

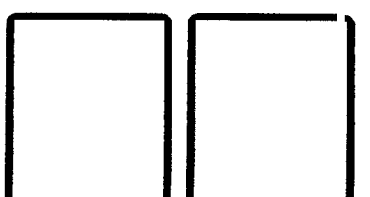
THIRD FLOOR PLAN  
1/4"=1'-0"

- NOTES:
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
  - 2) FOR WALL TYPES, SEE DWG. A6
  - 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

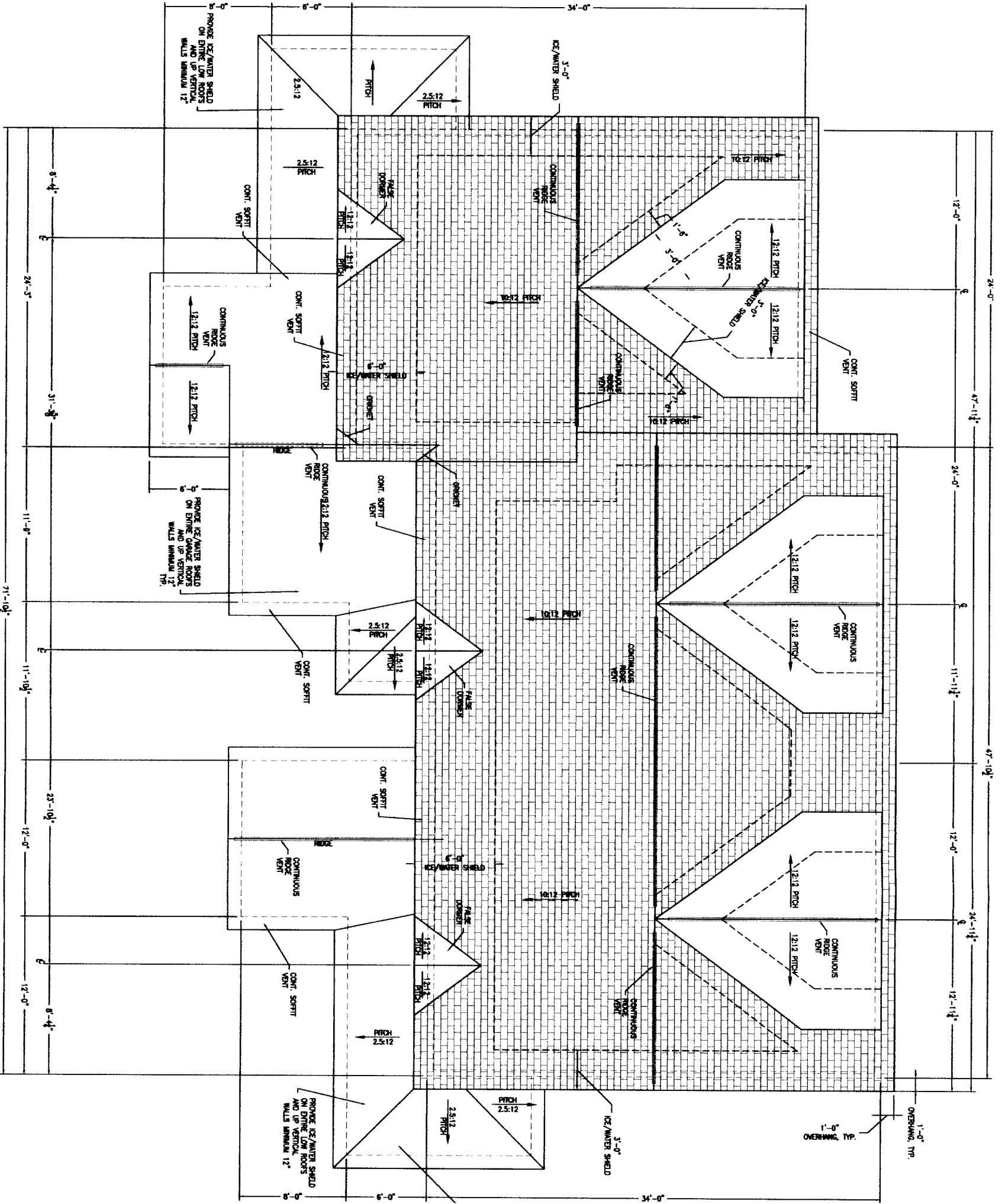
OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
THIRD FLOOR PLAN  
UNITS 44, 45 & 46

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
	10-05-04	



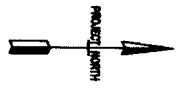
**A4**



ROOF PLAN  
1/4"=1'-0"

PROVIDE ICE/WATER SHIELD ON ENTIRE ROOFS AND UP VERTICAL WALLS MINIMUM 12" TYP.

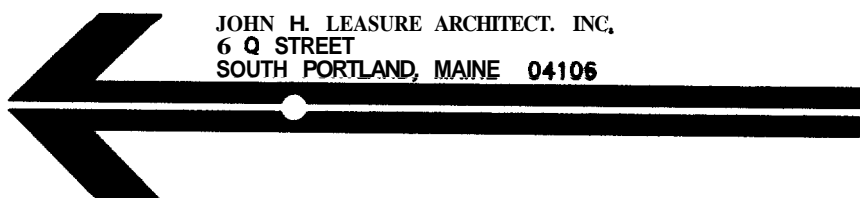
- NOTES:
- 1) ENTIRE BUILDING SHALL BE SPRINKLED PER NFPA 13R
  - 2) SEE AS FOR MINIMUM ATIC VENTILATION REQUIREMENTS.

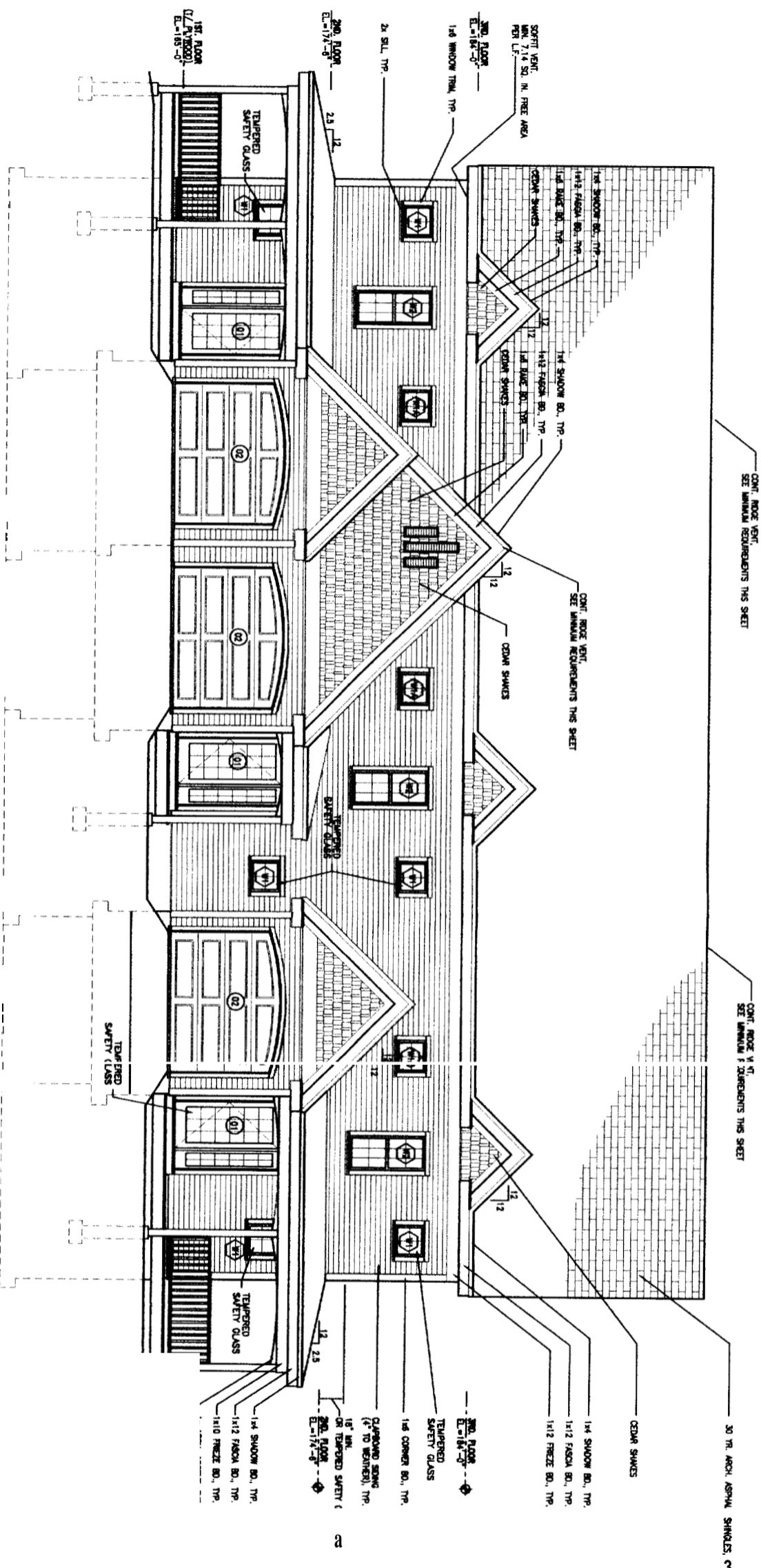


REV.	DATE	STATUS
10-05-0		

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
ROOF PLAN  
UNITS 44, 45 & 46





SOUTH ELEVATION  
1/4" = 1'-0"

**ATTIC MINIMUM VENTILATION REQUIREMENTS**  
(WITH VAPOR BARRIER IN CEILING)

MIN VENT. AREA, TYP.	REQ'D. TOTAL FREE AREA	COMMENTS
ROOF	1.38 SF.	
SOFTT	1.38 SF.	
OVERHEAD		
ROOF	.80 SF.	
SOFTT	.80 SF.	
3RD FLOOR DOMAINS (DA)	0.32 SF.	(SEE A7)
ROOF	0.32 SF.	(SEE A7)
SOFTT	0.32 SF.	(SEE A7)

NOTE:  
1. IF GARAGE VENTILATION IS INSUFFICIENT TO MEET MINIMUM REQUIREMENTS OR NOT UNFORMALLY DISTRIBUTED, THEN MECHANICAL METHODS MUST BE USED TO PROVIDE MINIMUM REQUIREMENTS AS LISTED ABOVE. (CONSULT MECHANICAL P.E. FOR PROPER DESIGN)  
2. O.C. SHALL VERIFY ROOF AND SOFTT PRODUCTS AND PROVIDE THE MINIMUM CLEAR FREE AREA REQ'D AS SHOWN ABOVE. SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW & APPROVAL.

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
SOUTH ELEVATION  
UNITS 44, 45 & 46

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
10	05-01	

**A6**



NORTH ELEVATION

1/4"=1'-0"

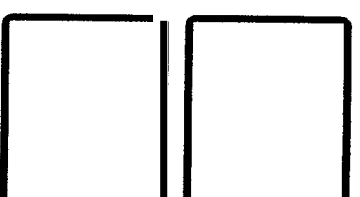
NOTE:  
SEE DWG. 02 FOR VENTILATION DATA & NOTES.

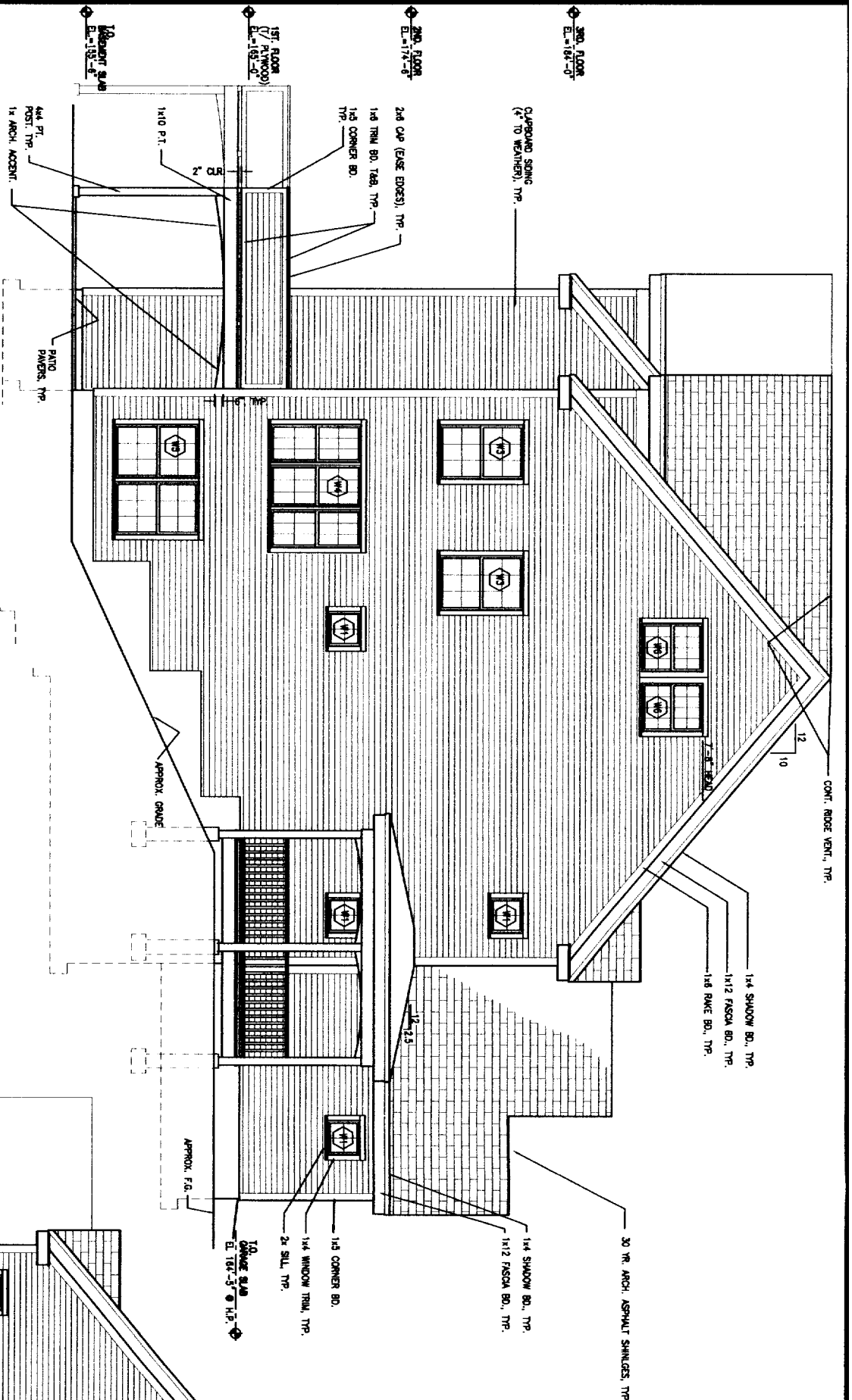
OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
NORTH ELEVATION  
LIMITS AS SHOWN

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

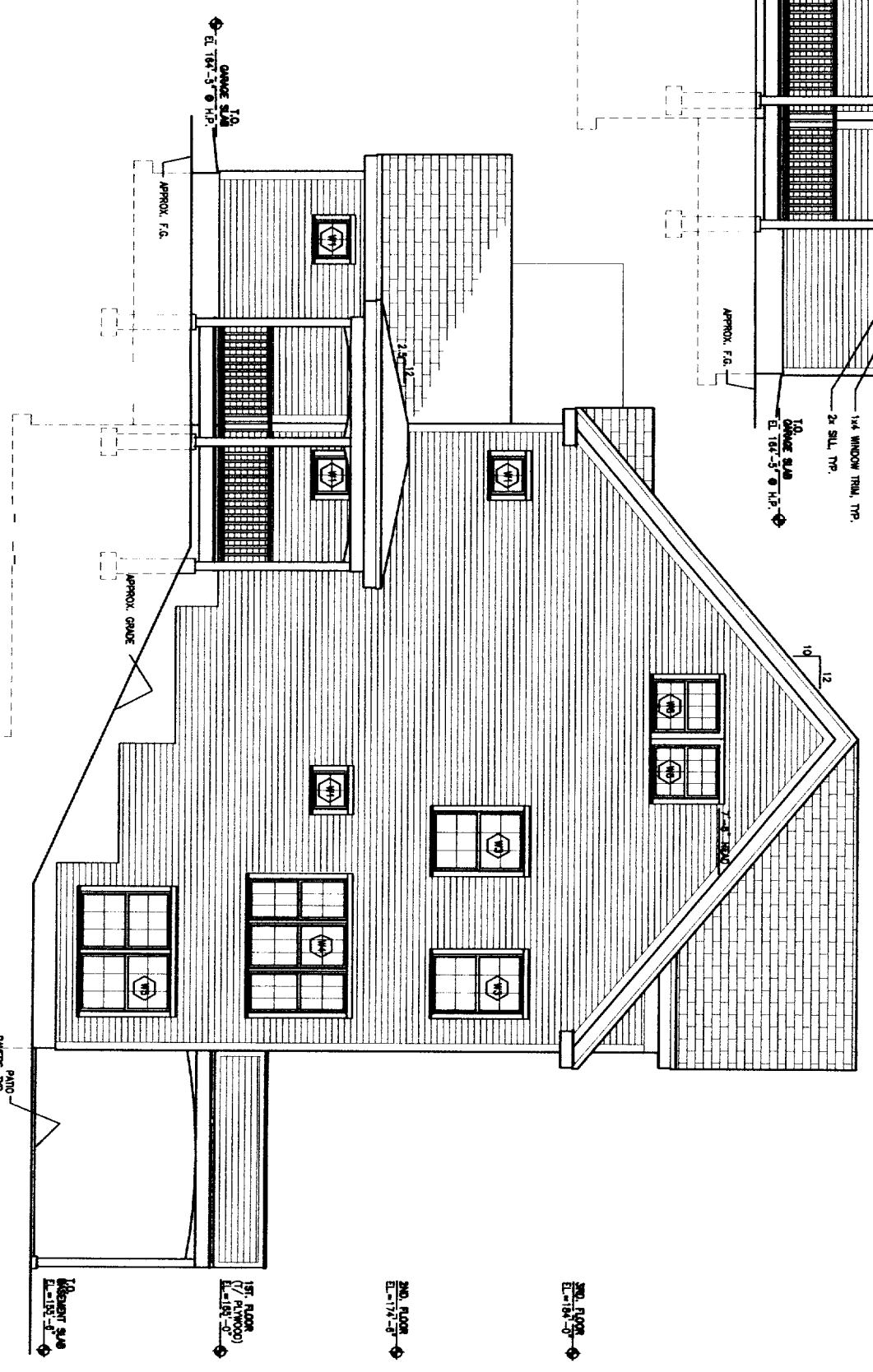
A7

REV.	DATE	STATUS
1	10/5/04	





WEST ELEVATION  
1/4"=1'-0"



EAST ELEVATION  
1/4"=1'-0"

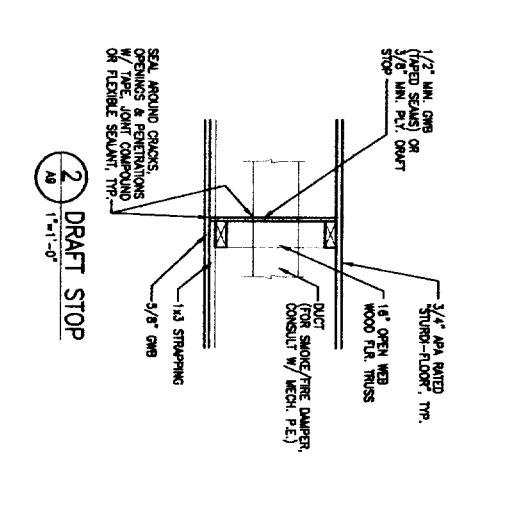
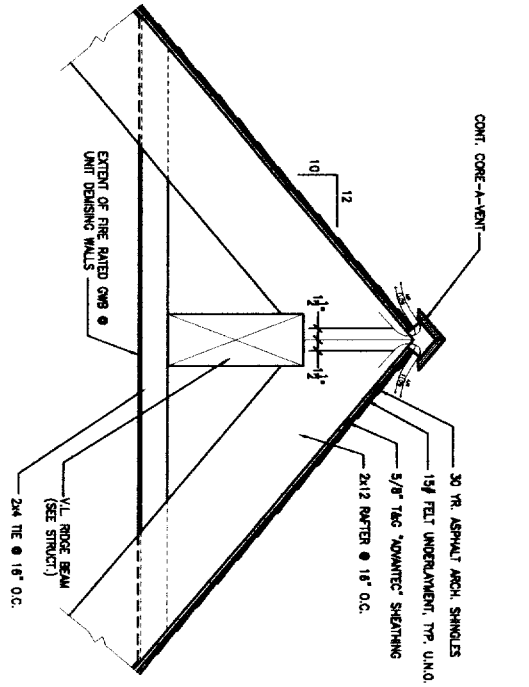
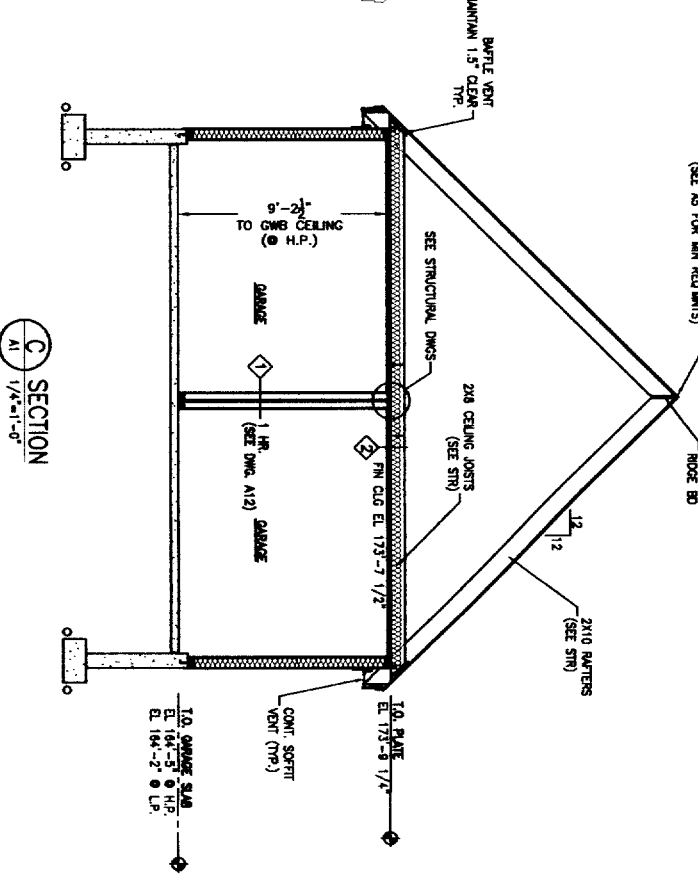
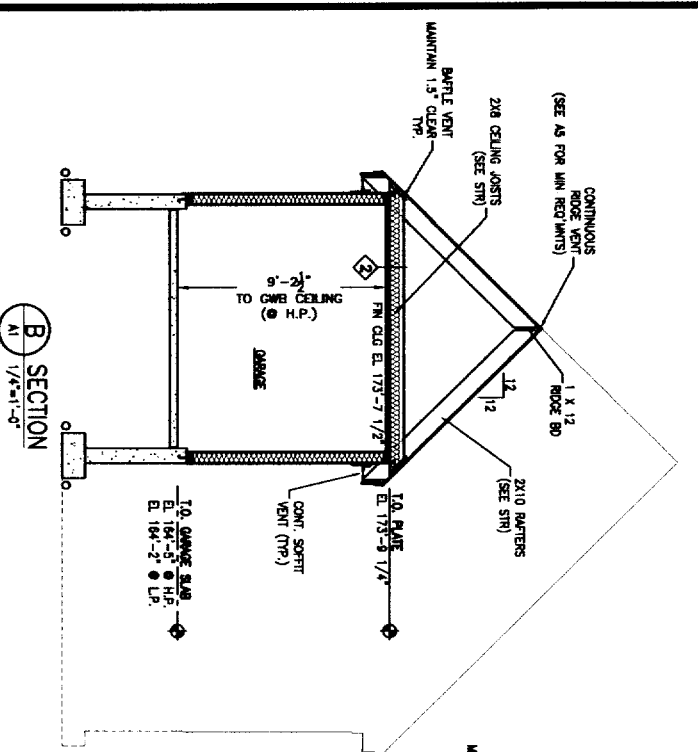
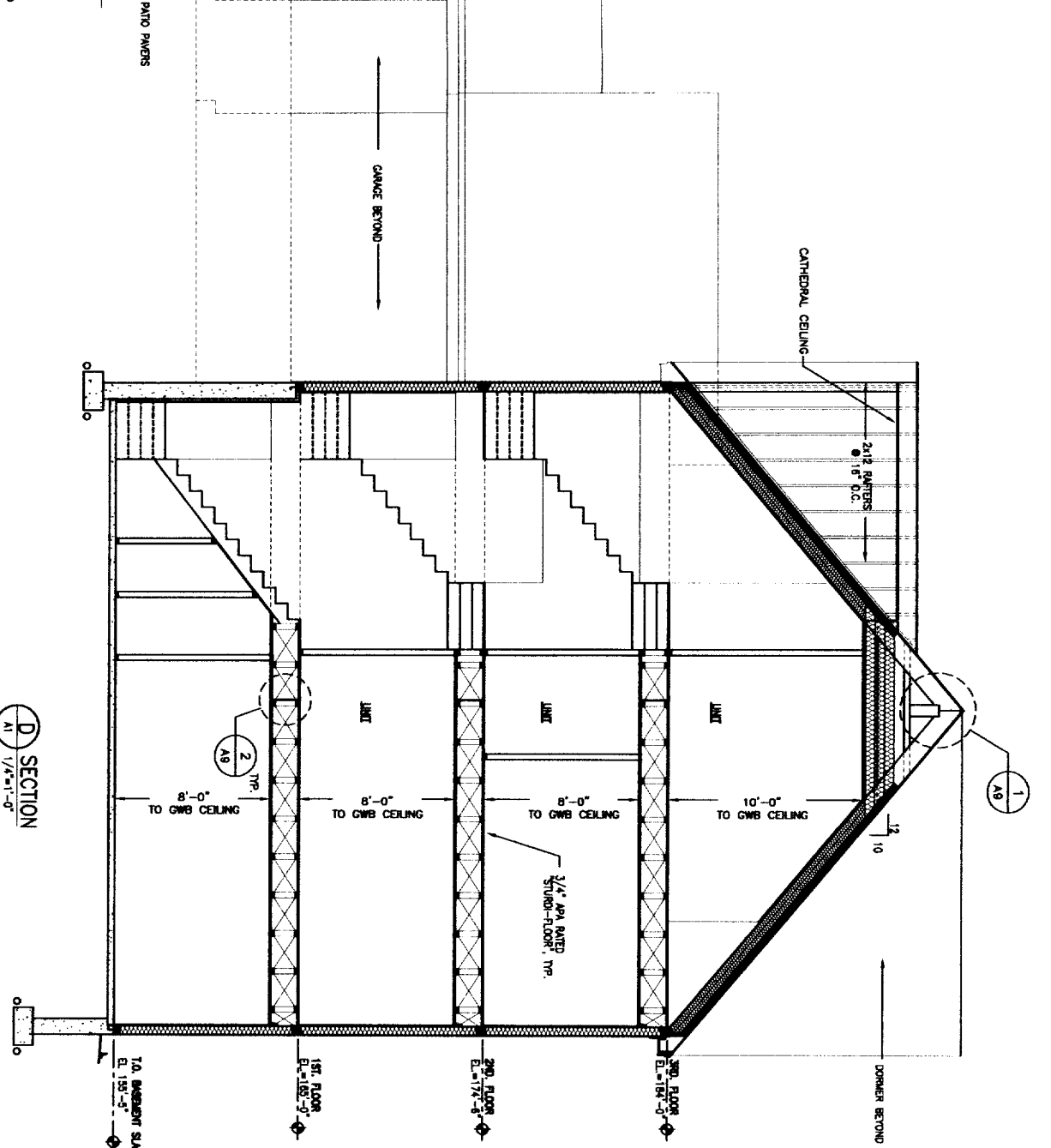
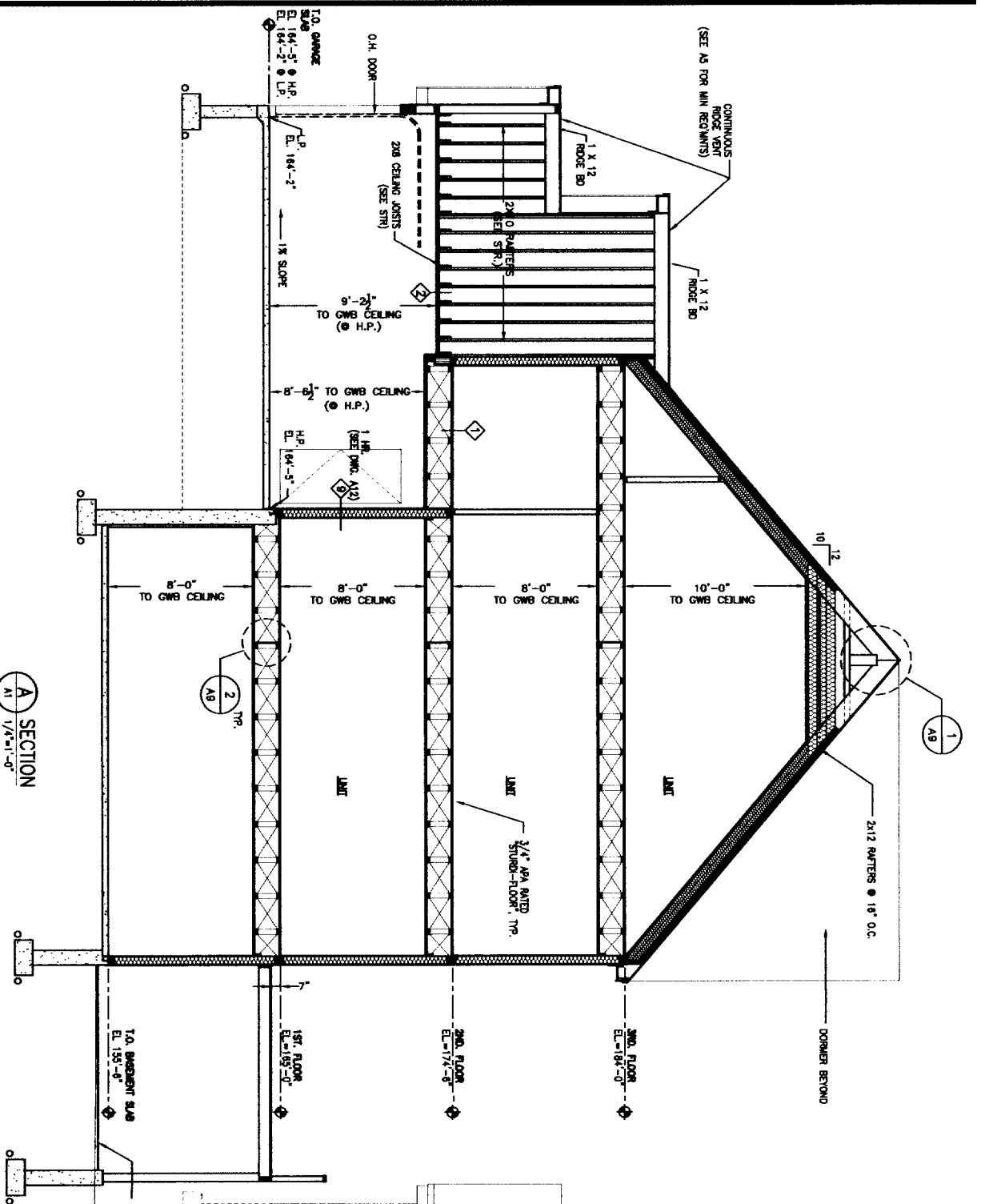
NOTE:  
SEE DWG. A4 FOR VENTILATION DATA & NOTES

OCEAN RIDGE CONDOMINIUMS  
862 OCEAN AVENUE  
PORTLAND, MAINE  
EAST & WEST ELEVATIONS  
UNITS 44, 45 & 46

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
	10/5/04	

**A8**

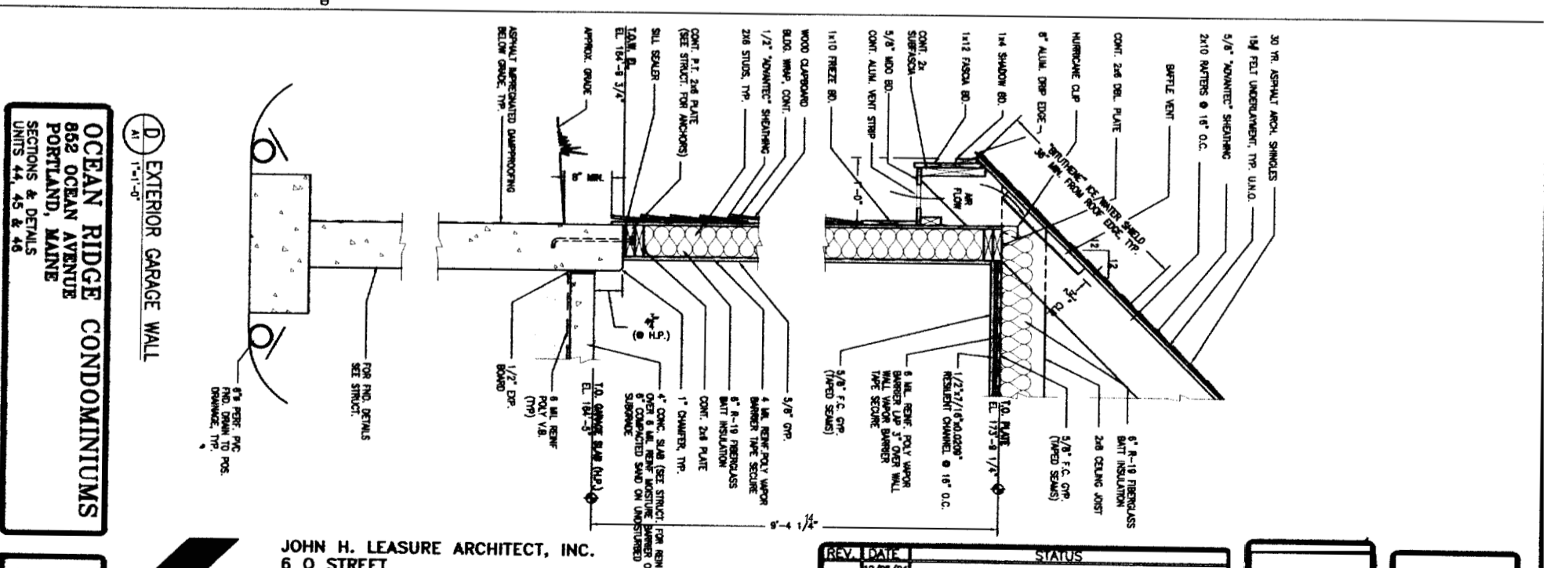
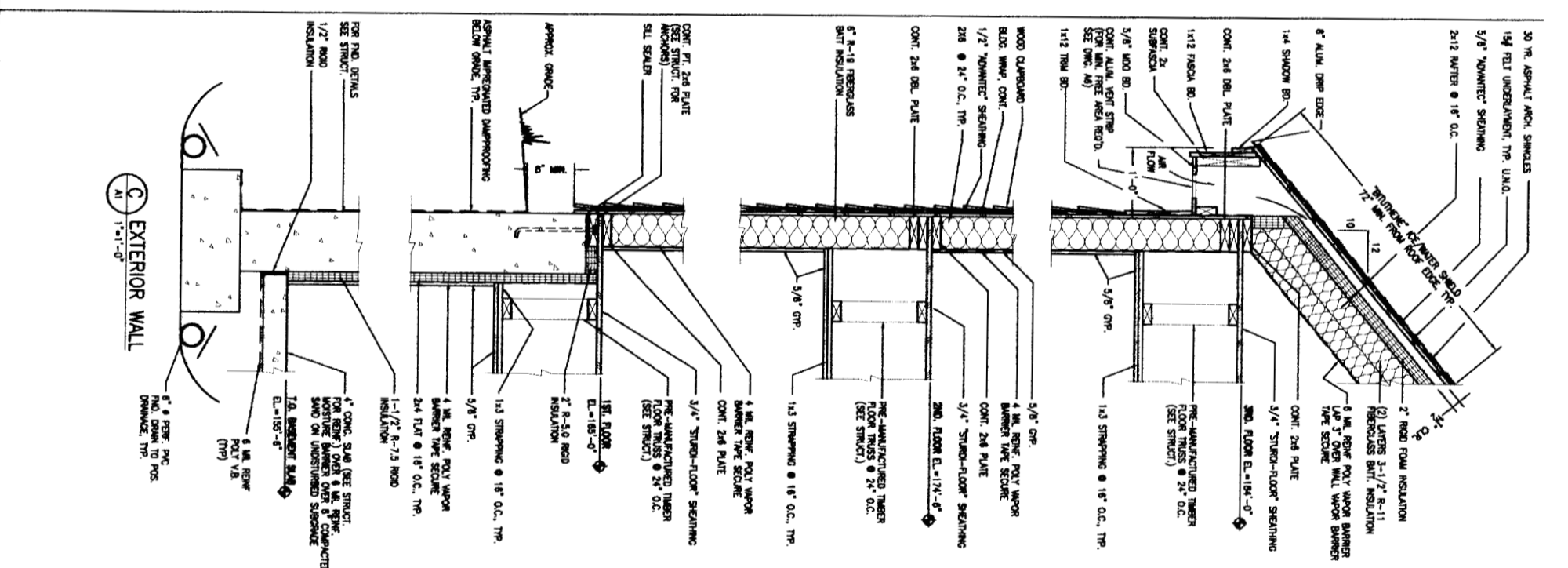
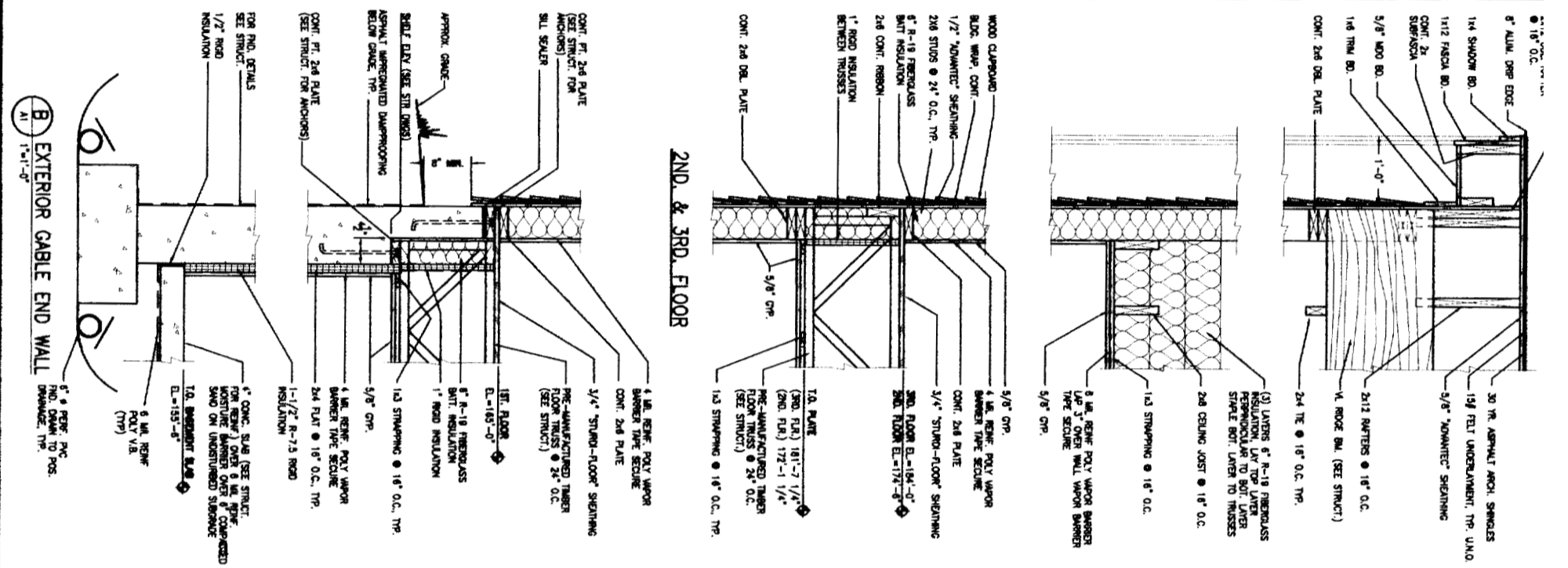
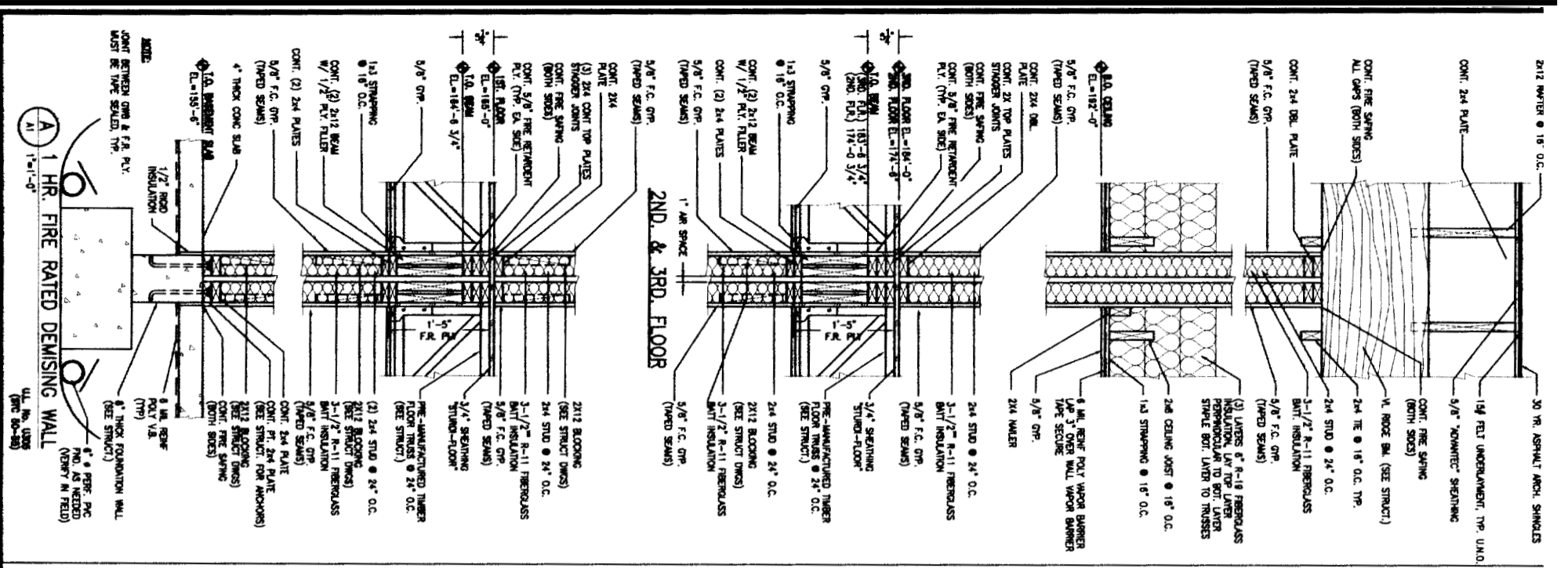


**OCEAN RIDGE CONDOMINIUMS**  
 862 OCEAN AVENUE  
 PORTLAND, MAINE  
 BUILDING SECTIONS  
 UNITS 44, 45 & 46

JOHN H. LEASURE ARCHITECT, INC.  
 6 Q STREET  
 SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
1	10/05/04	

**A9**



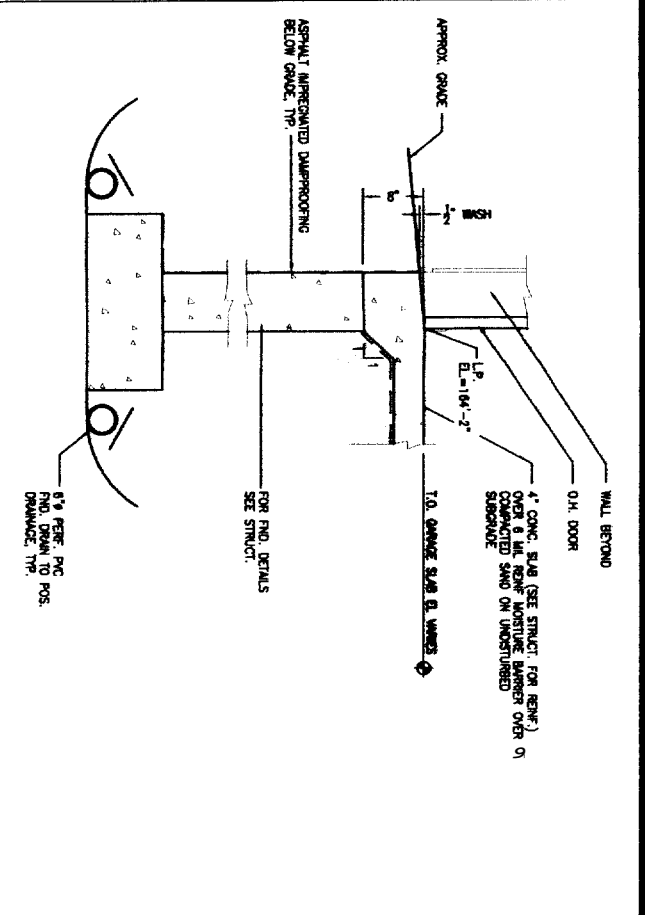
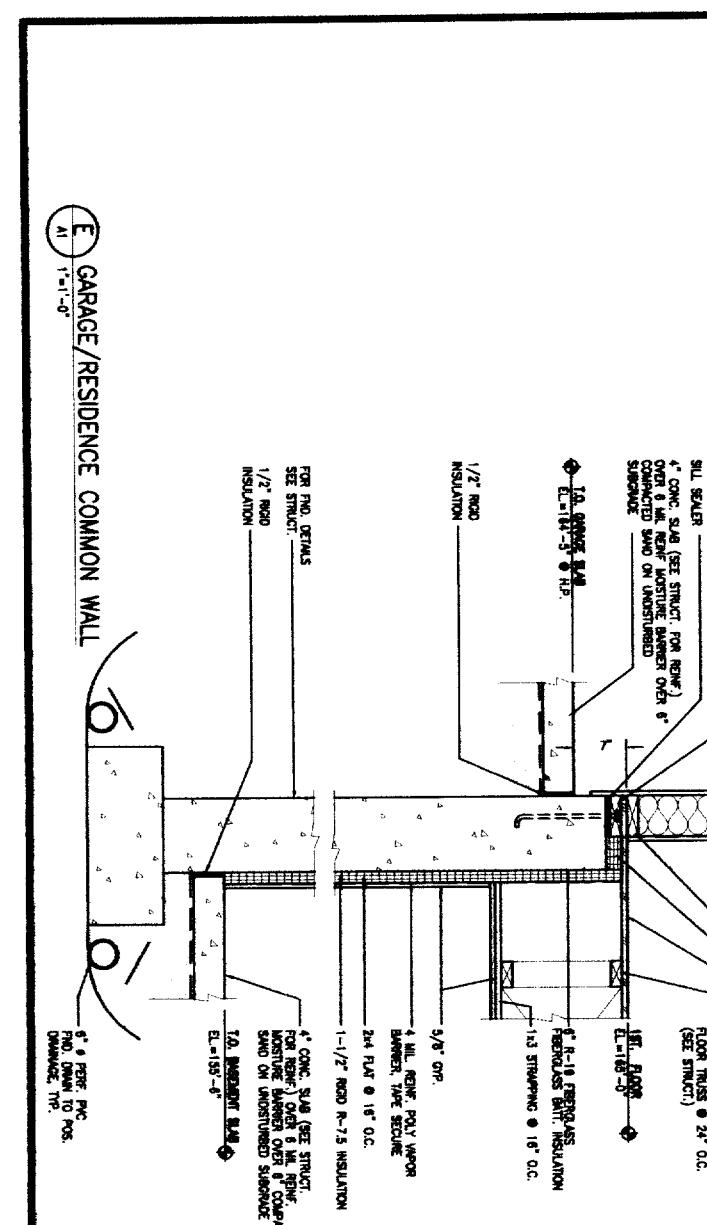
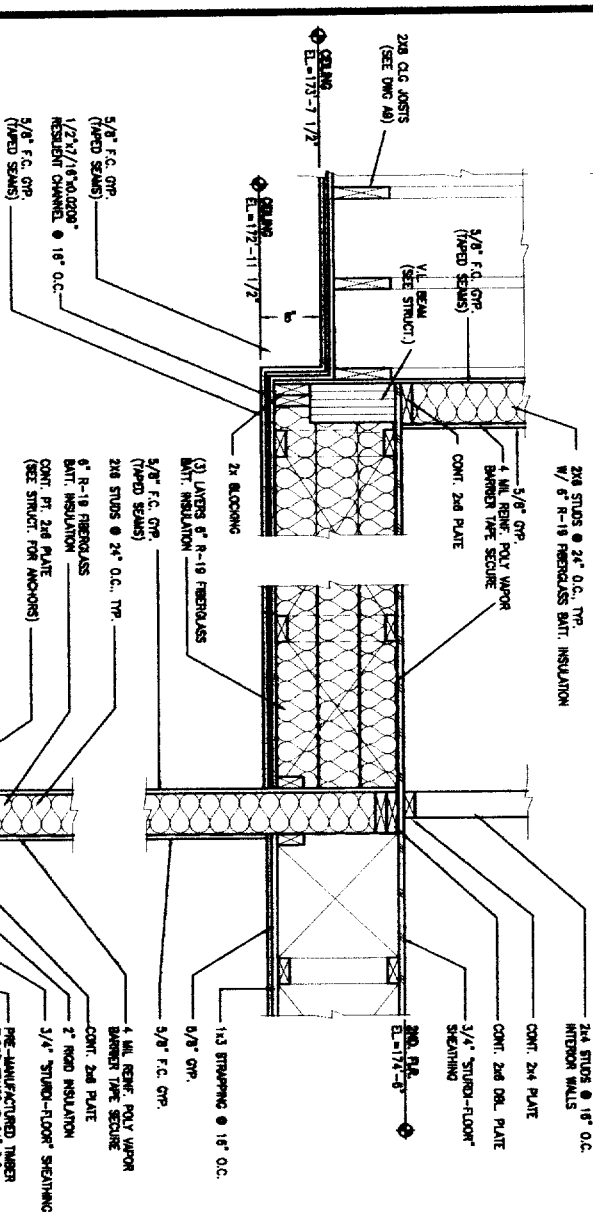
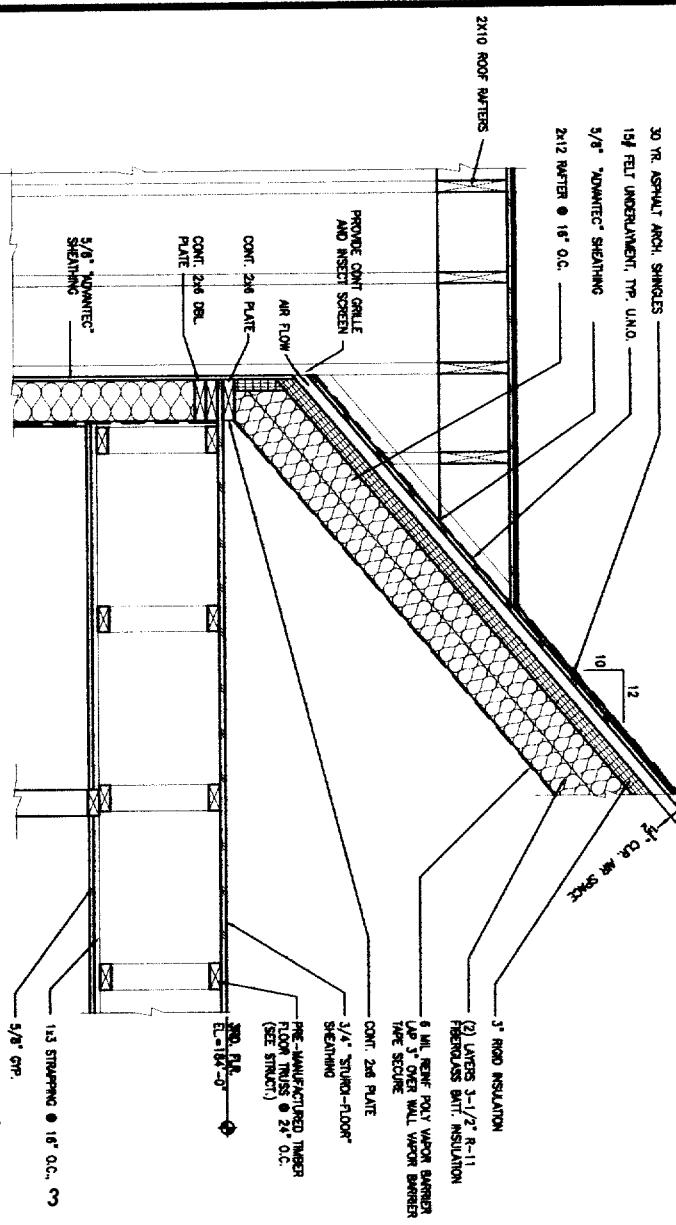
**OCEAN RIDGE CONDOMINIUMS**  
 882 OCEAN AVENUE  
 PORTLAND, MAINE  
 SECTIONS & DETAILS  
 UNITS 44, 45 & 48

**JOHN H. LEASURE ARCHITECT, INC.**  
 6 Q STREET  
 SOUTH PORTLAND, MAINE 04106

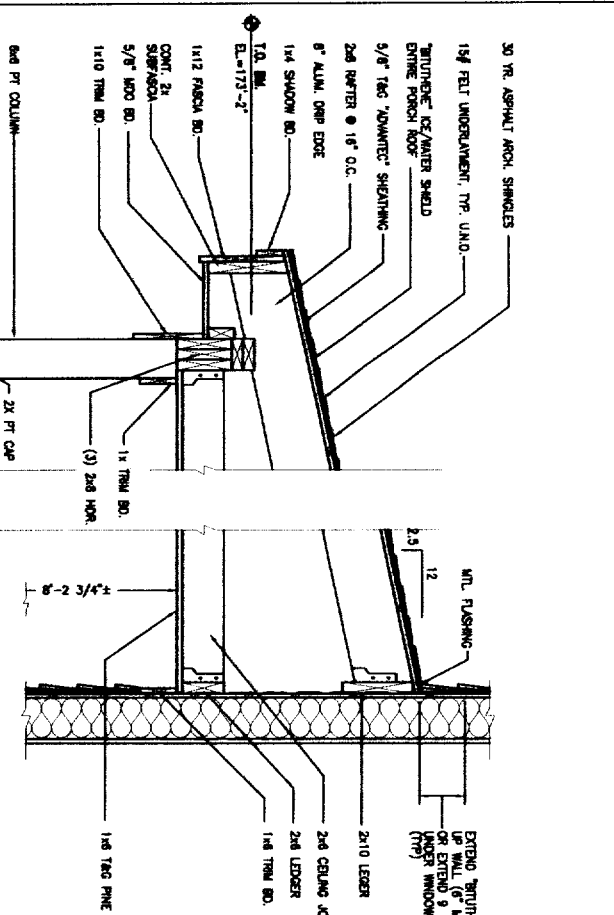
**A10**

REV	DATE	STATUS

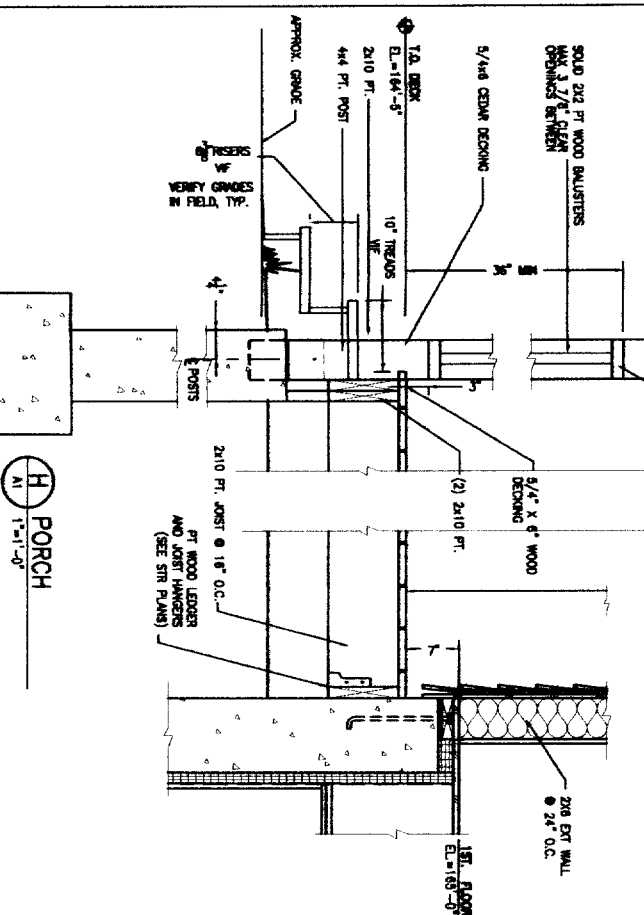
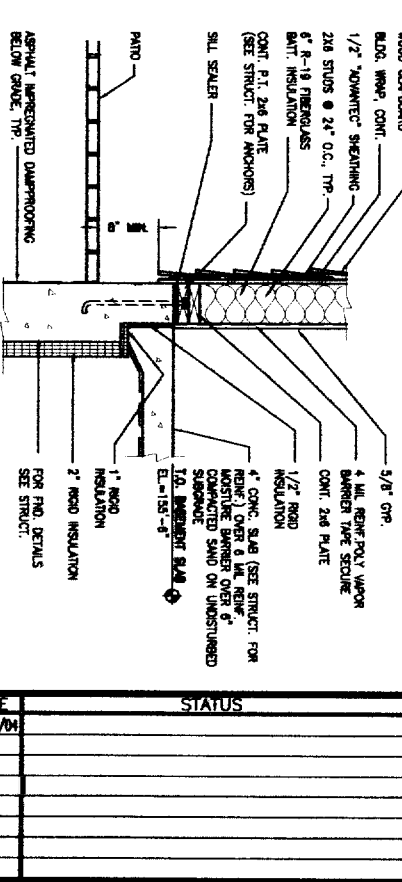
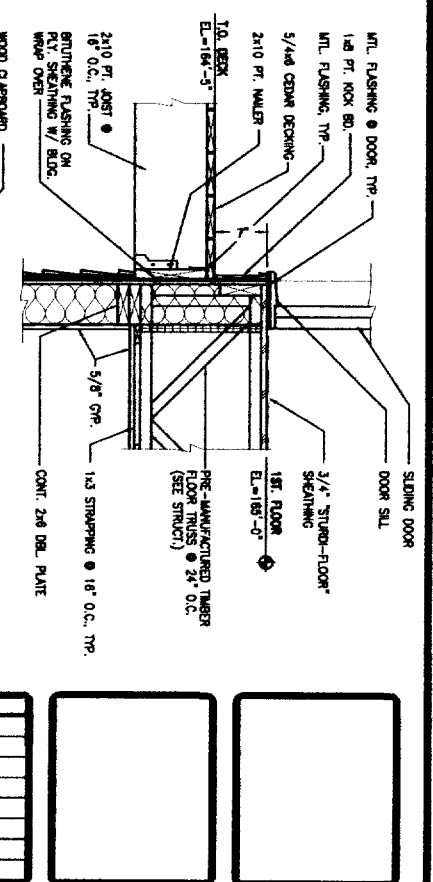
NOTE:  
SEE DWG. A5 FOR ICE/WATER SHIELD



**F THICKENED SLAB @ O.H. DOOR**  
1" = 1'-0"



**G DAYLIGHT BASEMENT WALL**  
1" = 1'-0"



**H PORCH**  
1" = 1'-0"

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
BASEMENT FLOOR PLAN  
UNITS 44, 45 & 46

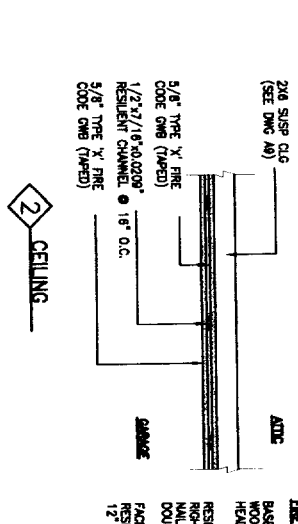
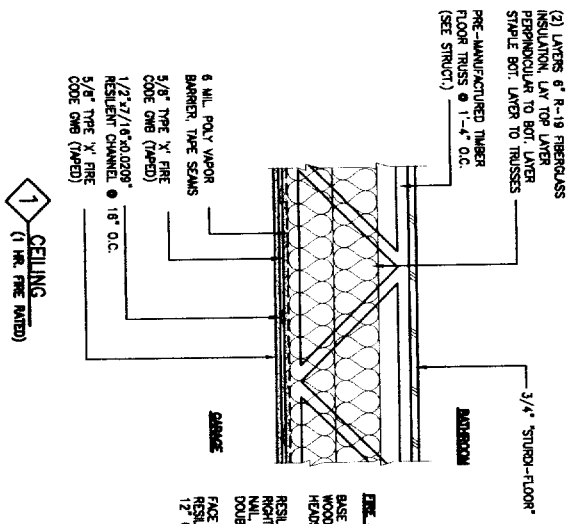
JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
1	10/05/04	

**A11**



CEILING LINES



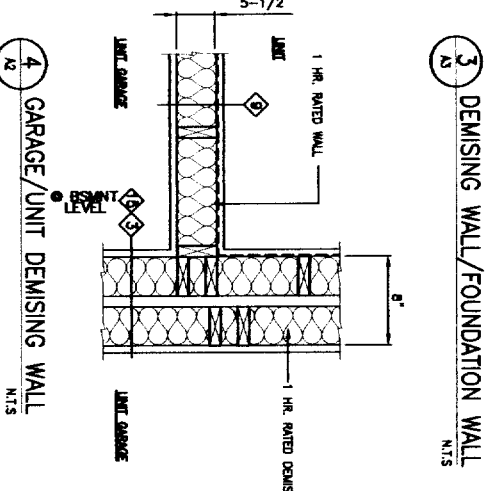
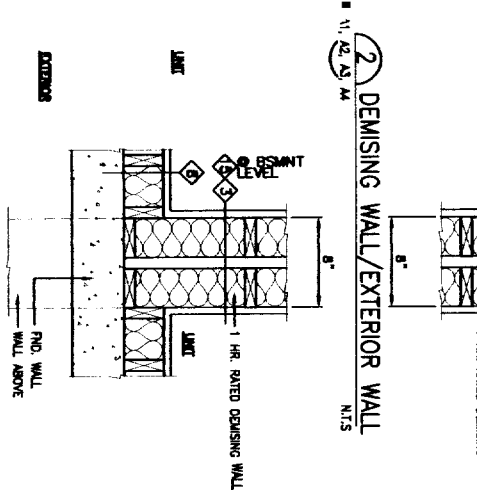
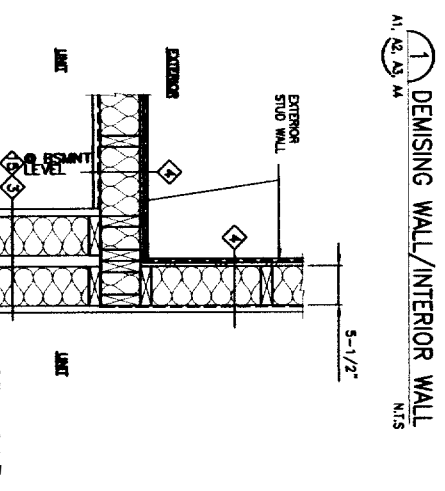
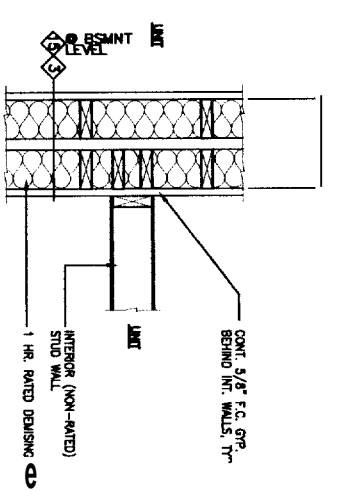
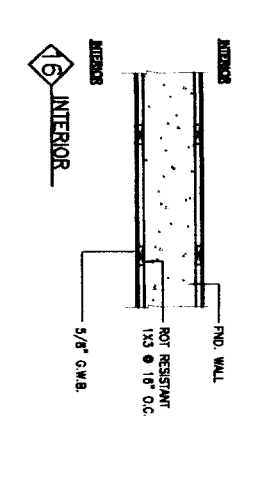
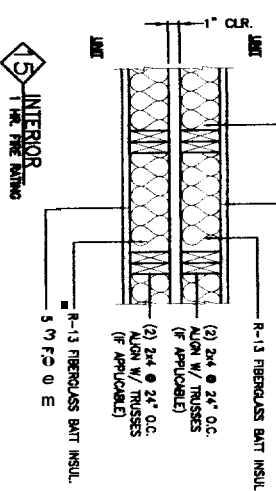
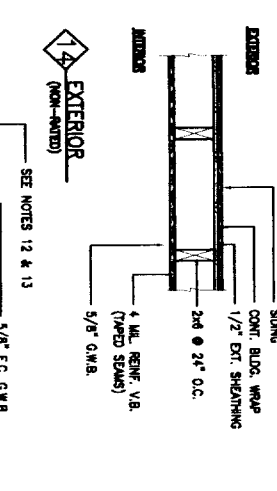
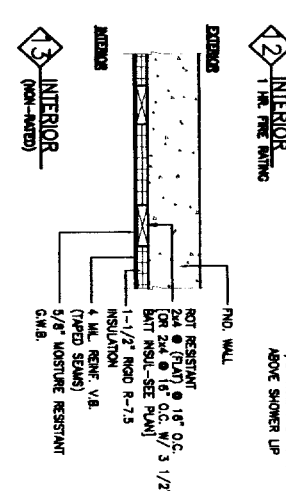
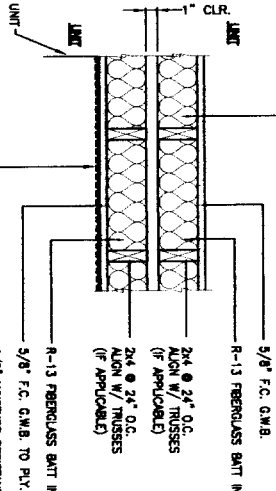
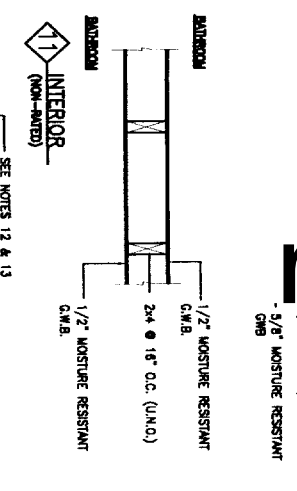
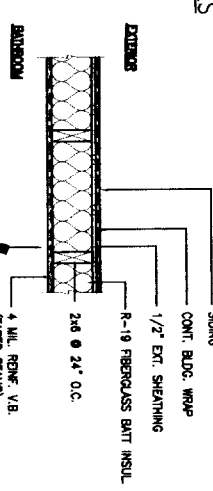
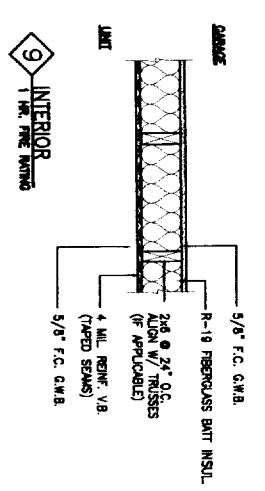
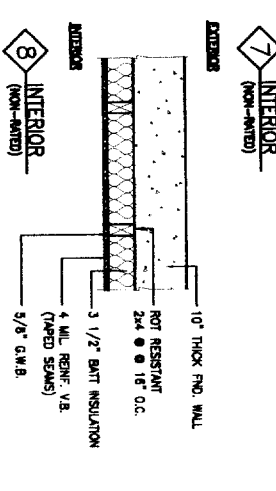
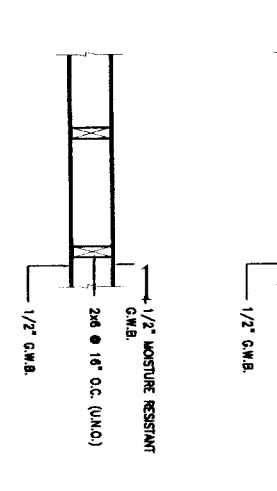
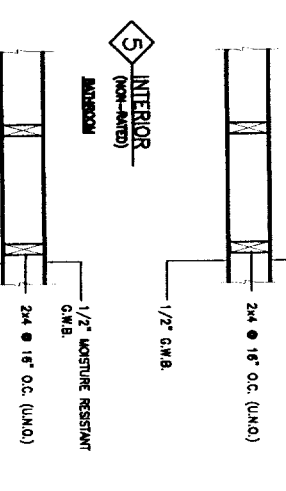
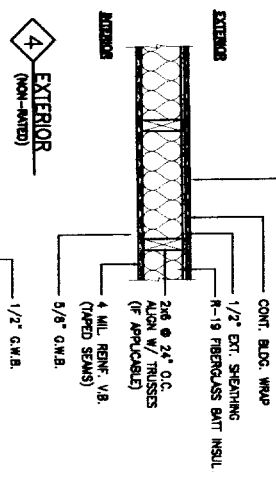
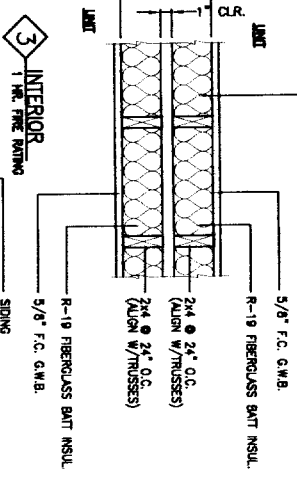
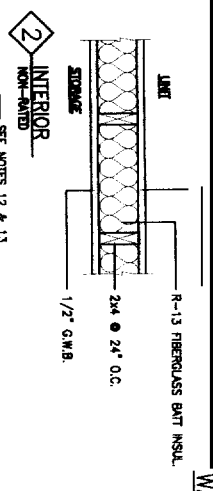
GENERAL NOTES

- 1 - ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS, AND VERIFY PROPOSED RENOVATIONS, REPAIRS, AND/OR ADDITIONS TO EXISTING CONDITIONS WITH THE ARCHITECT/ENGINEER OR AN AUTHORIZED REPRESENTATIVE OF THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK.
- 2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXISTING CONDITIONS AND CONDITIONS TO BE MAINTAINED. THIS INCLUDES THE ADDITION OF NECESSARY SHOWING, SCHEDULING, TEMPORARY BRACING, SHORING, OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND MATERIALS TO REMAIN.
- 3 - ALL WORK SHALL BE IN ACCORDANCE WITH ANSI, BOCA 1989/ABC NFPA 101, AND ALL LOCAL, STATE, & FEDERAL REQUIREMENTS OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ACT.
- 4 - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE OBTAINED AND FOLLOWED THROUGHOUT THE PROJECT.
- 5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
- 6 - MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION SHALL BE OBTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
- 7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MAXIMUM 7 3/4\"/>

**FIRE RESISTANT CEILING**  
 BASE LAYER 5/8\"/>

**FIRE RESISTANT WALL**  
 BASE LAYER 5/8\"/>

WALL TYPES

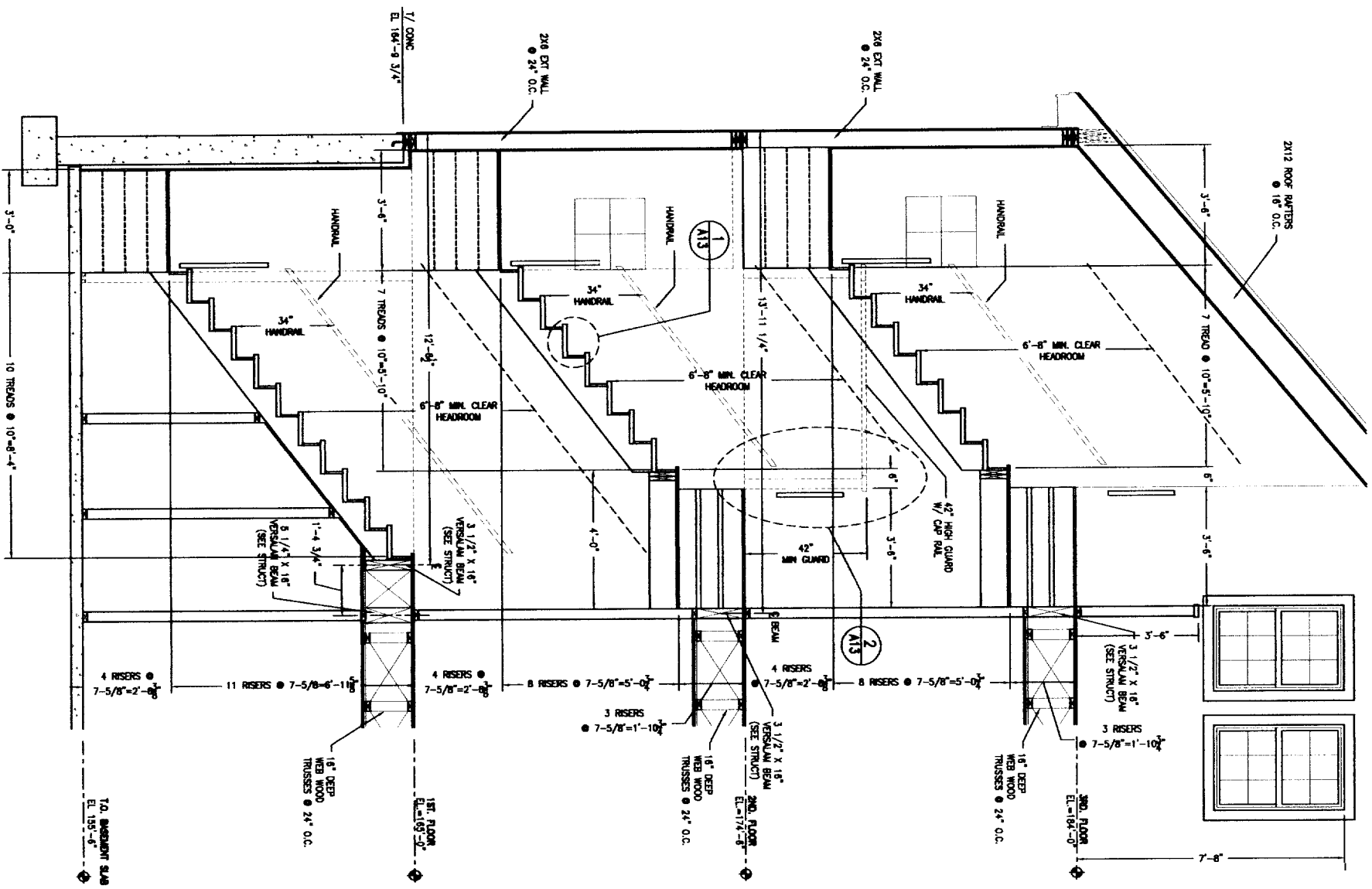


REV.	DATE	STATUS
01	05/04	

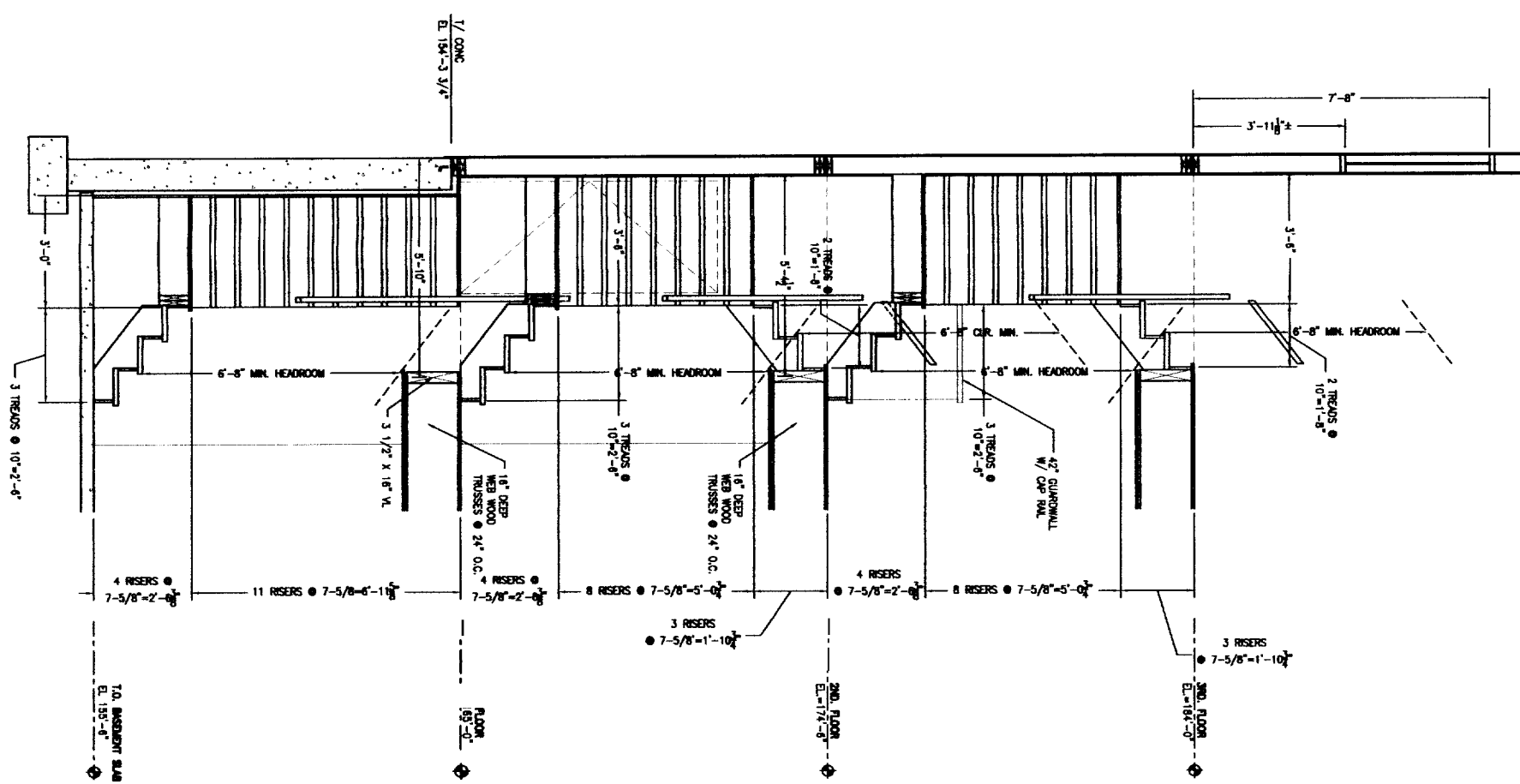
JOHN H. LEASURE ARCHITECT. INC.  
 6 Q STREET  
 SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS  
 862 OCEAN AVENUE  
 PORTLAND, MAINE  
 WALL TYPES & DETAILS  
 UNITS 44, 45 & 48

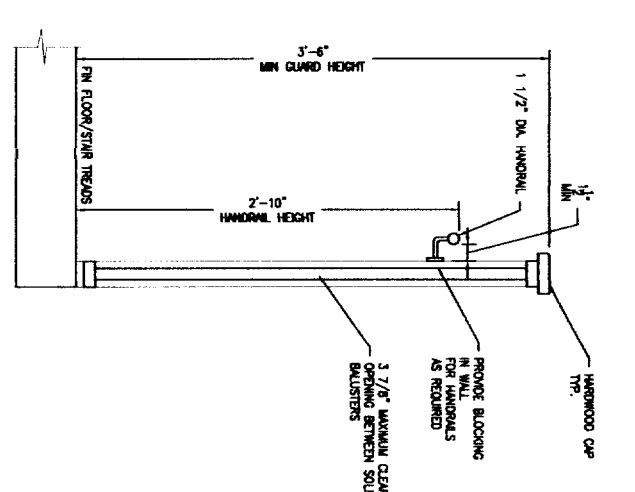
A12



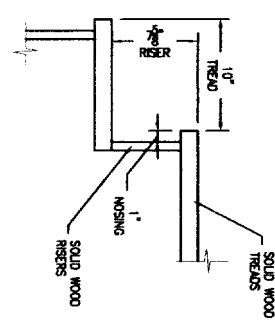
J SECTION  
1/2" = 1'-0"



K SECTION  
1/2" = 1'-0"



2 DETAIL  
1" = 1'-0"



1 DETAIL  
1/2" = 1'-0"

- NOTES
- 1) NOSING SHALL BE MINIMUM 3/4", MAXIMUM 1 1/4"
  - 2) VARIATIONS SHALL NOT EXCEED 3/16" IN THE HEIGHT OF ADJACENT RISERS.

REV.	DATE	STATUS
	10/05/04	

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
STAIR SECTIONS & DETAILS  
UNITS 44, 45 & 46



# DOOR SCHEDULE

### DOOR SCHEDULE ABBREVIATIONS

CL	CLOSER	HW	HOLLOW METAL	S	STEEL
D.C.	DOOR CHAIN	INS	INSULATED	S.C.	SOLID CORE HARDWOOD
D.L.	DOOR LOCKER	NS	NON-SLIP (RUSH SUE)	S.H.	SPRING HINGE
D.S.	DOOR SWEEP	K	KEY LOCK	S.L.	SPRIT LUMBER (WOOD)
E3	ELECTRIC HOLD OPENER	KL	KEY LOCK	THP	TEMPERED
ES	ELECTRIC STRIKE	MTL	METAL	TK	THICKNESS
F.P.	FINGER PRINTED	NO	NO	TK	THICKNESS
FR	FIRE RATED	NO	NO	TK	THICKNESS
HA	HANDICAP ACCESSIBLE	P.H.	PANIC HARDWARE	WC	WOOD (SOLID)
HC	HOLLOW CORE HARDWOOD	P.P.	PIVOT/PULL	WG	WIRE GLASS
		P	PULL	V	VEENER
		P.S.	PRIVACY SET		
		P.S.	PASSAGE SET		

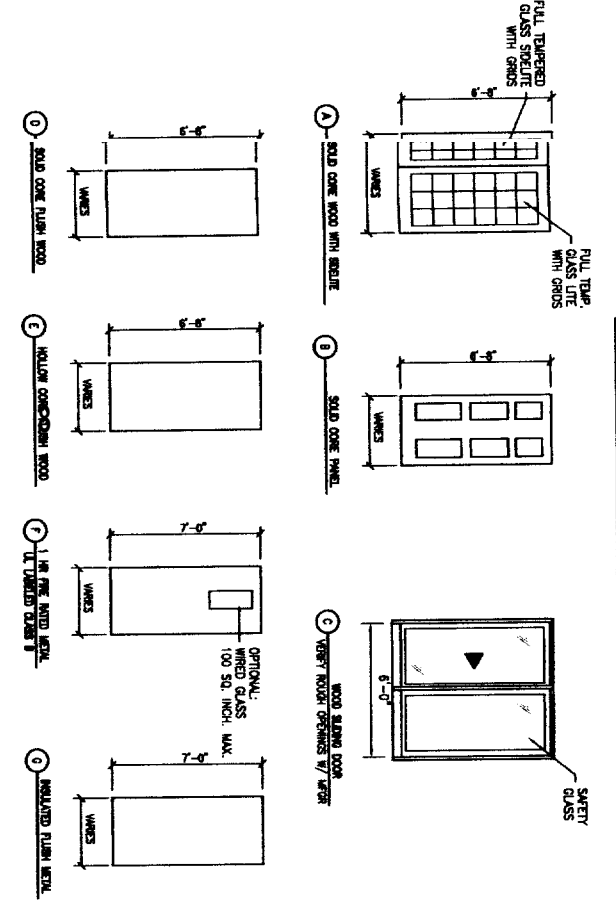
NO.	TYPE	SIZE	THK.	F.R.	HDWE SET	MAT.	GLASS SIZE	GLASS TYPE	REMARKS	TYPE	MAT.	F.R.	DETAILS		MAT.	THRESHOLD	
													HEAD	JAMB		SILL	HT.
FIRST FLOOR																	
01	A	3'-0" x 6'-6"	1 3/8"			WOOD			INS. KL. TEMP. OS	BB	WOOD			C	ALUM.		
02	I	6'-0" x 7'-0"				WOOD			INSUL. OIL GARAGE DOOR DO	DD	WOOD			C	WOOD		
03	C	6'-0" x 6'-6"				WOOD			INS. TEMP	BB	WOOD			C	ALUM.		
04	G	3'-0" x 6'-6"	1 3/8"			PULL			INS. KL. DC	AA	MTL			C	ALUM.		
SECOND FLOOR																	
10	F	3'-0" x 6'-6"	1 3/4"			WOOD			INS. CL. OS. KL	CC	MTL			D			
12	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
13	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
14	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
16	B	2'-6" x 6'-6"	1 3/4"			WOOD			SH. OS. PS	BB	WOOD			C	WOOD		
THIRD FLOOR																	
20	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
21	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
22	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
23	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
24	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
25	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
26	B	2'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
27	B	1'-6" x 6'-6"	1 3/8"			WOOD			P.S.	BB	WOOD			C	WOOD		
THIRD FLOOR																	
30	B	2'-6" x 6'-6"	1 3/8"			WOOD			LOCKST	BB	WOOD			C	WOOD		
31	B	2'-6" x 6'-6"	1 3/8"			WOOD			PS	BB	WOOD			C	WOOD		
32	B	2'-6" x 6'-6"	1 3/8"			WOOD			PS	BB	WOOD			C	WOOD		
33	B	2'-6" x 6'-6"	1 3/8"			WOOD			PS	BB	WOOD			C	WOOD		

# WINDOW SCHEDULE

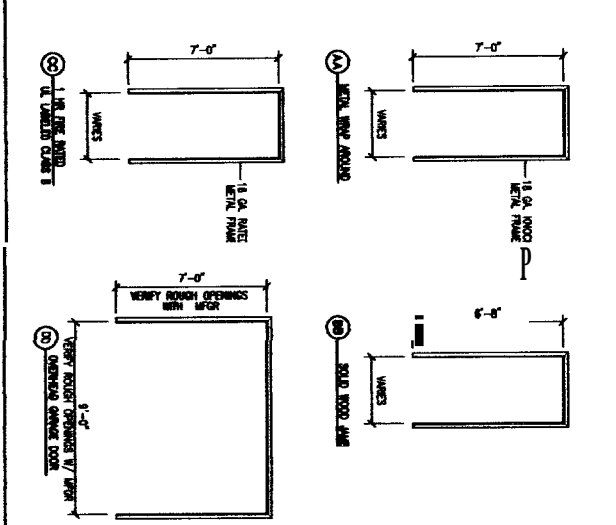
NO.	TYPE	MANUF	CAT NO.	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS	
							HEAD	JAMB
W1	C	"HANGCOCK"	P12824*	N/A	2'-2" x 2'-0"	"HANGCOCK LUMBER WINDOW TYPE"	-	-
W1A	E	"HANGCOCK"	-	N/A	2'-2" x 2'-0"	"HANGCOCK LUMBER WINDOW TYPE" AMMING	-	-
W2	A	"HANGCOCK"	PH2880*	N/A	2'-4" x 5'-0"	"HANGCOCK LUMBER WINDOW TYPE"	-	-
W3	A	"HANGCOCK"	PH4690*	N/A	3'-4" x 5'-0"	"HANGCOCK LUMBER WINDOW TYPE"	-	-
W4	D	"HANGCOCK"	PH3303*	N/A	7'-5" x 5'-5"	"HANGCOCK LUMBER WINDOW TYPE"	-	-
W5	B	"HANGCOCK"	PH4680-2*	N/A	6'-7 1/2" x 5'-0"	"HANGCOCK LUMBER WINDOW TYPE"	-	-
W6	A	"HANGCOCK"	PH3844*	N/A	3'-0" x 3'-5"	"HANGCOCK LUMBER WINDOW TYPE"	-	-

NOTE 1:  
EACH BEDROOM OR SLEEPING AREA SHALL HAVE AN EGRESS WINDOW MIN. 20" x 20" ABOVE FINISHED FLOOR WITH MINIMUM 5.7 SQ. FT. CLEAR OPENING (MINIMUM ONE EACH BEDROOM)

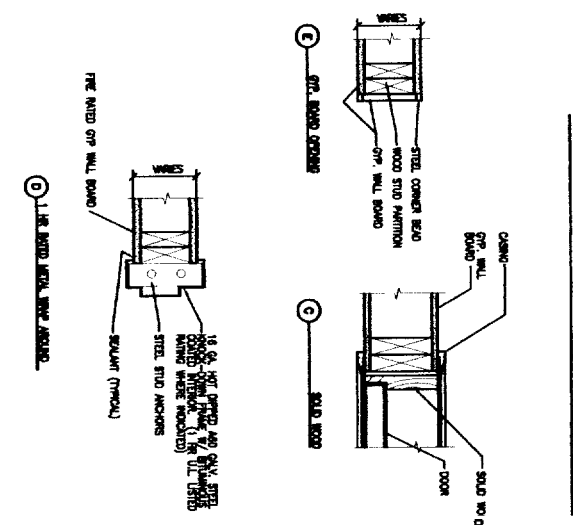
# DOOR TYPES



# FRAME TYPES

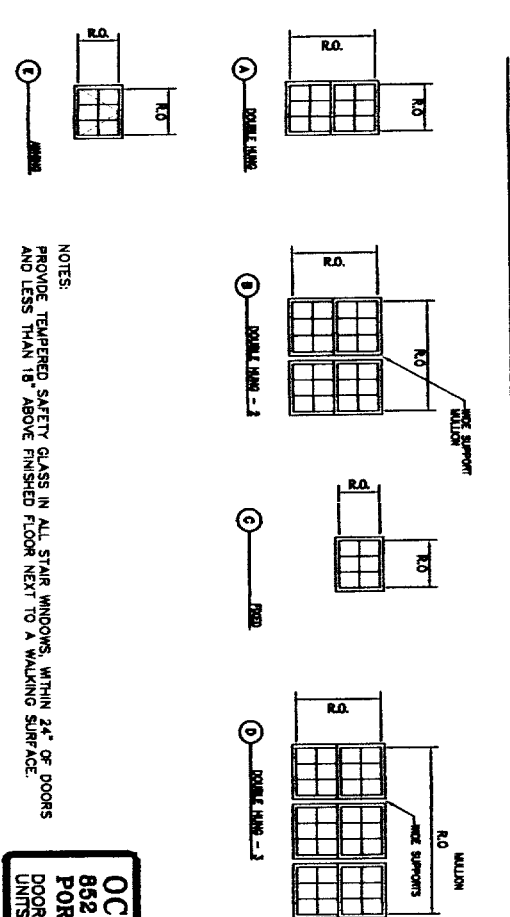


# JAMB TYPES



NOTES:  
1) - WINDOW AND DOOR QUANTITIES SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

# WINDOWS



NOTES:  
PROVIDE TEMPERED SAFETY GLASS IN ALL STAIR WINDOWS WITHIN 24" OF DOORS AND LESS THAN 18" ABOVE FINISHED FLOOR NEXT TO A WALKING SURFACE.

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
DOOR AND WINDOW SCHEDULE  
UNITS 44, 45 & 46

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

A14

REV.	DATE	STATUS
10-05-04		