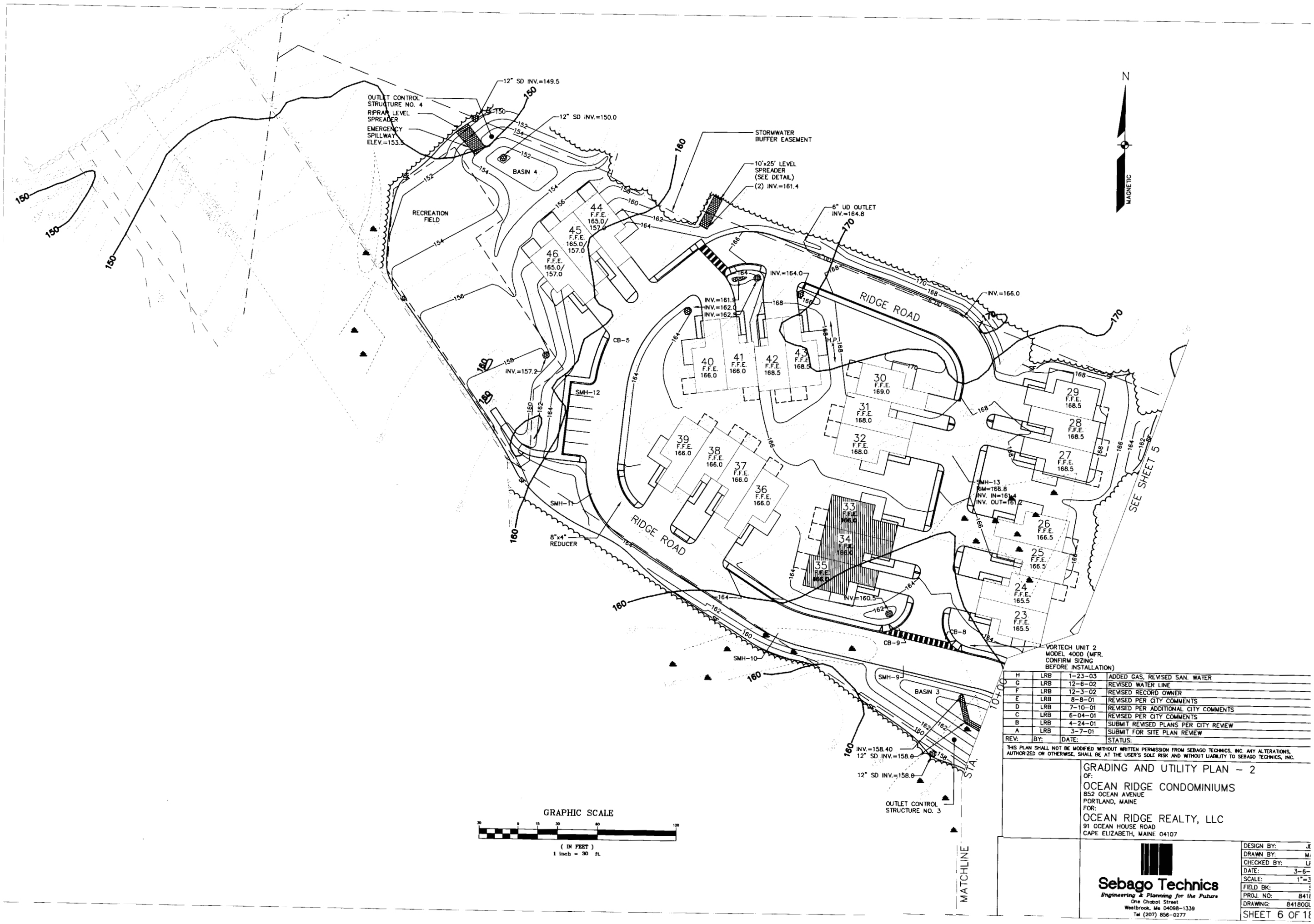
LIST OF DRAWINGS:

MARCH 28, *2005*



REV:	BY:	DATE:	STATUS:
H	LRB	1-23-03	ADDED GAS, REVISED SAN. WATER
G	LRB	12-6-02	REVISED WATER LINE
F	LRB	12-3-02	REVISED RECORD OWNER
E	LRB	8-8-01	REVISED PER CITY COMMENTS
D	LRB	7-10-01	REVISED PER ADDITIONAL CITY COMMENTS
C	LRB	6-04-01	REVISED PER CITY COMMENTS
B	LRB	4-24-01	SUBMIT REVISED PLANS PER CITY REVIEW
A	LRB	3-7-01	SUBMIT FOR SITE PLAN REVIEW

GRADING AND UTILITY PLAN – 2

OF:

OCEAN RIDGE CONDOMINIUMS

852 OCEAN AVENUE
PORTLAND, MAINE

FOR:

OCEAN RIDGE REALTY, LLC
91 OCEAN HOUSE ROAD
CAPE ELIZABETH, MAINE 04107

Sebago Technics
Engineering & Planning for the Future
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Westbrook, Me 04098-1339
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DESIGN BY:	JK
DRAWN BY:	MA
CHECKED BY:	LI
DATE:	3-6-
SCALE:	1"=3
FIELD BK:	
PROJ. NO:	841
DRAWING:	84180GI

GENERAL NOTES:

1. The notes on the drawings ore not intended to replace specifications See specifications f a requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing. and site drawings Consult thnc drawings for location3 and dimensions of openings, chases. inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected port of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. me structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to enure the safety of the building and its components during erection. This includes the addition or necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads: (Ground snow load = 60 PSF)

   Roof..42 PSF + Drift

   Living areas....................................40 PSF

3. Design wind loads are based on exposure B using *85* mph basic wind speed.
4. Seismic design utilizes the following criteria:
   a. Building framing system: Concentrically braced frames, and shear walls.
   b. Analysis procedure: Equivalent Lateral Force Procedure.
   c. Seismic hazard exposure group: "I-
   d. Seismic performance category. "C"
   e. Soil profile type: "S1"
   f. Peak velocity-related acceleration (Av): "0.10"
   g. Peak acceleration (Aa): "0.10"
   h. Response modification factor (R): "5'
   i. Deflection amplification factor (Cd): "4 1/2"

FOUNDATION NOTES

1. Foundations hove been designed with a presumptive soil bearing capacity indicated in of 2000 PSF to be verified in the field.
2. Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill. If bedrock is encountered. contractor shall overexcavate and bear footings on 2'-0" thick layer of compacted structural fill.
3. Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements. Concrete slabs shall be moist cured.
5. Structural fill shall be used at all locations below footings and slabs ond adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics. loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 inch	100
3 inch	90 to 100
1/4 inch	25 to 90
NO. 40	0 to 30
NO. 200	0 to 5

6. Structural fill beneath slabs shall be placed in layers not exceeding 12' in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
7. Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
8. Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
9. Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES

1. All concrete work shall conform to ACI 318-Latest Edition.
2. Concrete strength at 28 days sholl be:
   a. 4000 PSI for basement walls.
   b. 3000 PSI for footings. frost walls and piers.
   c. 4000 PSI for all slabs on grade.
3. All concrete shall be air entrained 4%-6% with approved odmixtures.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordonce with ACI 315-Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete sholl conform to ATSM C-1116.
9. Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit *(6)* blue line prints and (1) reproducible (sepia) to the Architect.
10. Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6" minimum.
11. Concrete finishes: See specificotions and Architectural drawings. For additional information consult hardwood floor manufacturer far preferred concrete finish before placement.
12. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
13. Provide control/construction pints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
14. The general contractor shall be responsible for coordination of door bond out locations, slab depression and other required bond outs. Coordinate location of bond outs with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.
15. Provide control joints in slabs as follows:
    a. 15' x 15' (225 SF) with fibremesh reinforcment
    b. 20' x 20' (400 SF) with welded wire fabric reinforcment

STRUCTURAL STEEL NOTES

1. Structural steel fabrication, erection, and connection design shall conform to AISC 'Specification for the design, fabrication, and erection of structural steel'-Latest edition.
2. Structural steel:
   a. Structural steel shall conform to ASTM A-36.
   b. Structural tubing shall conform to ASTM A-500 GR.B.
   c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4"ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.I-Latest edition. Welding electrodes shall be E70XX.

TIMBER TRUSS FRAMING

1. Moteriols: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.R. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
2. Applicable specifications:
   a. National Design Specification for stress groded lumber and its fasteners (NDS)
   b. Design specifications for light metal plate connected wood trusses (TPI-Latest edition)
3. Bracing: The truss manufacturer shall specify all brocing required both for temporary construction loading and for permanent lateral support of compression members.
4. Submittals:
   a. Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
   b. Shop drawings shall show stress grade and size of members, Size and location of plate connectors. size and location of brocing and shall be approved by the truss designer.
5. All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of opprovai in accordance with the truss plate institute in-plant inspection license agreement.
6. Connector plates shall be galvanized.
7. Timber trusses shall be designed in accordance with BOCA and ASCE 7-99.
8. Provide permonent bottom chord bracing in accordance with the truss plate institute (TPI-latest edition).
9. Trusses shall be designed for all potentiol load combinations of live loads (snow) and wind loads including unbalanced snow loads. drift loads and wind loads in accordance with BOCA 1999.
10. Maximum permissible floor live lood deflection = L/480 See S8 for floor loadings

TIMBER FRAMING

1. All timber framing shall be in accordance with the AITC timber construction manual or the notional design specifications (NDS) -latest edition.
2. Individual timber framing members shall be visually groded, minimum grade #2 Spruce-Pine-Fir (SPF). kiln dried to 19% maximum moisture content.
3. Pressure treated lumber shall be used where woad is in contact with ground, concrete or masonry, Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWPA C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Promde Simpson H2.5 hurricane anchors where timber framing and/or trusses bear on walls.
6. Nailing not specified shall conform with BOCA 1999.
7. Exterior wall sheathing shall be 1/2" thick APA rated sheathing fastened with 10d nails @ 4" o.c. at panel edges and 6" o.c. intermediate, (typ unless otherwise noted)
8. Floor decking shall be 3/4" thick APA rated 'STURDI-FLOOR' plywood sheathing fastened with construction adhesive and 10d nails @ 6" o.c. at panel edges and intermediate.
9. Roof sheathing shall be 5/8" thick APA rated sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
10. All 2 x P.T. sill plates shall be instolled on sill sealer.

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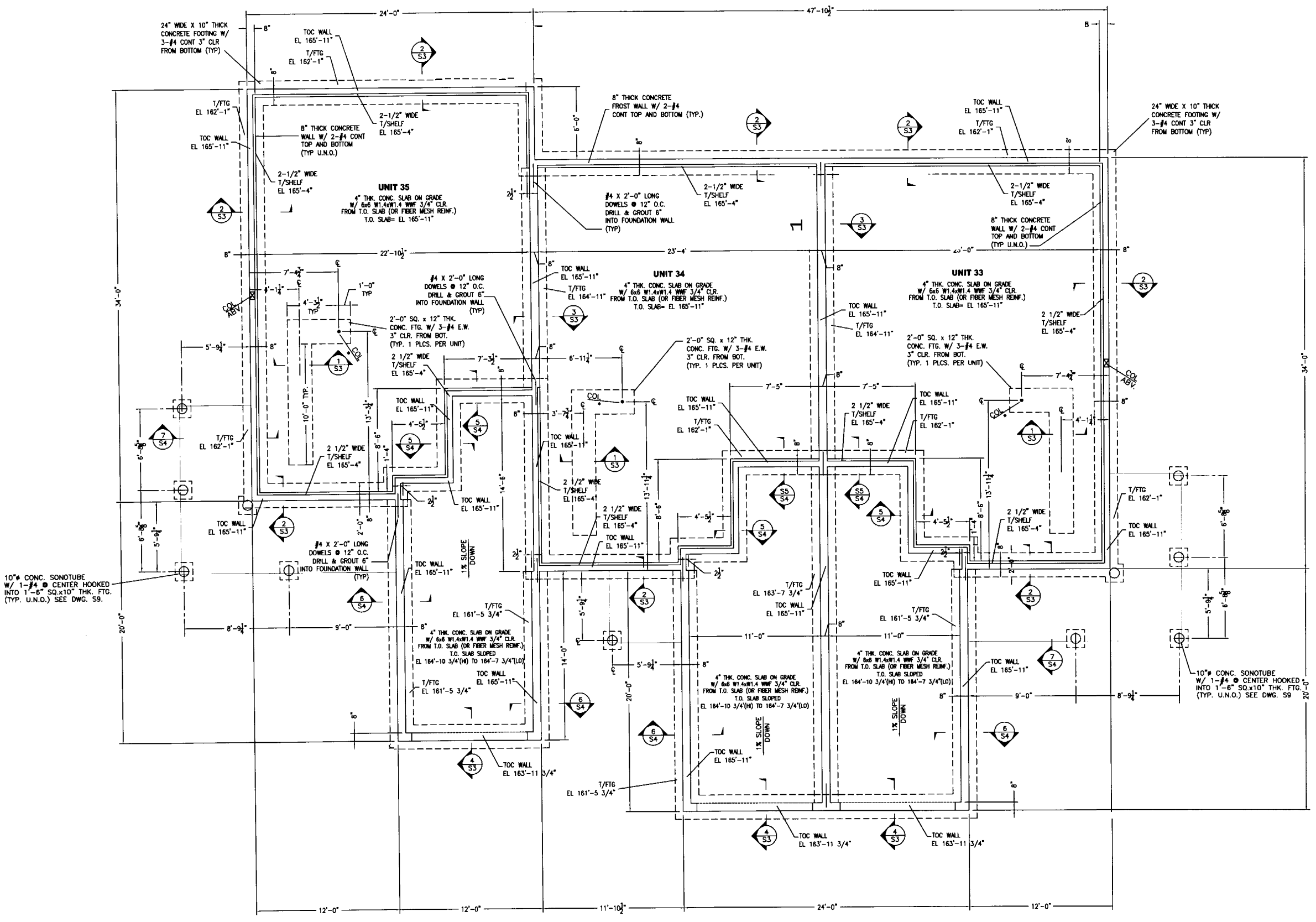
drawn by: JMH
checked by: JHL
scale: NO SCALE
date: 3-28-05
plot date:

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE

GENERAL NOTES
UNITS 33, 34 & 35

S1



FOUNDATION PLAN
1/4"=1'-0"

NOTES:

1. SEE GENERAL NOTES ON S1.
2. "•" INDICATES 3-1/2"ø LALLY COLUMN ON A 2'-6" SQ. x12" THICK CONCRETE FOOTING W/ 4-#4 E.W. 3" CLEAR FROM BOTTOM OF FOOTING.
3. VERIFY GRADES IN FIELD

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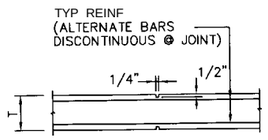
rev.	date	description	appr'd

designed by: JHL
drawn by: JML
checked by: JHL
scale:
date: 3-28-05
plot date: -
project #: 23035

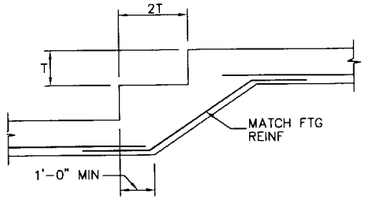
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION PLAN
UNITS 33, 34 & 35

S2



TYP CONTROL JOINT IN WALL

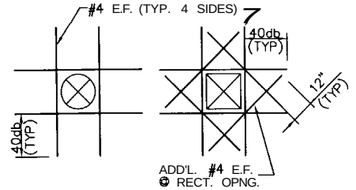
N.T.S.



TYP STEP FOOTING DETAIL

N.T.S.

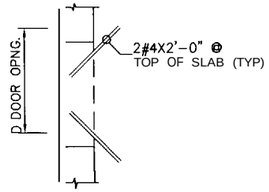
NOTE: T = FOOTING THICKNESS



TYP. OPENING IN WALL OR SLAB

N.T.S.

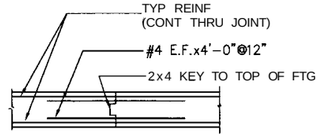
NOTE: OPENING IN SLAB APPLIES *O* ALL OPENINGS



TYP. SLAB CORNER DETAIL @ DOOR

N.T.S.

NOTE: PROVIDE 2#4X4'-0"(TOP) IN SLAB
AT INSIDE CORNERS. SEE PLAN.
INCLUDING STAIRS, & HVAC OPENINGS
PLACE REINF IN MIDDLE OF SLAB
@ SLAB OPENINGS.

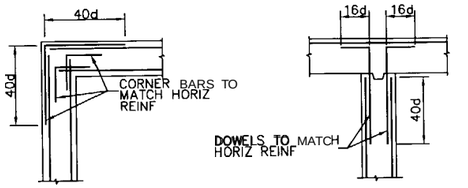


TYP. CONSTRUCTION JOINT IN WALL

N.T.S

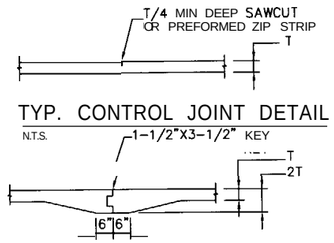
NOTES

1. CONST JOINT DOES NOT EXTEND THRU FTG
2. DISTANCE BETWEEN CONST JOINTS IN STRAIGHT LENGTHS OF WALL NOT TO EXCEED 60'-0"



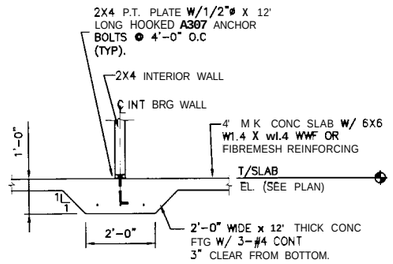
TYP WALL REINF DETAILS

N.T.S.



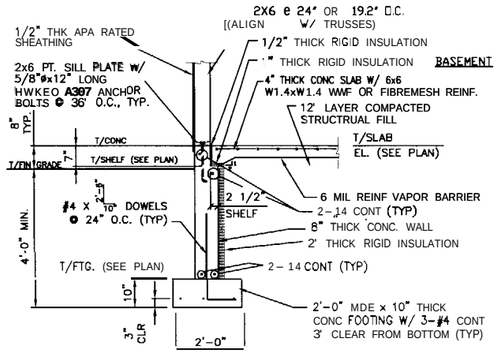
TYP. CONSTRUCTION JOINT DETAIL

N.T.S.

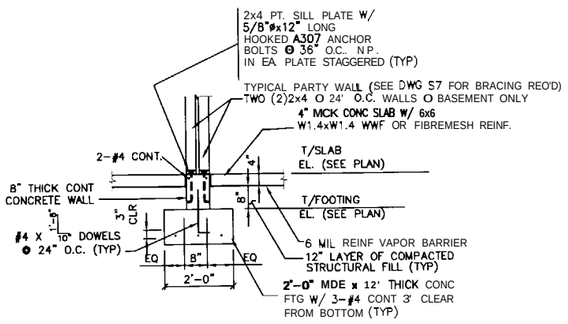


SECTION TYPICAL THICKENED SLAB (1/S2)

1/2" = 1'-0"

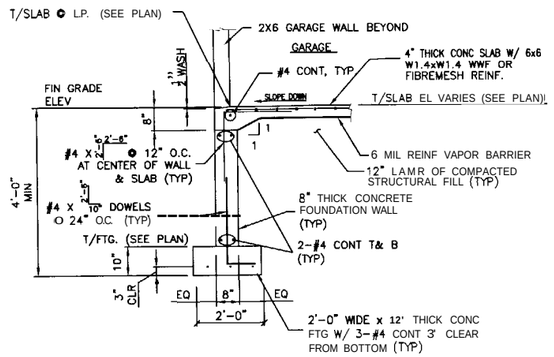


SECTION TYPICAL EXTERIOR FROST WALL (2/S2)



SECTION TYPICAL PARTY WALL (m/S2)

1/2" = 1'-0"



SECTION TYPICAL GARAGE ENTRY SLAB (4/S2)

1/2" = 1'-0"

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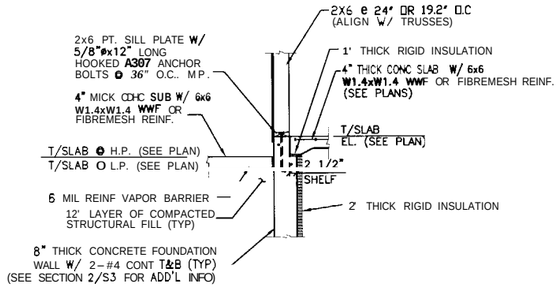
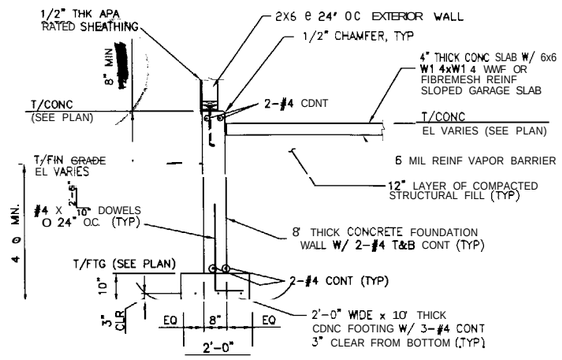
checked by: JHL
scale:
date: 3-28-05
plot date:

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 33 34 & 35

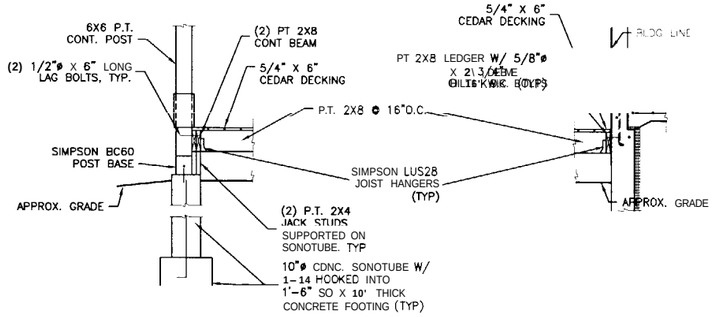
S3



SECTION — TYPICAL WALL ADJACENT TO GARAGE — 5 — S2, S5
1/2" = 1'-0"



SECTION — TYPICAL GARAGE SIDE WALLS — 6 — S2
1/2" = 1'-0"



SECTION — TYPICAL ENTRY PORCHES — 7 — S2, S5
1/2" = 1'-0"

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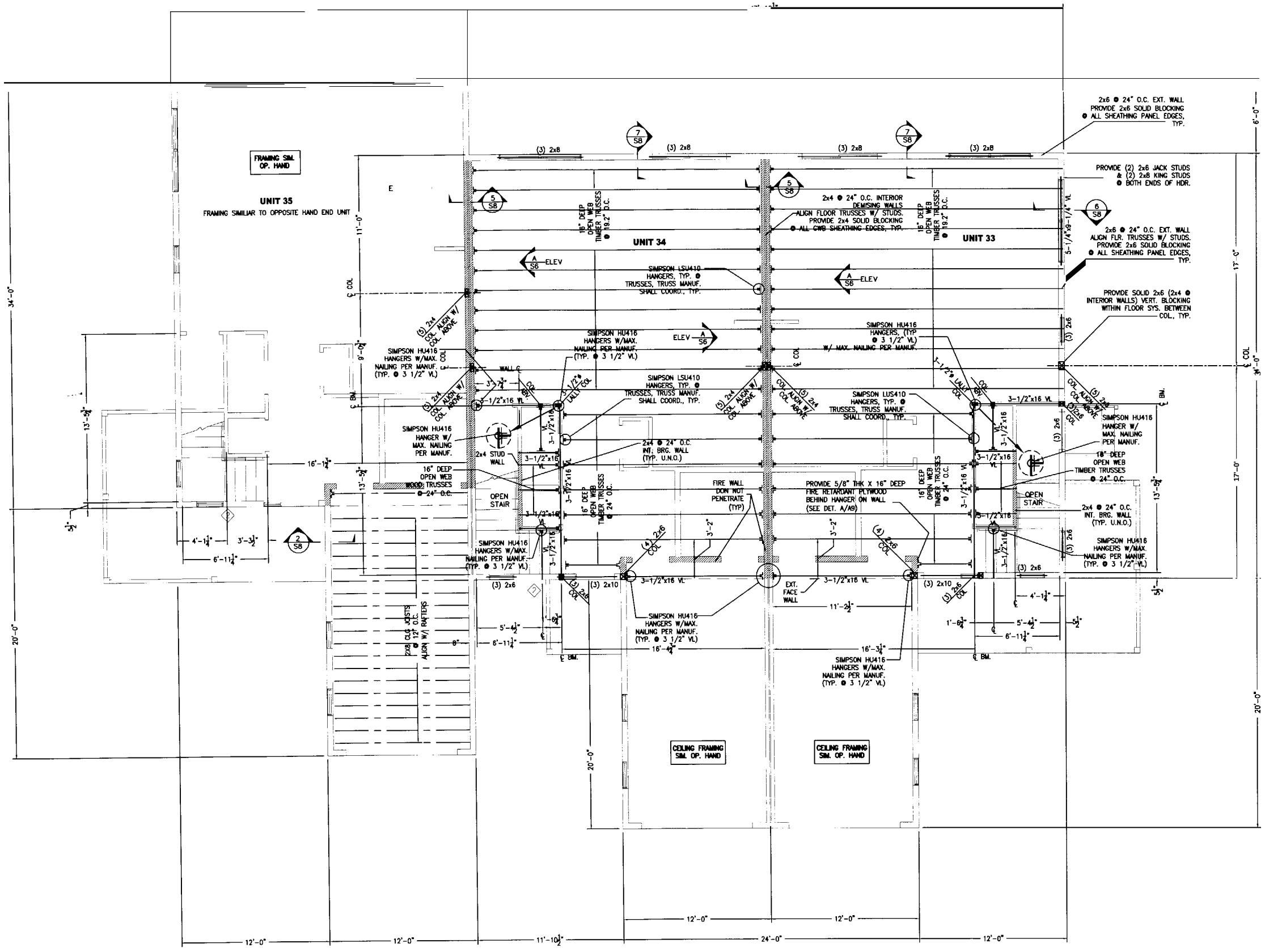
rev.	date	description	appr'd

designed by: JHL
drawn by: JML
checked by: JHL
scale:
date: 3-28-05
plot date:
project # 23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 33, 34 & 35

S4



SECOND FLOOR FRAMING PLAN

1/4"=1'-0"

LEGEND

BEARING WALL

NOTES:

1. SEE GENERAL NOTES ON S1.
2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
3. PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS. (TYP. U.N.O.)

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			JHL

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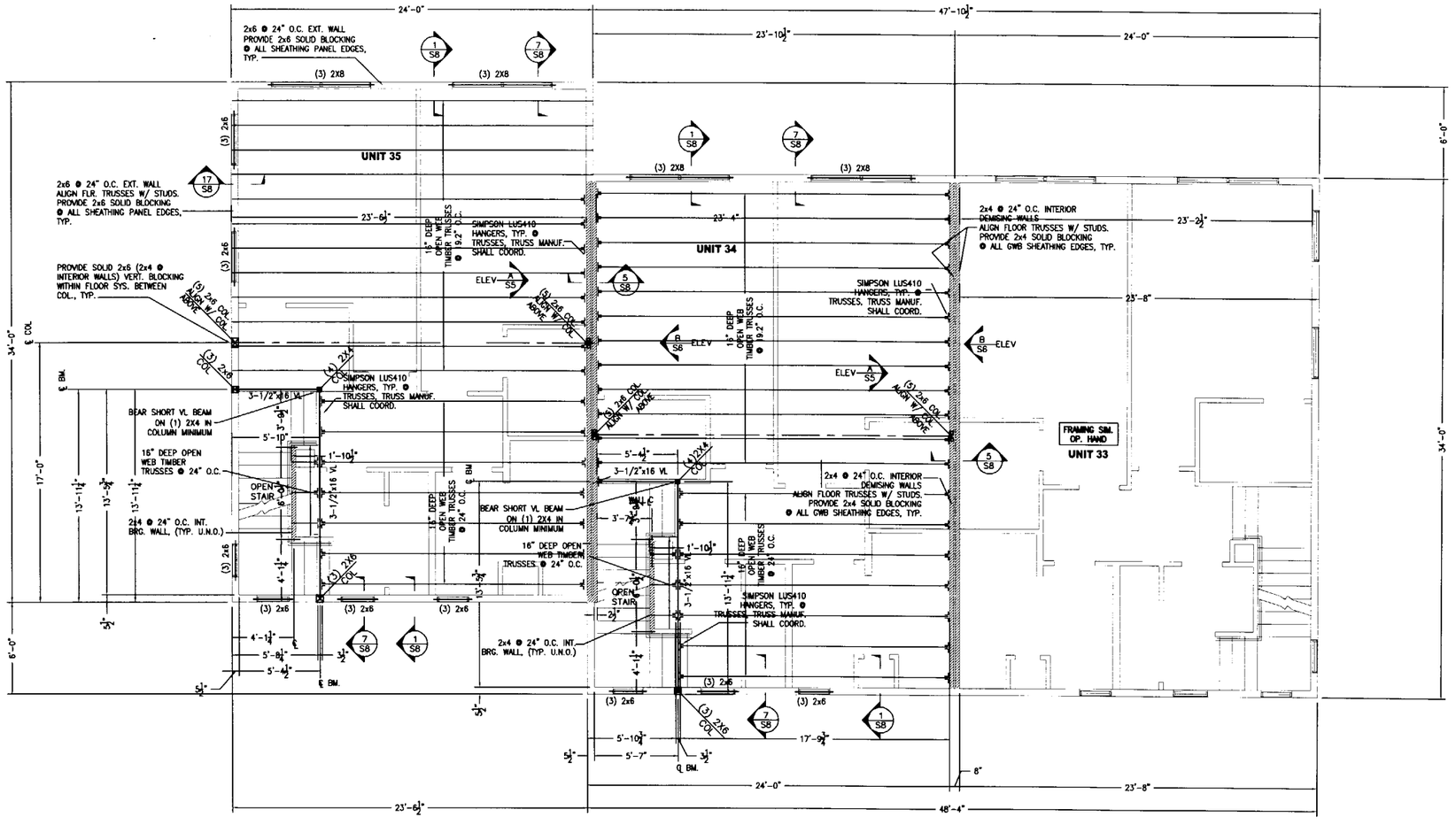
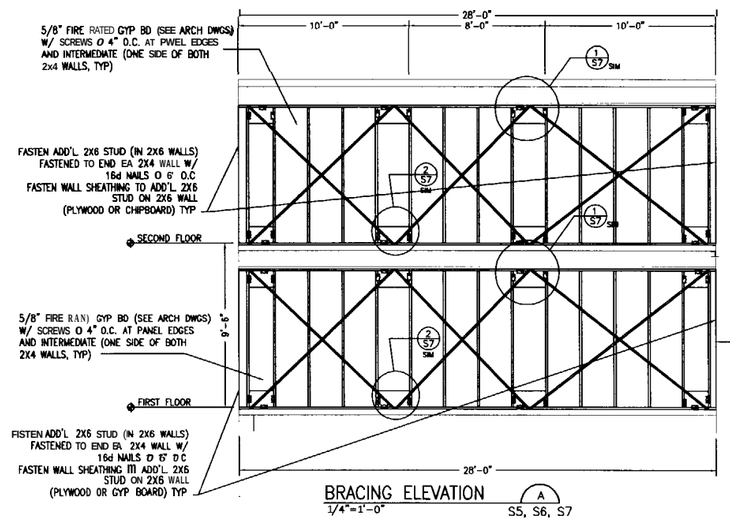
drawn by JUL
checked by JHL
scale:
date: 3-28-05
fold date: -
project #: 23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR FRAMING PLAN
UNITS 33, 34 & **35**

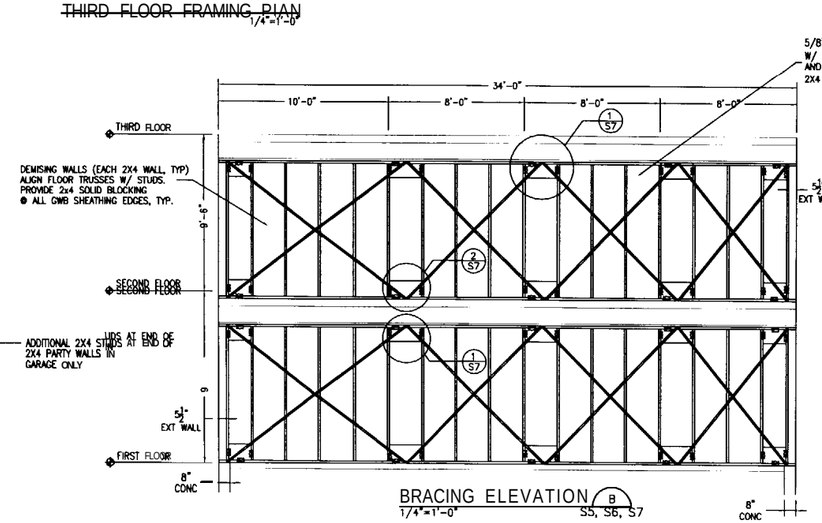
S5



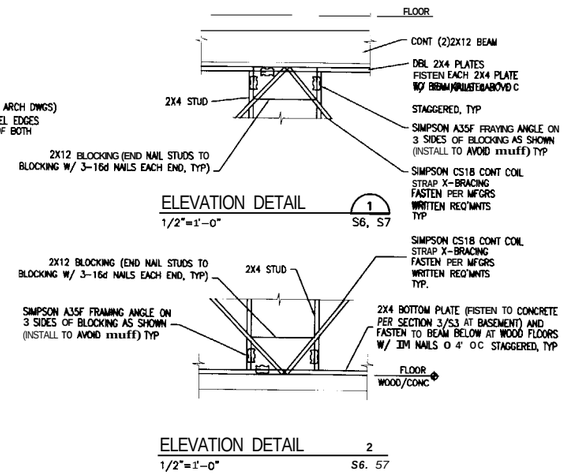
THIRD FLOOR FRAMING PLAN
1/4"=1'-0"



BRACING ELEVATION A
1/4"=1'-0" S5, S6, S7



BRACING ELEVATION B
1/4"=1'-0" S5, S6, S7



LEGEND

BEARING WALL

NOTES: GENERAL NOTES ON S1.

2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES COW. OR APPROVED EQUAL.
3. PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS. (TYP. U.N.O.)

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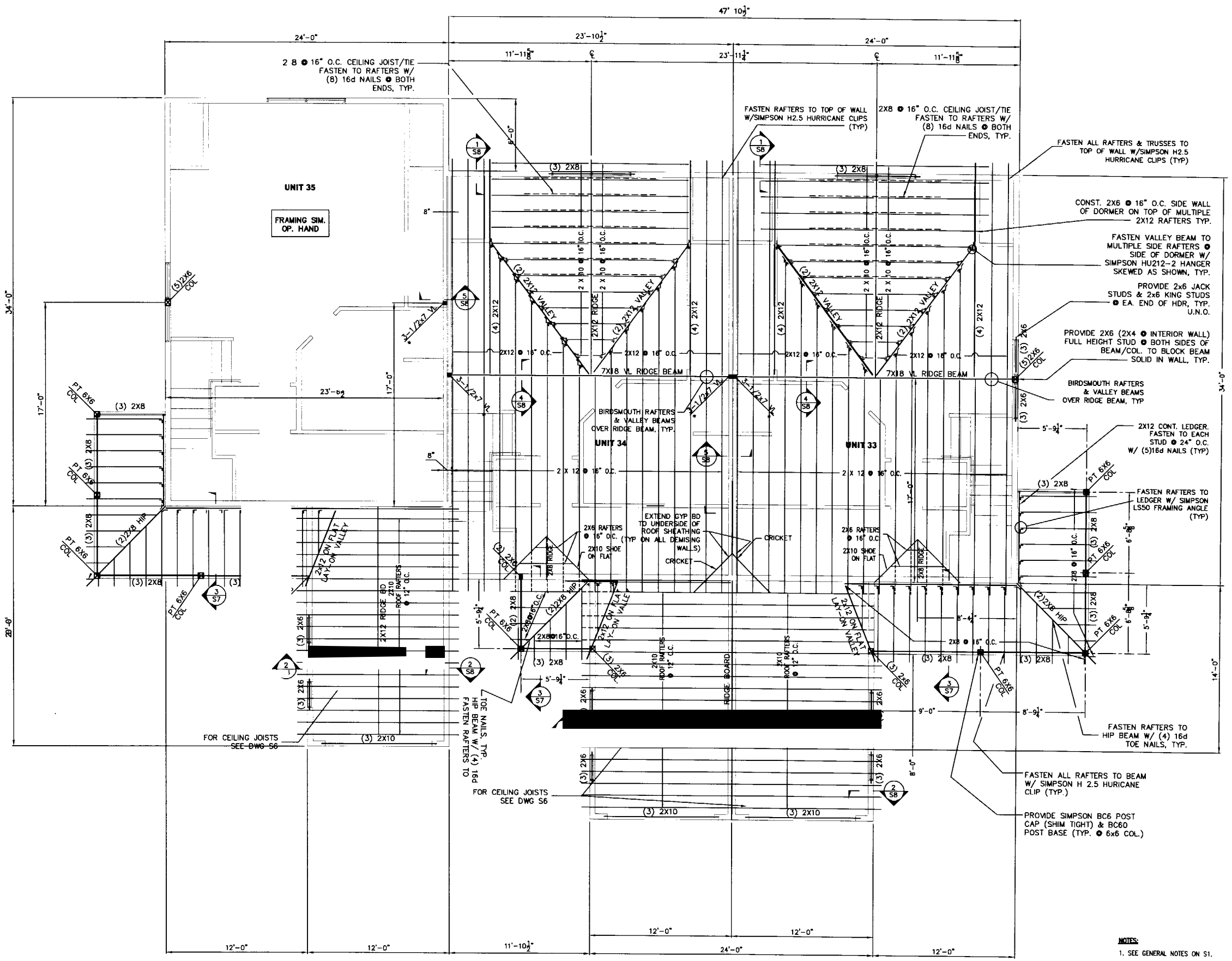
drawn by: JML
checked by: JHL
scale:
date: 3-28-05
plot date: -

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
THIRD FLOOR FRAMING PLAN
UNITS 33, 34 & 35

S6



ROOF FRAMING PLAN

1/4"=1'-0"

PROJECT NORTH

NOTES:

1. SEE GENERAL NOTES ON S1.
2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
3. * INDICATES COLUMN PROPERTIES SHALL BE "VERSA-LAM 3080 Fb DF (E=2.0x10⁶ PSI AND Fb=3080 PSI).
4. ROOF TRUSS LOADING SHALL BE AS FOLLOWS:

   TCLL=40 PSF
   TCDL=10 PSF
   BCLL=0 PSF
   BCDC=10 PSF

   TRUSS TYPE 'A' @ 24" O.C.

LEGEND

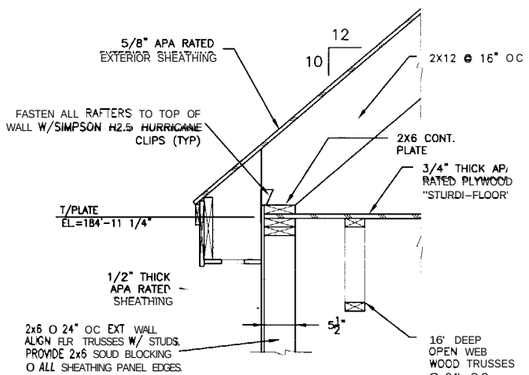
BEARING WALL

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX Q STREET SOUTH PORTLAND, MAINE 04106
PHONE (207) 767-4836
FAX (207) 799-5432
EMAIL llengineeringverizon.net

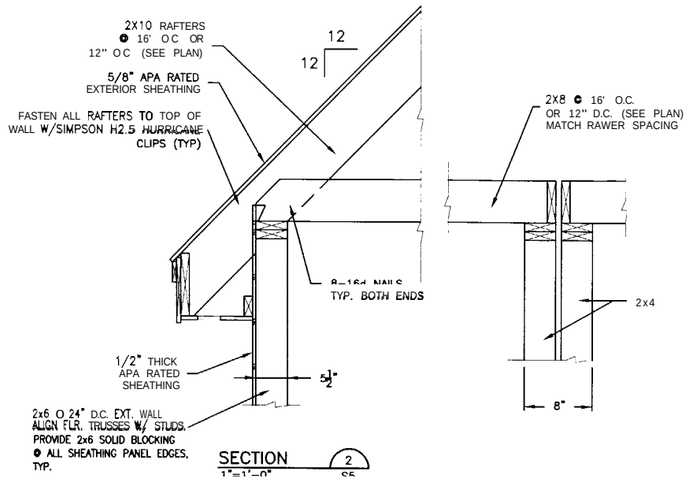
rev	date	description	appr'd

designed by JHL
drawn by JML
checked by JHL
scale
date 3-28-05
plot date -
project # 23035

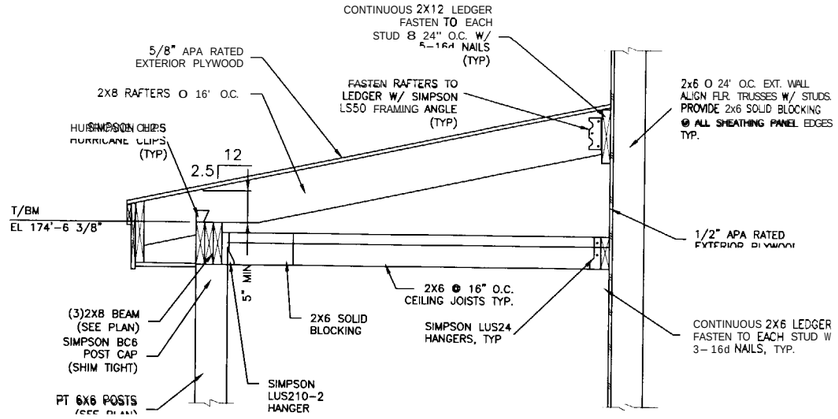
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF FRAMING PLAN
UNITS 33, 34 & 35



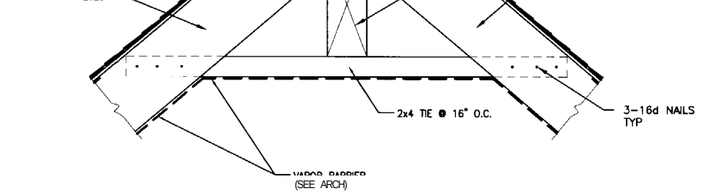
SECTION 1 — 1"=1'-0" — S6, S7



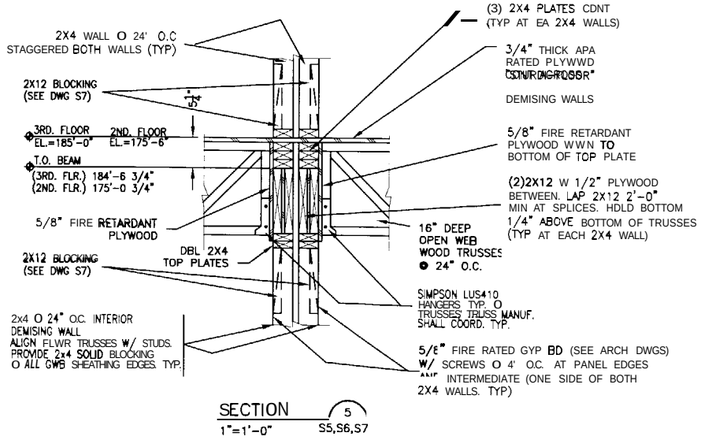
SECTION 2 — 1"=1'-0" — S5



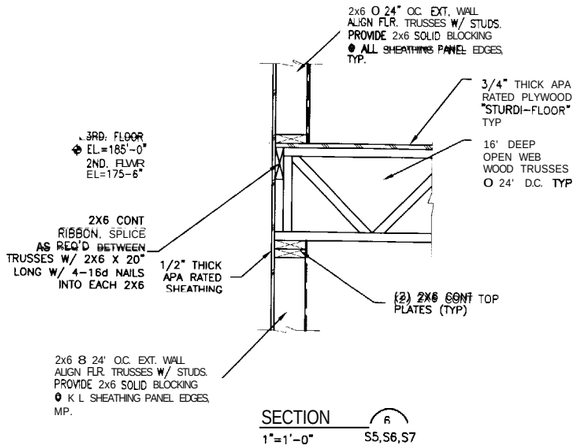
SECTION 3 — 1"=1'-0" — S7



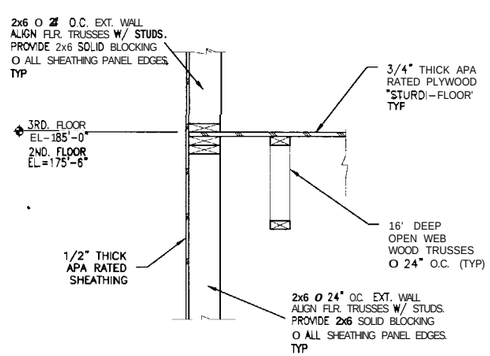
SECTION 4 — 1"=1'-0" — SJ



SECTION 5 — 1"=1'-0" — S5,S6,S7



SECTION 6 — 1"=1'-0" — S5,S6,S7



SECTION 7 — 1"=1'-0" — S5,S6,S7

L & L STRUCTURAL ENGINEERING SERVICES, INC.
SIX 9 STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
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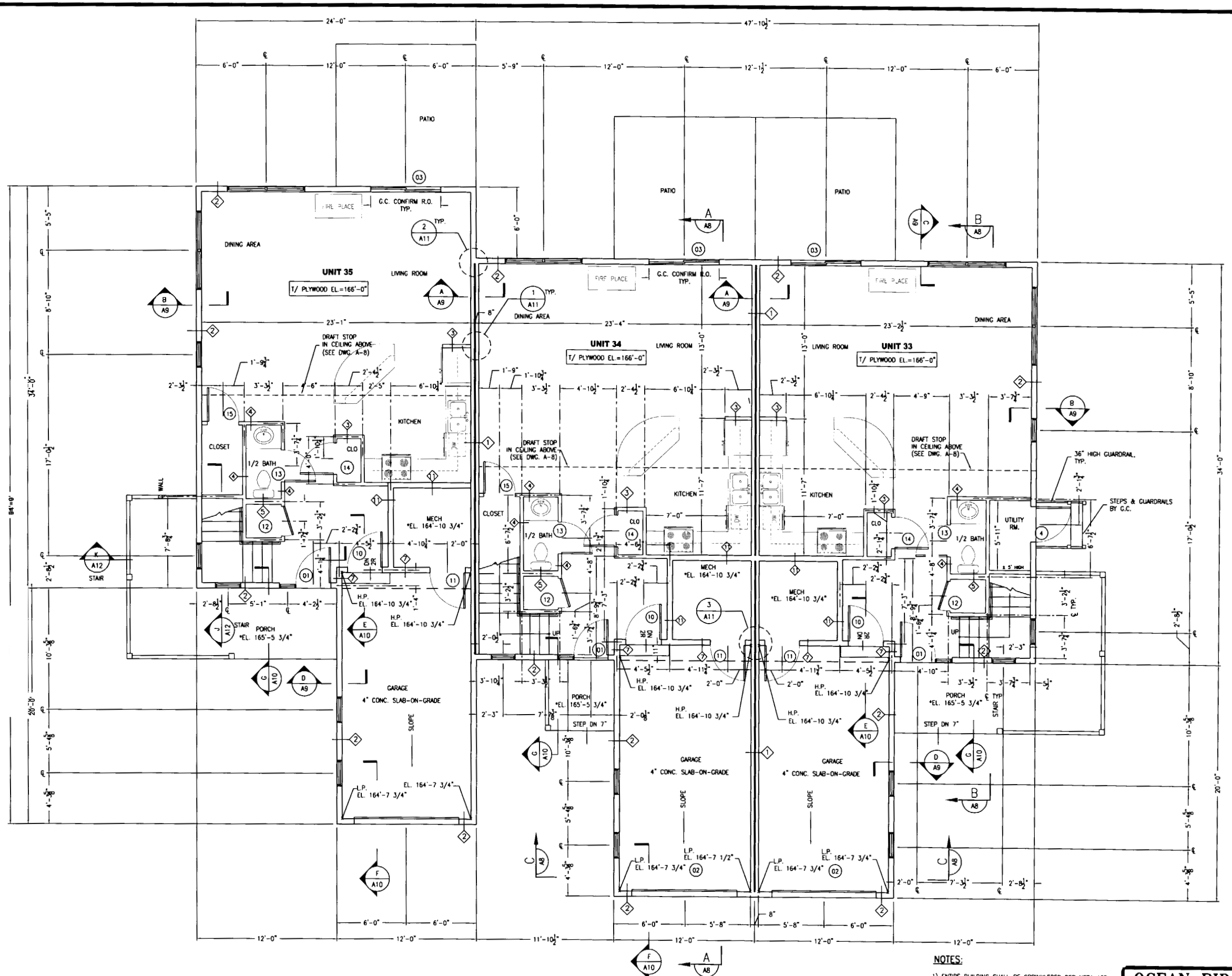
EMAIL: llengineering@verizon.net

designed by: JHL
drawn by: JHL
checked by: JHL
scale:
date: 3-28-05
plot date:

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FRAMING SECTIONS AND DETAILS
UNITS 33, 34 & 35

S8



FIRST FLOOR PLAN
1/4"=1'-0"

NOTES:

1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
2) FOR WALL TYPES, SEE DWG. A12.
3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.
4) KITCHEN EQUIPMENT & LAYOUT BY OTHERS

STATUS

REV.	DATE
	3-28-05

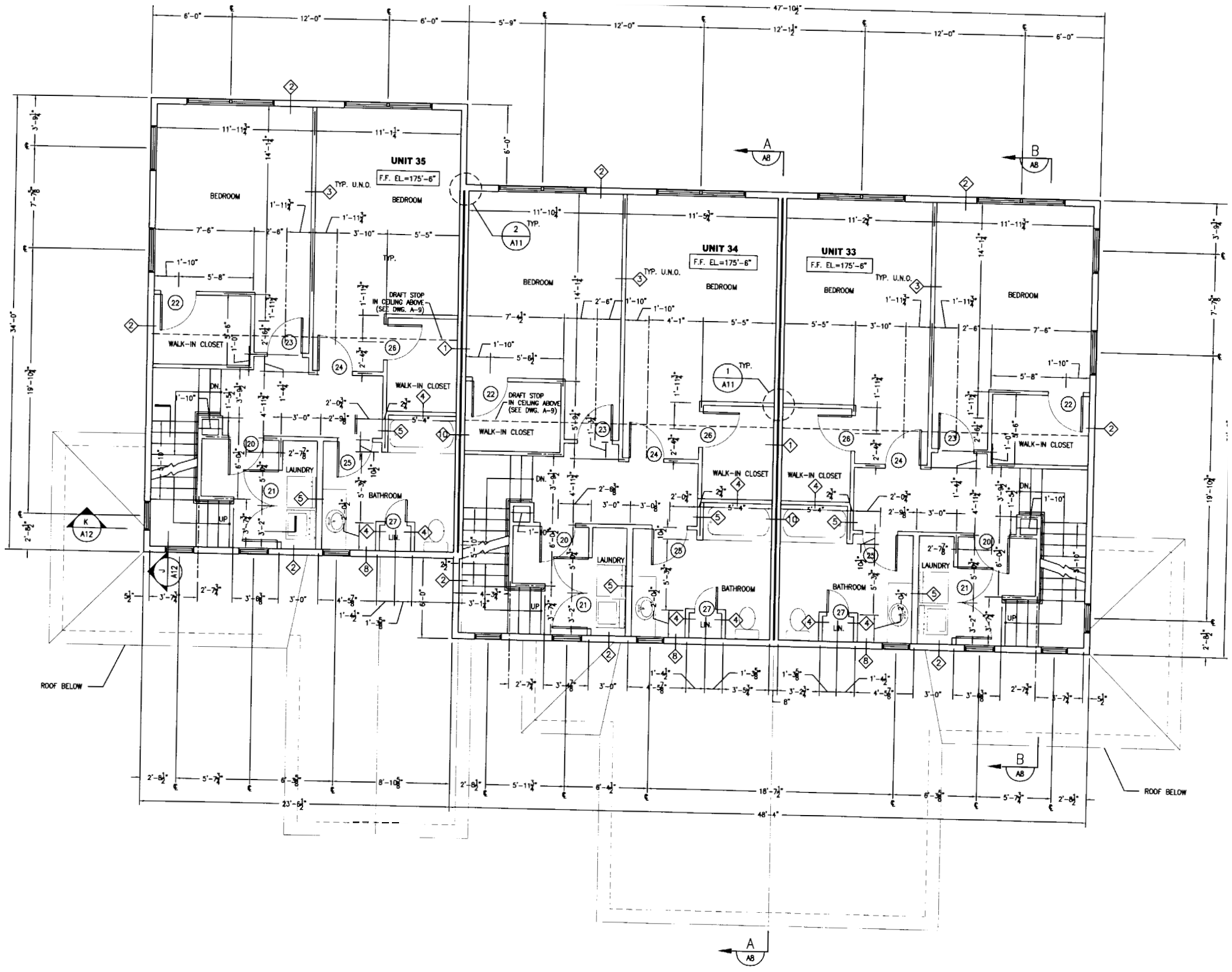
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS

852 OCEAN AVENUE
PORTLAND, MAINE

FIRST FLOOR PLAN
UNITS 33, 34 & 35

A1



SECOND FLOOR PLAN
1/4"=1'-0"

NOTES:

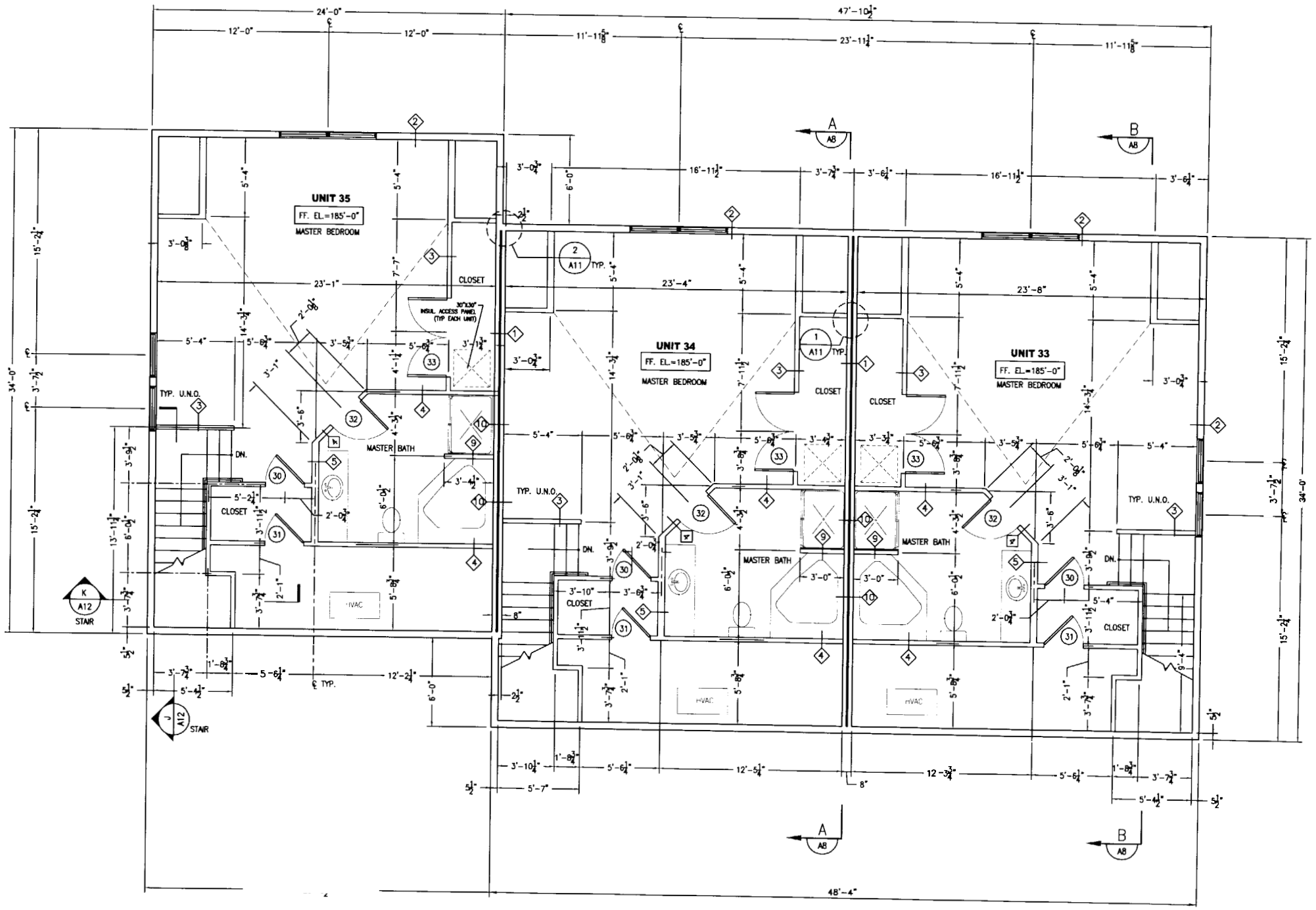
1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
2) FOR WALL TYPES, SEE DWG. A12.
3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

REV	DATE
STAUS	3-28-05

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR PLAN
UNITS 33, 34 & 35

A2



THIRD FLOOR PLAN
1/4"=1'-0"

PROJECT NORTH

REV.	DATE	STATUS
	3-28-05	

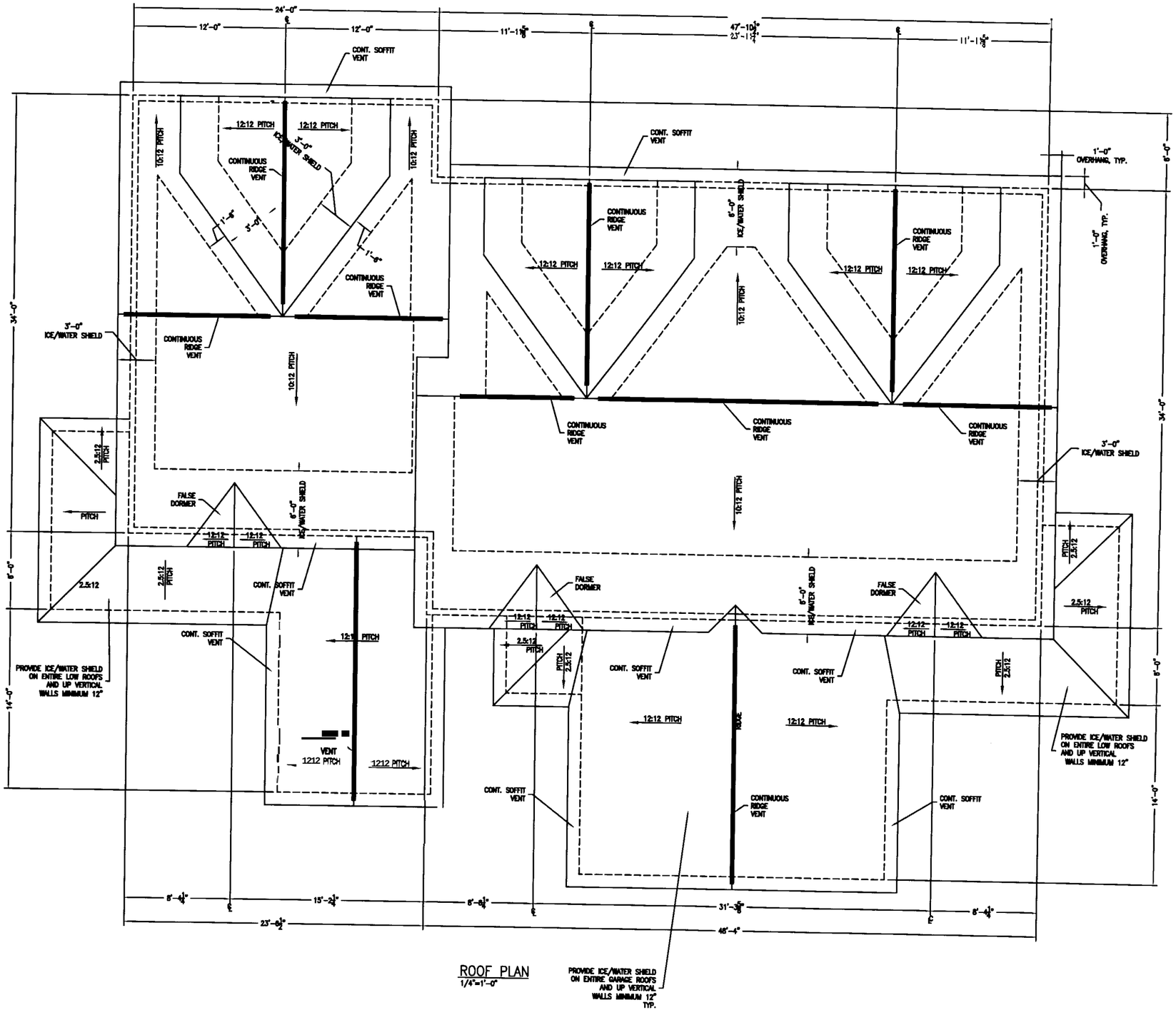
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

NOTES:

1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
2) FOR WALL TYPES, SEE DWG. A5.
3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
THIRD FLOOR PLAN
UNITS 33, 34 & 35

A3



ROOF PLAN
1/4"=1'-0"

PROVIDE ICE/WATER SHIELD ON ENTIRE GARAGE ROOFS AND UP VERTICAL WALLS MINIMUM 12" TYP.

PROJECT NORTH

REV	DATE
	5-29-06

STATUS

JOHN H. LEASURE ARCHITECT, INC.
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SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF PLAN
UNITS 33, 34 & 35

A4

EAST ELEVATION

1/4"=1'-0"

ATTIC MINIMUM VENTILATION REQUIREMENTS
(WITH VAPOR BARRIER AT CEILING)

MAIN ROOF EACH UNIT, TYP.	REQ'D. TOTAL FREE AREA	COMMENTS
RIDGE	1.4 SF.	
SOFFIT	1.4 SF.	
GARAGES		
RIDGE	.88 SF.	
SOFFIT	.88 SF.	
3RD. FLOOR DORMERS (EA.)		
RIDGE	0.32 SF.	(SEE A7)
SOFFIT	0.32 SF.	(SEE A7)

NOTE
1 IF GRAVITY VENTILATION IS INSUFFICIENT TO MEET MINIMUM REQMNTS OR NOT UNIFORMLY DISTRIBUTED, MEN MECHANICAL METHODS MUST BE USED TO PROVIDE MINIMUM REQUIREMENTS AS LISTED ABOVE. (COMULT MECHANICAL P.E. FOR PROPER DESIGN)
2 G.C. SHALL VERIFY RIDGE AND SOFFIT PRODUCTS AND PROVIDE ME MINIMUM CLEAR FREE AREA REQ'D AS SHOWN ABOVE. SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW & APPROVAL.

STATUS
REV. DATE
3-28-06

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
EAST ELEVATION
UNITS 33, 34 & 35

A5

WEST ELEVATION

1/4"=1'-0"

NOTE:

SEE DWG. A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.

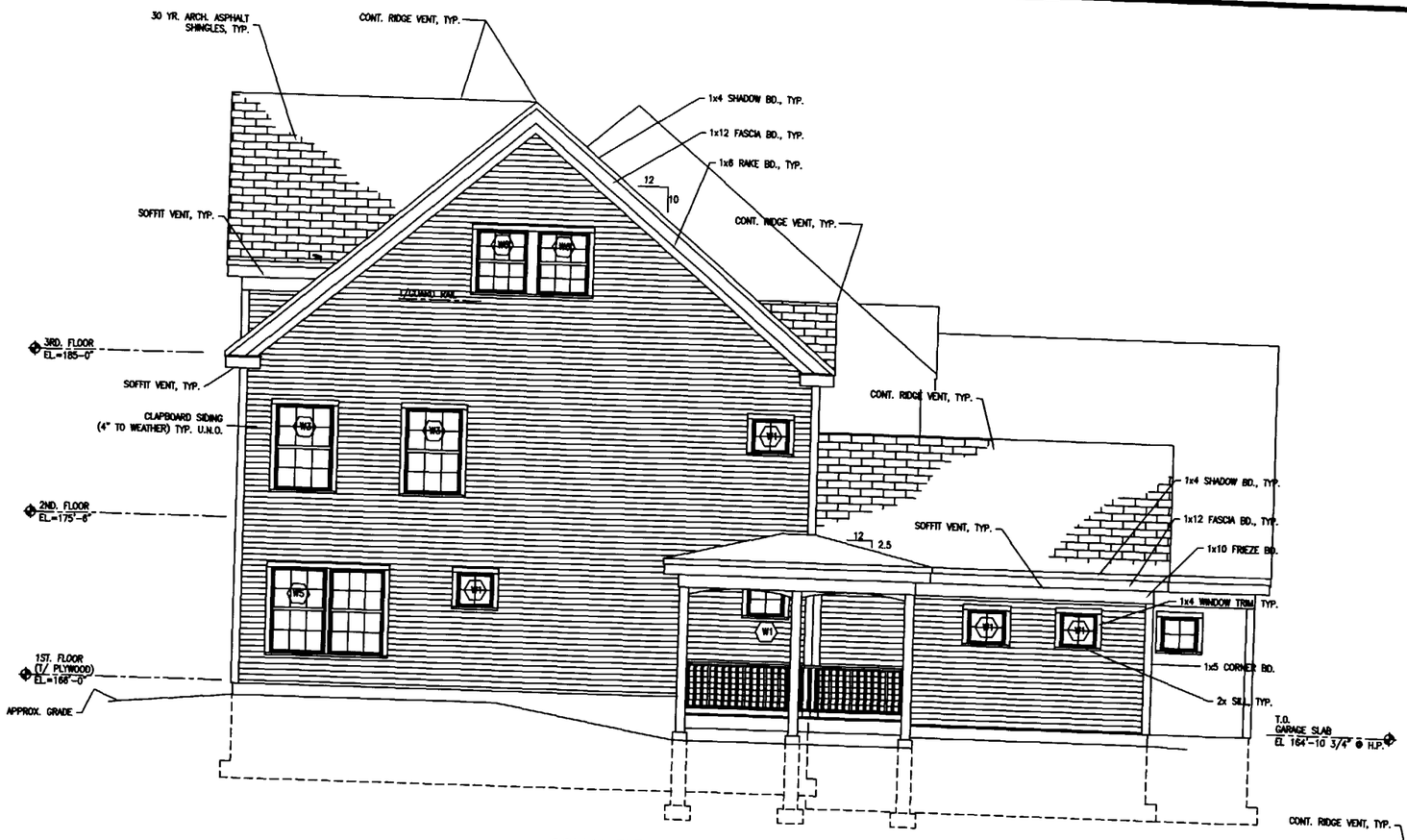
STATUS

REV. DATE
3-28-08

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
WEST ELEVATION
UNITS 33, 34 & 35

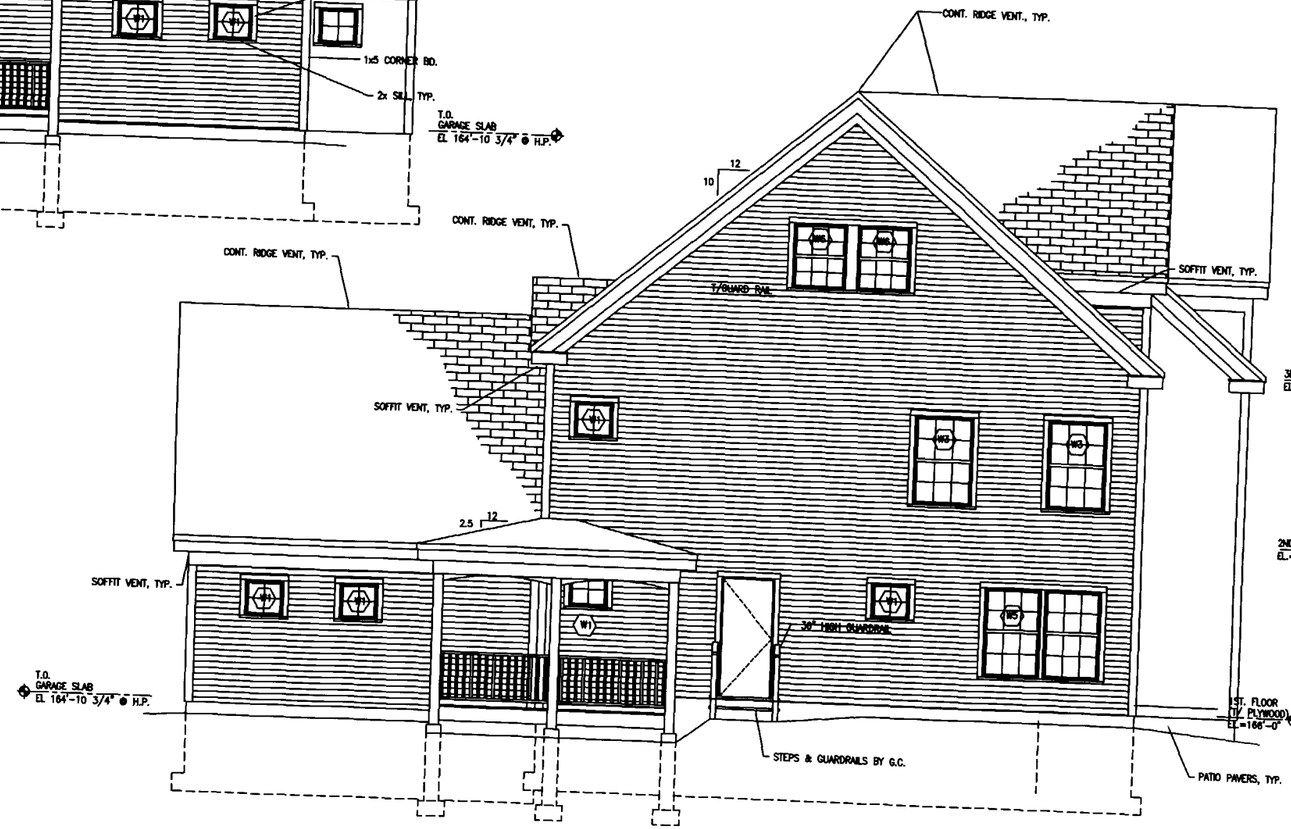
A6



SOUTH ELEVATION

1/4"=1'-0"

NOTE:
SEE DWG. A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.



NORTH ELEVATION

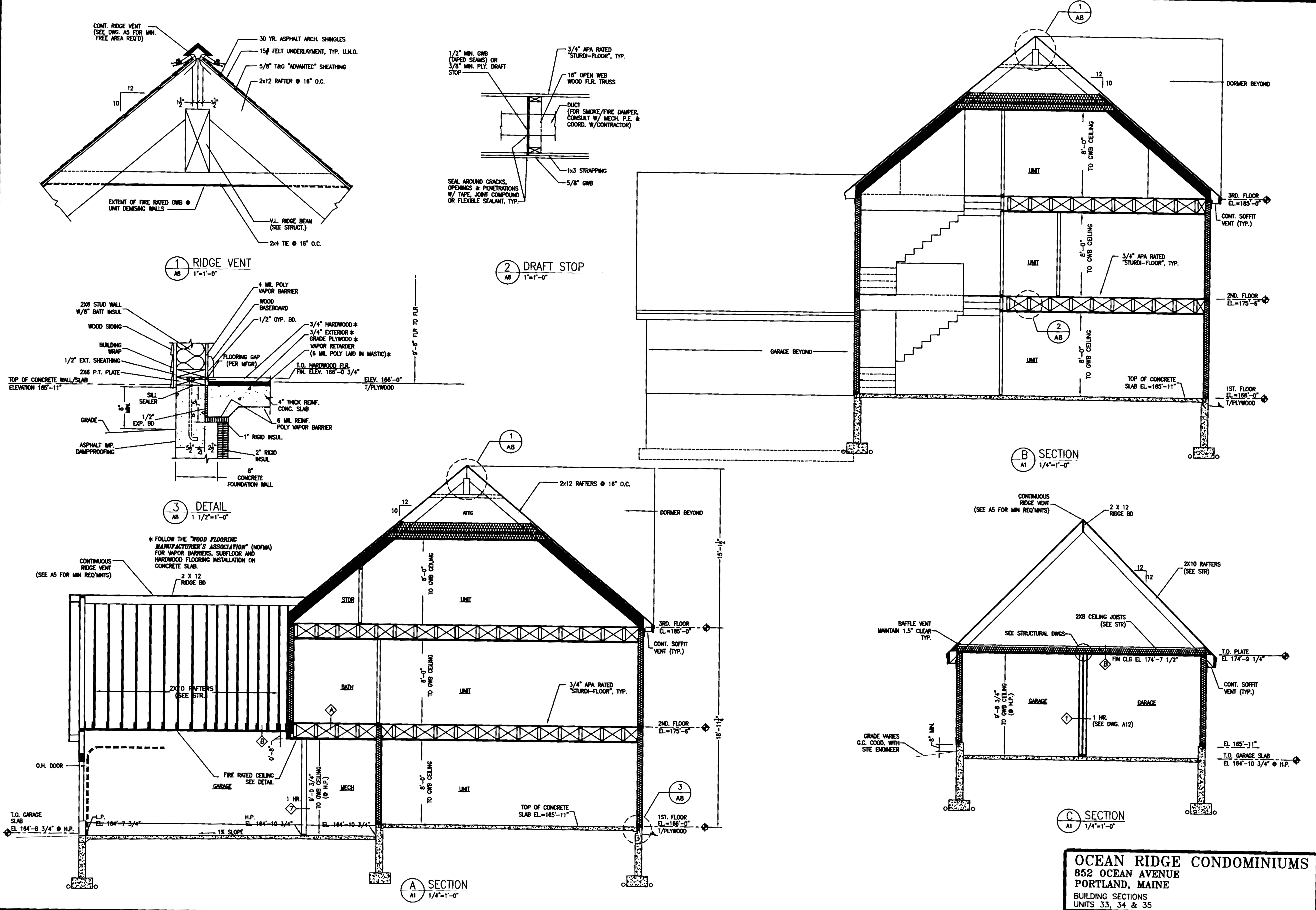
1/4"=1'-0"

STATUS
REV. DATE
3-28-05

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
NORTH & SOUTH ELEVATIONS
UNITS 33, 34 & 35

A7



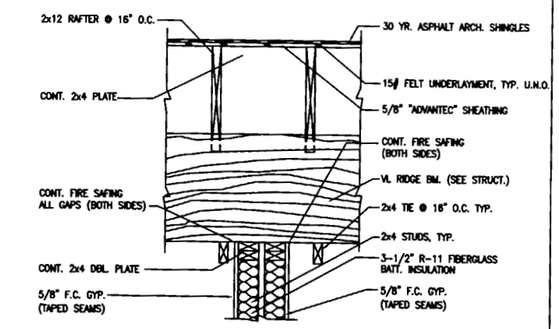
REV.	DATE	STATUS
	3-28-05	

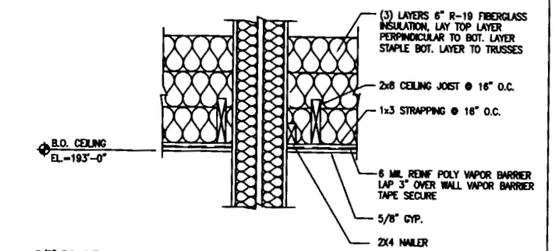
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

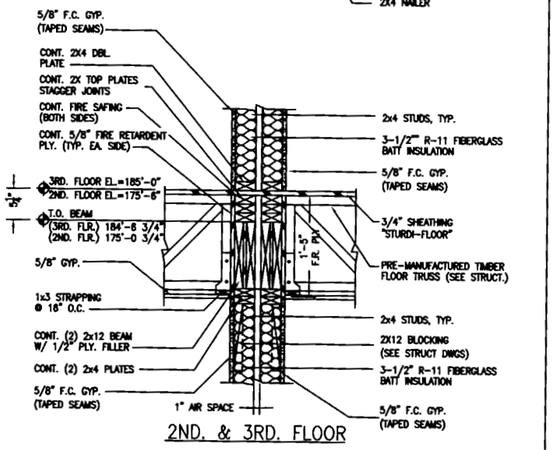
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE

BUILDING SECTIONS
UNITS 33, 34 & 35

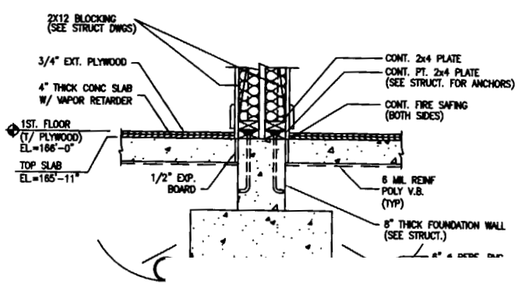
A8





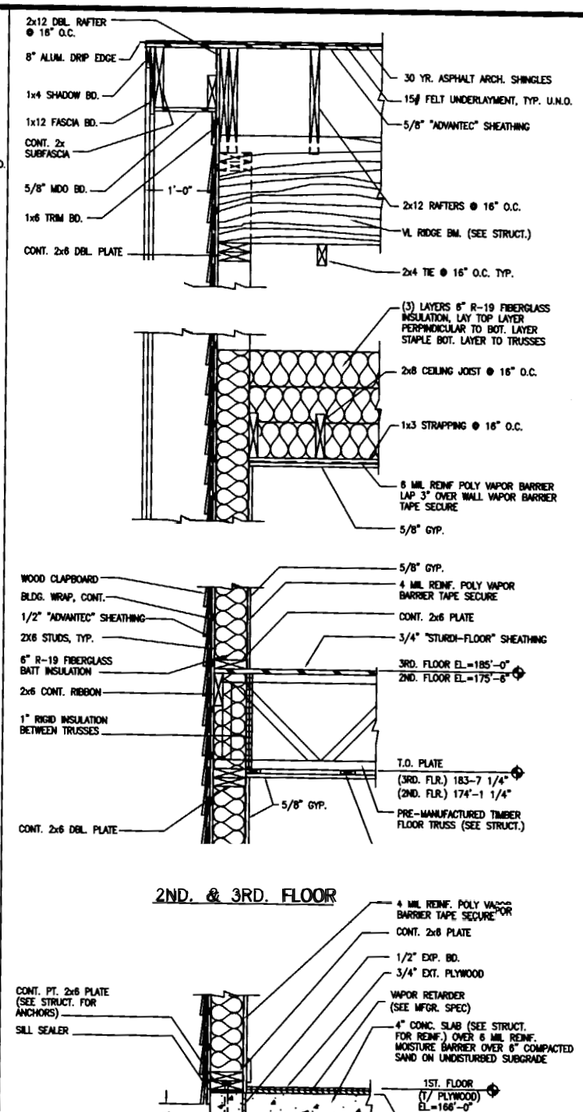


2ND. & 3RD. FLOOR

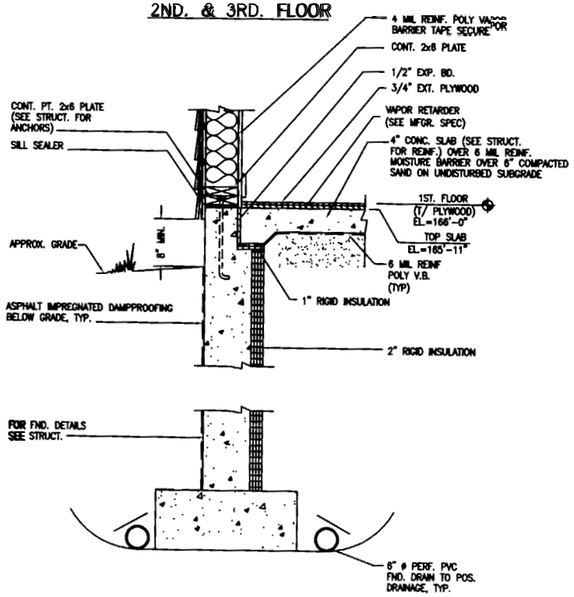


NOTE:
JOINT BETWEEN GWB & F.R. PLY. MUST BE TAPE SEALED, TYP.

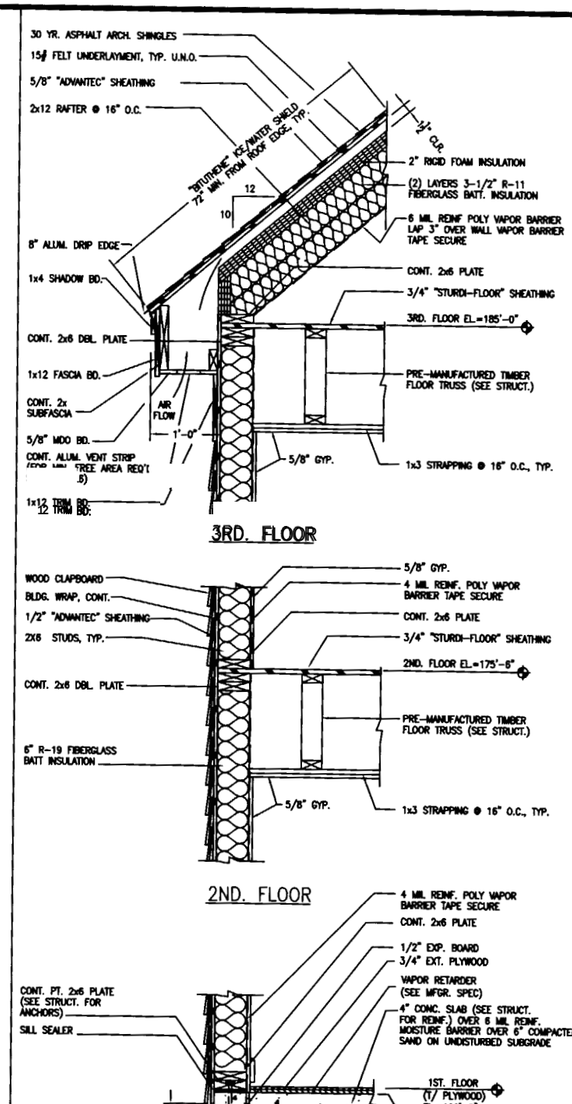
A A1 1 HR. FIRE RATED DEMISING WALL
1"=1'-0"
U.L. No. U305 (STC 50-55)



2ND. & 3RD. FLOOR

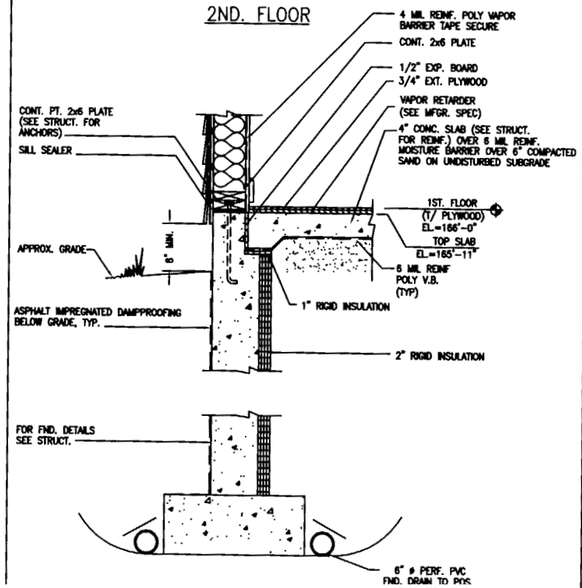


B A1 EXTERIOR GABLE END WALL
1"=1'-0"

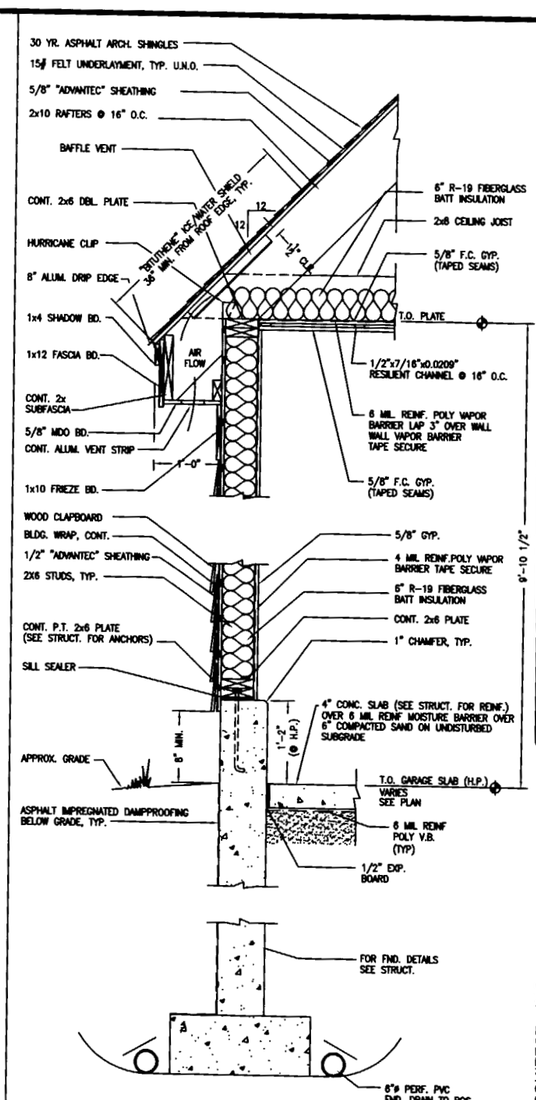


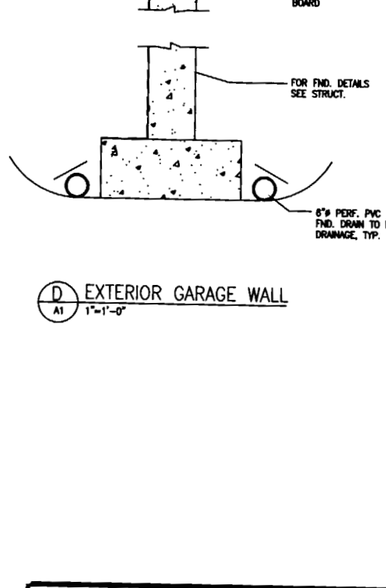
3RD. FLOOR

2ND. FLOOR



C A1 EXTERIOI EXTERIOR WALL
1"=1'-0"





D A1 EXTERIOR GARAGE WALL
1"=1'-0"

REV.	DATE
	3-28-05

STATUS

9'-10 1/2"

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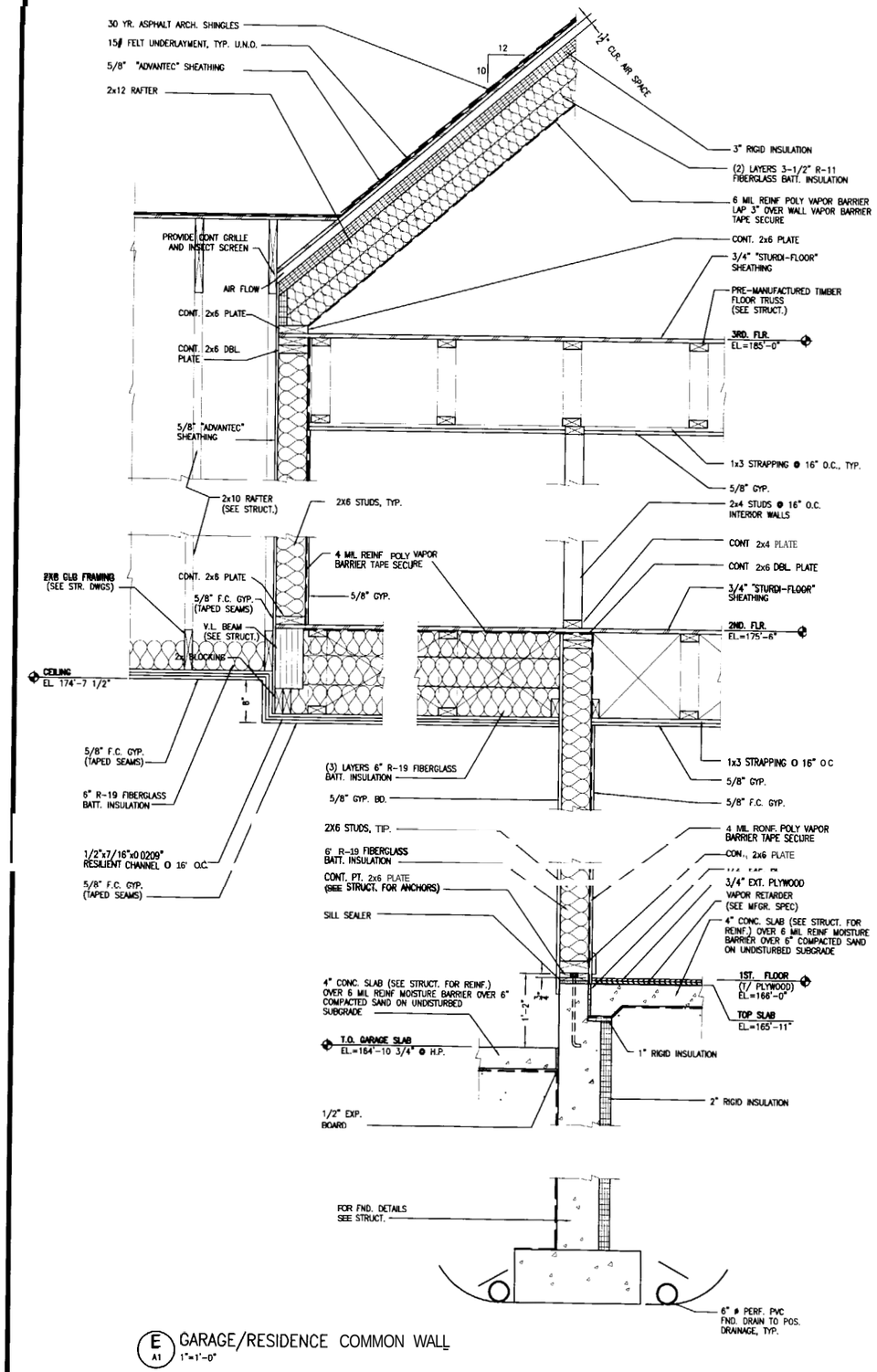
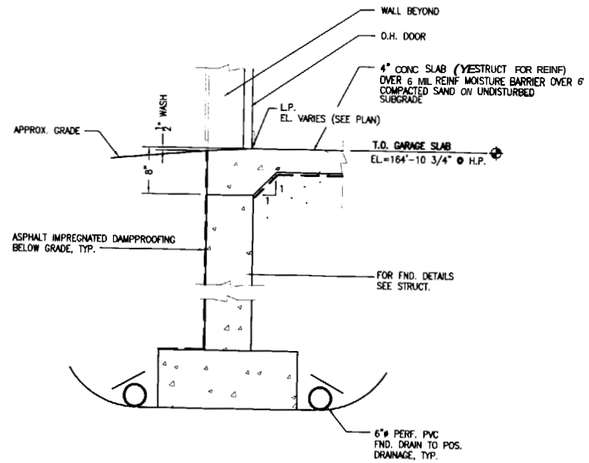
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECTIONS & DETAILS
UNITS 33, 34 & 35

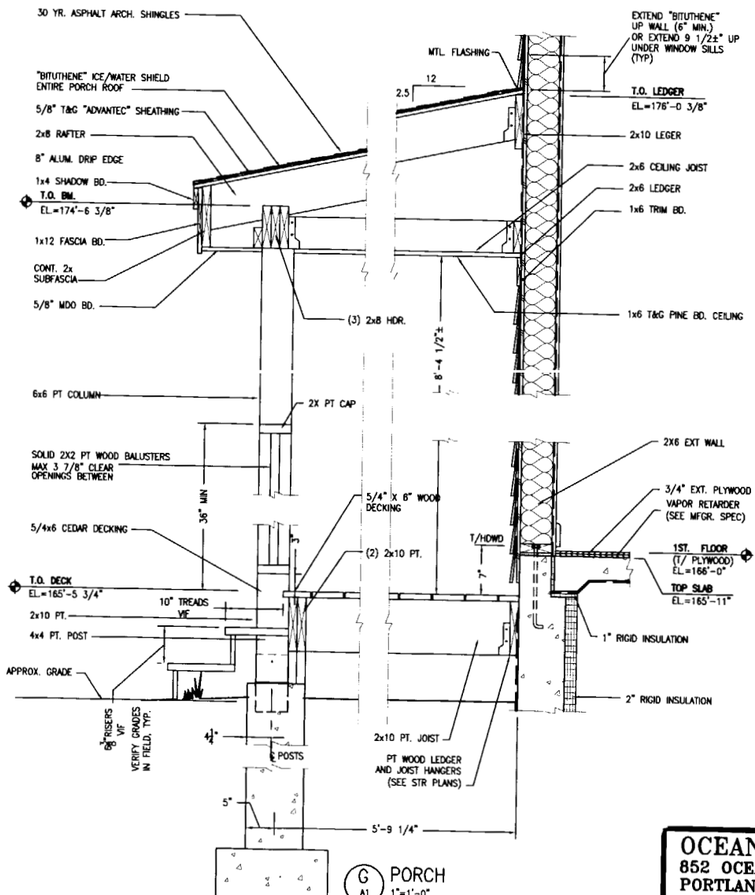
A9



E / A1 GARAGE/RESIDENCE COMMON WALL
1"=1'-0"



F / A1 THICKENED **SLAB** @ O.H. DOOR
1"=1'-0"



G / A1 PORCH
1"=1'-0"

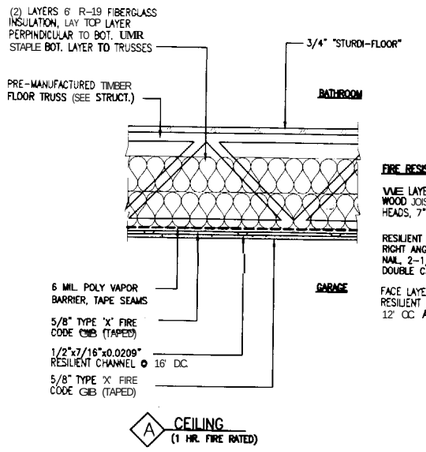
REV. DATE STATUS
3-28-06

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECTIONS & DETAILS
UNITS 33, 34 & 35

A10

CEILING TYPES



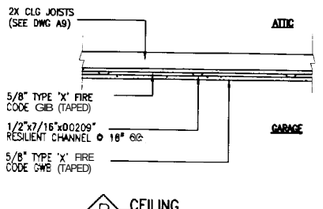
A CEILING (1 HR. FIRE RATED)

FIRE RESISTANT CEILING

ONE LAYER 5/8" TYPE 'X' *GIB* RPUED AT RIGHT ANGLES TO WOOD JOISTS WITH 6d NAILS 2-1/2" LONG. 0.113" SHANK, 19/64" HEADS, 7" O.C. ALL SEAMS TAPED.

RESILIENT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" OC ALL SEAMS TAPED.



B CEILING (1 HR. FIRE RATED)

FIRE RESISTANT CEILING

BASE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG. 0.113" SHANK, 19/64" HEADS, 7" O.C. ALL SEAMS TAPED.

RESILIENT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

GENERAL NOTES

1 - ALL CONTRACTORS SHALL VISIT SITE TO OBSERVE EXISTING CONDITIONS, AND VERIFY PROPOSED WITH NOTIFY ARCHITECT/ENGINEER OF ANY OR UNUSUAL CONDITIONS PRIOR TO WORK.

2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENETS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

3 - ALL WORK SHALL BE IN ACCORDANCE WITH ANSI, BOCA 1999,NEC NFPA 101, AND ALL LOCAL STATE& FEDERAL REQUIREMENTS

4 - ALL APPLICABLE FEDERAL STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS

6 - MECHANICAL, ELECTRICAL AND PLUMBING DESIGN & INSTALLATION BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STATE AND FEDERAL STANDARDS

7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MAXIMUM 7 3/4" RISER AND A MINIMUM 10" DEEP TREAD

8 - FINISHES SHALL BE DRYWALL, TAPED, ~~SANDED~~ AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS

9 - COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/G.C. PRIOR TO PROCEEDING WITH WORK

10 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION

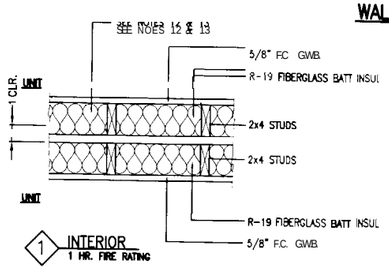
11 - FIRE DOOR ASSEMBLY INCLUDING THE DOORWAY, FRAME, DOOR AND NECESSARY HARDWARE SHALL CONFORM TO NFPA-101 SECTION 5-1.

12 - ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SLEEVED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE SAFING MATERIAL IF NEEDED.

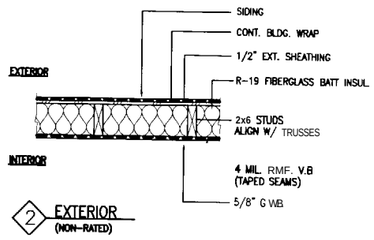
13 - VERTICAL CUTOUTS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED AT M.E MIDPOINT BETWEEN STUDS. NO CUTOUTS SHALL BE LOCATED BEHIND JOIST BEARINGS.

14 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR REUEW AND APPROVAL.

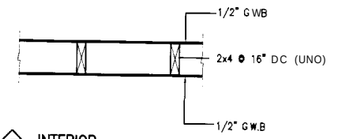
WALL TYPES



1 INTERIOR 1 HR. FIRE RATING



2 EXTERIOR (NON-RATED)



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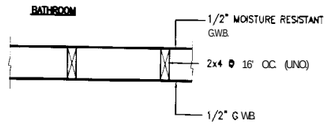

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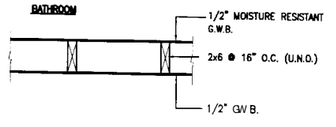

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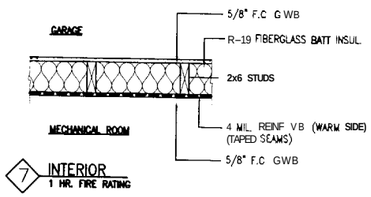
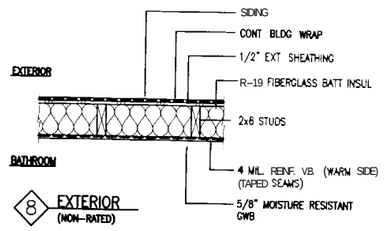


7 INTERIOR 1 HR. FIRE RATING



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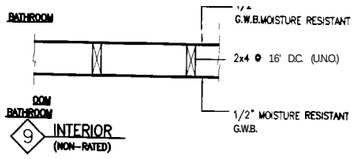

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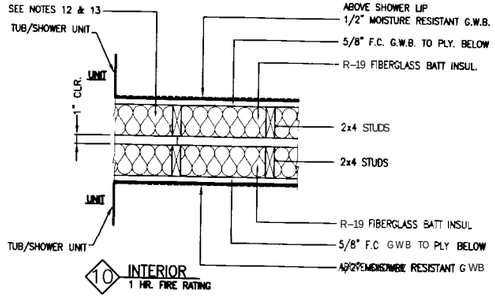
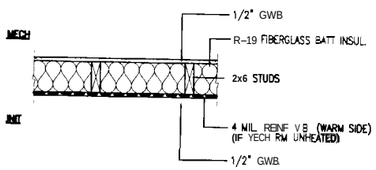
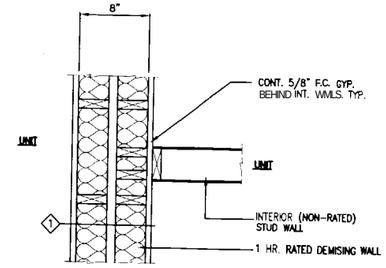
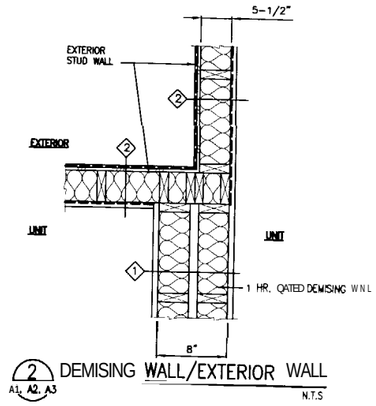


10 INTERIOR 1 HR. FIRE RATING

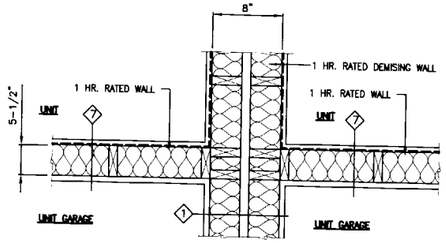




1 DEMISING WALL/INTERIOR WALL
A1, A2, A3 N.T.S



2 DEMISING WALL/EXTERIOR WALL
A1, A2, A3 N.T.S



3 GARAGE/UNIT DEMISING WALL
A1 N.T.S

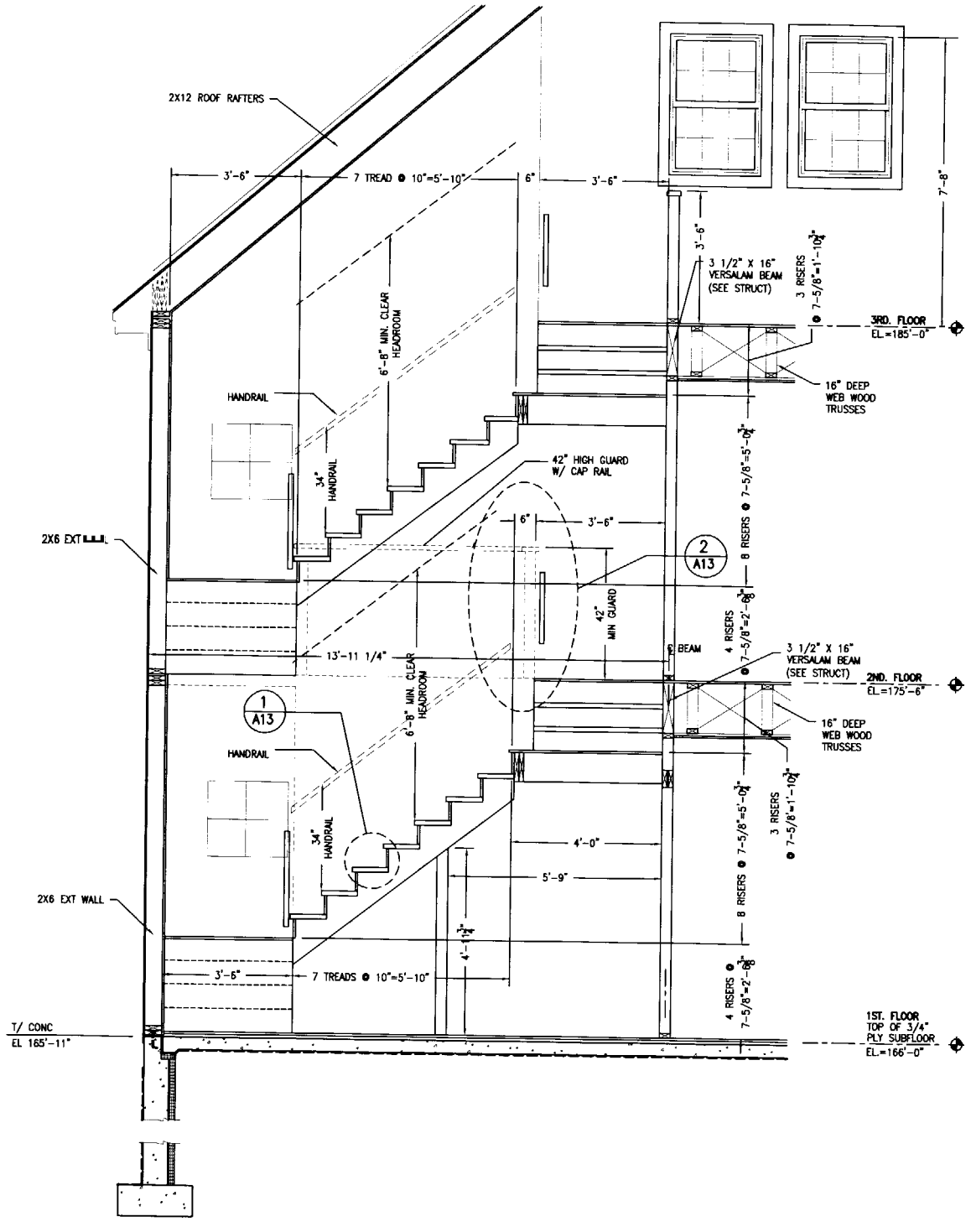
STATUS

REV.	DATE
	1-28-05

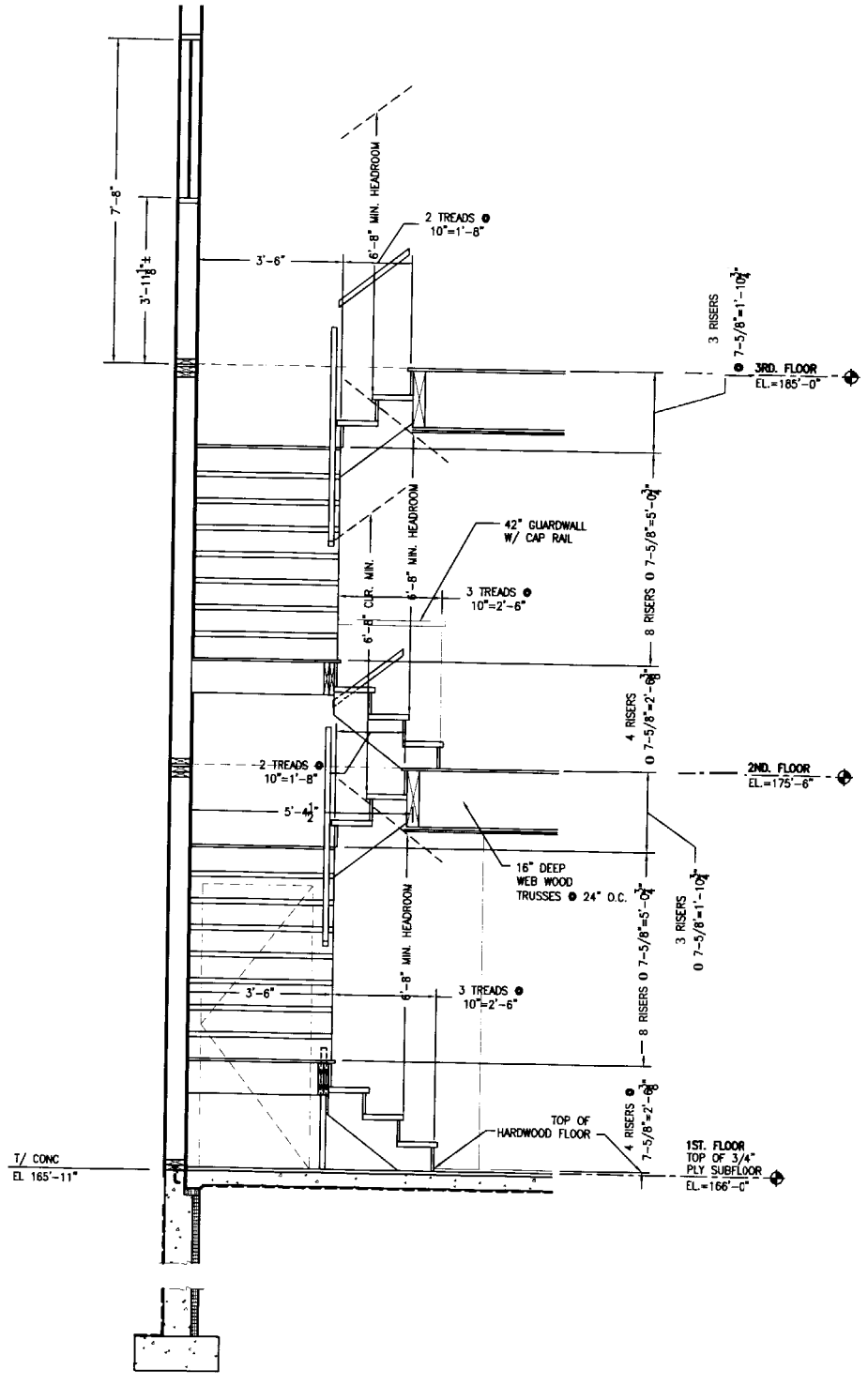
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
WALL TYPES & DETAILS
UNITS 33, 34 & 35

A11



J A1,2&3 SECTION 1/2"=1'-0"



K A1,2&3 SECTION 1/2"=1'-0"

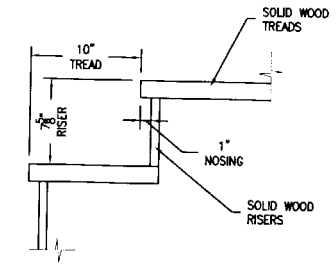
NOTE:

BEGIN STAIR RISER DIMENSIONS FROM FINISHED HARDWOOD FLOORS.

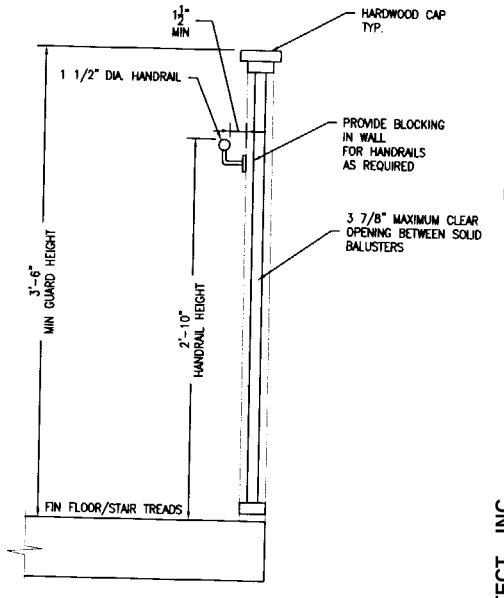
NOTES

1) NOSING SHALL BE MINIMUM 3/4", MAXIMUM 1 1/4"

2) VARIATIONS SHALL NOT EXCEED 3/16" IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS.



1 A12 DETAIL 1 1/2"=1'-0"



2 A12 DETAIL 1"=1'-0"

REV.	DATE
	3-28-05

STATUS

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
STAIR SECTIONS & DETAILS
UNITS 33, 34 & 35

A12

DOOR SCHEDULE

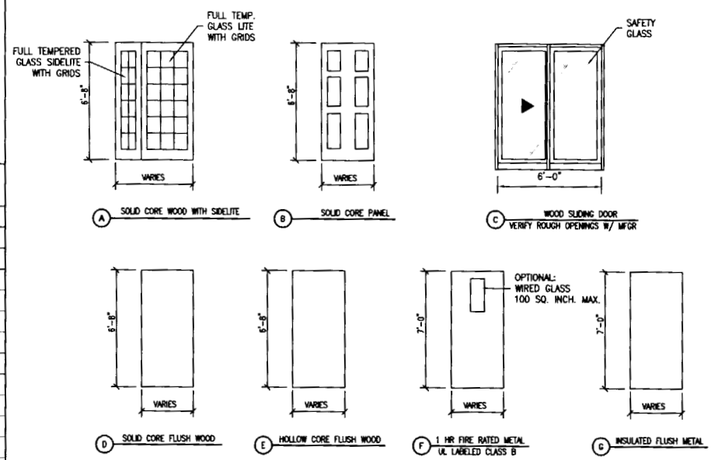
DOOR SCHEDULE ABBREVIATIONS

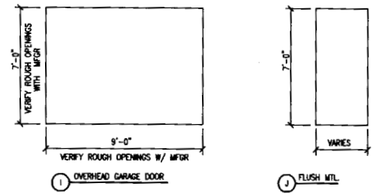
CLO.	CLOSER	HDWE	HARDWARE	S.	STEEL
D.C.	DOOR CHAIN	HM	HOLLOW METAL	S.C.	SOLID CORE HARDBOARD
D.K.	DOOR KNOCKER	INS	INSULATED	S.H.	SPRING HINGE
D.S.	DOOR SWEEP	K	KICKPLATE (PUSH SIDE)	S.J.	SPLIT JAMB (WOOD)
EHO	ELECTRO. HOLD OPENER	KL	KEY LOCK	TEMP	TEMPERED
ES	ELECTRIC STRIKE	MTL.	METAL	THK	THICKNESS
F.J.P.	FINGER JOINTED PRIMED	NO	NUMBER	WD	WOOD (SOLID)
FR	FIRE RATED	P.H.	PANIC HARDWARE	WG	WIRE GLASS
HA	HANDICAP ACCESSIBLE	P.P.	PUSH/PULL	V	VIEWER
HC	HOLLOW CORE HARDBOARD	P.	PULL		
		P.R.S.	PRIVACY SET		
		P.S.	PASSAGE SET		

DOORS										FRAME TYPES					THRESHOLD		
NO.	TYPE	SIZE	THK.	F.R.	HDWE SET	MAT.	GLASS SIZE	GLASS TYPE	REMARKS	TYPE	MAT.	F.R.	DETAILS HEAD	DETAILS JAMB	MAT.	DETAIL SILL	DETAIL HT.
EXTERIOR																	
01	A	3'-0"x 6'-8"	1 3/8"		KNOB	WOOD	-	-	INS, KL, TEMP, DS	BB	WOOD	-	-	C	ALUM	-	-
02	I	9'-0"x 7'-0"			MFGR	INSUL			INSUL O.H. GARAGE DOOR	DD	WOOD	-	-	C	WOOD	-	-
03	C	6'-0"x 6'-8"			MFGR				INS, TEMP	BB	WOOD			C	ALUM		
04	G	3'-0"x 6'-8"	1 3/8"		PULL	18GA MTL	-	-	INS, KL, DC	AA	MTL	-	-	C	ALUM	-	-
FIRST FLOOR																	
10	F	3'-0"x 6'-8"	1 3/4"	1 HR.	KNOB	18GA MTL	-	-	INS, CLO, DS	CC	MTL	-	-	D		-	-
11	F	3'-0"x 6'-8"	1 3/4"	1 HR.	KNOB	18GA MTL	-	-	INS, SH, LOCKSET, DS	CC	MTL	-	-	D		-	-
12	B	2'-6"x 6'-8"	1 3/8"		KNOB	WD	-	-	P.S.	BB	WD	-	-	C	WOOD	-	-
13	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD	-	-	P.R.S.	BB	WD	-	-	C	WOOD	-	-
14	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD	-	-	P.S.	BB	WD	-	-	C	WOOD	-	-
15	B	2'-8"x 6'-8"	1 3/4"		KNOB		-	-	SH, DS, PS	BB	WD		-	C	WOOD	-	-
SECOND FLOOR																	
20	B	PR 2'-8"x 6'-8"	1 3/8"		KNOB	WD			P.R.S.	BB	WD			C	WOOD		
21	B	PR 2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
22	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
23	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
24	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
25	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
26	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
27	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
THIRD FLOOR																	
30	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			LOCKSET	BB	WD			C	WOOD		
31	B	2'-8"x 4'-0"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
32	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
33	B	PR 2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		

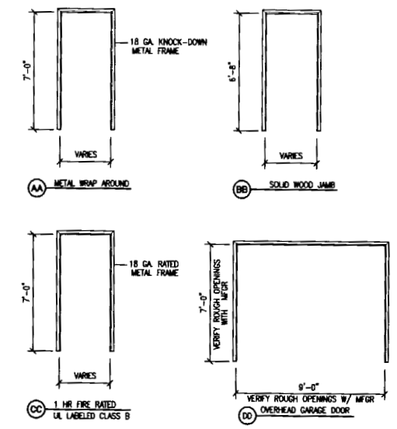
NOTES
1) - WINDOW A ... BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

DOOR TYPES

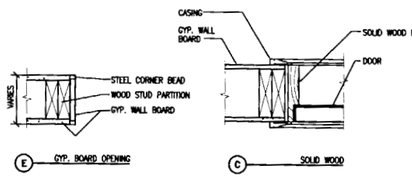


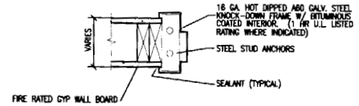


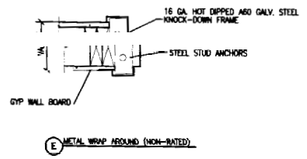
FRAME TYPES



JAMB TYPES





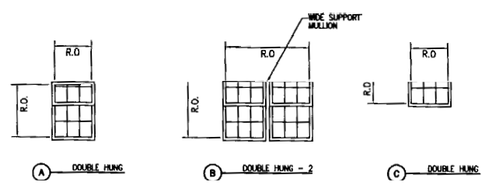


WINDOW SCHEDULE

TYPE	MANUF	CAT NO	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS HEAD	DETAILS JAMB
C	"HANCOCK"	PT[illegible]	N/A	2'-2" x 2'-0"	HANCOCK LUMBER MNDOW TYPE		
E	HANCOCK	-	N/A	2'-2" x 2'-0"	HANCOCK LUMBER MNDOW TYPE AWING		
A	'HANCOCK'	PDH2850*	N/A	2'-4" x 5'-0"	HANCOCK LUMBER MNDOW TYPE		
A	'HANCOCK'	PDH4060*		3'-4" x 5'-0"	HANCOCK LUMBER MNDOW TYPE *EGRESS MNDOW		
B	'HANCOCK'	PDH4050-2*	N/A	6'-7-1/2" X 5'-0"	HANCOCK LUMBER MNOOW TYPE **EGRESS MNDOW		
A	"HANCOCK"	PDH3644*	N/A	3'-0" x 3'-8"	HANCOCK LUMBER MNDOW TYPE HEM HGT @ 7'-8" AFF		

OTE 1
H BEDROOM OR SLEEPING AREA SHALL H A M AN
ESS MNDOW MIN 20" IN MDTH, 24" IN HEIGHT
ILL NOT MORE THAN 44" ABOVE FINISHED FLOOR
I A MINIMUM 5.7 SQ FT CLEAR OPENING
IMUM ONE EACH BEDROOM)

WINDOWS



NOTES
PROVIDE TEMPERED SAFETY GLASS IN ALL STAIR WINDOWS WITHIN 24" OF DOORS AND LESS THAN 18" ABOM FINISHED FLOOR NEXT TO A WALKING SURFACE.

STATUS
REV. DATE 3-28-05

JHN H. LEASURE ARCHITECT, INC.
62 STREET
SUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE

DOOR AND WINDOW SCHEDULE
UNITS 33, 34 & 35

A13