

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 041210

PERMIT ISSUED

This is to certify that Ocean Ridge Realty Llc /Pat Tinsma
has permission to New 4 unit Condo / units 23, 25, 26
AT 44 Ridge Rd 416A A003001

SEP 20 2004

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and work in progress before this building or part thereof is closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 9/17/04
Director - Building & Inspection Services
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1210	Issue Date: <i>9/17/04</i>	CBL: 416A A003001
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Location of Construction: 44 Ridge Rd	Owner Name: Ocean Ridge Realty Llc	Owner Address: 84 Ocean Ave	Phone:
Business Name:	Contractor Name: Patrick Tinsman	Contractor Address: 91 Old Ocean House Rd. Cape Elizabe	Phone 2076503965
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	Zone: R-3
Past Use: Vacant Land	Proposed Use: New 4 unit Condo/ units 23,24,25,26	Permit Fee:	Cost of Work: \$425,000.00
		CE0 District: 4	PRUD
Proposed Project Description: New 4 unit Condo/ units 23,24,25,26		FIREDEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: USE Group: R3 Type: 5B <i>9/17/04</i>
		Signature: <i>UHM7</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 08/18/2004	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input checked="" type="checkbox"/> Subdivision <i>under original</i> <input type="checkbox"/> Site Plan <i>original</i> # <i>2003-0056</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK 9/2/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approver <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2/17/05 - checked plumbing for close in
tests on - OK - no problems seen - OK to close in
when Framing/Electrical is finished. Jan M

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1210	Date Applied For: 08/18/2004	CBL: 416A A003001
------------------------------	--	-----------------------------

Location of Construction: 44 Ridge Rd	Owner Name: Ocean Ridge Realty Llc	Owner Address: 84 Ocean Ave	Phone:
Business Name:	Contractor Name: Patrick Tinsman	Contractor Address: 91 Old Ocean House Rd. Cape Elizabe	Phone (207) 650-3965
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	
Proposed Use: New 4 unit Condo / units 23,24,25,26		Proposed Project Description: New 4 unit Condo / units 23,24,25,26	

Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 09/02/2004
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 09/17/2004
Note: **Ok to Issue:**

1) Conditions from original permits apply

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 09/03/2004
Note: **Ok to Issue:**

1) the sprinkler system shall be installed in accordance with **NFPA 13R**

CA# 1268

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>44 RIDGE RD PORTLAND ME</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>414 AA 003</u>	Owner: <u>OCEAN RIDGE REALTY</u>	Telephone: <u>650-3965</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>PATRICK TINSMAN</u>	cost Of Work: \$ <u>925,000</u> Fee: \$ <u>3846.00</u>
Current use: _____		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>4 UNIT CONDOMINIUM UNIT 23, 24, 25, 26</u>		
Project description: _____		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>PATRICK TINSMAN</u>		
Mailing address: <u>91 OLD OCEAN HOUSE RD CAPE ELIZABETH ME 04107</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>650-3965</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Patrick Tinsman</u>	Date: <u>-17-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

JOHN H. LEASURE - ARCHITECT, INC.
 Six Q Street
 South Portland, ME 04106

LETTER OF TRANSMITTAL

TO: OCEAN RIDGE REALTY

Date: 7-30-04	Job No: 0301
Attn: PAT TINSMAN	
Re: OCEAN RIDGE	
UNITS 23-26	

WE ARE SENDING YOU Attached
 Under separate cover via _____

shop Drawings Prints Plans Samples Specifications
 Copy of Ltr _____

Copies	Date	No.	Description
24x36	7-30		S1-S8 AND A1-A13
11x17	7-30		" " "
1	8 1/2 x 11		CITY OF PORTLAND CERTIFICATION Form.

checked below:

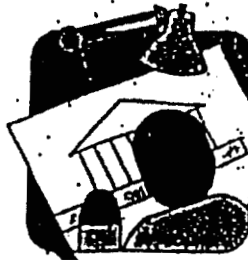
- For approval
- For your use
- As requested
- For review and comment
- PRINTS RETURNED AFTER LOAN TO US
- Approved as submitted
- Approved as noted
- Returned for corrections
- Resubmit _____ copies for approval
- _____

REMARKS : _____

COPY TO: file SIGNED: _____

If enclosures are not as noted, kindly notify us at once.

Units 23-26



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE - ARCHITECT, INC.
L & L STRUCTURAL ENGINEERING SERVICES INC.

DATE: JULY 30, 2004

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 852 OCEAN AVE PORT. ME.

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth Edition

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) R3
Type of Construction 5B Bldg. Height 32'-8" Footprint 2984 HABITABLE
Bldg. Sq. Footage 1046 GARAGES
Seismic Zone 2/A_v = 0.10 Group Class CATEGORY II
Roof Snow Load Per Sq. Ft. 42 PSF Dead Load Per Sq. Ft. 15 PSF
Basic Wind Speed (mph) 85 MPH Effective Velocity Pressure Per Sq. Ft. 2.8 PSF
Floor Live Load Per Sq. Ft. 40 PSF

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered

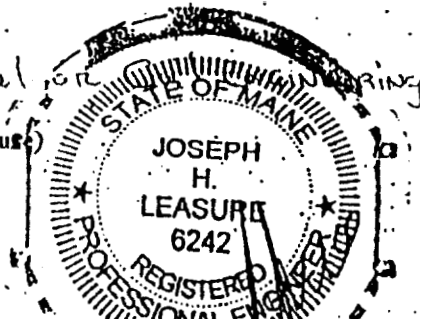
List Occupant loading for each room or space, designed into this Project.

We assume no Live Load for Mechanical, Electrical, or

PSII 6/07/2K



(Designers Stamp & Signature)



Units 23-2



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315

Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine.
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: JOHN H. LEASURE ARCHITECT INC.

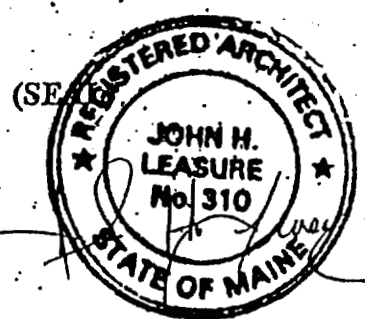
RE: Certificate of Design

DATE: JULY 30, 2004

These plans and/or specifications covering construction work on:

OCEAN RIDGE CONDOMINIUMS (UNITS 23-26)
852 OCEAN AVE, PORTLAND, ME.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature: [Handwritten Signature]
Title: PRESIDENT
Firm: JOHN H. LEASURE ARCHIT. INC.
Address: SIX Q ST. S.P. ME 04106

As per Maine State Law:

\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures; shall be prepared by a registered design Professional.

PSH 6/20/2k

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL, OR CIVIL ENGINEERING

Applicant: Patrick Tinsman Date: 9/2/04

Address: 44 Ridge Road Ocean Ridge Dev. C-B-L: 416A-A-003
CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development

Zone Location - R-3 Zone PRUD Development

Interior or corner lot -

Proposed Use/Work - total Project: 46 unit PRUD Development with attached garages
This permit: → one Bldg, with 4 D.U. condos

Sevage Disposal - City

Lot Street Frontage - 50' unit # 23, 24, 25, 26

Front Yard - ① min. building setback from external subdivision prop. lines, 35' for 4 or more D.U. in a bldg - 35' shown

Rear Yard -

LEO check ← Side Yard - ② minimum distance between detached PRUD D.U., 16' min - 18' shown AT closest point

Projections -

Width of Lot - ③ Recreation Areas shall be located at least

Height - 25' from D.U. - well over 25' away

Lot Area - PRUD min → 3 gross Acres - 10.08 Acres given

Lot Coverage/ Impervious Surface -

Area per Family - ④ maximum # of units in a bldg (and over 5 acres) = 6 DU 4 shown OK

Off-street Parking - ⑤ maximum length of a PRUD Bldg - with garages = 140' -

Loading Bays ⑥ - min recreation area = $300 \text{ sq ft} / \text{DU}$ with a min of 6,000 sq ft 110' longest shown
 $300 \times 46 = 13,800$ min req - 13,800 sq ft shown

Site Plan -

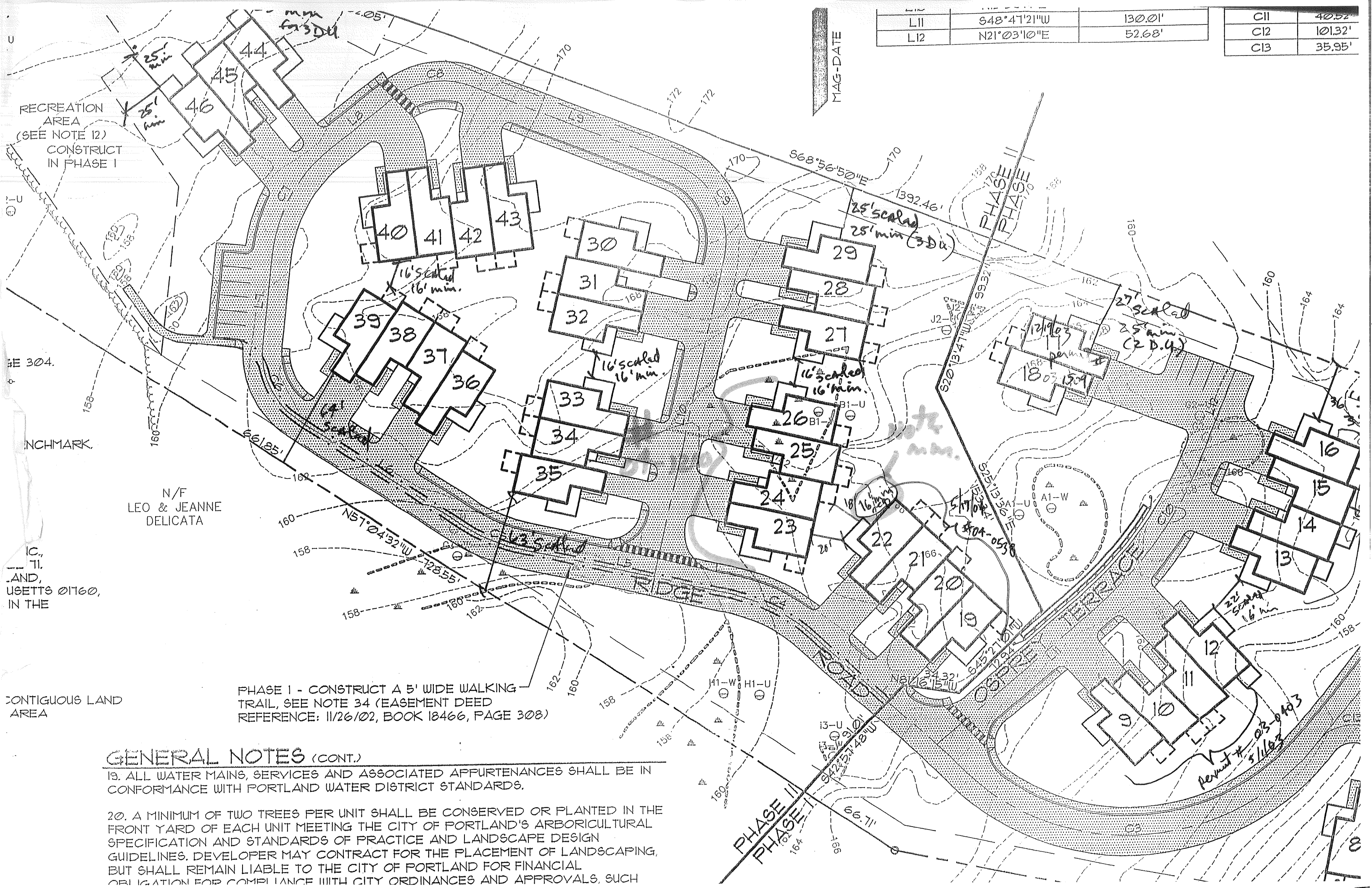
original # 2003-0056

Shoreland Zoning/ Stream Protection - - NA -

Flood Plains - panel 7 - Zone X

→ parking = 2/DU & 1 for every 6 DU - - showing // extra spaces

L11	S48°47'21"W	130.01'	C11	40.52'
L12	N21°03'10"E	52.68'	C12	101.32'
			C13	35.95'



RECREATION AREA
(SEE NOTE 12)
CONSTRUCT IN PHASE I

NCHMARK

N/F
LEO & JEANNE
DELICATA

CONTIGUOUS LAND AREA

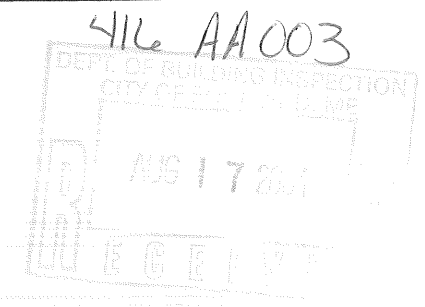
PHASE I - CONSTRUCT A 5' WIDE WALKING TRAIL, SEE NOTE 34 (EASEMENT DEED REFERENCE: 11/26/02, BOOK 18466, PAGE 308)

GENERAL NOTES (CONT.)

19. ALL WATER MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS.

20. A MINIMUM OF TWO TREES PER UNIT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH UNIT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH

OCEAN RIDGE CONDOMINIUMS 852 OCEAN AVENUE PORTLAND, MAINE



UNITS 23, 24, 25, & 26

ARCHITECT:

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: 767-4600
FAX: 767-4600

CIVIL ENGINEER:

SEBAGO TECHNICS
ONE CHABOT STREET
WESTBROOK, MAINE 04098
PHONE: 856-0277

STRUCTURAL ENGINEER:

L & L STRUCTURAL ENGINEERING SERVICES, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: 767-4830
FAX: 799-5432

LIST OF DRAWINGS:

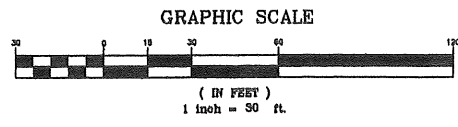
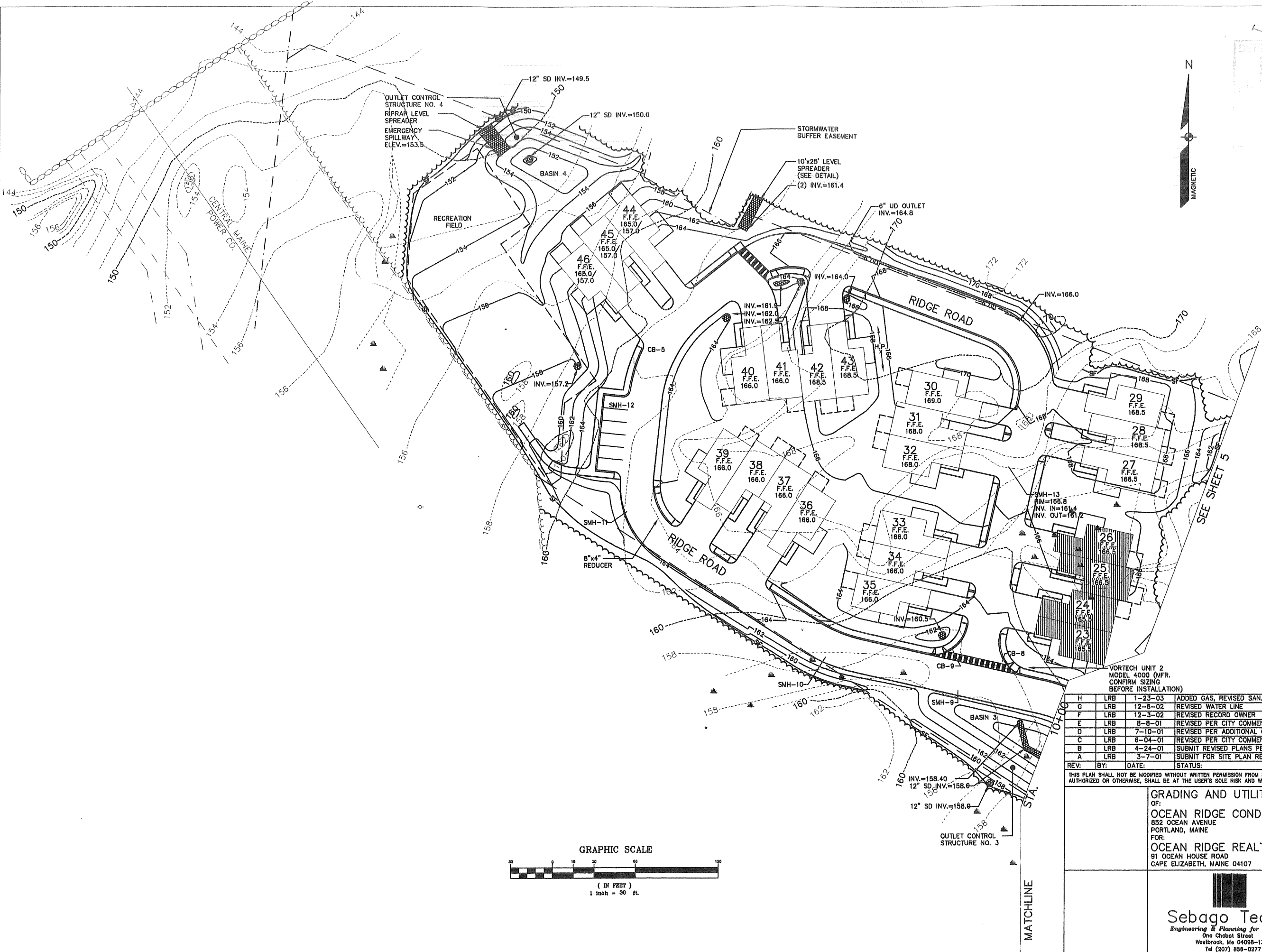
- 1 - GRADING PLAN SHEET 2

- S1 - GENERAL NOTES
- S2 - FOUNDATION PLAN
- S3 - FOUNDATION SECTIONS AND DETAILS
- S4 - FOUNDATION DETAILS
- S5 - SECOND FLOOR FRAMING PLAN
- S6 - THIRD FLOOR FRAMING PLAN
- S7 - ROOF FRAMING PLAN
- S8 - FRAMING SECTIONS AND DETAILS

- A1 - FIRST FLOOR PLAN
- A2 - SECOND FLOOR PLAN
- A3 - THIRD FLOOR PLAN
- A4 - ROOF PLAN
- A5 - EXTERIOR ELEVATIONS
- A6 - EXTERIOR ELEVATIONS
- A7 - EXTERIOR ELEVATIONS
- A8 - BUILDING SECTIONS
- A9 - WALL SECTIONS
- A10 - SECTIONS AND DETAILS
- A10A- SECTIONS
- A11 - WALL TYPES AND DETAILS
- A12 - STAIR SECTIONS
- A13 - DOOR AND WINDOW SCHEDULES

JULY 27, 2004

416 AA003
 DEPT. OF COMMUNITY DEVELOPMENT
 CITY OF SEBAGO, MAINE
 ME 17



VORTECH UNIT 2
 MODEL 4000 (MFR.
 CONFIRM SIZING
 BEFORE INSTALLATION)

H	LRB	1-23-03	ADDED GAS, REVISED SAN. WATER
G	LRB	12-8-02	REVISED WATER LINE
F	LRB	12-3-02	REVISED RECORD OWNER
E	LRB	8-8-01	REVISED PER CITY COMMENTS
D	LRB	7-10-01	REVISED PER ADDITIONAL CITY COMMENTS
C	LRB	6-04-01	REVISED PER CITY COMMENTS
B	LRB	4-24-01	SUBMIT REVISED PLANS PER CITY REVIEW
A	LRB	3-7-01	SUBMIT FOR SITE PLAN REVIEW
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

GRADING AND UTILITY PLAN - 2
 OF:
OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 FOR:
OCEAN RIDGE REALTY, LLC
 91 OCEAN HOUSE ROAD
 CAPE ELIZABETH, MAINE 04107

Sebago Technics
Engineering & Planning for the Future
 One Chobot Street
 Westbrook, Me 04098-1339
 Tel (207) 858-0277

DESIGN BY:	JDA
DRAWN BY:	MAL
CHECKED BY:	LRB
DATE:	3-6-01
SCALE:	1"=30'
FIELD BK:	54
PROJ. NO.:	B4180
DRAWING:	B4180GJ2
SHEET	6 OF 18

MATCHLINE

GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

- Building code: BOCA Basic Building Code (1999)
- Design Live Loads: (Ground snow load = 60 PSF)
 - Roof.....42 PSF + Drift
 - Living areas.....40 PSF
- Design wind loads are based on exposure B using 85 mph basic wind speed.
- Seismic design utilizes the following criteria:
 - Building framing system: Concentrically braced frames, and shear walls.
 - Analysis procedure: Equivalent Lateral Force Procedure.
 - Seismic hazard exposure group: "I"
 - Seismic performance category: "C"
 - Soil profile type: "S1"
 - Peak velocity-related acceleration (Av): "0.10"
 - Peak acceleration (Aa): "0.10"
 - Response modification factor (R): "5"
 - Deflection amplification factor (Cd): "4 1/2"

FOUNDATION NOTES:

- Foundations have been designed with a presumptive soil bearing capacity indicated in of 2000 PSF to be verified in the field.
- Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill. If bedrock is encountered, contractor shall overexcavate and bear footings on 2'-0" thick layer of compacted structural fill.
- Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade.
- Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements. Concrete slabs shall be moist cured.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 Inch	100
3 Inch	90 to 100
1/4 Inch	25 to 90
NO. 40	0 to 30
NO. 200	0 to 5

- Structural fill beneath slabs shall be placed in layers not exceeding 12" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
- Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
- Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
- Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES:

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
 - 4000 PSI for basement walls.
 - 3000 PSI for footings, frost walls and piers.
 - 4000 PSI for all slabs on grade.
- All concrete shall be air entrained 4%-6% with approved admixtures.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
- Welded wire fabric shall be provided in flat sheets.
- Fiber reinforced concrete shall conform to ATSM C-1116.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit (6) blue line prints and (1) reproducible (sepia) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices with WWF shall be 6" minimum.
- Concrete finishes: See specifications and Architectural drawings. For additional information consult hardwood floor manufacturer for preferred concrete finish before placement.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
- The general contractor shall be responsible for coordination of: door bond out locations, slab depression and other required bond outs. Coordinate location of bond outs with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.
- Provide control joints in slabs as follows:
 - 15' x 15' (225 SF) with fibremesh reinforcement
 - 20' x 20' (400 SF) with welded wire fabric reinforcement

STRUCTURAL STEEL NOTES:

- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Latest edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR.B.
 - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4"Ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

TIMBER TRUSS FRAMING:

- Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.R. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
- Applicable specifications:
 - National Design Specification for stress graded lumber and its fastening (NDS).
 - Design specifications for light metal plate connected wood trusses (TPI-Latest edition)
- Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
- Submittals:
 - Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
 - Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
- All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
- Connector plates shall be galvanized.
- Timber trusses shall be designed in accordance with BOCA and ASCE 7-99.
- Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI-latest edition).
- Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.
- Maximum permissible floor live load deflection = L/480
See SB for floor loadings

TIMBER FRAMING:

- All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) -latest edition.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
- Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWPA C-18.
- Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Provide Simpson H2.5 hurricane anchors where timber framing and/or trusses bear on walls.
- Nailing not specified shall conform with BOCA 1999.
- Exterior wall sheathing shall be 1/2" thick APA rated sheathing fastened with 10d nails @ 4" o.c. at panel edges and 6" o.c. intermediate, (typ unless otherwise noted)
- Floor decking shall be 3/4" thick APA rated "STURDI-FLOOR" plywood sheathing fastened with construction adhesive and 10d nails @ 6" o.c. at panel edges and intermediate.
- Roof sheathing shall be 5/8" thick APA rated sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
- All 2 x P.T. sill plates shall be installed on sill sealer.

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EMAIL: mark.lecture@verizon.net

description	date	rev.

designed by: JHL	checked by: JHL	scale: NO SCALE	date: JULY 12, 2004	plot date:	project #: 23035
drawn by: JHL					

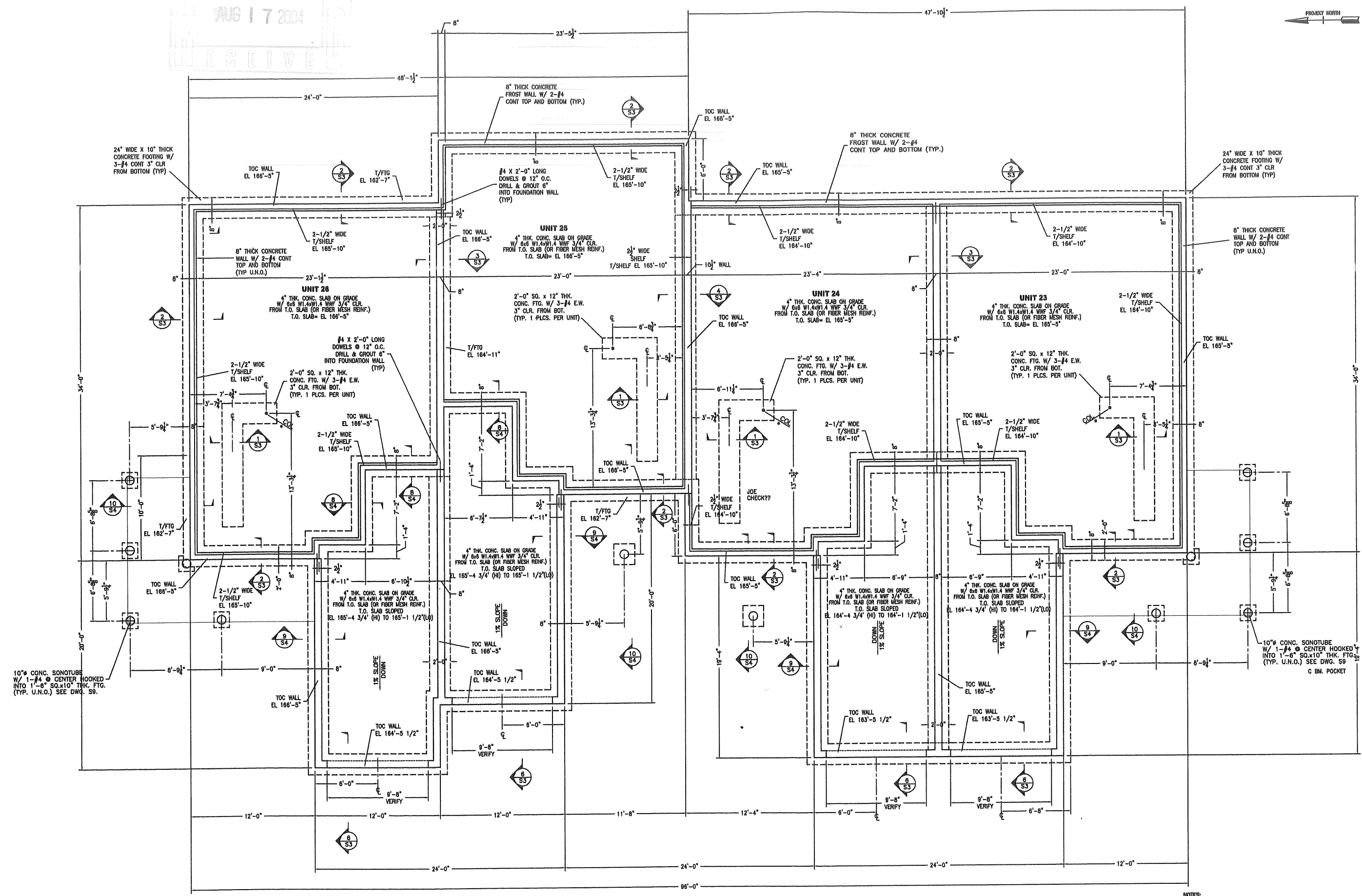
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
GENERAL NOTES
UNITS 23, 24, 25, 26

S1

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CITY OF PORTLAND, ME
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416 AA003



FOUNDATION PLAN
1/4"=1'-0"

- NOTES
- SEE GENERAL NOTES ON S1.
 - *S* INDICATES 3-1/2" LALLY COLUMN ON A 2'-6" SQ. x 12" THICK CONCRETE FOOTING W/ 4-#4 E.W. 3" CLEAR FROM BOTTOM OF FOOTING.

rev.	date	description

designed by: JLL
drawn by: JLL
checked by: JLL
scale:
date: July 12, 2004
plot date: -
project #: -

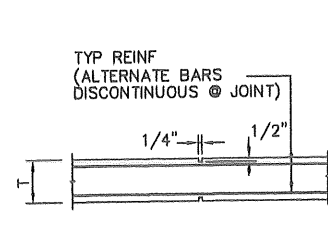
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION PLAN
UNITS 23, 24, 25, 26

S2

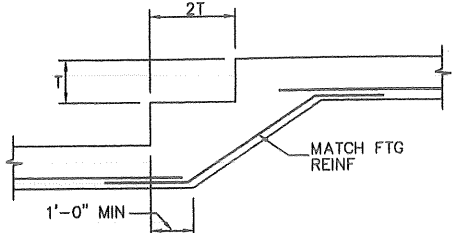
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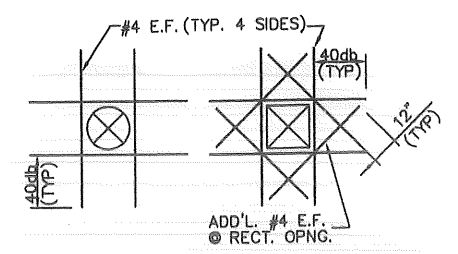
416 AA003



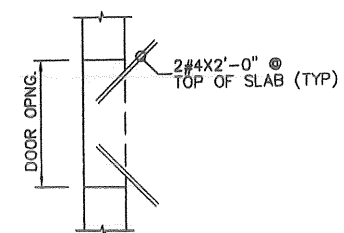
TYP CONTROL JOINT IN WALL
N.T.S.



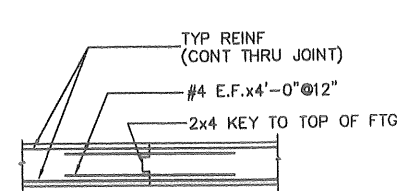
TYP STEP FOOTING DETAIL
N.T.S.
NOTE: T = FOOTING THICKNESS



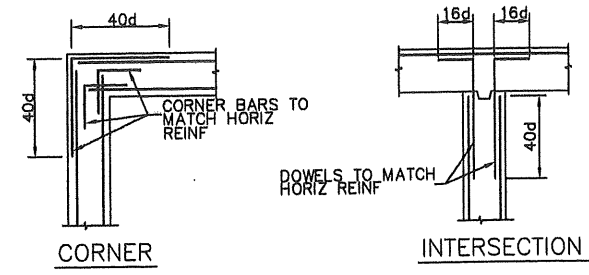
TYP. OPENING IN WALL OR SLAB
N.T.S.
NOTE: OPENING IN SLAB APPLIES @ ALL OPENINGS



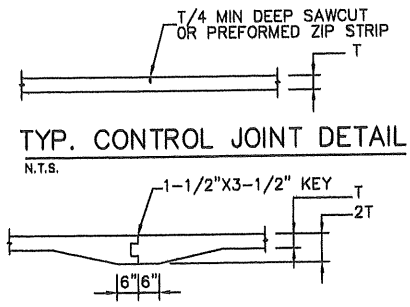
TYP. SLAB CORNER DETAIL @ DOOR
N.T.S.
NOTE: PROVIDE 2#4x4'-0\"/>



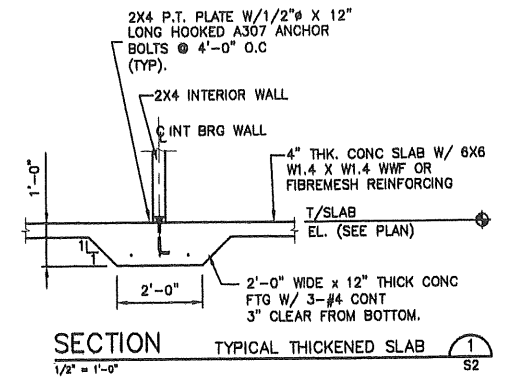
TYP. CONSTRUCTION JOINT IN WALL
N.T.S.
NOTES:
1. CONST JOINT DOES NOT EXTEND THRU FTG
2. DISTANCE BETWEEN CONST JOINTS IN STRAIGHT LENGTHS OF WALL NOT TO EXCEED 60'-0"



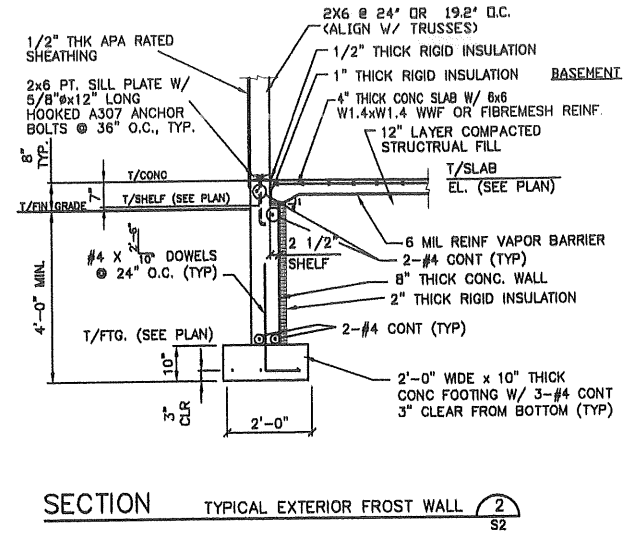
TYP WALL REINF DETAILS
N.T.S.



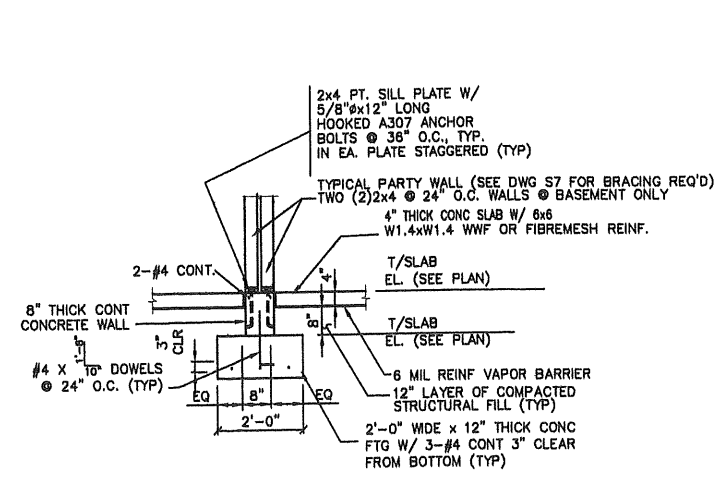
TYP. CONTROL JOINT DETAIL
N.T.S.



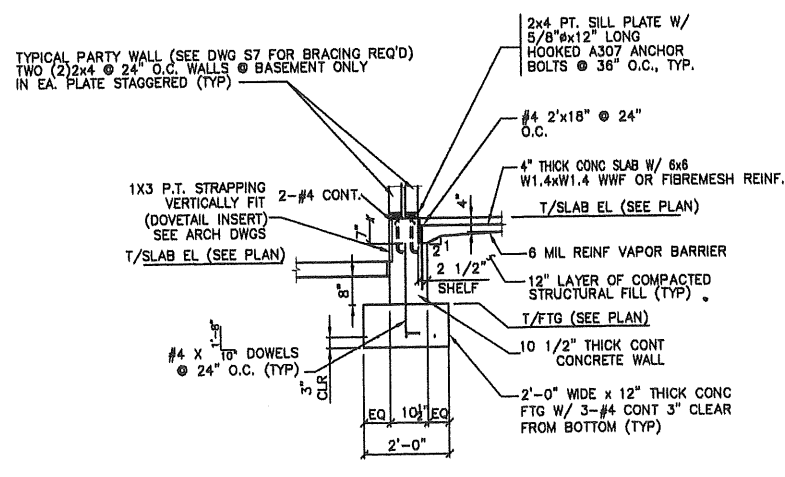
SECTION TYPICAL THICKENED SLAB
1/2\"/>



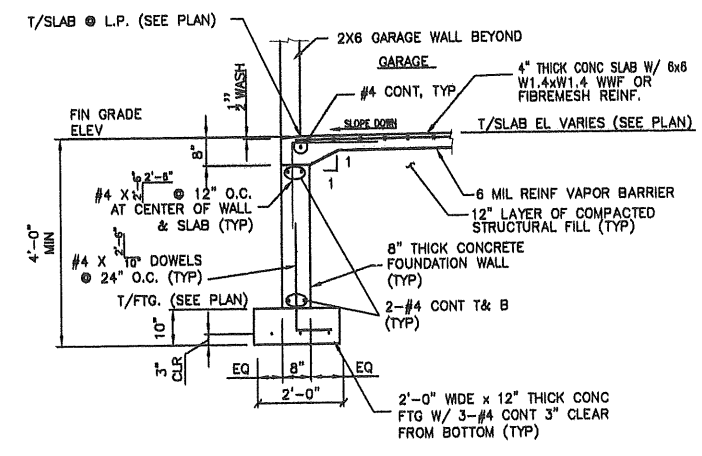
SECTION TYPICAL EXTERIOR FROST WALL
2



SECTION TYPICAL PARTY WALL
1/2\"/>



SECTION TYPICAL PARTY WALL
1/2\"/>



SECTION TYPICAL GARAGE ENTRY SLAB
1/2\"/>

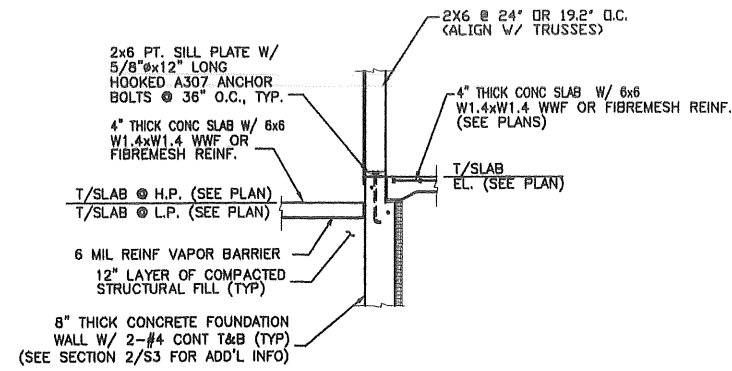
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designed by: JHL
drawn by: JHL
checked by: JHL
scale:
date: JULY 12, 2004
plot date: -
project #: 23035

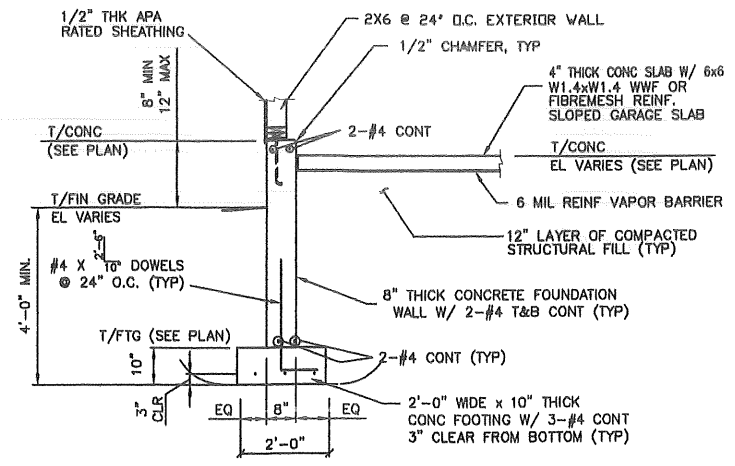
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 23, 24, 25, 26

S3

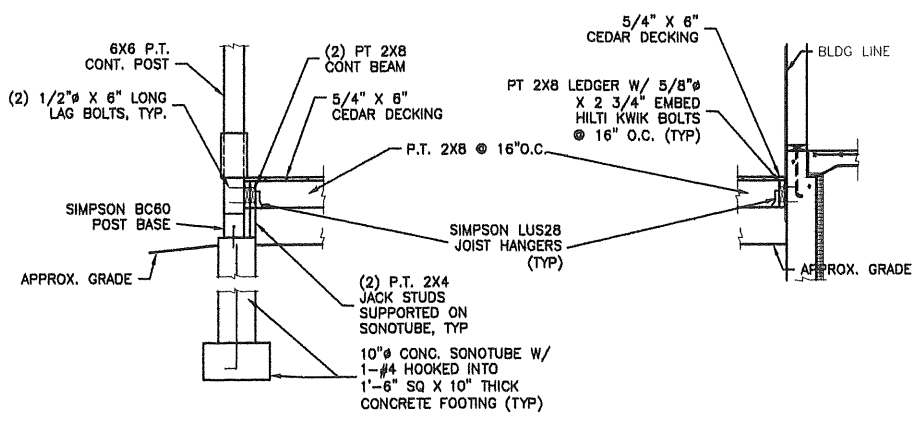
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SECTION 8
1/2" = 1'-0" TYPICAL BASEMENT WALL ADJACENT TO GARAGE S2, S5



SECTION 9
1/2" = 1'-0" TYPICAL GARAGE SIDE WALLS S2



SECTION 10
1/2" = 1'-0" TYPICAL ENTRY PORCHES S2, S5

416 HA003

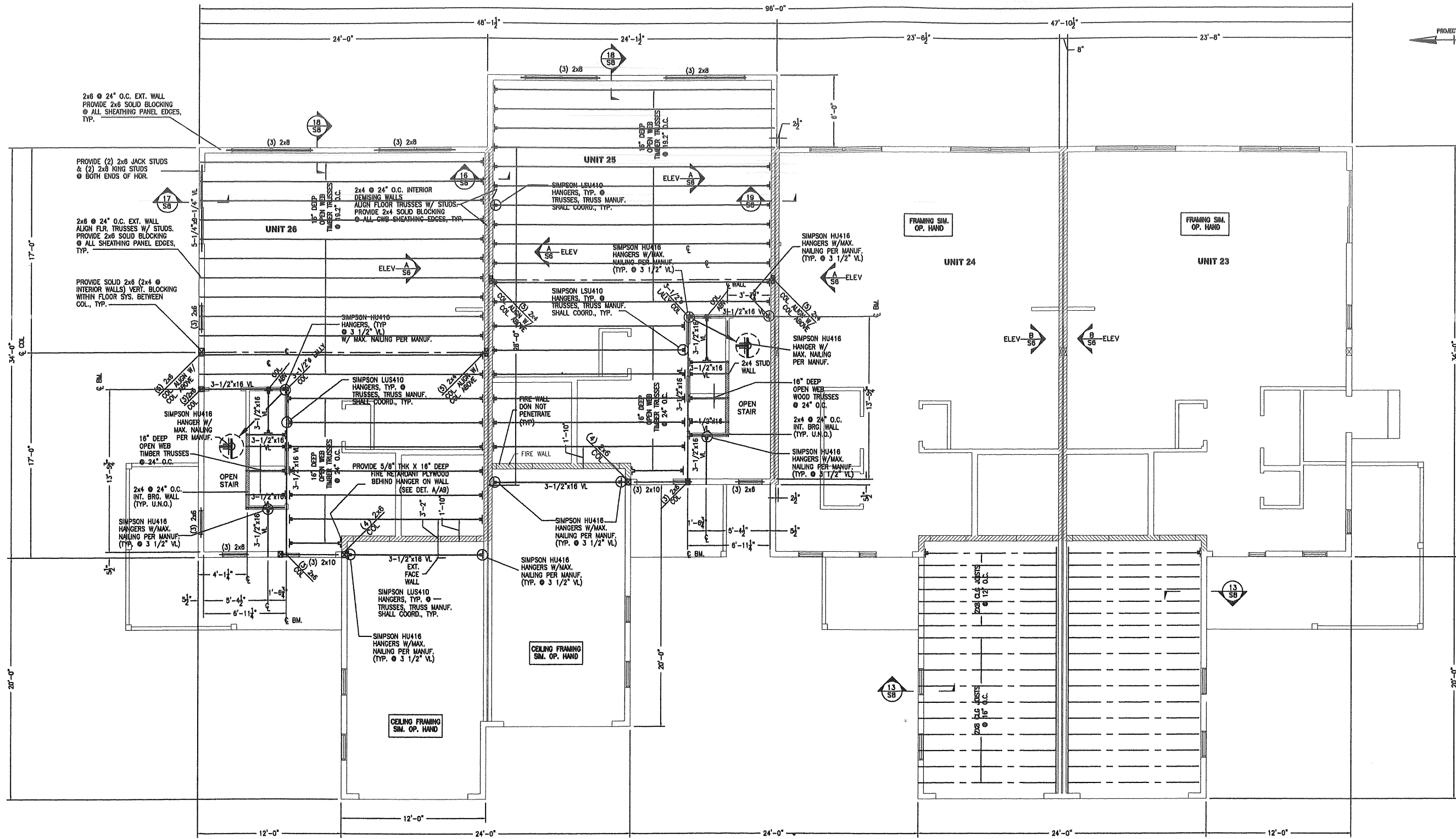
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852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 23, 24, 25, 26

S4

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SECOND FLOOR FRAMING PLAN
1/4"=1'-0"

416 AA 003

LEGEND

BEARING WALL

NOTES:

- SEE GENERAL NOTES ON S1.
- "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
- PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS. (TYP. U.N.D.)

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OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR FRAMING PLAN
UNITS 23, 24, 25, 26

S5

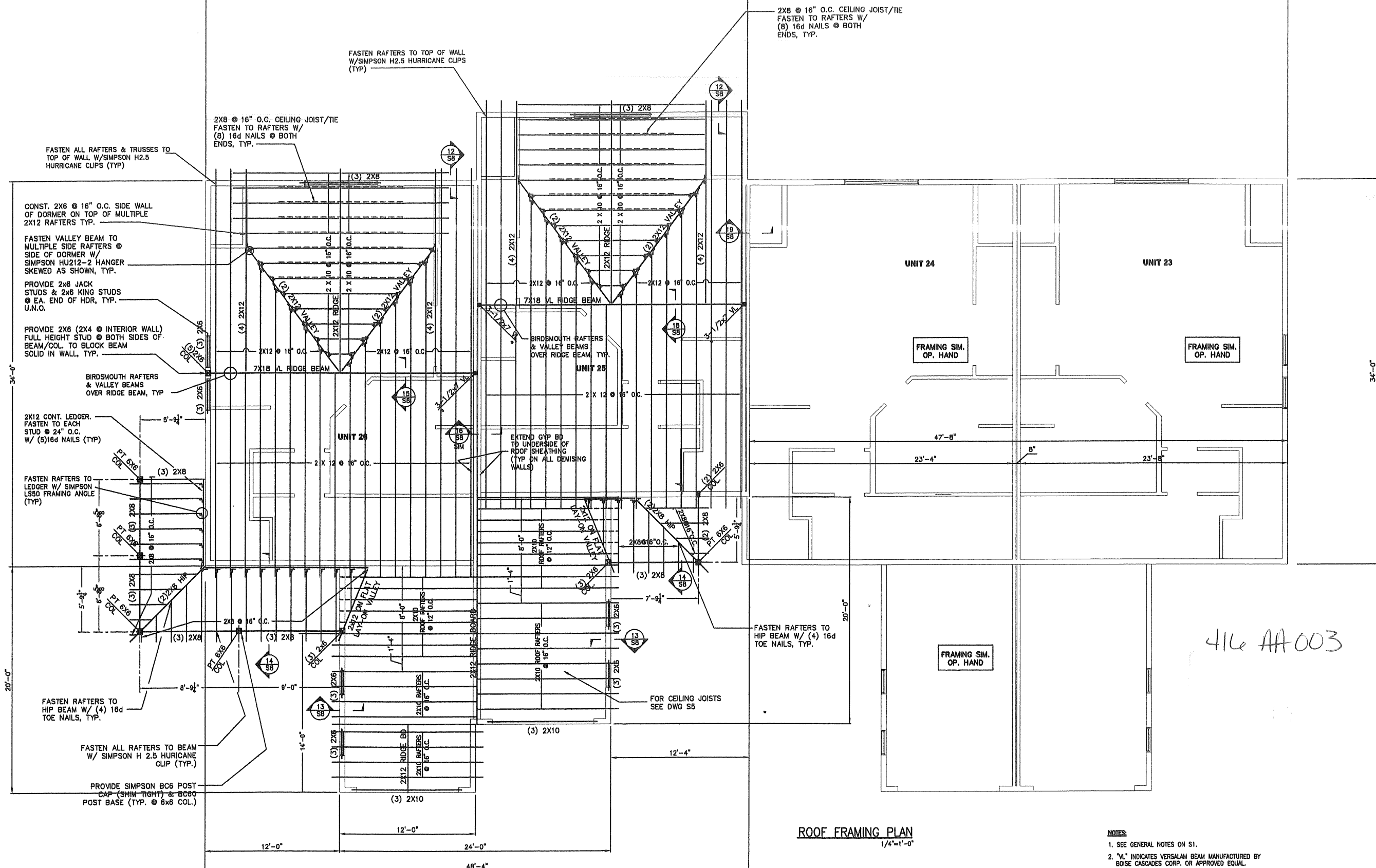
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date: JULY 12, 2004	plot date:
project #: 23035	

48'-1 1/2"

47'-10 1/2"



FASTEN ALL RAFTERS & TRUSSES TO TOP OF WALL W/SIMPSON H2.5 HURRICANE CLIPS (TYP)

2X8 @ 16" O.C. CEILING JOIST/TIE FASTEN TO RAFTERS W/ (8) 16d NAILS @ BOTH ENDS, TYP.

2X8 @ 16" O.C. CEILING JOIST/TIE FASTEN TO RAFTERS W/ (8) 16d NAILS @ BOTH ENDS, TYP.

CONST. 2X8 @ 16" O.C. SIDE WALL OF DORMER ON TOP OF MULTIPLE 2X12 RAFTERS TYP.

FASTEN VALLEY BEAM TO MULTIPLE SIDE RAFTERS @ SIDE OF DORMER W/ SIMPSON HU212-2 HANGER SKEWED AS SHOWN, TYP.

PROVIDE 2x6 JACK STUDS & 2x6 KING STUDS @ EA. END OF HDR, TYP. U.N.O.

PROVIDE 2X6 (2X4 @ INTERIOR WALL) FULL HEIGHT STUD @ BOTH SIDES OF BEAM/COL. TO BLOCK BEAM SOLID IN WALL, TYP.

BIRDsmouth RAFTERS & VALLEY BEAMS OVER RIDGE BEAM, TYP

2X12 CONT. LEDGER. FASTEN TO EACH STUD @ 24" O.C. W/ (5) 16d NAILS (TYP)

FASTEN RAFTERS TO LEDGER W/ SIMPSON LS50 FRAMING ANGLE (TYP)

FASTEN RAFTERS TO HIP BEAM W/ (4) 16d TOE NAILS, TYP.

FASTEN ALL RAFTERS TO BEAM W/ SIMPSON H 2.5 HURRICANE CLIP (TYP.)

PROVIDE SIMPSON BC6 POST CAP (SHIM TIGHT) & BC80 POST BASE (TYP. @ 6x6 COL.)

FASTEN RAFTERS TO HIP BEAM W/ (4) 16d TOE NAILS, TYP.

FOR CEILING JOISTS SEE DWG S5

ROOF FRAMING PLAN
1/4"=1'-0"

NOTES

1. SEE GENERAL NOTES ON S1.
2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
3. * INDICATES COLUMN PROPERTIES SHALL BE "VERSA-LAM BEAM" 3080 Fb Df (E=2.0x10⁶ PSI AND Fb=3080 PSI).
4. ROOF TRUSS LOADING SHALL BE AS FOLLOWS:

LEGEND

BEARING WALL

TRUSS TYPE 'A' @ 24" O.C.

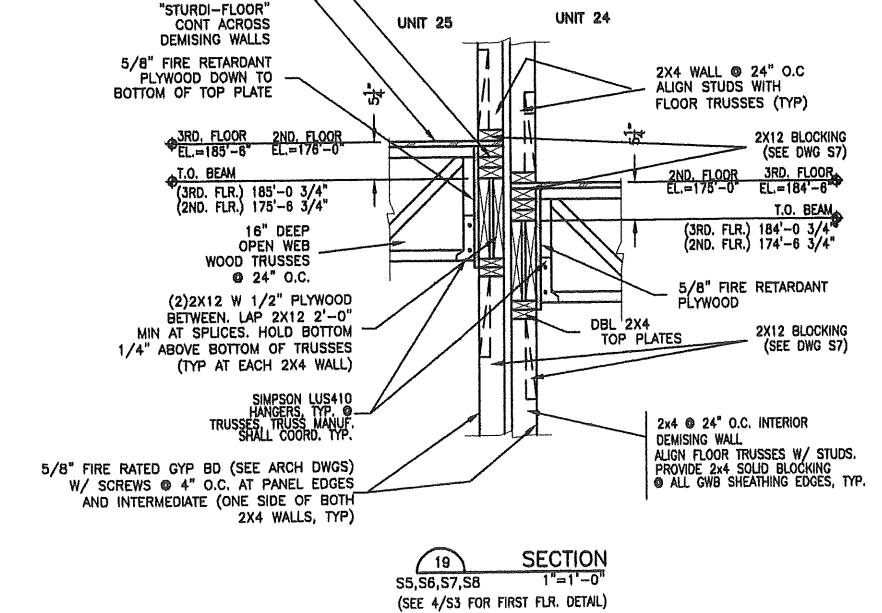
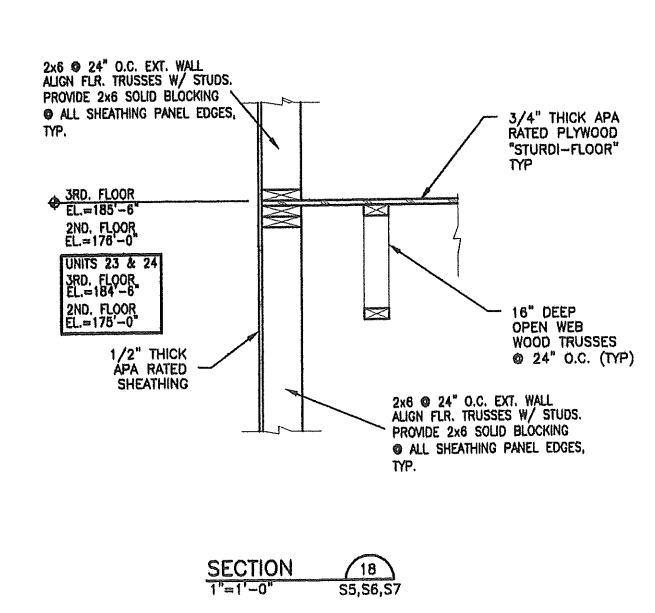
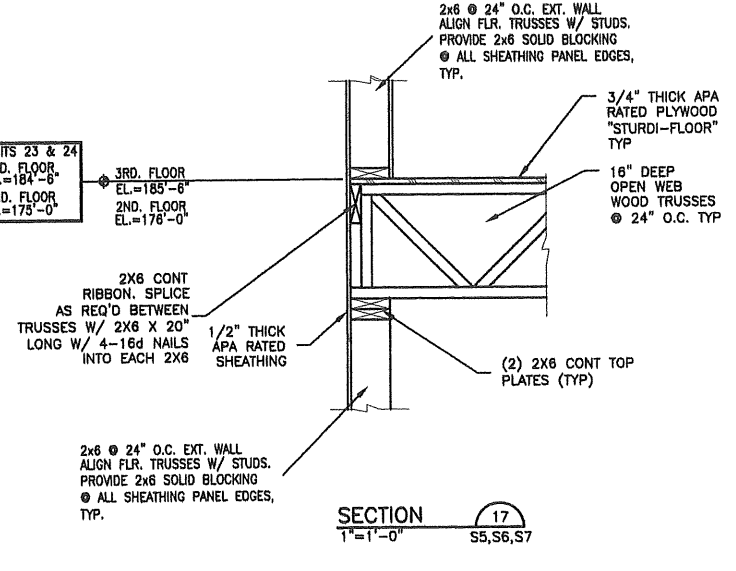
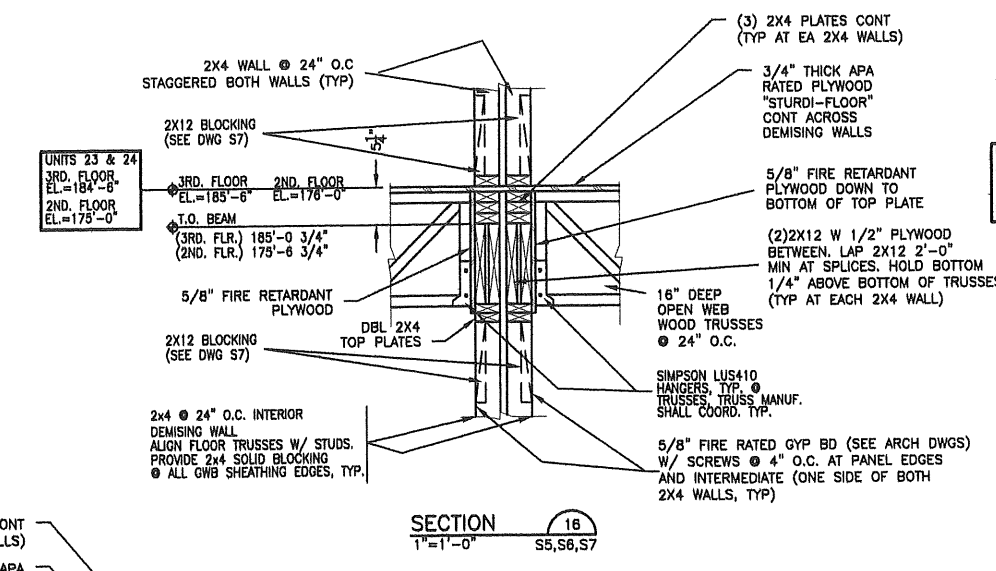
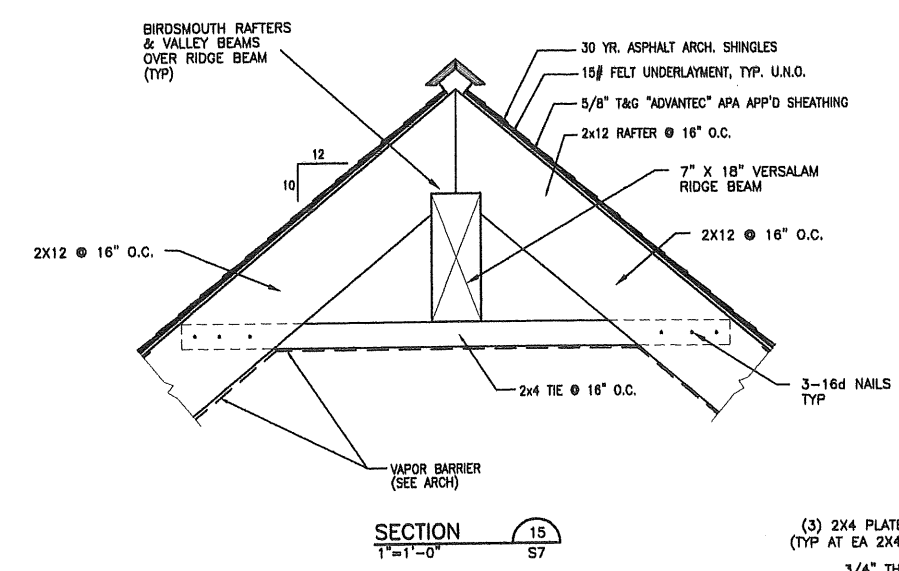
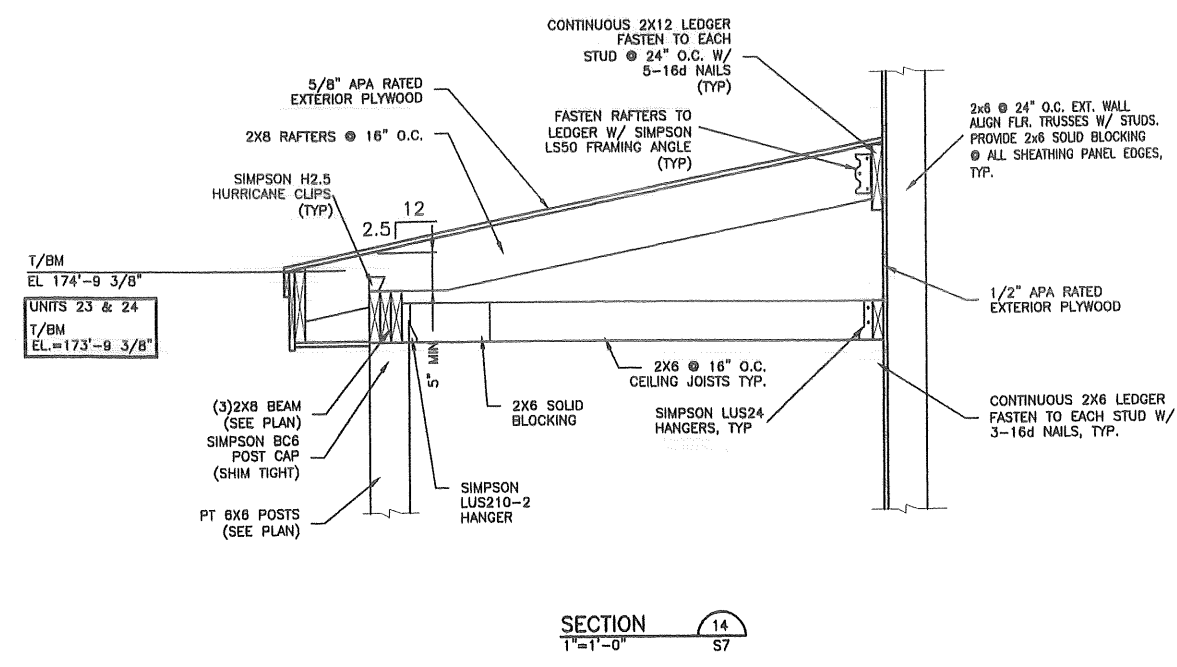
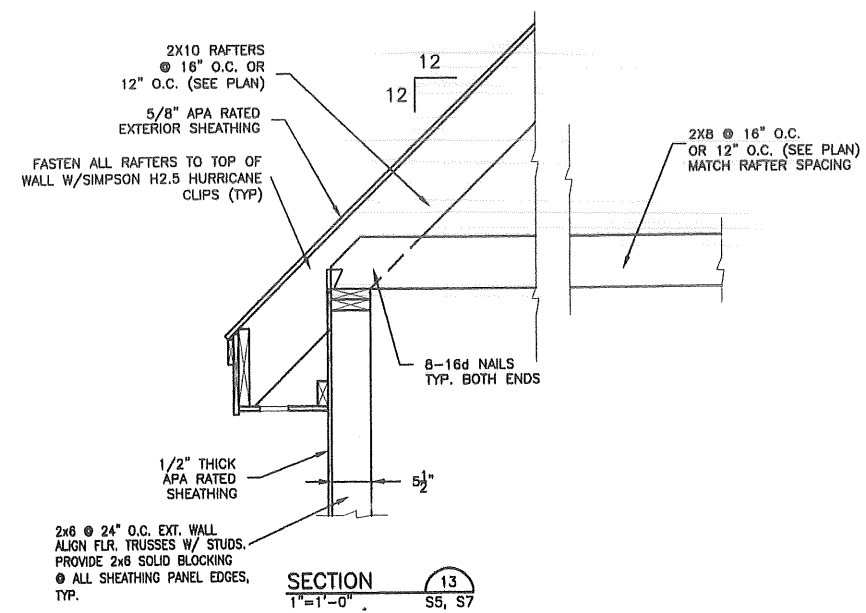
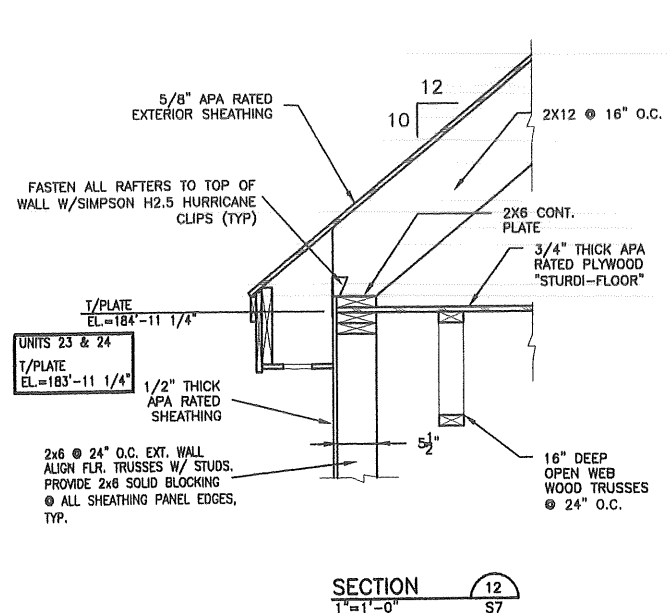
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JHL	JHL	JHL		JULY 12, 2004	23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF FRAMING PLAN
UNITS 23, 24, 25, 26

S7



416 AA003

NOTE:

ELEVATIONS FOR UNITS 25 & 26 SHOWN

ELEVATIONS FOR UNITS 23 & 24:

FIRST FLOOR	185'-6"
SECOND FLOOR	175'-0"
THIRD FLOOR	184'-8"
PORCH	184'-11 3/4"
GARAGE	184'-4 3/4" @ H.P. 184'-1 1/2" @ L.P.

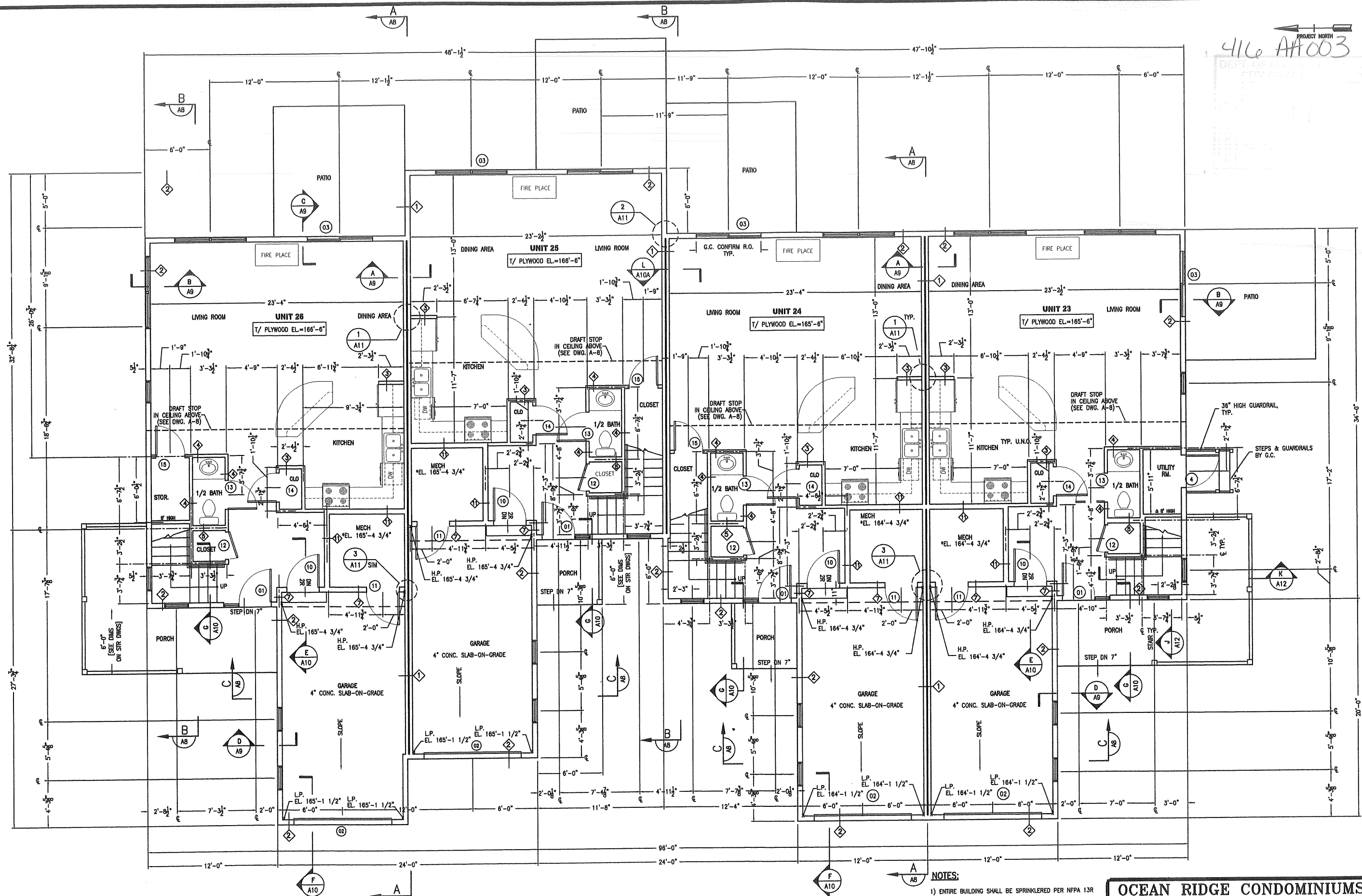
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drawn by: jll	approved by: jll	plot date: -
project #: 23035	revision:	description:
date:	date:	date:

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FRAMING SECTIONS AND DETAILS
UNITS 23, 24, 25, 26



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PROJECT NORTH
 416 A1003
 DEPT. OF BUILDING & CONSTRUCTION
 CITY OF PORTLAND, MAINE

REV.	DATE	STATUS
1	6-27-04	

FIRST FLOOR PLAN
 1/4"=1'-0"

- NOTES:
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
 - 2) FOR WALL TYPES, SEE DWG. A12.
 - 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.
 - 4) KITCHEN EQUIPMENT & LAYOUT BY OTHERS

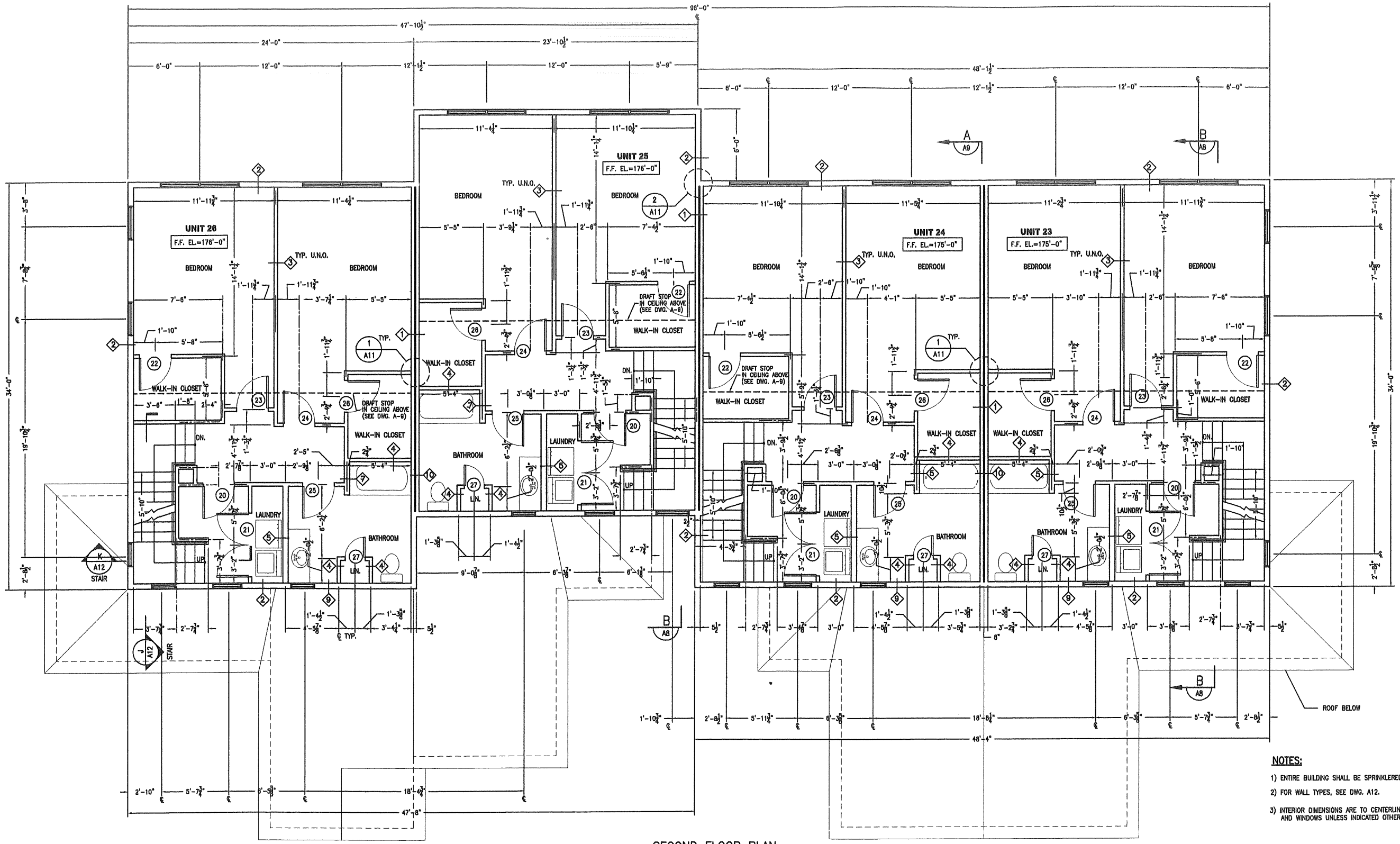
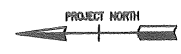
OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 FIRST FLOOR PLAN
 UNITS 23, 24, 25, & 26

JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106

A1

416 AA003

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG 17 2004

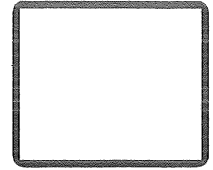


SECOND FLOOR PLAN
1/4"=1'-0"

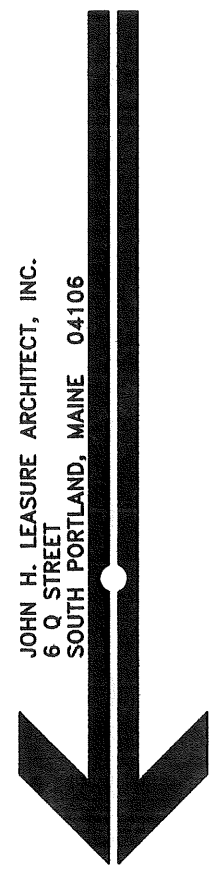
NOTES:

- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
- 2) FOR WALL TYPES, SEE DWG. A12.
- 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 SECOND FLOOR PLAN
 UNITS 23, 24, 25, & 26

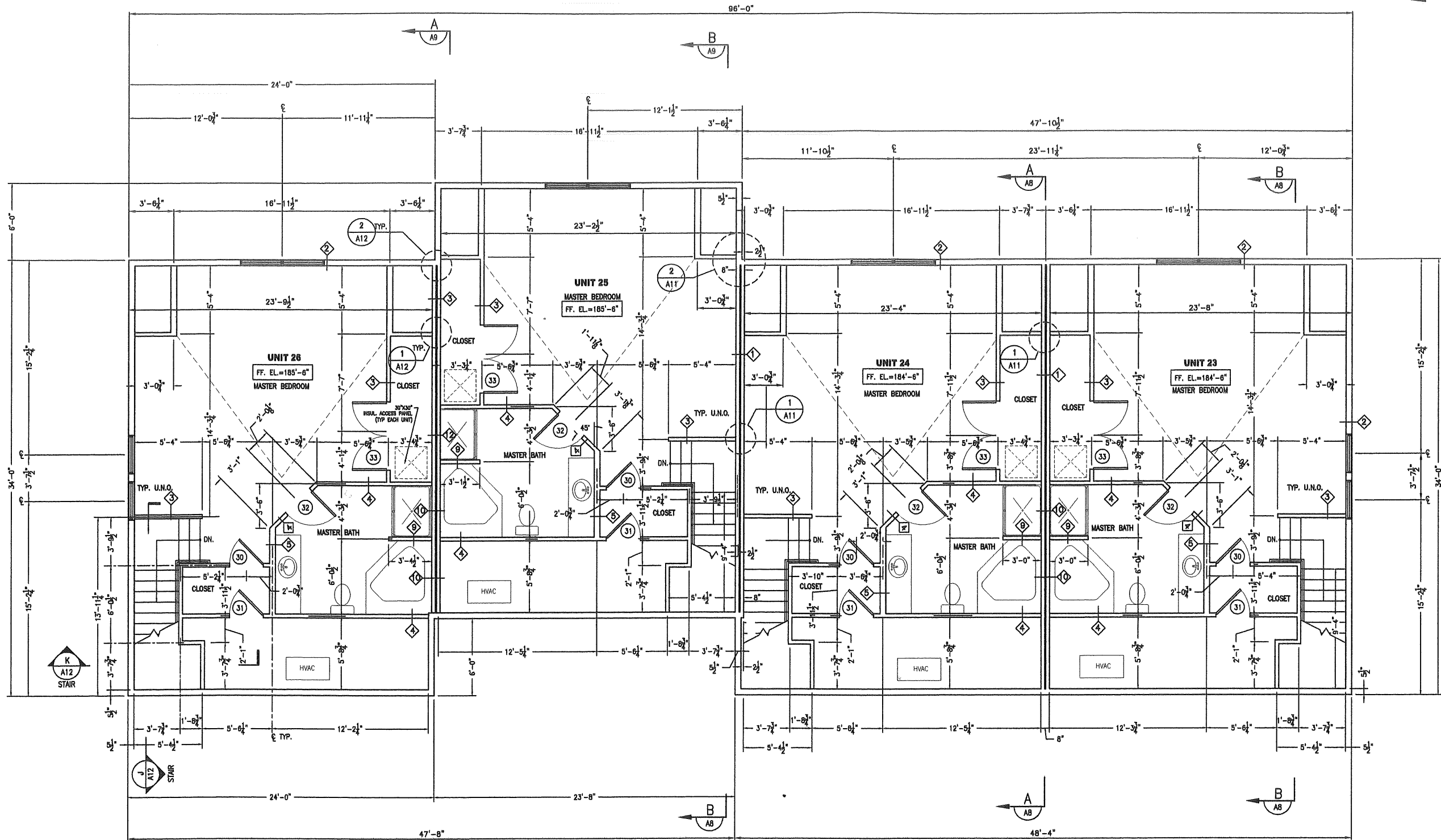


REV.	DATE	STATUS
1	6-27-04	



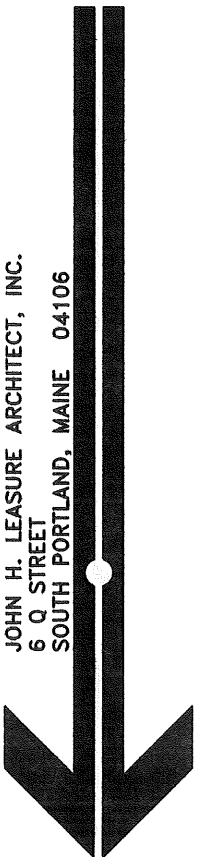
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A2



REV.	DATE	STATUS

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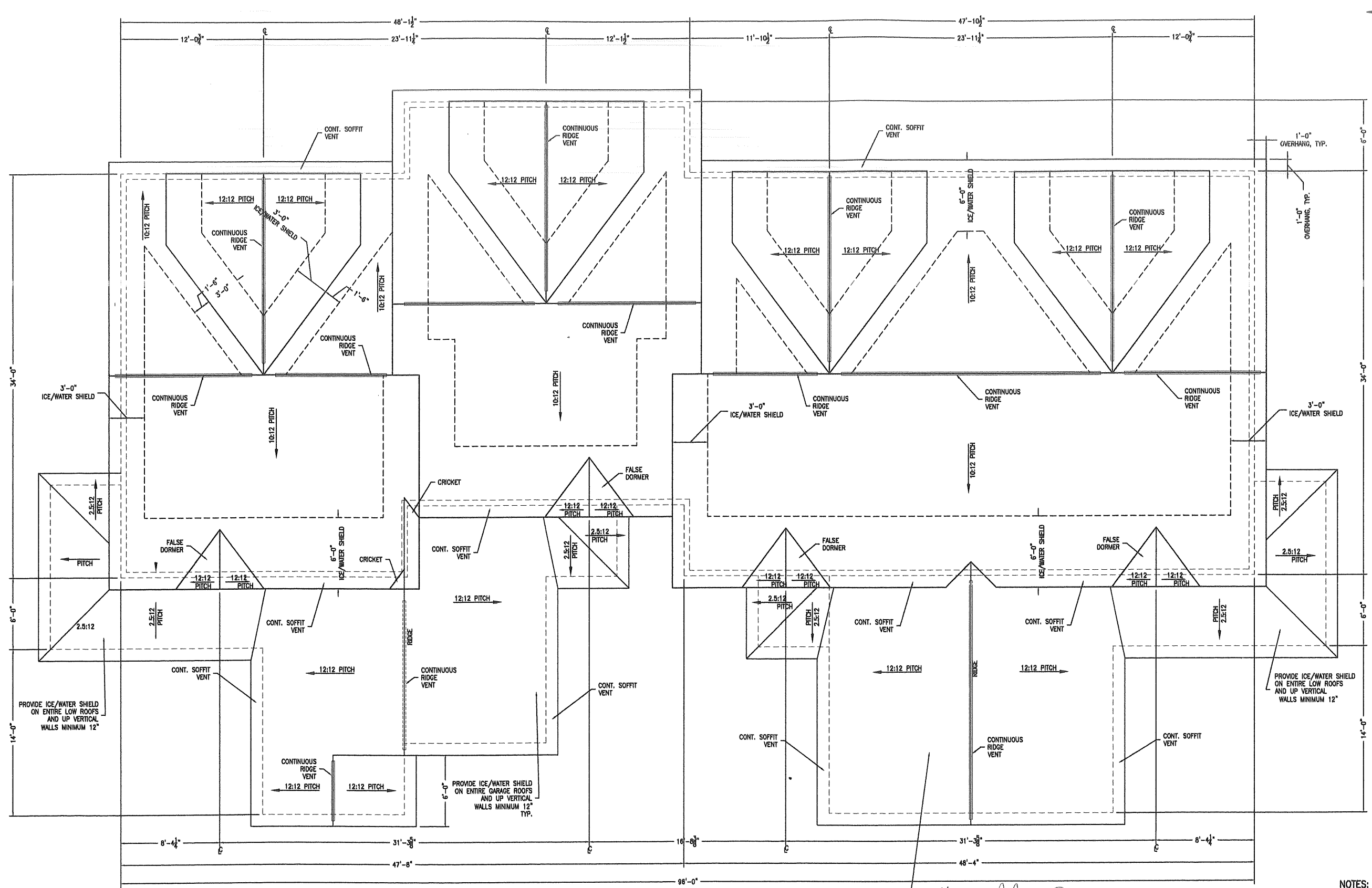
WILE AA003

THIRD FLOOR PLAN
 1/4"=1'-0"

- NOTES:**
- ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
 - FOR WALL TYPES, SEE DWG. A9.
 - INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
 THIRD FLOOR PLAN
 UNITS 23, 24, 25, & 26

A3



REV.	DATE	STATUS
6-27-04		

ROOF PLAN
1/4"=1'-0"

PROVIDE ICE/WATER SHIELD ON ENTIRE GARAGE ROOFS AND UP VERTICAL WALLS MINIMUM 12" TYP.

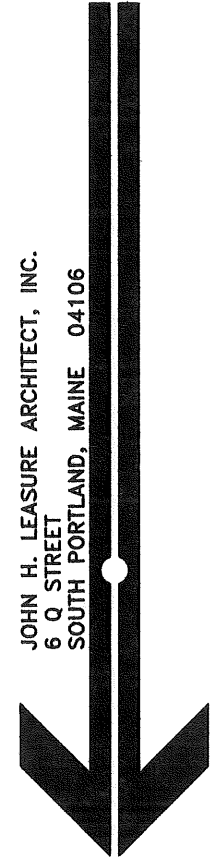
416 AA-003

NOTES:

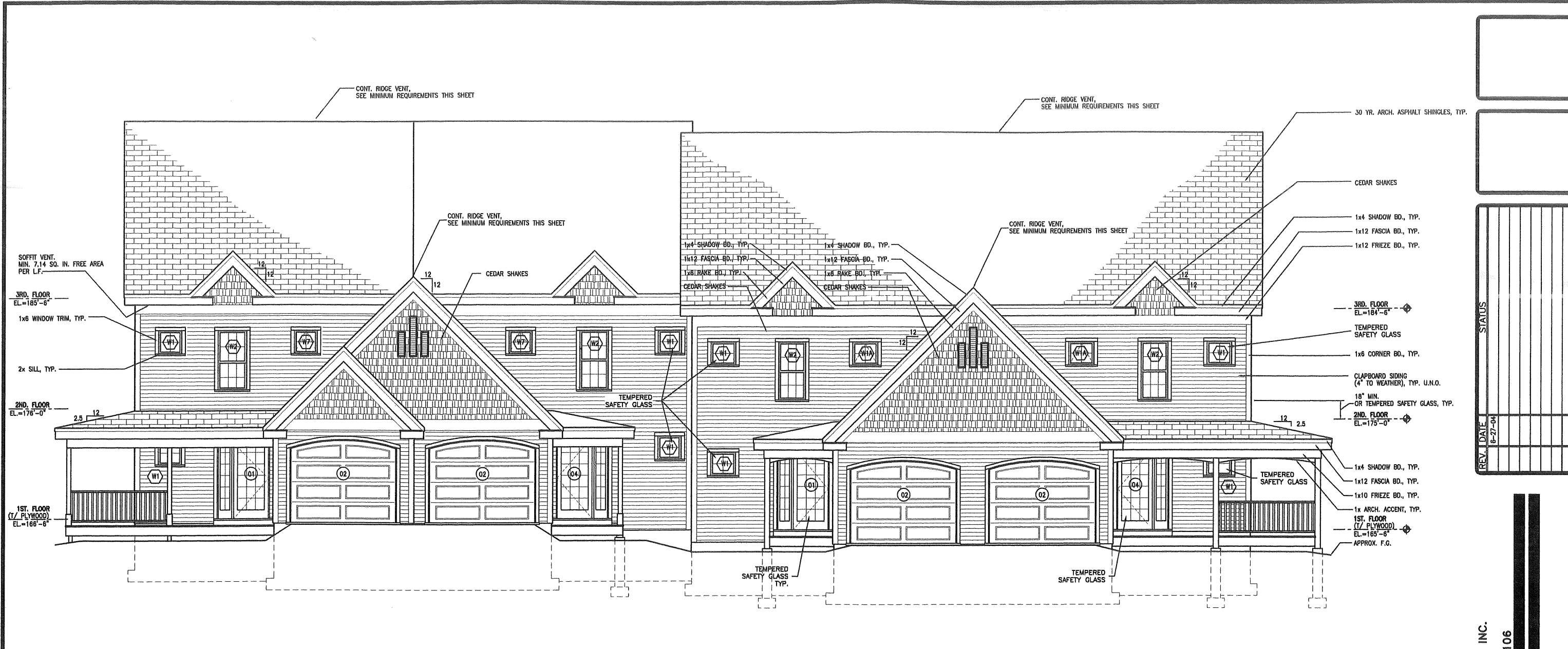
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
- 2) SEE A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF PLAN
UNITS 23, 24, 25, 26

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106



A4



WEST ELEVATION
1/4"=1'-0"

ATTIC MINIMUM VENTILATION REQUIREMENTS
(WITH VAPOR BARRIER AT CEILING)

MAN ROOF EACH UNIT, TYP.	REQ'D. TOTAL FREE AREA	COMMENTS
RIDGE	1.36 SF.	
SOFFIT	1.36 SF.	
GARAGES		
RIDGE	.88 SF.	
SOFFIT	.88 SF.	
3RD. FLOOR DORMERS (EA)		
RIDGE	0.32 SF.	(SEE A7)
SOFFIT	0.32 SF.	(SEE A7)

NOTE:
 1. IF GRAVITY VENTILATION IS INSUFFICIENT TO MEET MINIMUM REQ'MENTS OR NOT UNIFORMLY DISTRIBUTED, THEN MECHANICAL METHODS MUST BE USED TO PROVIDE MINIMUM REQUIREMENTS AS LISTED ABOVE. (CONSULT MECHANICAL P.E. FOR PROPER DESIGN)
 2. G.C. SHALL VERIFY RIDGE AND SOFFIT PRODUCTS AND PROVIDE THE MINIMUM CLEAR FREE AREA REQ'D AS SHOWN ABOVE. SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW & APPROVAL.

REV.	DATE
	6-27-04

JOHN H. LEASURE ARCHITECT, INC.
 6 O STREET
 SOUTH PORTLAND, MAINE 04106

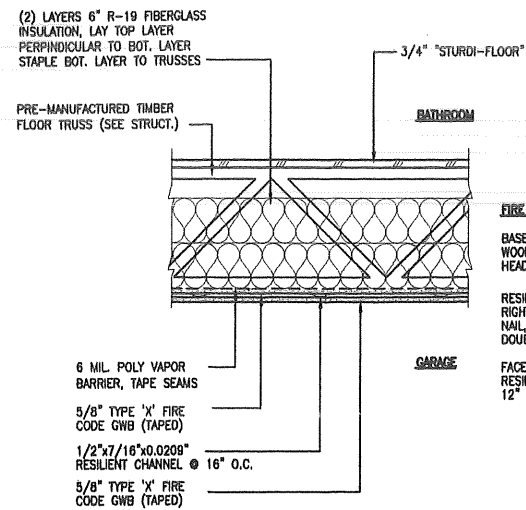


OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 WEST ELEVATION
 UNITS 23, 24, 25, 26

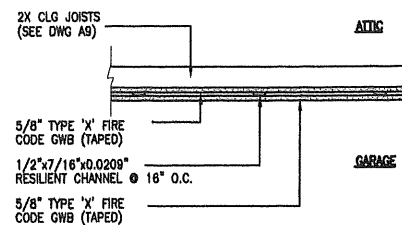
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CEILING TYPES



A CEILING
(1 HR. FIRE RATED)



B CEILING
(1 HR. FIRE RATED)

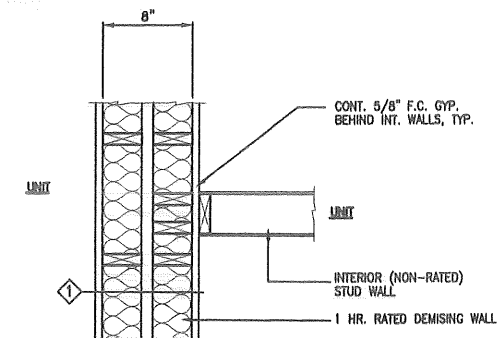
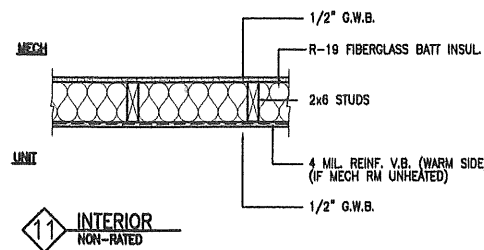
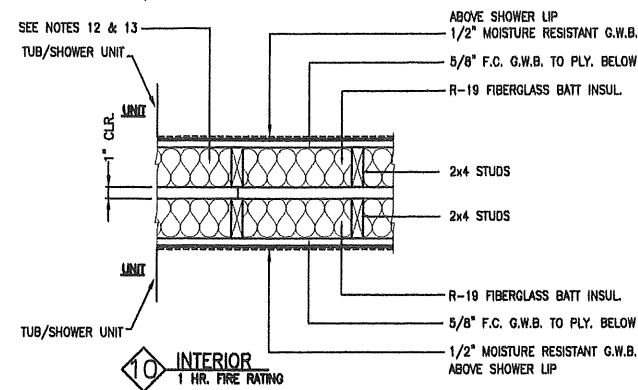
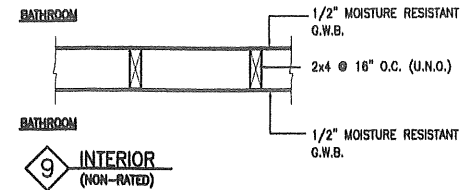
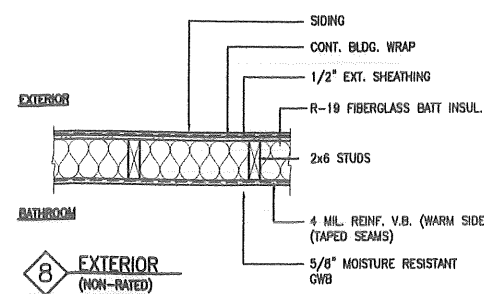
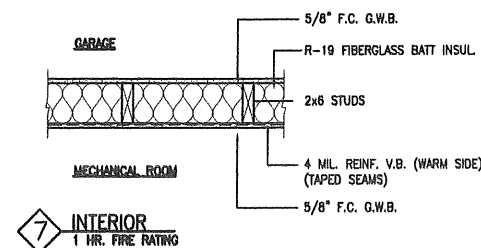
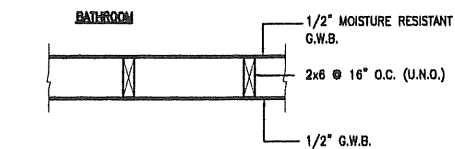
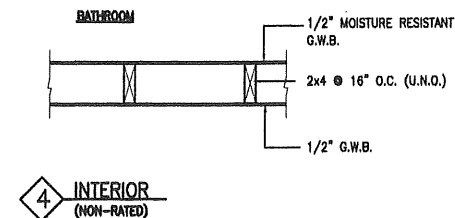
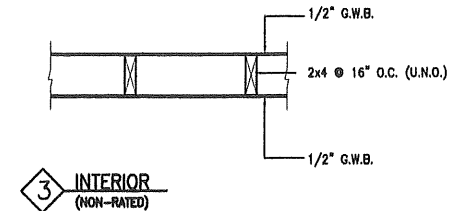
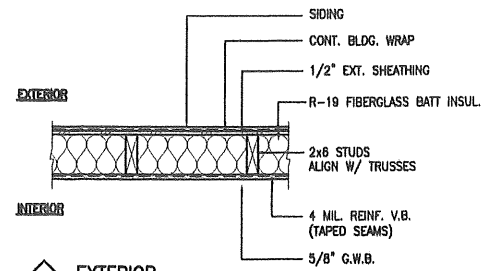
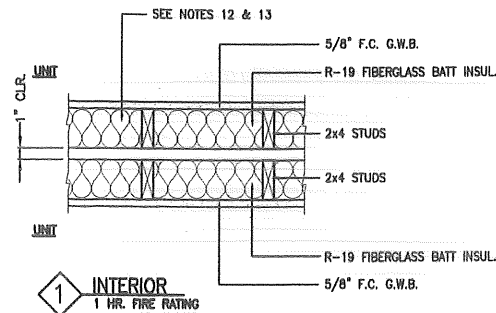
FIRE RESISTANT CEILING
BASE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG, 0.113" SHANK, 19/64" HEADS, 7" O.C. ALL SEAMS TAPED.
RESILIENT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL, 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.
FACE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

FIRE RESISTANT CEILING
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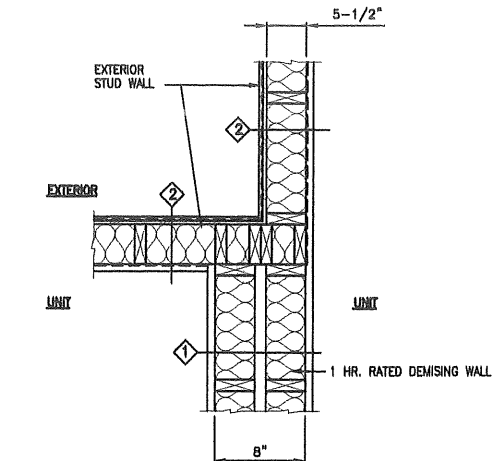
GENERAL NOTES

- ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS, AND VERIFY PROPOSED RENOVATIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS PRIOR TO PROCEEDING WITH WORK
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL WORK SHALL BE IN ACCORDANCE WITH ANSI, BOCA 1999, NEC NFPA 101, AND ALL LOCAL, STATE, & FEDERAL REQUIREMENTS
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS
- MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STATE AND FEDERAL STANDARDS
- ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MAXIMUM 7 3/4" RISER AND A MINIMUM 10" DEEP TREAD
- FINISHES SHALL BE DRYWALL, TAPED, SANDED AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS
- COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/G.C. PRIOR TO PROCEEDING WITH WORK
- SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION
- FIRE DOOR ASSEMBLY, INCLUDING THE DOORWAY, FRAME, DOOR AND NECESSARY HARDWARE SHALL CONFORM TO NFPA-101 SECTION 5-1.
- ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SLEEVED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE SAFING MATERIAL IF NEEDED.
- VERTICAL CUTOUTS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED AT THE MIDPOINT BETWEEN STUDS. NO CUTOUTS SHALL BE LOCATED BEHIND JOIST BEARINGS.
- SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL.

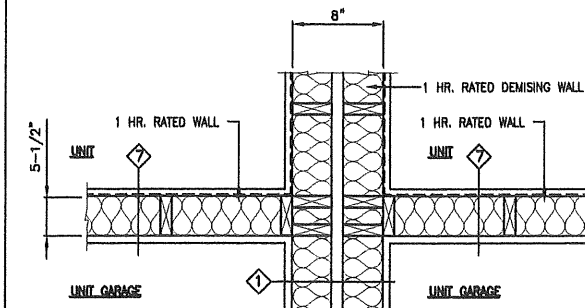
WALL TYPES



1 DEMISING WALL/INTERIOR WALL
A1, A2, A3 N.T.S.



2 DEMISING WALL/EXTERIOR WALL
A1, A2, A3 N.T.S.



3 GARAGE/UNIT DEMISING WALL
A1 N.T.S.

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OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
WALL TYPES & DETAILS
UNITS 23, 24, 25, 26

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

A11

REV. DATE STATUS
8-27-04

DOOR SCHEDULE

DOOR SCHEDULE ABBREVIATIONS

CLO. CLOSER	HDWE HARDWARE	S. STEEL
D.C. DOOR CHAIN	HM HOLLOW METAL	S.C. SOLID CORE HARDBOARD
D.K. DOOR KNOCKER	INS INSULATED	S.H. SPRING HINGE
D.S. DOOR SWEEP	K KICKPLATE (PUSH SIDE)	S.J. SPLIT JAMB (WOOD)
EHO ELECTRO. HOLD OPENER	KL KEY LOCK	TEMP TEMPERED
ES ELECTRIC STRIKE	MTL METAL	THK THICKNESS
F.J.P. FINGER JOINTED PRIMED	NO NUMBER	WD WOOD (SOLID)
FR FIRE RATED	P.H. PANIC HARDWARE	WG WIRE GLASS
HA HANDICAP ACCESSIBLE	P. PULL	V VEWER
HC HOLLOW CORE HARDBOARD	P.R.S. PRIVACY SET	
	P.S. PASSAGE SET	

DOORS

NO.	TYPE	SIZE	THK.	F.R.	HDWE SET	MAT.	GLASS		REMARKS	FRAME TYPES			THRESHOLD				
							SIZE	TYPE		TYPE	MAT.	F.R.	DETAILS HEAD	DETAILS JAMB	MAT.	DETAIL SILL	HT.
EXTERIOR																	
01	A	3'-0" x 6'-8"	1 3/8"		KNOB	WOOD	-	-	INS, KL, TEMP, DS	BB	WOOD	-	-	C	ALUM	-	-
02	I	9'-0" x 7'-0"			MFR	INSUL			INSUL O.H. GARAGE DOOR	DD	WOOD	-	-	C	WOOD	-	-
03	C	6'-0" x 6'-8"			MFR				INS, TEMP	BB	WOOD	-	-	C	ALUM	-	-
04	G	3'-0" x 6'-8"	1 3/8"		PULL	18GA MTL	-	-	INS, KL, DC	AA	MTL	-	-	C	ALUM	-	-
FIRST FLOOR																	
10	F	3'-0" x 6'-8"	1 3/4"	1 HR.	KNOB	18GA MTL	-	-	INS, CLO, DS	CC	MTL	-	-	D		-	-
11	F	3'-0" x 6'-8"	1 3/4"	1 HR.	KNOB	18GA MTL	-	-	INS, SH, LOCKSET, DS	CC	MTL	-	-	D		-	-
12	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	P.S.	BB	WD	-	-	C	WOOD	-	-
13	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	P.R.S.	BB	WD	-	-	C	WOOD	-	-
14	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD	-	-	P.S.	BB	WD	-	-	C	WOOD	-	-
15	B	2'-8" x 6'-8"	1 3/4"		KNOB		-	-	SH, DS, PS	BB	WD	-	-	C	WOOD	-	-
SECOND FLOOR																	
20	B	PR 2'-8" x 6'-8"	1 3/8"		KNOB	WD			P.R.S.	BB	WD			C	WOOD		
21	B	PR 2'-8" x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
22	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
23	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
24	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
25	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
26	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
27	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
THIRD FLOOR																	
30	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			LOCKSET	BB	WD			C	WOOD		
31	B	2'-8" x 4'-0"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
32	B	PR 2'-8" x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
33	B	2'-8" x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		

WINDOW SCHEDULE

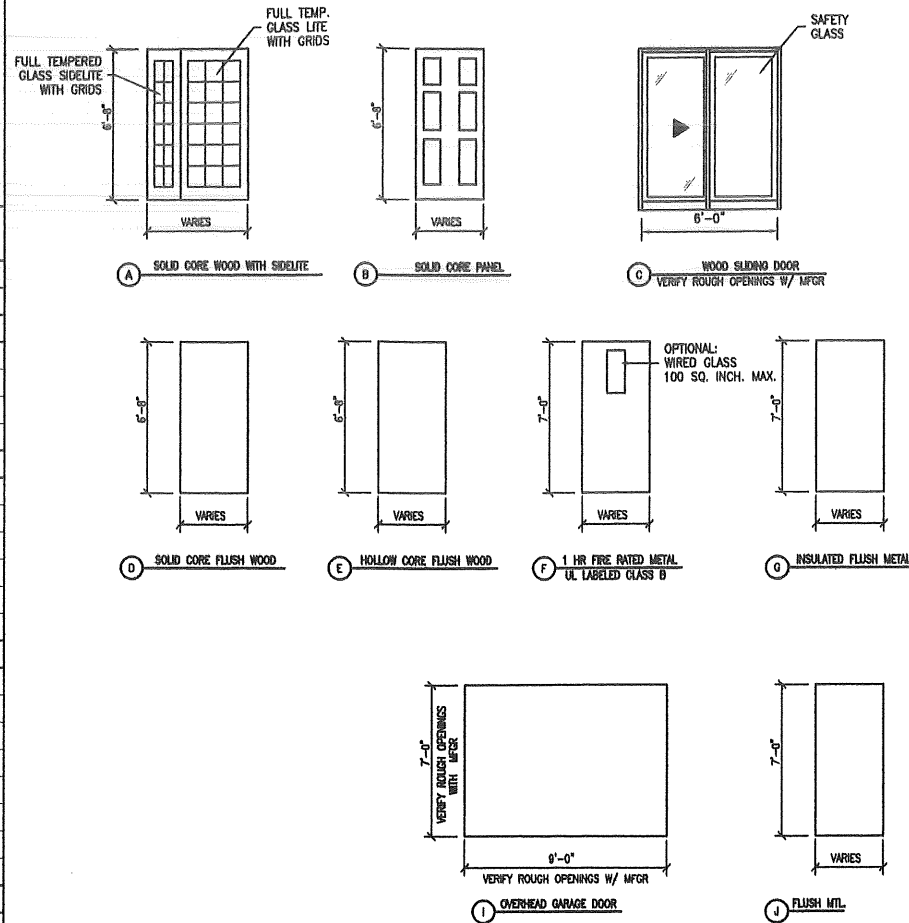
NO.	TYPE	MANUF	CAT NO.	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS	
							HEAD	JAMB
W1	C	"HANCOCK"	PT2624*	N/A	2'-2" x 2'-0"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W1A	E	"HANCOCK"	-	N/A	2'-2" x 2'-0"	"HANCOCK LUMBER WINDOW TYPE" AWNING	-	-
W2	A	"HANCOCK"	PDH2880*	N/A	2'-4" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W3	A	"HANCOCK"	PDH4080*	N/A	3'-4" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE" **EGRESS WINDOW	-	-
W5	B	"HANCOCK"	PDH4080-2*	N/A	6'-7 1/2" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE" **EGRESS WINDOW	-	-
W6	A	"HANCOCK"	PDH3644*	N/A	3'-0" x 3'-8"	"HANCOCK LUMBER WINDOW TYPE" HEAD HGT @ 7'-8" AFF	-	-

**NOTE 1:
EACH BEDROOM OR SLEEPING AREA SHALL HAVE AN EGRESS WINDOW MIN. 20" IN WIDTH, 24" IN HEIGHT, & SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR WITH A MINIMUM 5.7 SQ. FT. CLEAR OPENING (MINIMUM ONE EACH BEDROOM)

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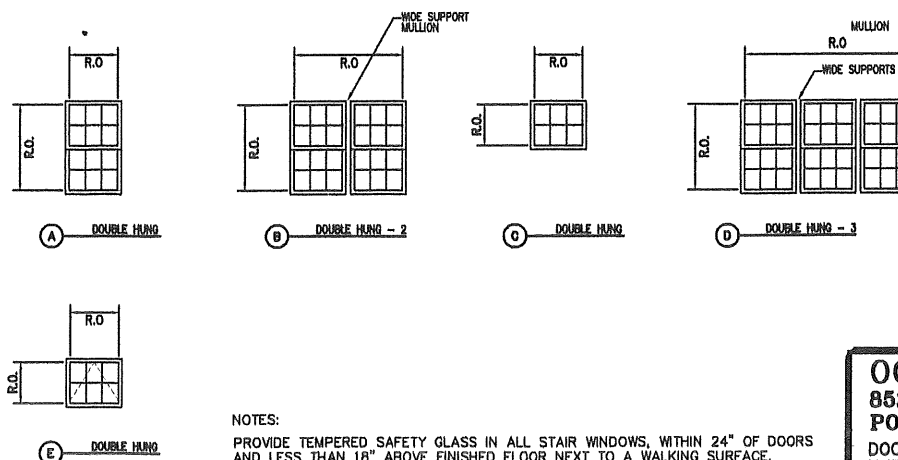
DOOR TYPES



NOTES

1) - WINDOW AND DOOR QUANTITIES SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

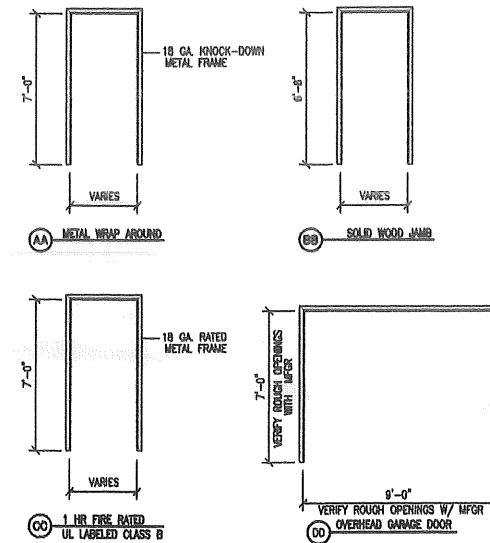
WINDOWS



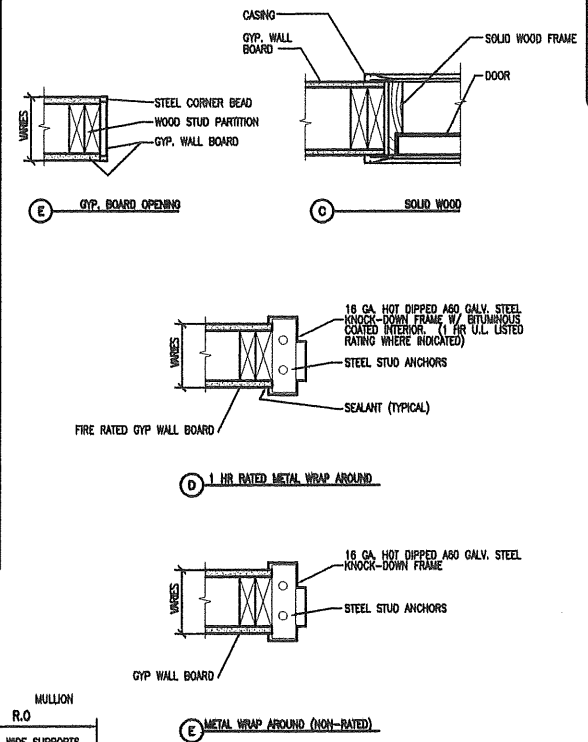
NOTES:

PROVIDE TEMPERED SAFETY GLASS IN ALL STAIR WINDOWS, WITHIN 24" OF DOORS AND LESS THAN 18" ABOVE FINISHED FLOOR NEXT TO A WALKING SURFACE.

FRAME TYPES



JAMB TYPES



JOHN H. LEASURE ARCHITECT, INC.
6 O. STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
DOOR AND WINDOW SCHEDULE
UNITS 23, 24, 25, 26

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