City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED
MAY 27 2004
CITY OF PORTLAND

Permit No:	Issue Date:	CBL:
04-0538		416A A003001

Location of Construction:	Owner Name:	Owner Address:	Phone:
840 Ocean Ave	Ocean Ridge Realty Llc	84 Ocean Ave	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Patrick Tinsman	91 Old Ocean House Rd. Cape Elizabe	2076503965
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	**Zone:**
		Multi Family	R3

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
46 unit condominium project	Construct 4 unit building: Units 19, 20, 21, 22 of 46 unit project	$4,371.00	$450,000.00	4

FH

FIRE DEPT: ☑ Approved ☐ Denied

Signature:

INSPECTION: Use Group: R3 Type: 5B

5/27/04

Signature:

Proposed Project Description:
Construct Units 19, 20, 21, 22

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied

Signature: Date:

Permit Taken By:	Date Applied For:
kwd	05/04/2004

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland	☐ Variance	☑ Not in District or Landmark
☐ Wetland	☐ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone	☐ Conditional Use	☐ Requires Review
☐ Subdivision	☐ Interpretation	☐ Approved
☐ Site Plan	☐ Approved	☐ Approved w/Conditions
Maj ☐ Minor ☐ MM ☐	☐ Denied	☐ Denied
Date: 5/17/04	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

6/4/04 – Footing/Setbacks – ok to pour

6/9/04 – BACKFILL OK. to proceed JR

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
MAY 27 2004
CITY OF PORTLAND

Permit Number: 040538

This is to certify that Ocean Ridge Realty Llc /Patrick Tinsman

has permission to Construct Units 19, 20, 21, 2

AT 840 Ocean Ave **CBL** 416A A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. -

Health Dept.

Appeal Board

Other

Department Name

Director - Building & Inspection Services 5/27/04

PENALTY FOR REMOVING THIS CARD

04-0538

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 840 Ocean Ave.		
Total Square Footage of Proposed Structure: 3200 ±	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 416 A Block# A Lot# 003001	Owner: OCEAN RIDGE REALTY. LLC. PATRICK TINSMAN	Telephone: (207) 650-3965
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: PATRICK TINSMAN 91 OLD OCEAN HOUSE RD CAPE ELIZABETH, ME 04107	Cost Of Work: $ ~~225.00~~ 450 Fee: $ ~~207.00~~ 407.1.00 300 1x Co 0 ~~0~~ 371.00

Current use: RAW LAND

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: 4 UNIT CONDOMINIUM #S 19, 20, 21, 22
Project description:

Contractor's name, address & telephone: Patrick Tinsman 650-3965

Who should we contact when the permit is ready: (SAME AS ABOVE)

Mailing address:

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a $100.00 fee if any work starts before the permit is picked up. **PHONE:**

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: PATrick	**Date:** MAY 04 2004

CITY OF PORTLAND RECEIVED

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Ocean Ridge Realty LLC Date: 5/17/04

Address: 840-846 Ocean Ave C-B-L: 416A-A-3

CHECK-LIST AGAINST ZONING ORDINANCE

permit # 04-0538

Date -

Zone Location - R-3/FH

Interior or corner lot -

Proposed Use/Work - to construct one Bldg with 4 D.U out of 46 D.U. units # 19-20-21-22

Sewage Disposal - City

Lot Street Frontage - 50' – 50' + shown

Front Yard - (1) min Bldg setback from external subdivision property lines 35' for bldgs with 4+ units – 50' + shown

Rear Yard -

Side Yard - (2) min distance between detached PRUD D.Us. important 16' min req – 18' shown

Projections -

Width of Lot - (3) recreation areas shall be located at least 25' from D.U – The recreation area is very far away

Height -

Lot Area - 10.08 acres given

Lot Coverage/ Impervious Surface - (4) - maximum Number of units in a bldge 1) a PRUD 5 acres or more = 6 units

Area per Family - ok for whole project (4 shown)

Off-street Parking - (5) maximum length of a PRUD Bldg - with a garage 140' max – 110' shown

Loading Bays -

Site Plan - in Jan 2003-0056

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 zone X

S SHALL BE IN

PLANTED IN THE
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GENERAL NOTES (CONT.)

REQUEST:
WAIVE "STREET GRADES AT AN INTERSECTION SHALL NOT BE MORE THAN 3% FOR A DISTANCE OF NOT LESS THAN 100 FEET FROM THE CENTER OF THE INTERSECTION ON EACH INTERSECTING STREET," TO ALLOW A DISTANCE OF 75 FEET.
ACTION: APPROVED AUGUST 14, 2001, PORTLAND PLANNING BOARD

30. SOLID WASTE REMOVAL SHALL BE CURB SIDE PICK-UP BY PRIVATE CONTRACTOR.

31. ALL UNITS SHOULD BE PROVIDED WITH AN APPROVED SPRINKLER SYSTEM DESIGNED IN ACCORDANCE NFPA #13D.

32. ENGINEERING DESIGNS FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN ARE CONTAINED IN PLANS TITLED "OCEAN RIDGE CONDOMINIUMS," SHEETS 1 THROUGH 18, DATED 3-6-01, REVISED 7-10-01 AND 8-8-01.

33. PRIOR TO CONSTRUCTION, A PRE CONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE.

N/F
LEO & JEANNE
DELICATA

OPEN
TERRACE,
TYP.

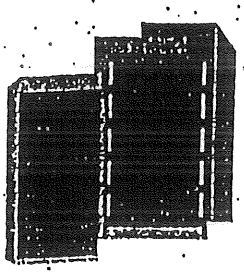
No Constructed
Decks - patios only

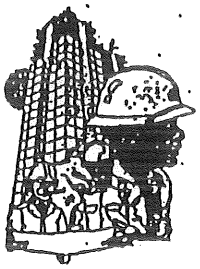
CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: APPROVED APR 02 2003

REV:	BY:	DATE:	STATUS:
H	LRB	3-13-03	REVISED PHASE LINES
G	LRB	1-7-03	PORCHES SHOWN, BUILDING LOC
F	LRB	12-9-02	REVISED RECORD OWNER, DEED
E	LRB	8-8-01	PHASE I CONSTRUCTION
D	LRB	7-10-01	REVISED PER ADDITIONAL CITY C
C	LRB	6-04-01	REVISED PER CITY COMMENTS
B	LRB	4-24-01	SUBMIT REVISED PLANS PER CIT
A	LRB	3-7-01	SUBMIT FOR SITE PLAN REVIEW

AMENDED SUBDIVISION

UNITS 19-22





CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: JOHN H. LEASURE ARCHITECT INC.

RE: Certificate of Design

DATE: APRIL 30, 2004

These plans and/or specifications covering construction work on:

OCEAN RIDGE CONDOMINIUMS (UNITS 19-22)

852 OCEAN AVE. PTLD. ME.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL) REGISTERED ARCHITECT JOHN H. LEASURE No. 310 STATE OF MAINE

Signature

Title PRESIDENT

Firm JOHN H. LEASURE ARCH. INC.

Address SIX Q ST. S. P. ME 04106

As per Maine State Law:

$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

RECEIVED MAY 4 2004 CITY OF PORTLAND

PSH 6/20/2k

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL, OR CIVIL ENGINEERING

UNITS 19-22

CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. – 207-874-8704
Fax – 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE - ARCHITECT, INC.
L & L STRUCTURAL ENGINEERING SERVICES INC

DATE: APRIL 30, 2004

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 852 OCEAN AVE PTD. ME.

THE BOCA NATIONAL BUILDING CODE/1999 FourteenthEDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year: BOCA 1999 Use Group Classification(s): R3

Type of Construction: 5B Bldg. Height: 32'-8" Bldg. Sq. Footage: FOOTPRINT 2984 HABITABLE 1046 GARAGES

Seismic Zone: $Z/A_v = 0.10$ Group Class: CATAGORY II

Roof Snow Load Per Sq. Ft.: 42 PSF Dead Load Per Sq. Ft.: 15 PSF

Basic Wind Speed (mph): 85 MPH Effective Velocity Pressure Per Sq. Ft.: 28 PSF

Floor Live Load Per Sq. Ft.: 40 PSF

Structure has full sprinkler system? Yes ✓ No ____ Alarm System? Yes ____ No ____
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes ____ No ____

If mixed use, what subsection of 313 is being considered ____

List Occupant loading for each room or space, designed into this Project.

WE ASSUME NO LIVE LOAD FOR MECHANICAL, ELECTRICAL, OR PLUMBING

(Designers Stamp & Signature)

PSH 6/07/2K

3,2x12's in BEARING 6'0 OPENING

Header Schedule	ON PLAN	
Type of Heating System	NOT SHOWN	
Stairs **Number of Stairways** 3 PER UNIT INTERIOR **Interior** **Exterior** **Treads and Risers (Section 314)** **Width** 3'1" **Headroom** 6'8 CLEAR **Guardrails and Handrails (Section 315)**	7 5/8 RISER 10" TREAD INTERIOR ENCLOSED WALLS W/ 34" HANDRAIL NEED EXTERIOR GUARD DETAILS	
Smoke Detectors Location and type/Interconnected		
Plan Reviewer Signature		

See Chimney Summary Checklist

ESS-796

Soil type/Presumptive Load Value (Table 401.4.1)	2000 PSF	
STRUCTURAL **Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)**	24" x 10 W/ # 4 REBAR.	
Foundation Drainage Dampproofing (Section 406)	NEED -	
Ventilation (Section 409.1) Crawls Space ONLY / BASEMENTS	→ WALKOUT BASEMENTS	
AnchorBolts/Straps (Section 403.1.4)	5/8" x 12 BOLT 36" oc	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	NEED	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	FULL SPAN FLOOR TRUSS	
Sill/Band Joist Type & Dimesions	2X6 PT SYP	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	16" OPEN WEB FLOOR TRUSSES	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	↓ 24. O.C. 40 LBS PER SQ FT	

Attic or additional Floor Joist Species Dimensions and Spacing(Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))		
Roof Rafter;Pitch, Span, Spacing& Dimension(Table 802.3.2(7))	LVL RIDGE 1X12 SHOWN - TABLE R-802.5.1 W 2x4 TIR 17'5 SPAN SHOWN 17'2" ALLOWED	
Sheathing; Floor, Wall and roof (Table 503.2.1(1)	FLOORS 3/4 INCH STURDI FLOOR PLYWOOD ROOF 5/8 PLY 1/2 PLY WALLS W/ GYP(INT)	
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside) Fire separation	5/8" FIRECODE GWB WALLS + CEILING	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	1 HR DOOR	
Egress Windows (Section 310)	FULLY SPRINKLED	
Roof Covering (Chapter 9)	30 YEAR ASPHALT	
Safety Glazing (Section 308)	04 NOT SHOWN ON AR DOOR SCHEDULE TEMPERED	
Attic Access (BOCA 1211.1)	ATTIC AREA OVER 30' NOT SHOWN	
Draft Stopping around chimney	NOT SHOWN	

NEED HVAC + FIREPLACE INFO

389 Congress St.Rm 315
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

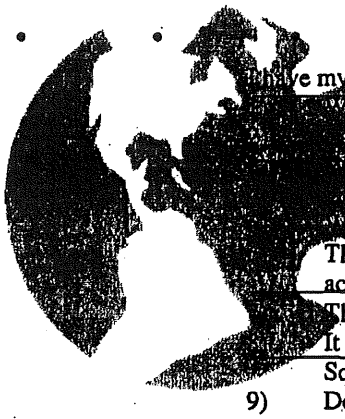
To: John & Joseph Leasure **From:** Mike Nugent

Fax: 799-5432 **Date:** May 1, 2003

Phone: 767-4830 **Pages:** 1

Re: Ocean Ridge units 1,2,3 & 4

☐ Urgent ☐ For Review ☐ Please Comment ☑ Please Reply ☐ Please Recycle



I have my completed the initial review and have the following questions/comments:

1) What is the spacing of the anchor bolts from corners?
2) [illegible] column type?
3) [illegible] type of Fire suppression system will be used?
4) [illegible]"04" shown on page A2 is not on the door schedule, tempered glass?
5) [illegible] require separate permits and technical info about fireplaces and heating equipment.
6) The space between the third floor ceiling joists and rafters exceeds 30 inches and no attic access is shown.
7) The roof system must have a one-hour fire rating in 5A buildings.
8) It appears that the floor ceiling assemblies need fire blocking as the space exceeds 500 Sq.ft.
9) Does the wall system extend to the underside of the roof sheathing?
10) What is the STC of the wall assemblies?
11) Page S9 Figure 5, using the FTW product, does the fire rated assembly include the GWB on the underside of the floor? (see section 711.4)
12) For the purposes of this permit, is the entire structure enveloped in rated GWB (see table 602 for type 5A construction)

389 Congress St.Rm 315
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

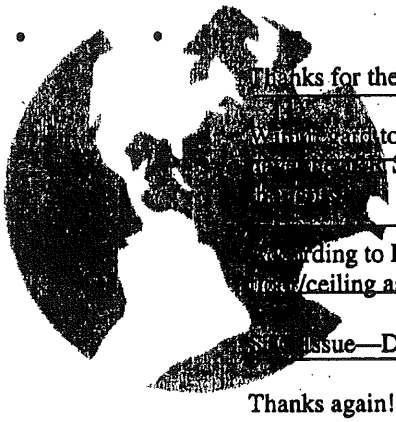
To: John & Joseph Leasure **From:** Mike Nugent

Fax: 799-5432 **Date:** May 6, 2003

Phone: 767-4830 **Pages:** 1

Re: Ocean Ridge units 1,2,3 & 4

☐ Urgent ☐ For Review ☐ Please Comment ☑ Please Reply ☐ Please Recycle



Thanks for the quick response.

With regard to the type of construction (5A or B), if you opt for the 5B designation, you'll have to [illegible] Sprinkler System monitored in compliance with Section 924.1 Method 1. Any [illegible]

According to Lt. McDougall, NFPA 13R systems do not have heads in enclosed spaces such as [illegible]/ceiling assemblies, if this is the case draft stopping will be required, can you address this?

[illegible] issue—Do **all** of the tenant separation assemblies have an STC of 45 or greater?

Thanks again!

SIX Q STREET SOUTH PORTLAND, ME 04106

JOHN H. LEASURE
ARCHITECT, INC.

Fax

To: Mr Mike Nugent (City of Portland Code Enforcement) **From:** JOHN LEASURE

Fax: 874-8716 **Pages:** 5 including this one

Phone: **Date:** 5/5/2003

Re: OCEAN RIDGE CONDOMINIUMS **CC:** PAT TINSMAN; FILE

☐ Urgent X For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

• **Comments:**

Mr Nugent:

We have received your 12 comments by fax.

Please find specific reply to each comment below.

1) Anchor bolts are speced 12" from corners and from ends of sill plates (typ). Otherwise as shown on plans.

2) Lally Column type is indicated on attached sheet from L & L Structural Engineering Services.

3) Fire suppression will be in accordance with NFPA 13R for Sprinkler systems as indicated on the Architectural plans A1 – A5. Sprinkler Plans and Calculations will be submitted by the Sprinkler Contractor to the Maine State Fire Marshal's Office and all State & Municipal permits obtained before any installation begins.

4) Door 04 is similar to door 01 and will be added to the door schedule. The glazing in the door and in the sidelites will be tempered glass.

5) Owner be advised that separate permits are required for the fireplaces and the heating equipment. We are <u>not</u> contracted to design the fireplaces or heating equipment.

May 5, 2003

Comments, cont.

6) Will provide minimum 22" x 30" opening access into the attic space. One in each dwelling unit third floor level. (BOCA 1999 Sec. 1211.2) See Dwg A4.

7) The Construction Type 5A on the application was written incorrectly. The Building Construction Type is 5B and does not require a rated roof system. (Enclosed corrected application sheet for your file)

8) Draftstopping is not required in this floor/ceiling space for Type 5B Construction with automatic sprinkler system as long as the sprinklers are also installed in this combustible concealed space as required by NFPA 13R. depth. (BOCA 1999 Sec. 721.7.1.2 exception)

9) The Fire Rated Wall systems extends to the underside of the exterior roof sheathing typically as shown on Details1 /A9 & Detail A/A10.

10) The STC of the Rated Fire Wall as shown on drawing A10 is 50-55. The other walls are between 30-35 depending on insulation and sheathing materials. If you need specific wall STC documentation, please contact this office.

11) The 1 Hour Fire Rated dwelling Unit demising walls extend continuous (including the fire retardent plywood) up to the underside of roof sheathing/ridge beam as indicated on drawings A9 & A10. The 5/8" gyp board on the ceilings between floors of the same dwelling unit is not part of the wall fire rated wall system. (Refer to Construction Permit # 13047 by State Fire Marshal's Office.)

12) The buildings are Type 5B Construction (error on application) and are not required to have rated GWB envelope. However we are providing 5/8" non-rated GWB on all exterior walls.

All of these items will be incorporated into the construction drawings.

If you have additional comments or requests, please call 207-450-0555 or fax to 207-767-9771.

Sincerely,

John Leasure

John H. Leasure – Architect Inc.

Encl: Revised application sheets
Lally column data sheet

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE

UNITS 19, 20, 21, 22

ARCHITECT:

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: 767-4600
FAX: 767-4600

CIVIL ENGINEER:

SEBAGO TECHNICS
ONE CHABOT STREET
WESTBROOK, MAINE 04098
PHONE: 856-0277

STRUCTURAL ENGINEER:

L & L STRUCTURAL ENGINEERING SERVICES, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: 767-4830
FAX: 799-5432

APRIL 27, 2004

LIST OF DRAWINGS:

DRAINAGE STRUCTURE SCHEDULE

STRUCTURE	RIM	INV. IN	INV. OUT
OUTLET CONTROL STRUCTURE NO. 2	166.5	162.0 (12")	161.9 (12")
OUTLET CONTROL STRUCTURE NO. 3	162.5	158.0 (12")	157.9 (12")
OUTLET CONTROL STRUCTURE NO. 4	154.5	150.0 (12")	149.9 (12")
CB-1	112.07	108.0 (15")	107.9 (15")
CB-2	119.02	---	115.02(15")
CB-3	134.29	---	130.29(15")
CB-4	147.85	144.4 (15")	144.3 (15")
CB-5	164.09	---	157.65 (12")
CB-6	165.55	---	160.1 (15")
CB-7	163.7	159.7 (15")	159.6 (15")
CB-8	163.05	158.98 (15")	158.88 (15")
CB-9	163.05	159.40 (15")	159.30 (15")
VORTECHS UNIT 1	112.5	107.1 (15")	107.1 (15")
VORTECHS UNIT 2	163.5	158.78 (15")	158.78 (15")

NOTE: CONTRACTOR TO FIELD LOCATE ELECTRICAL FEED TO STREET LIGHTS.

N

MAG-DATE

MATCHLINE

SEE SHEET 6

STA. 10+00

EMERGENCY SPILLWAY ELEV.=164.6

OUTLET CONTROL STRUCTURE 2

12"SD INV.=161.2

BASIN 2

12"SD INV.=161.0

RIPRAP OUTLET, TYP. INV.=161.3

SEWER CLEANOUT INV.=162.30 (SEE DETAIL)

17 F.F.E. 168.0

18 F.F.E. 168.0

16 F.F.E. 170.5/ 161.0

15 F.F.E. 170.5/ 161.0

14 F.F.E. 170.5/ 161.0

13 F.F.E. 170.5/ 161.0

2:1 RIPRAP SLOPE

INV.=162.0

ROCK RETAINING WALL AND GUARDRAIL (SEE DETAIL)

SMH-14 RIM=166.25 INV. IN=161.40 INV. OUT=161.20

4"x2" REDUCER

22 F.F.E. 168.0

21 F.F.E. 168.0

20 F.F.E. 168.0

19 F.F.E. 168.0

SMH-8

SMH-7

CB-7

BASIN 3

INV.= 159.0

CB-6

STA: 8+83.70 OFFSET: 0.00 R

EMERGENCY SPILLWAY ELEV.=161.5

LIMIT OF ROADWAY AND UTILITIES FOR INITIAL CONSTRUCTION PHASE (UNITS 1 - 18), CAP WATER AND SEWER FOR FUTURE EXTENSION.

12 F.F.E. 168.0/ 158.5

11 F.F.E. 168.0/ 158.5

10 F.F.E. 168.0/ 158.5

9 F.F.E. 168.0/ 158.5

8 F.F.E. 156.0/ 146.5

7 F.F.E. 156.0/ 146.5

6 F.F.E. 154.5/ 145.0

5 F.F.E. 154.5/ 145.0

SMH-6

SMH-5

SMH-4

SMH-3

SMH-2

SMH-1

STONE CHECK DAM TYP. SEE DETAIL SHEET 18 OF 18 (23 TOTAL)

RIDGE ROAD

CB-4

CB-3

INV.=144.0

INV.=130.0

1 F.F.E. 154.5/ 145.0

2 F.F.E. 154.5/ 145.0

3 F.F.E. 154.5/ 145.0

4 F.F.E. 154.5/ 145.0

INV.=114.7

CB-2

CB-1

BOOSTER PUMP STATION

OCEAN AVENUE

VORTECHS UNIT 1 MODEL 5000 (MFR. SHALL CONFIRM SIZING BEFORE INSTALL.)

CONNECT TO EXIST. WATER MAIN

STORMWATER BUFFER EASEMENT

4" RELIEF DRAIN

OUTLET RELIEF DRAIN TO DITCH

4' DIA. CHECK VALVE, PIT

METER PIT CONFORMING TO P.W.D. STANDARDS

INV.=109.5

CONNECT TO FUTURE GAS LINE

SEE SHEET 15 FOR CONTINUATION

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)

1 inch = 30 ft.

REV:	BY:	DATE:	STATUS:
H	LRB	1-7-03	REVISED PER NEW OWNER
G	LRB	1-23-03	ADDED GAS, REVISED SAN. WATER
F	LRB	12-6-02	REVISED WATER LINE
E	LRB	12-3-02	REVISED RECORD OWNER
D	LRB	7-10-01	REVISED PER ADDITIONAL CITY COMMENTS
C	LRB	6-04-01	REVISED PER CITY COMMENTS
B	LRB	4-24-01	SUBMIT REVISED PLANS PER CITY REVIEW
A	LRB	3-7-01	SUBMIT FOR SITE PLAN REVIEW

GRADING AND UTILITY PLAN - 1

OF:

OCEAN RIDGE CONDOMINIUMS

852 OCEAN AVENUE
PORTLAND, MAINE

FOR:

OCEAN RIDGE REALTY, LLC

91 OCEAN HOUSE ROAD
CAPE ELIZABETH, MAINE 04107

Sebago Technics
Engineering & Planning for the Future
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

DESIGN BY:	JDA
DRAWN BY:	MAL
CHECKED BY:	LRB
DATE:	3-6-01
SCALE:	1"=30'
FIELD BK:	54
PROJ. NO:	84180
DRAWING:	84180GU1

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads: (Ground snow load = 60 PSF)

   Roof.....42 PSF + Drift

   Living areas.....40 PSF

3. Design wind loads are based on exposure B using 85 mph basic wind speed.
4. Seismic design utilizes the following criteria:
   a. Building framing system: Concentrically braced frames, and shear walls.
   b. Analysis procedure: Equivalent Lateral Force Procedure.
   c. Seismic hazard exposure group: "I"
   d. Seismic performance category: "C"
   e. Soil profile type: "S1"
   f. Peak velocity-related acceleration (Av): "0.10"
   g. Peak acceleration (Aa): "0.10"
   h. Response modification factor (R): "5"
   i. Deflection amplification factor (Cd): "4 1/2"

FOUNDATION NOTES:

1. Foundations have been designed with a presumptive soil bearing capacity indicated in of 2000 PSF to be verified in the field.
2. Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill. If bedrock is encountered, contractor shall overexcavate and bear footings on 2'-0" thick layer of compacted structural fill.
3. Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements. Concrete slabs shall be moist cured.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 inch	100
3 inch	90 to 100
1/4 inch	25 to 90
NO. 40	0 to 30
NO. 200	0 to 5

6. Structural fill beneath slabs shall be placed in layers not exceeding 12" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
7. Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
8. Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
9. Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318-Latest Edition.
2. Concrete strength at 28 days shall be:
   a. 4000 PSI for basement walls.
   b. 3000 PSI for footings, frost walls and piers.
   c. 4000 PSI for all slabs on grade.
3. All concrete shall be air entrained 4%-6% with approved admixtures.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete shall conform to ATSM C-1116.
9. Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit (6) blue line prints and (1) reproducible (sepia) to the Architect.
10. Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6" minimum.
11. Concrete finishes: See specifications and Architectural drawings for additional information.
12. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
13. Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
14. The general contractor shall be responsible for coordination of: door bond out locations, slab depression and other required bond outs. Coordinate location of bond outs with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.
15. Provide control joints in slabs as follows:
   a. 15' x 15' (225 SF) with fibremesh reinforcment
   b. 20' x 20' (400 SF) with welded wire fabric reinforcment

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Latest edition.
2. Structural steel:
   a. Structural steel shall conform to ASTM A-36.
   b. Structural tubing shall conform to ASTM A-500 GR.B.
   c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4"ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

TIMBER TRUSS FRAMING:

1. Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.R. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
2. Applicable specifications:
   a. National Design Specification for stress graded lumber and its fastening (NDS).
   b. Design specifications for light metal plate connected wood trusses (TPI-Latest edition)
3. Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
4. Submittals:
   a. Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
   b. Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
5. All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
6. Connector plates shall be galvanized.
7. Timber trusses shall be designed in accordance with BOCA and ASCE 7-99.
8. Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI-latest edition).
9. Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.
10. Maximum permissible floor live load deflection = L/480
    See S8 for floor loadings

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) -latest edition.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWPA C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Provide Simpson H2.5 hurricane anchors where timber framing and/or trusses bear on walls.
6. Nailing not specified shall conform with BOCA 1999.
7. Exterior wall sheathing shall be 1/2" thick APA rated sheathing fastened with 10d nails @ 4" o.c. at panel edges and 6" o.c. intermediate, (typ unless otherwise noted)
8. Floor decking shall be 3/4" thick APA rated "STURDI-FLOOR" plywood sheathing fastened with construction adhesive and 10d nails @ 6" o.c. at panel edges and intermediate.
9. Roof sheathing shall be 5/8" thick APA rated sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
10. All 2 x P.T. sill plates shall be installed on sill sealer.

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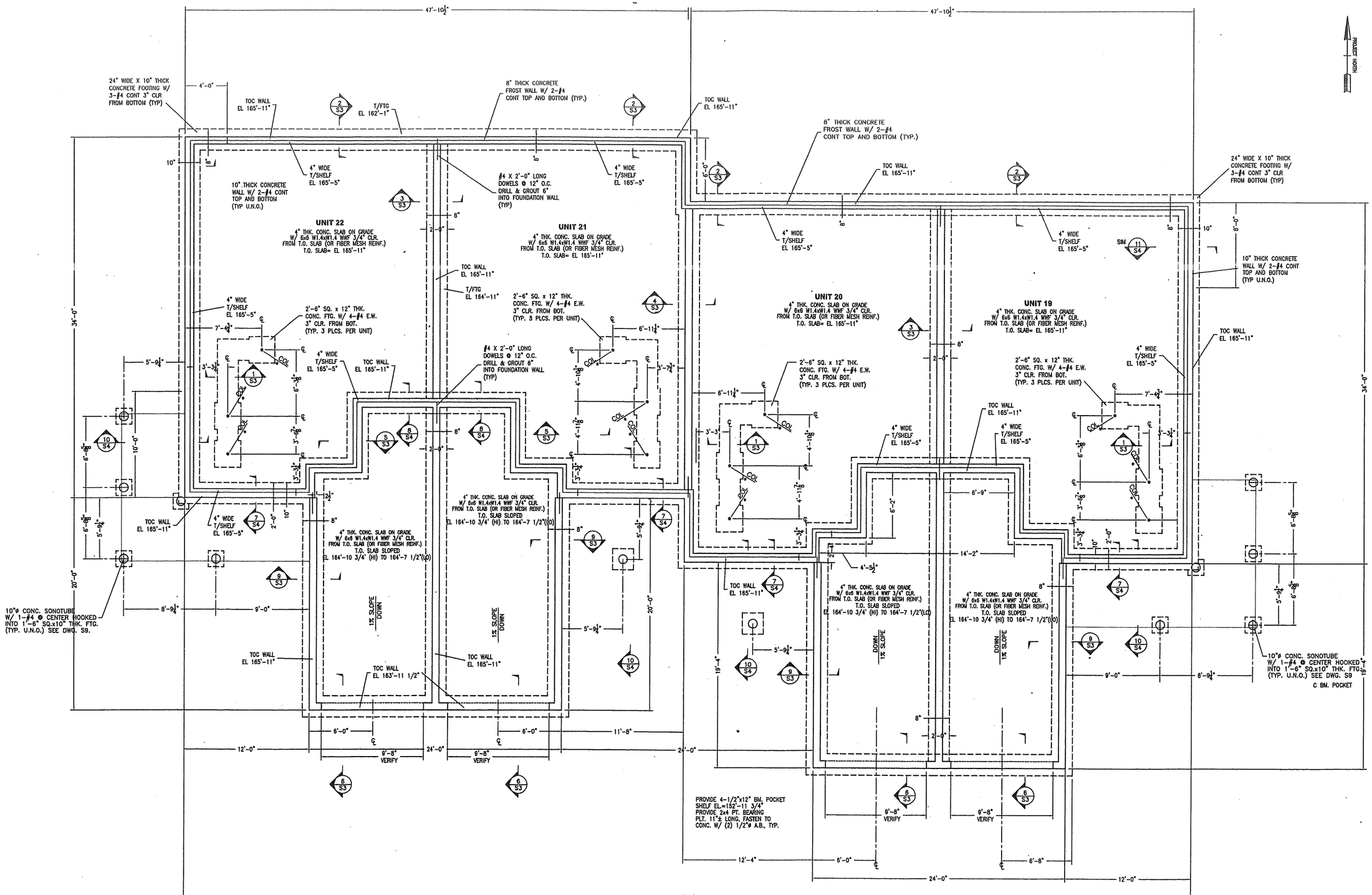
rev.	date	description	appr'd

designed by: JHL
drawn by: JMH
checked by: JHL
scale: NO SCALE
date: APRIL 27, 2004
plot date:
project # 23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
GENERAL NOTES
UNITS 19, 20, 21, 22

S1



FOUNDATION PLAN
1/4"=1'-0"

NOTES:

1. SEE GENERAL NOTES ON S1.
2. "ø" INDICATES 3-1/2"ø LALLY COLUMN ON A 2'-6" SQ. x12" THICK CONCRETE FOOTING W/ 4-#4 E.W. 3" CLEAR FROM BOTTOM OF FOOTING.

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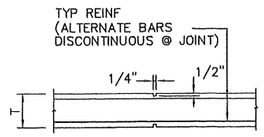
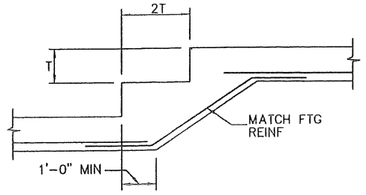
designed by: JRL
drawn by: ML
checked by: JRL
scale:
date: APRIL 11, 2004
plot date: --
project #: 23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION PLAN
UNITS 19, 20, 21, & 22

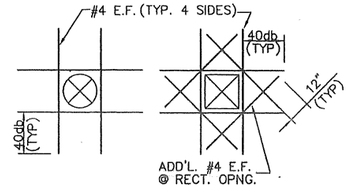
S2



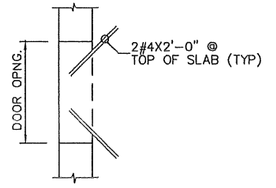
TYP CONTROL JOINT IN WALL
N.T.S.



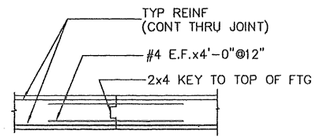
TYP STEP FOOTING DETAIL
N.T.S.
NOTE: T = FOOTING THICKNESS



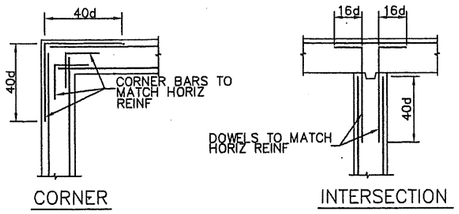
TYP. OPENING IN WALL OR SLAB
N.T.S.
NOTE: OPENING IN SLAB APPLIES @ ALL OPENINGS



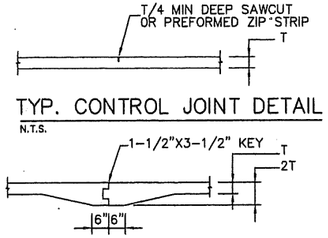
TYP. SLAB CORNER DETAIL @ DOOR
N.T.S.
NOTE: PROVIDE 2#4X4'-0"(TOP) IN SLAB AT INSIDE CORNERS. SEE PLAN. INCLUDING STAIRS, & HVAC OPENINGS. PLACE REINF IN MIDDLE OF SLAB @ SLAB OPENINGS.



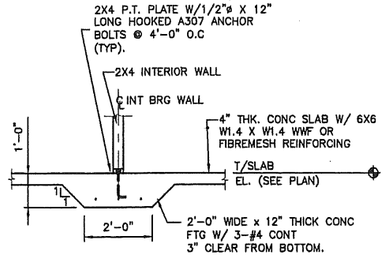
TYP. CONSTRUCTION JOINT IN WALL
N.T.S.
NOTES:
1. CONST JOINT DOES NOT EXTEND THRU FTG
2. DISTANCE BETWEEN CONST JOINTS IN STRAIGHT LENGTHS OF WALL NOT TO EXCEED 60'-0"



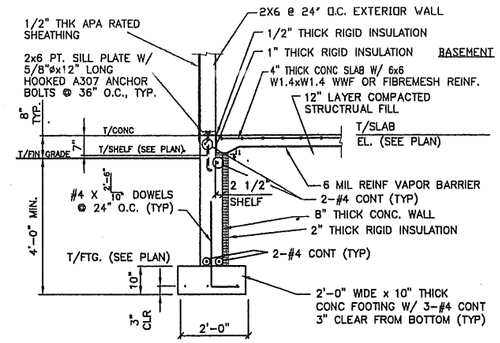
TYP WALL REINF DETAILS
N.T.S.



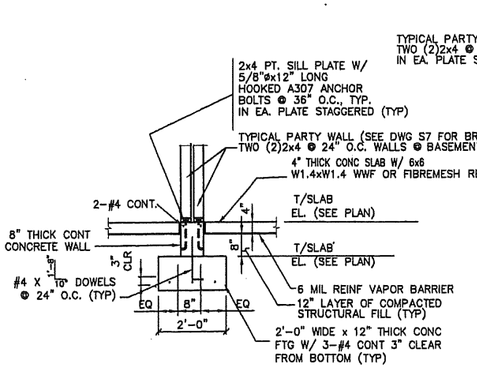
TYP. CONSTRUCTION JOINT DETAIL
N.T.S.



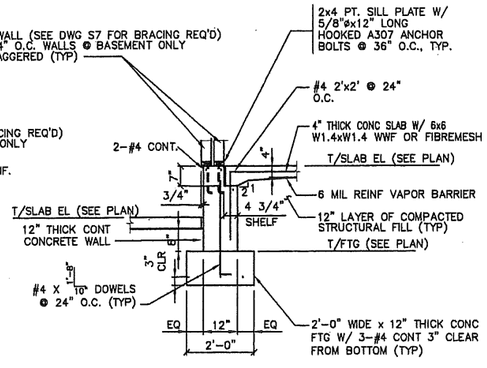
SECTION TYPICAL THICKENED SLAB (1) S2
1/2" = 1'-0"



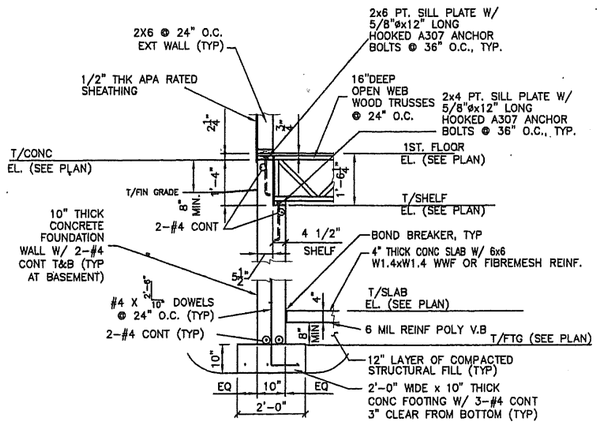
SECTION TYPICAL EXTERIOR FROST WALL (2) S2



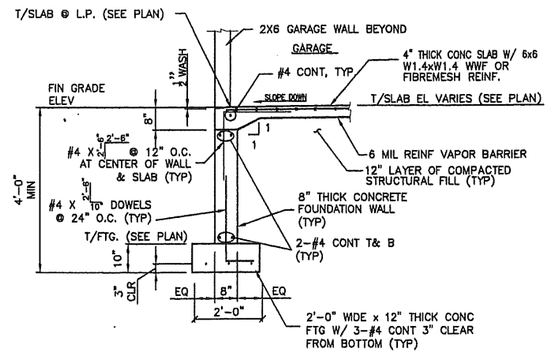
SECTION TYPICAL PARTY WALL (3) S2
1/2" = 1'-0"



SECTION TYPICAL PARTY WALL (4) S2
1/2" = 1'-0"



SECTION TYPICAL BASEMENT WALL AT FLOOR TRUSS BEARING (5) S2, S5
1/2" = 1'-0"



SECTION TYPICAL GARAGE ENTRY SLAB (6) S2
1/2" = 1'-0"

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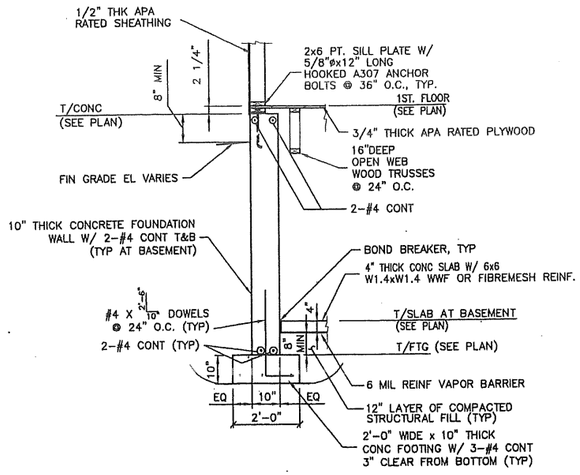
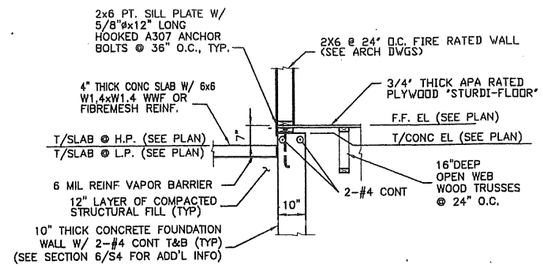
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 19,20, 21, 22

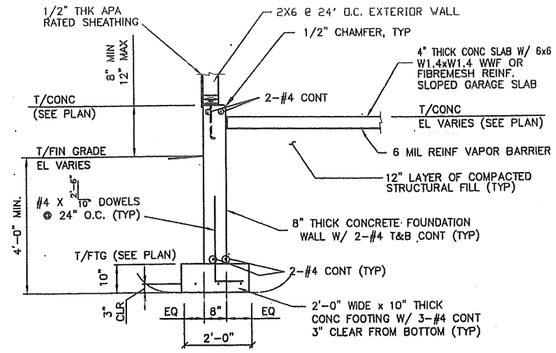
S3



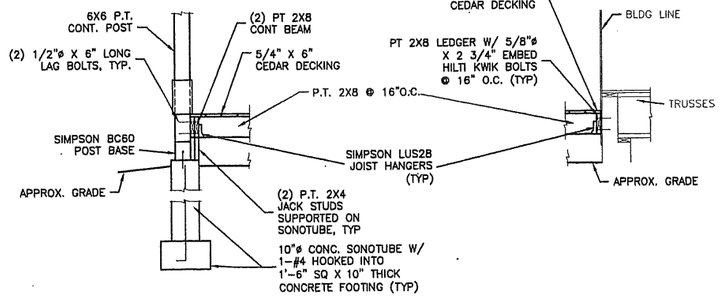
SECTION TYPICAL BASEMENT WALL PARALLEL TO FLOOR TRUSSES — 7 / S2
1/2" = 1'-0"



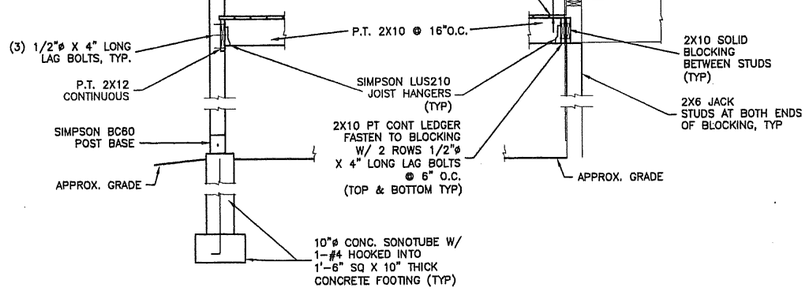
SECTION TYPICAL BASEMENT WALL ADJACENT TO GARAGE — 8 / S2, S5
1/2" = 1'-0"



SECTION TYPICAL GARAGE SIDE WALLS — 9 / S2
1/2" = 1'-0"



SECTION TYPICAL ENTRY PORCHES — 10 / S2, S5
1/2" = 1'-0"



SECTION TYPICAL UNIT DECKS — 11 / S2, S5
1/2" = 1'-0"

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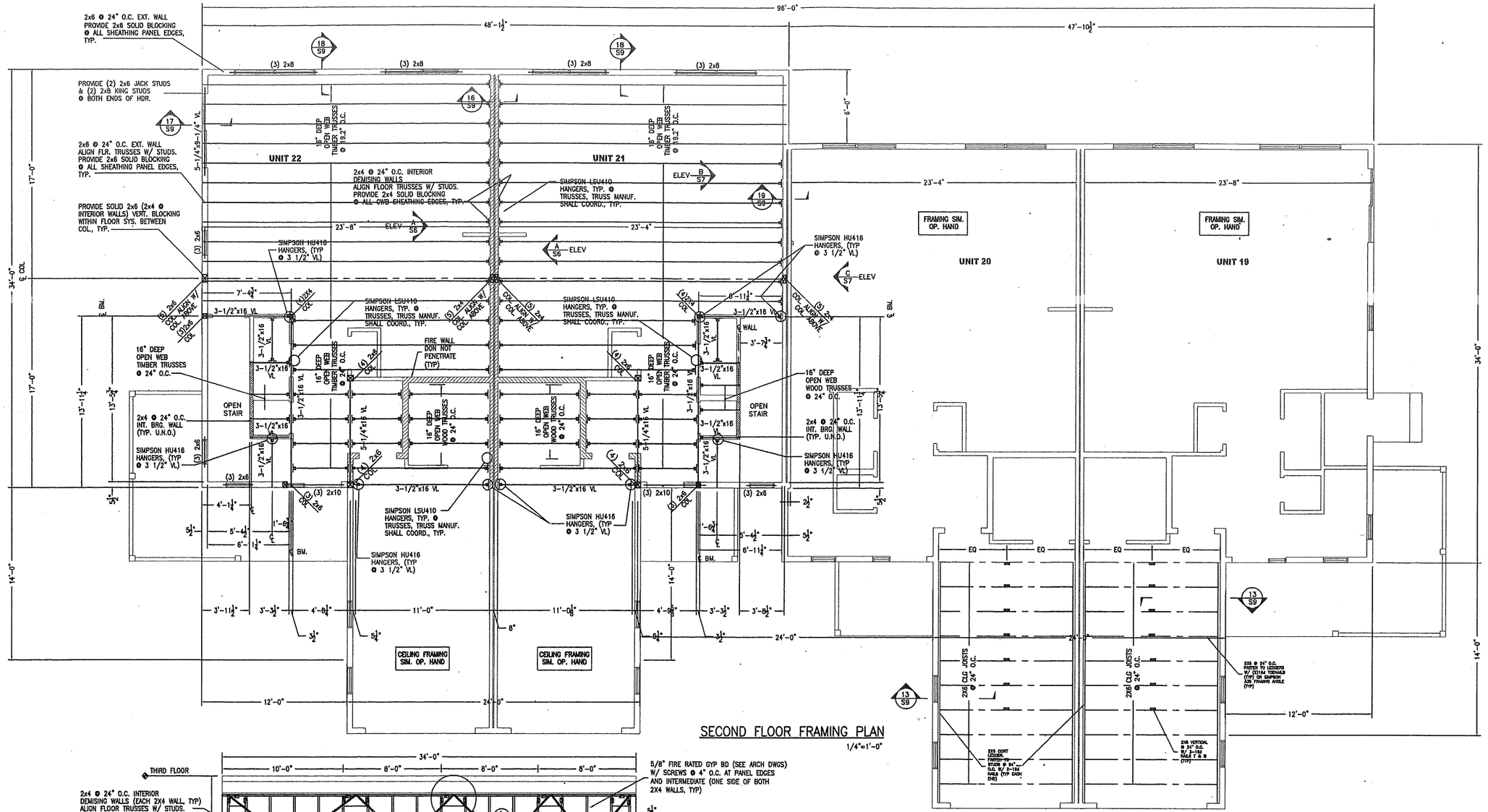
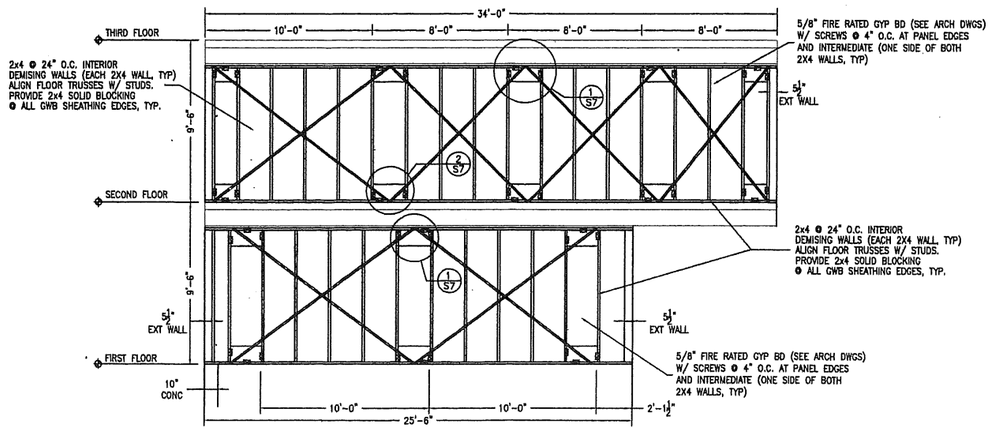
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 19, 20, 21, 22

S4



SECOND FLOOR FRAMING PLAN

1/4"=1'-0"



BRACING ELEVATION A

1/4"=1'-0"

S5, S6, S7

LEGEND

BEARING WALL

NOTES:

1. SEE GENERAL NOTES ON S1.
2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
3. PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS. (TYP. U.N.O.)

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rev.	date	description	appr'd
			JML

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date: APRIL 27, 2004
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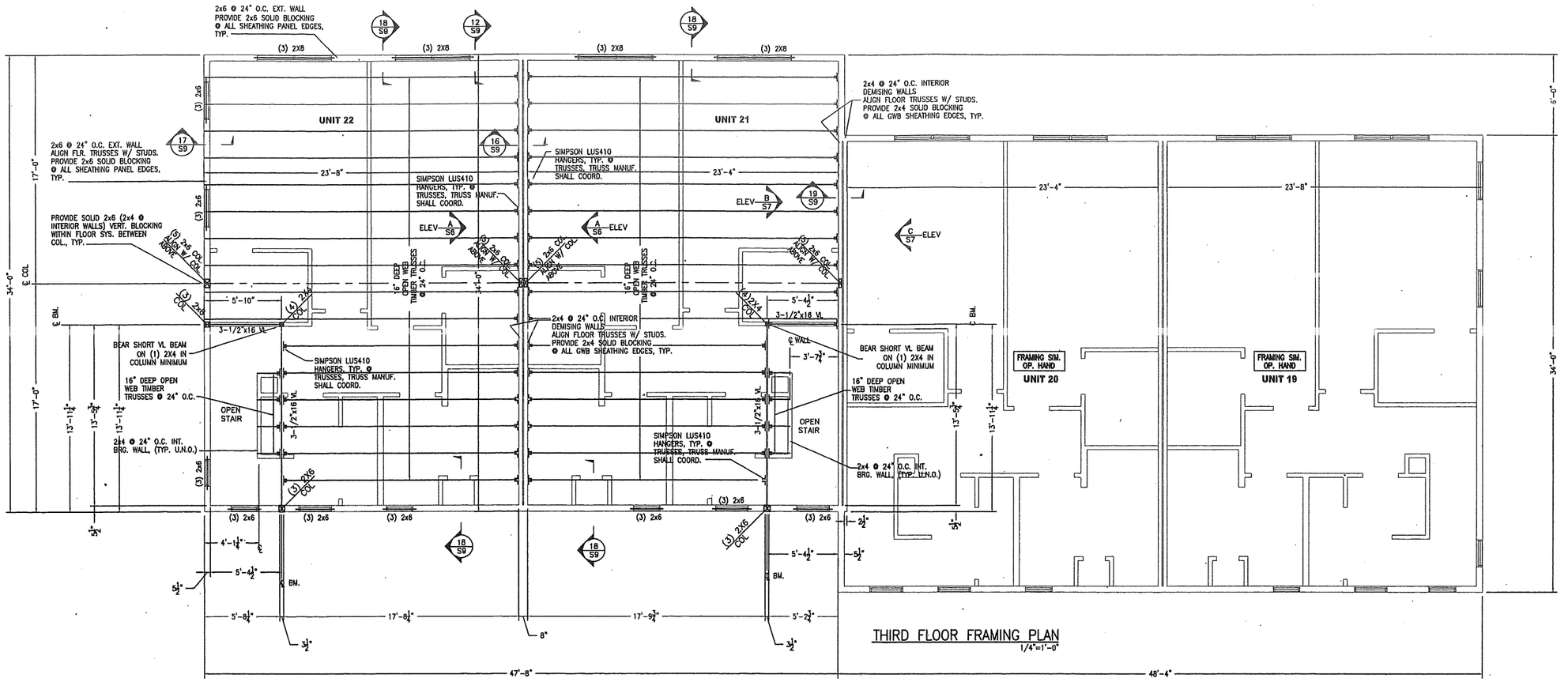
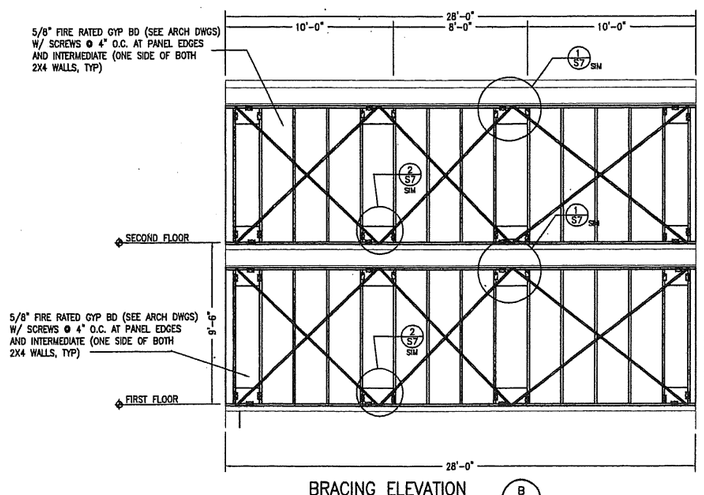
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR FRAMING PLAN
UNITS 19, 20, 21, 22

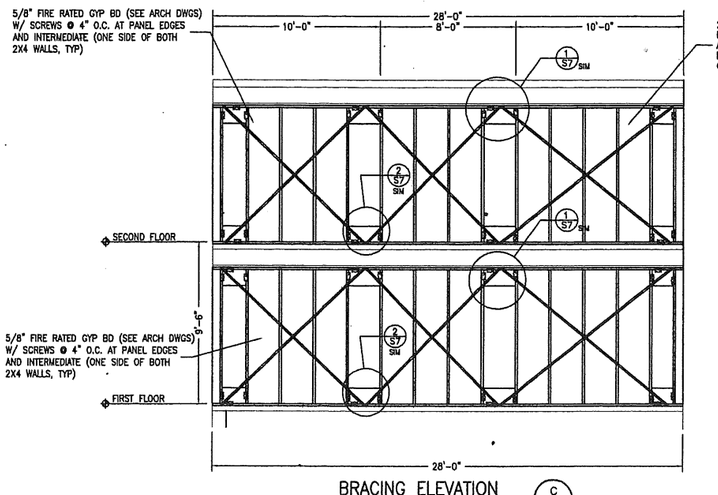
S5



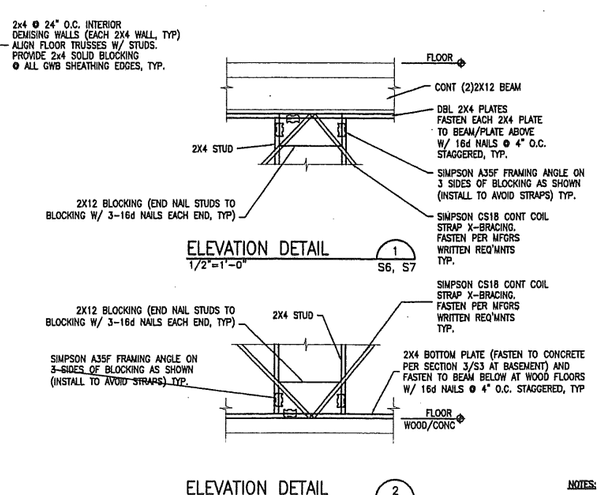
THIRD FLOOR FRAMING PLAN
1/4"=1'-0"



BRACING ELEVATION B
1/4"=1'-0"
S5, S6, S7



BRACING ELEVATION C
1/4"=1'-0"
S5, S6, S7



ELEVATION DETAIL 1
1/2"=1'-0"
S6, S7

ELEVATION DETAIL 2
1/2"=1'-0"
S6, S7

LEGEND

BEARING WALL

NOTES:

1. SEE GENERAL NOTES ON S1.
2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
3. PROVIDE 2x8 JACK STUDS PLUS 2x6 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS. (TYP. U.N.O.)

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
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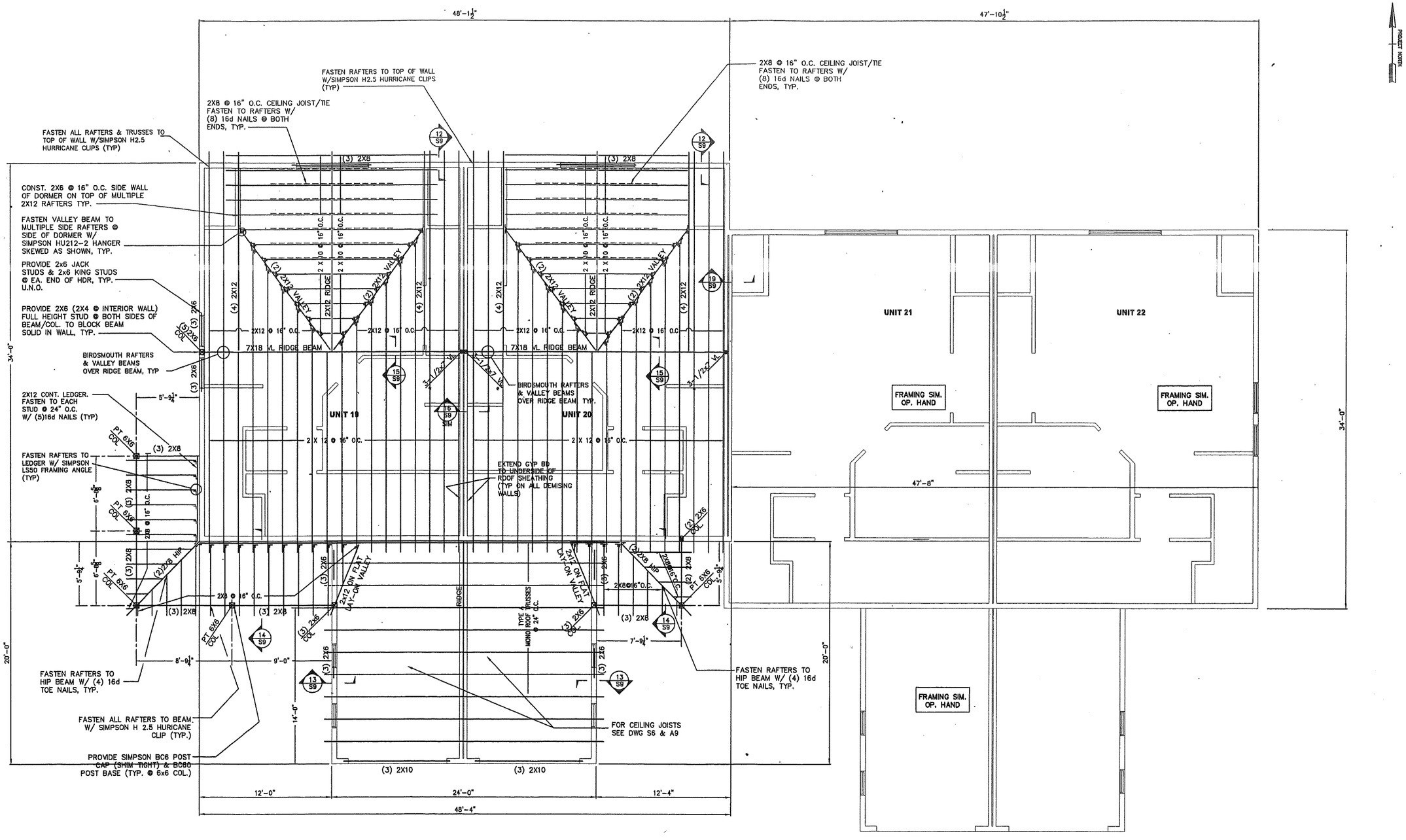
FAX: (207) 799-5432
EMAIL: ll.engineering@verizon.net

rev.	date	description	appr'd

designed by: JHL
drawn by: JML
checked by: JHL
scale:
date: APRIL 27, 2004
plot date: --
project #: 23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
THIRD FLOOR FRAMING PLAN
UNITS 19, 20, 21, 22

S6



ROOF FRAMING PLAN
1/4"=1'-0"

NOTES:

1. SEE GENERAL NOTES ON S1.
2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
3. * INDICATES COLUMN PROPERTIES SHALL BE "VERSA-LAM BEAM" 3080 Fb DF (E=2.0x10⁶ PSI AND Fb=3080 PSI).
4. ROOF TRUSS LOADING SHALL BE AS FOLLOWS:

TCLL=40 PSF
TCDL=10 PSF
BCLL=0 PSF
BCDC=10 PSF

TRUSS TYPE 'A' @ 24" O.C.

LEGEND

BEARING WALL

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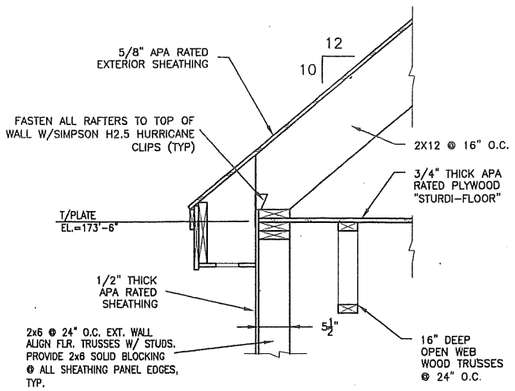
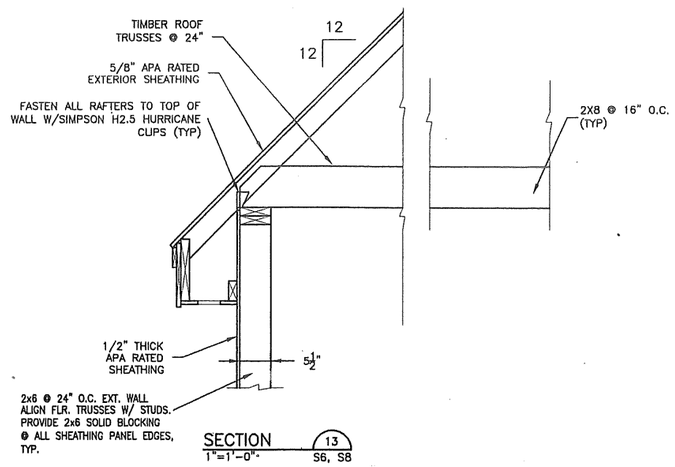
plot date: –
project # 23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF FRAMING PLAN
UNITS 19, 20, 21, 22

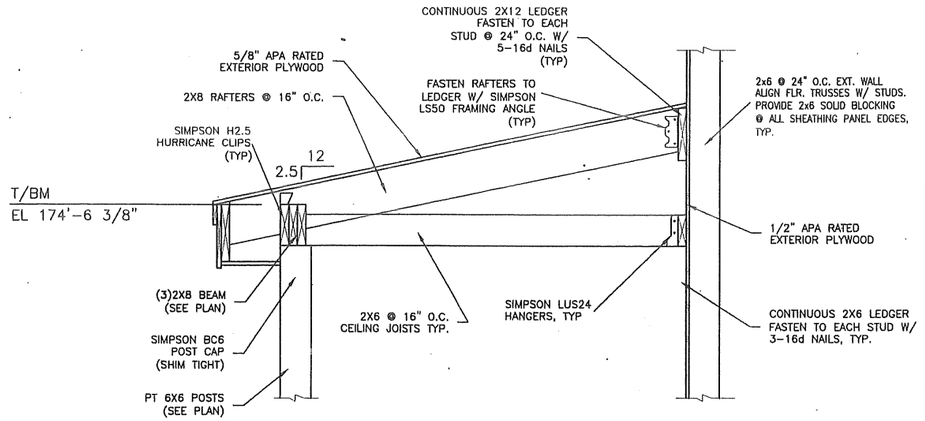
S7



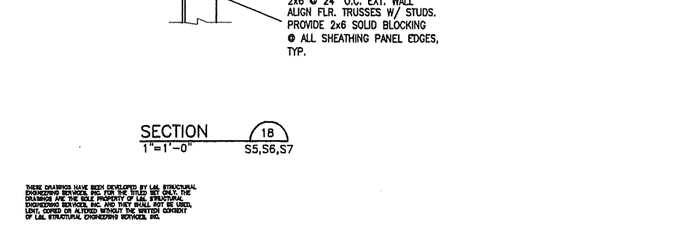
SECTION 12 — 1"=1'-0" — S7, S8



SECTION 13 — 1"=1'-0" — S6, S8

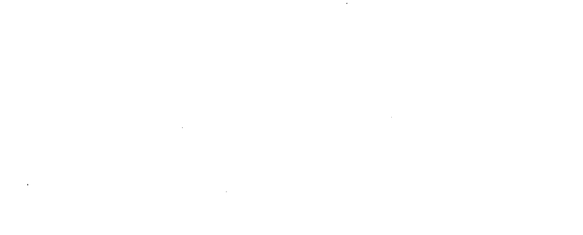


SECTION 14 — 1"=1'-0" — S8

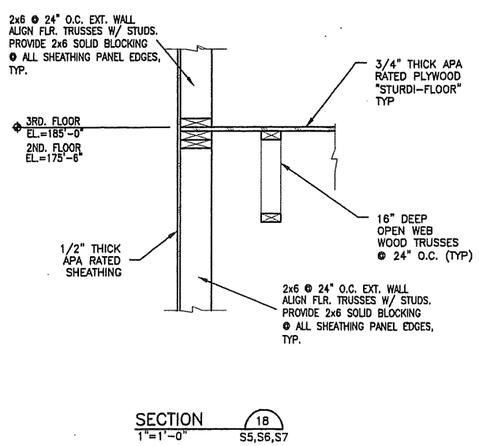


SECTION 15 — 1"=1'-0" — S8

SECTION 16 — 1"=1'-0" — S5,S6,S7,S8



SECTION 17 — 1"=1'-0" — S5,S6,S7



SECTION 18 — 1"=1'-0" — S5,S6,S7

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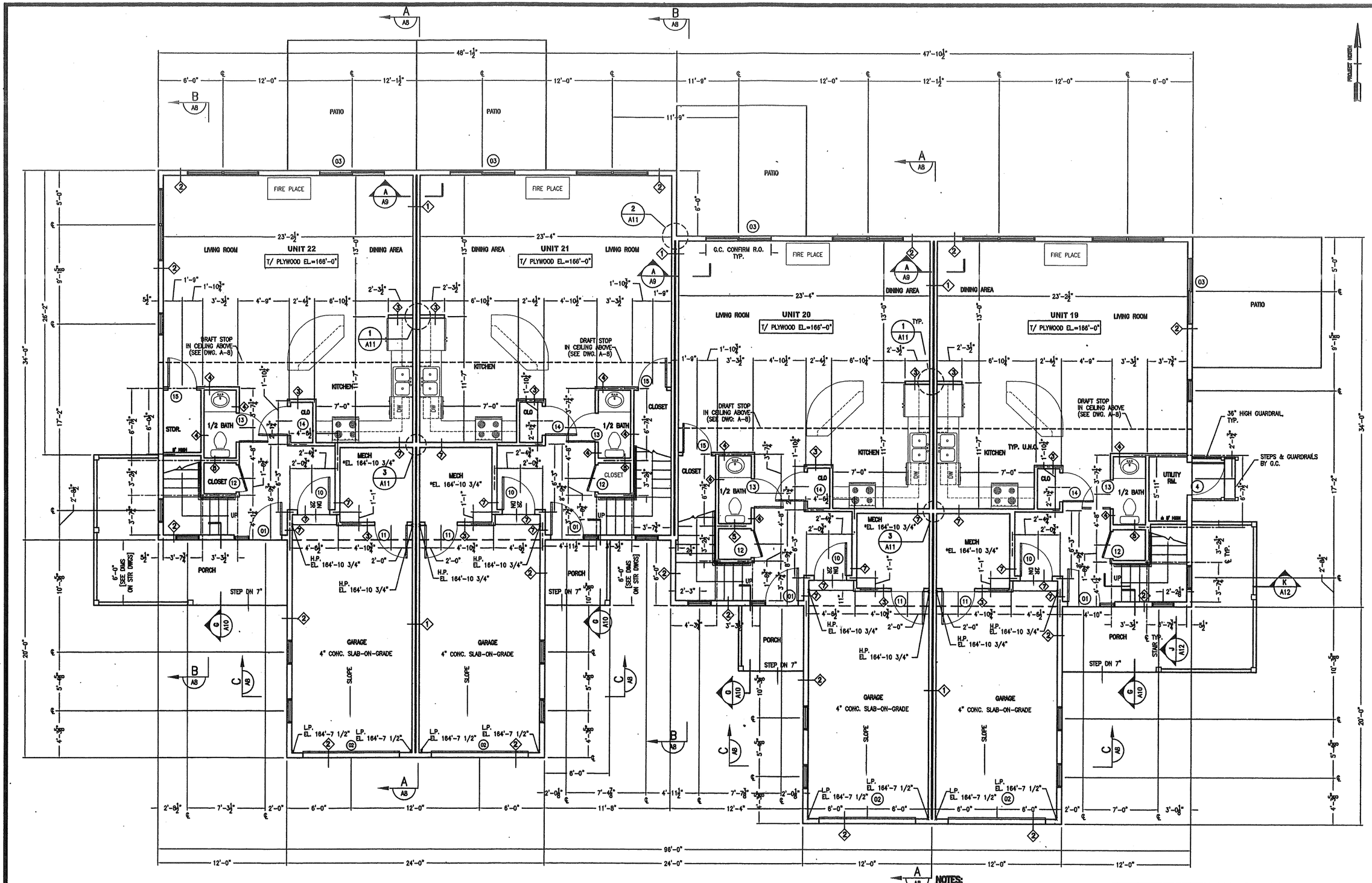
appr'd		
description		
date		
rev.		

designed by: JHL
drawn by: JML
checked by: JHL
scale:
date: APRIL 27, 2004
plot date: -
project # 23035

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FRAMING SECTIONS AND DETAILS
UNITS 19,20, 21, 22

S8



FIRST FLOOR PLAN
1/4"=1'-0"

NOTES:

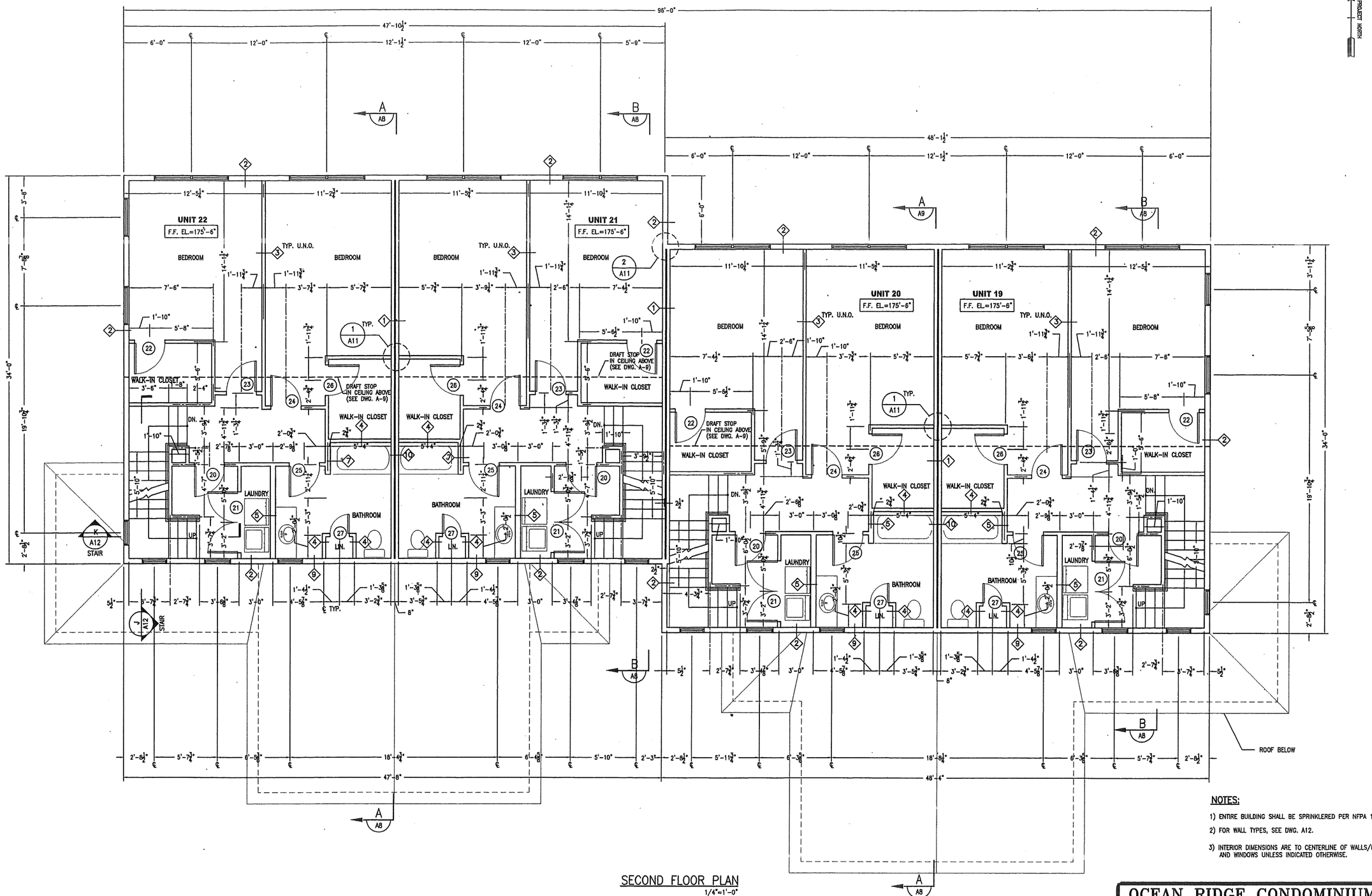
1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
2) FOR WALL TYPES, SEE DWG. A12.
3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.
4) KITCHEN EQUIPMENT & LAYOUT BY OTHERS

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FIRST FLOOR PLAN
UNITS 19, 20, 21 & 22

STATUS
REV. | DATE | FOR PERMITTING
4-19-04

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

A1



SECOND FLOOR PLAN
1/4"=1'-0"

NOTES:

1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
2) FOR WALL TYPES, SEE DWG. A12.
3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

PROJECT NORTH

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

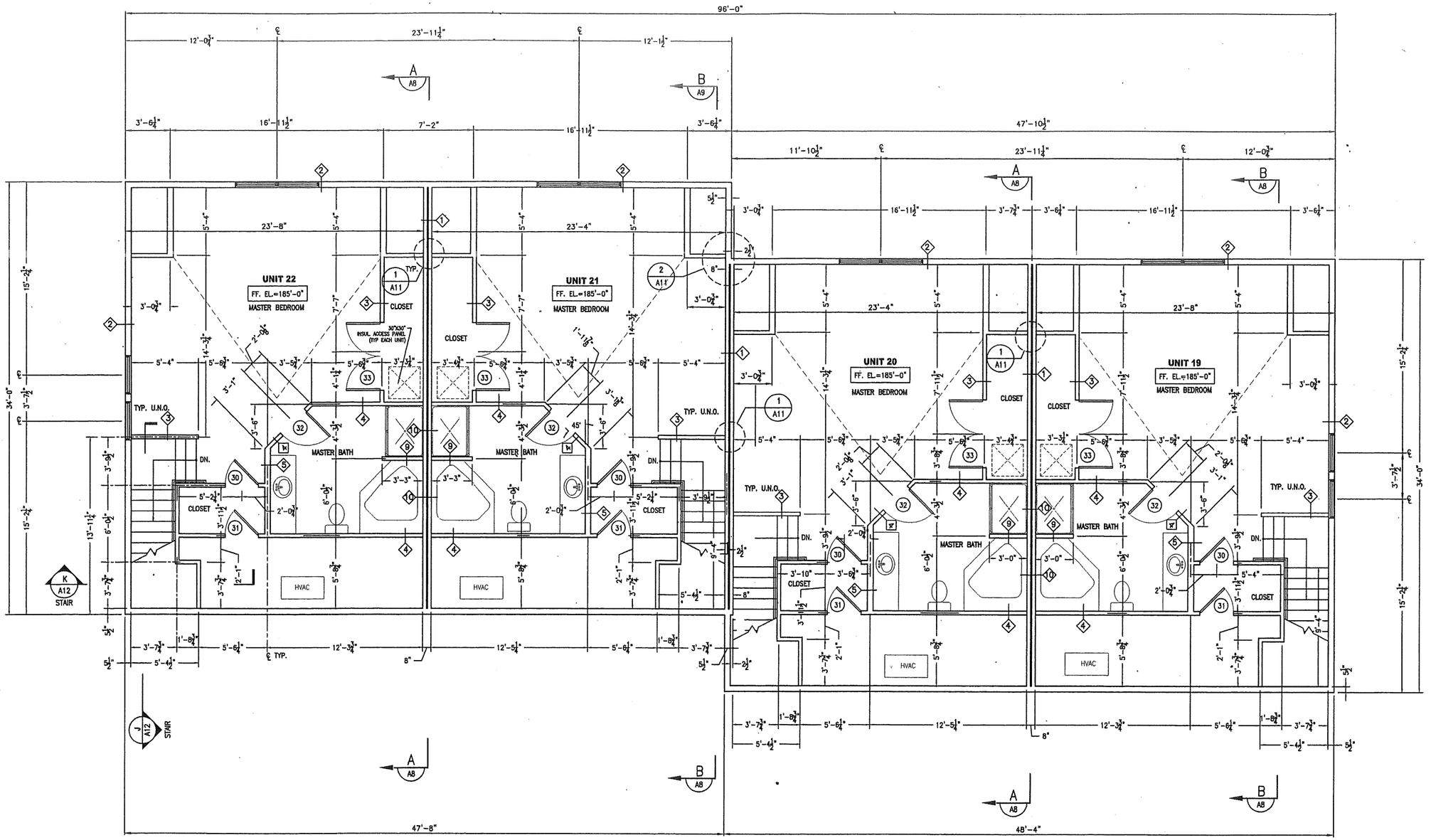
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS

852 OCEAN AVENUE
PORTLAND, MAINE

SECOND FLOOR PLAN
UNITS 19, 20, 21, 22

A2



THIRD FLOOR PLAN
1/4"=1'-0"

NOTES:

1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
2) FOR WALL TYPES, SEE DWG. A9.
3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

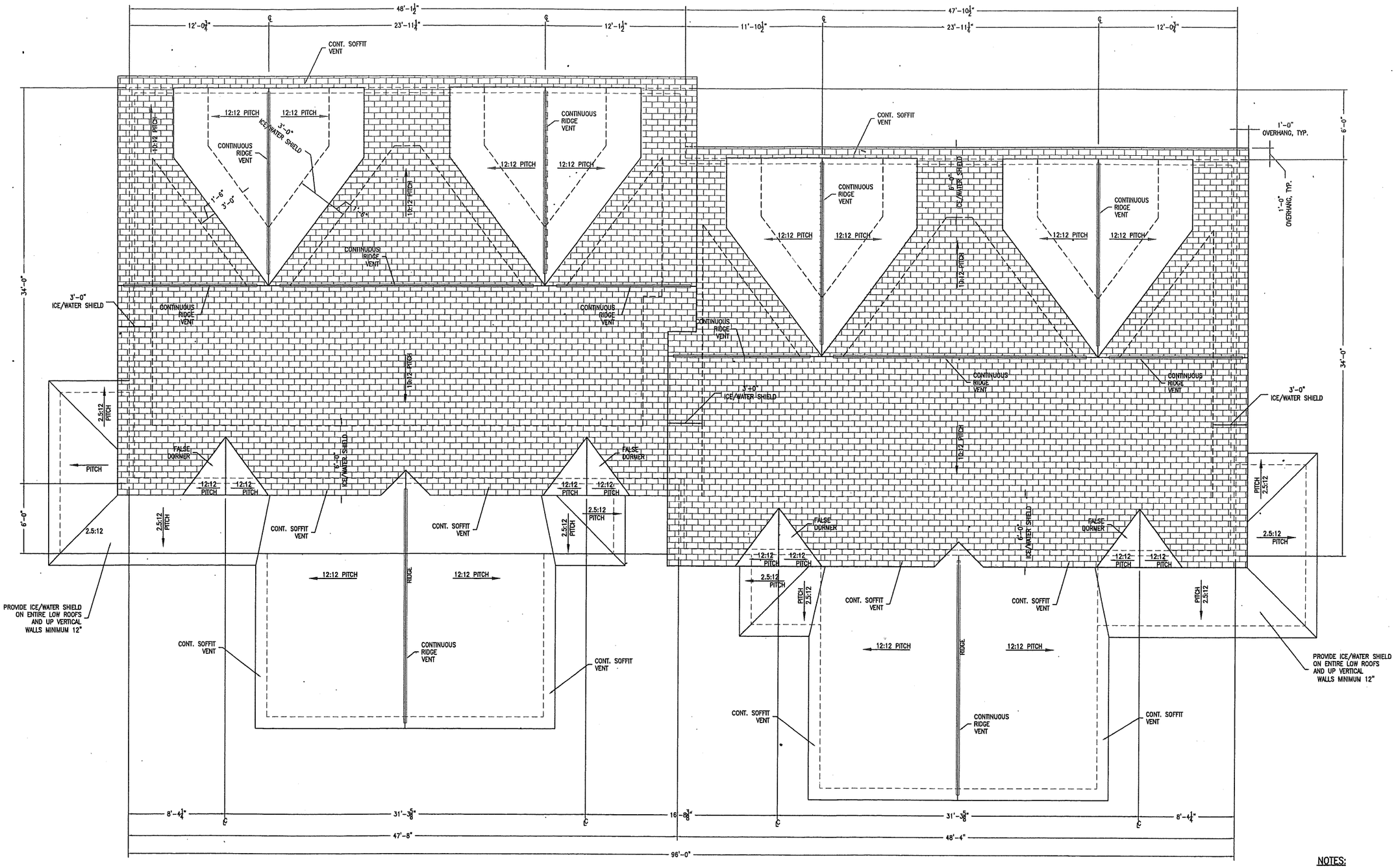
PROJECT NORTH

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
THIRD FLOOR PLAN
UNITS 19, 20, 21, 22

A3



ROOF PLAN
1/4"=1'-0"

NOTES:

1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
2) SEE A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.

PROJECT NORTH

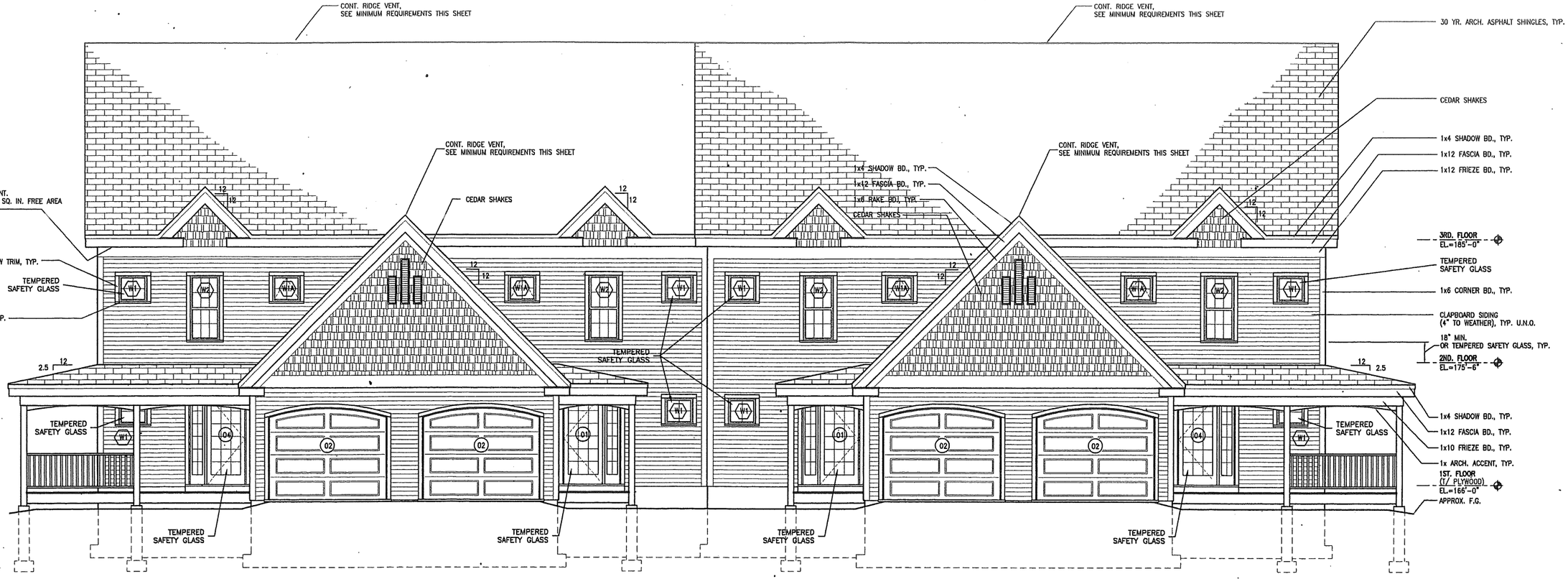
STATUS

REV.	DATE
	4-19-04 FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF PLAN
UNITS 19, 20, 21 & 22

A4



SOUTH ELEVATION

1/4"=1'-0"

ATTIC MINIMUM VENTILATION REQUIREMENTS

(WITH VAPOR BARRIER AT CEILING)

MAIN ROOF	REQ'D. TOTAL FREE AREA	COMMENTS
RIDGE	1.19 SF.	
SOFFIT	1.19 SF.	
GARAGES		
RIDGE	.48 SF.	
SOFFIT	.48 SF.	
3RD. FLOOR DORMERS (EA.)		
RIDGE	0.3 SF.	(SEE A7)
SOFFIT	0.3 SF.	(SEE A7)

NOTE:

1. IF GRAVITY VENTILATION IS INSUFFICIENT TO MEET MINIMUM REQ'MNTS OR NOT UNIFORMLY DISTRIBUTED, THEN MECHANICAL METHODS MUST BE USED TO PROVIDE MINIMUM REQUIREMENTS AS LISTED ABOVE. (CONSULT MECHANICAL P.E. FOR PROPER DESIGN)
2. G.C. SHALL VERIFY RIDGE AND SOFFIT PRODUCTS AND PROVIDE THE MINIMUM CLEAR FREE AREA REQ'D AS SHOWN ABOVE. SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW & APPROVAL.

OCEAN RIDGE CONDOMINIUMS

852 OCEAN AVENUE
PORTLAND, MAINE

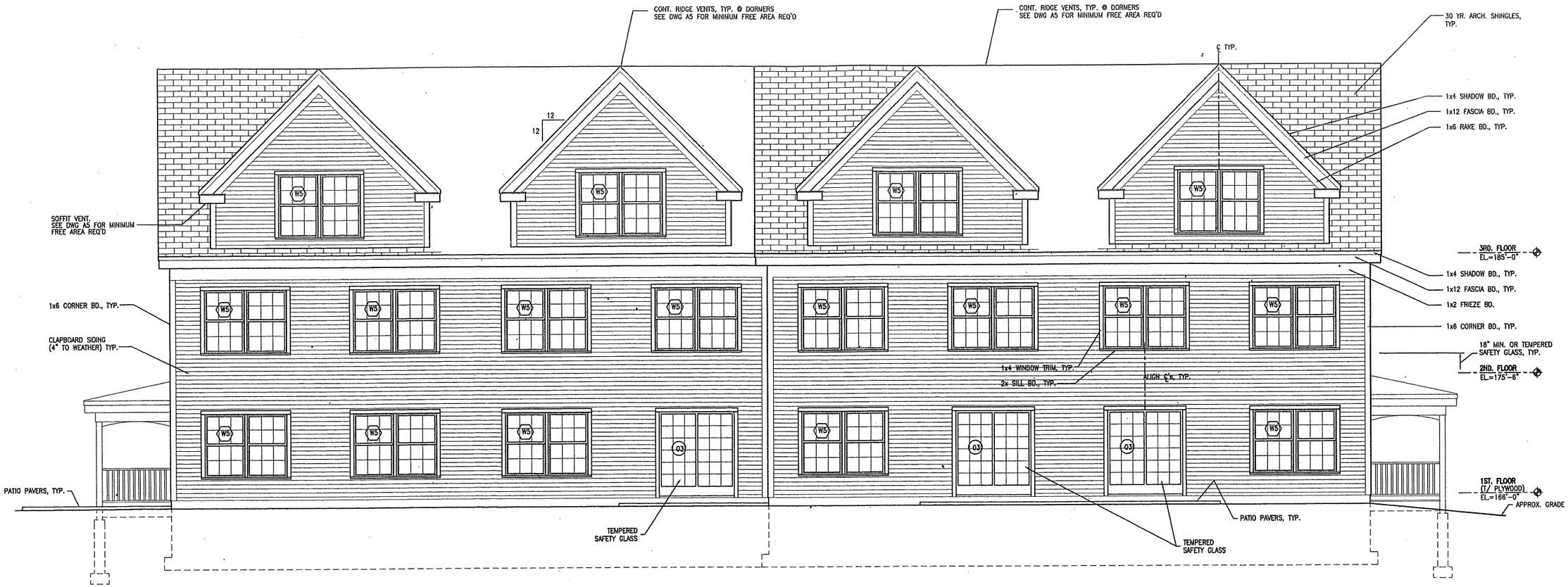
SOUTH ELEVATION
UNITS 19, 20, 21, 22

STATUS

REV.	DATE	
	4-19-04	FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

A5



NORTH ELEVATION

1/4"=1'-0"

NOTE:

SEE DWG. A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
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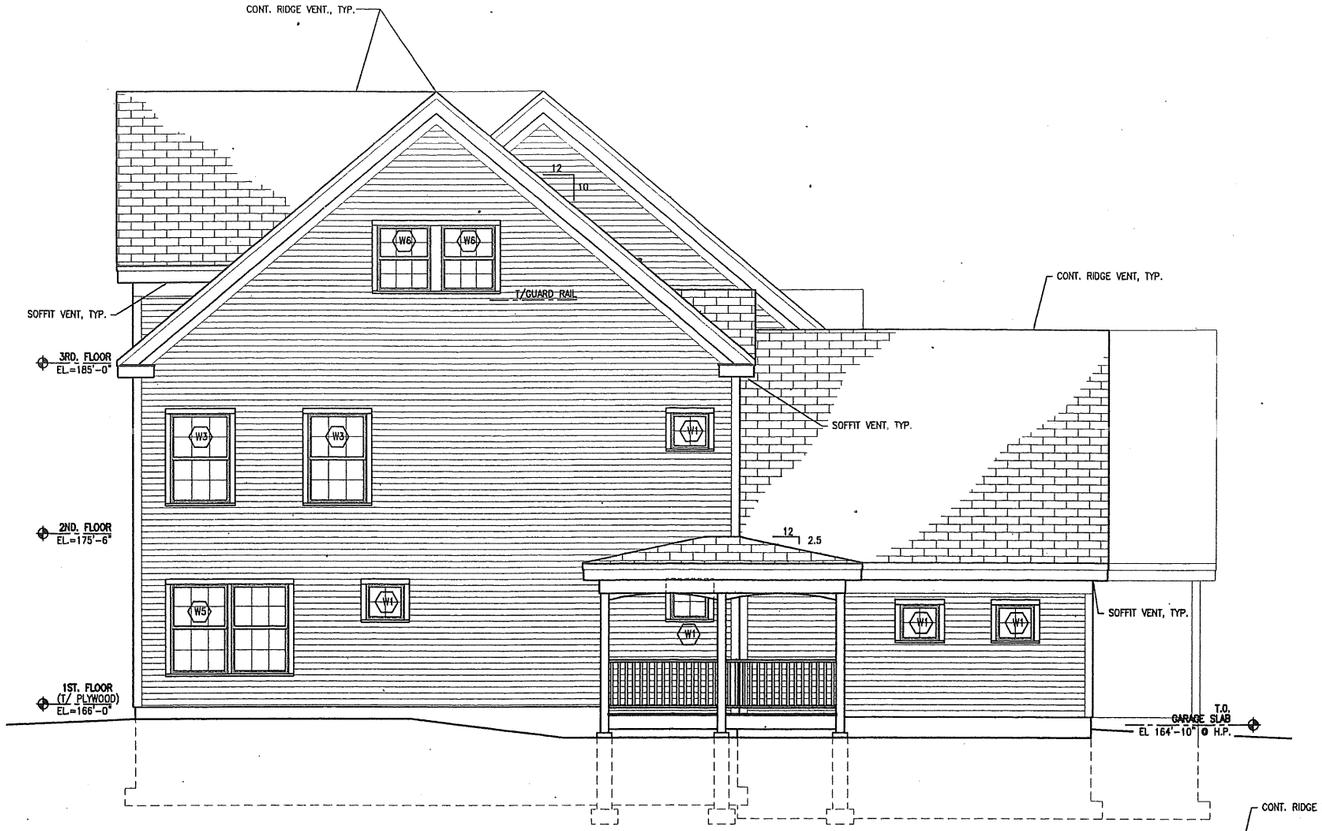
SOUTH PORTLAND, MAINE 04106

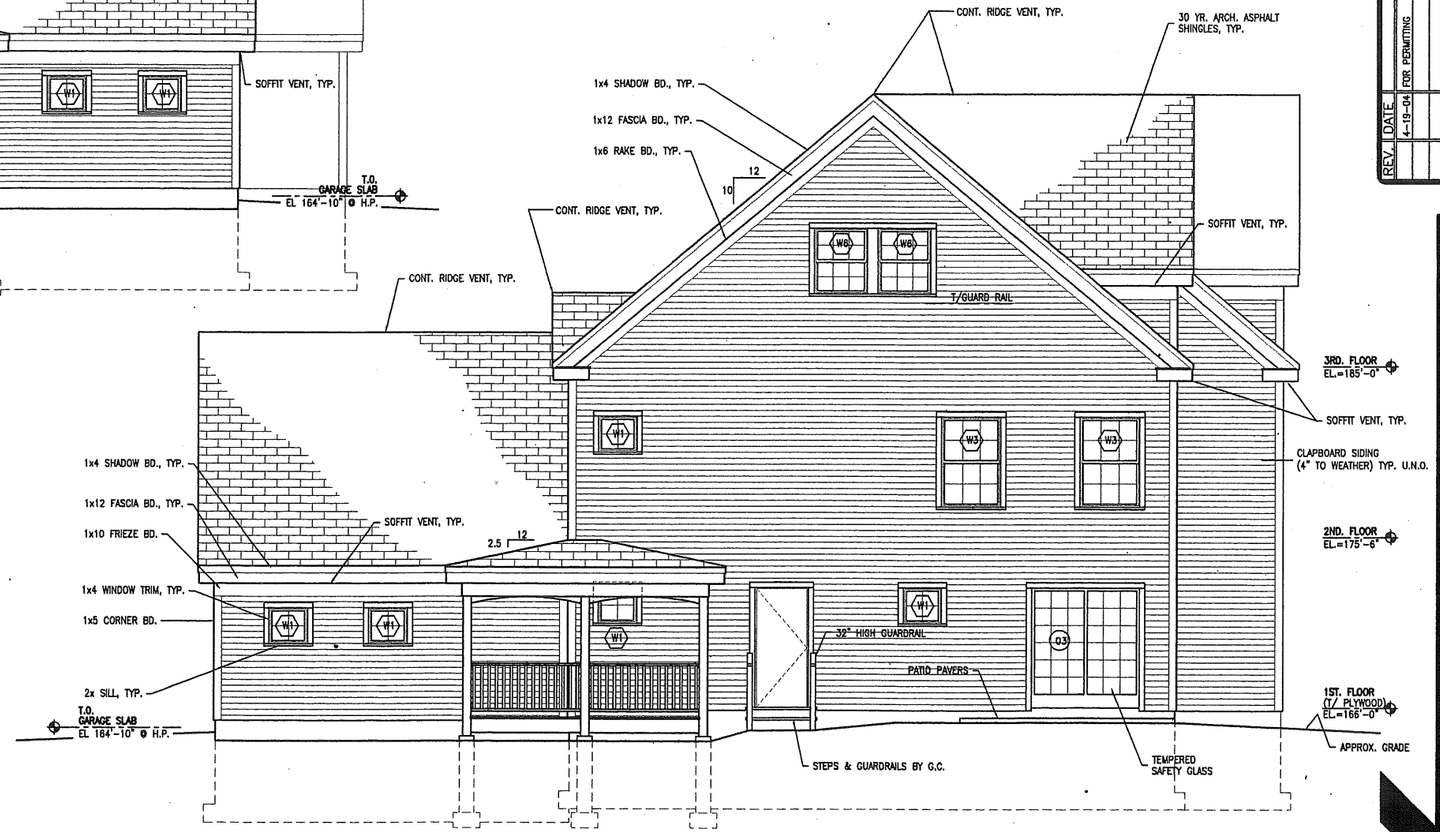
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
NORTH ELEVATION
UNITS 19, 20, 21, & 22

A6



WEST ELEVATION

1/4"=1'-0"



EAST ELEVATION

1/4"=1'-0"

NOTE:
SEE DWG. A5 FOR MINIMUM ATTIC VENTILATION REQUIREMENTS.

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
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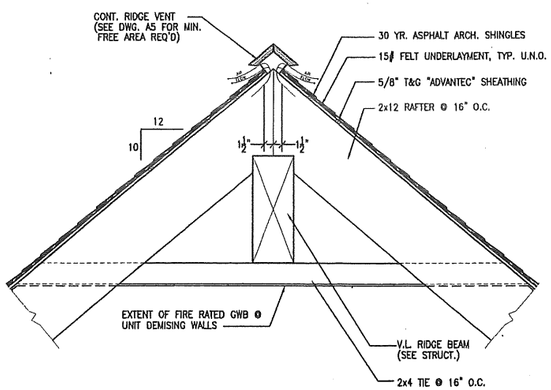
OCEAN RIDGE CONDOMINIUMS

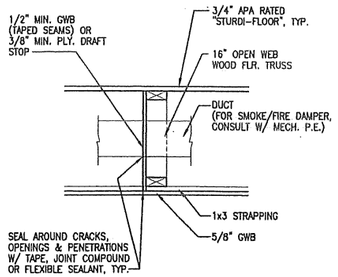
852 OCEAN AVENUE
PORTLAND, MAINE

EAST & WEST ELEVATIONS
UNITS 19, 20, 21, 22

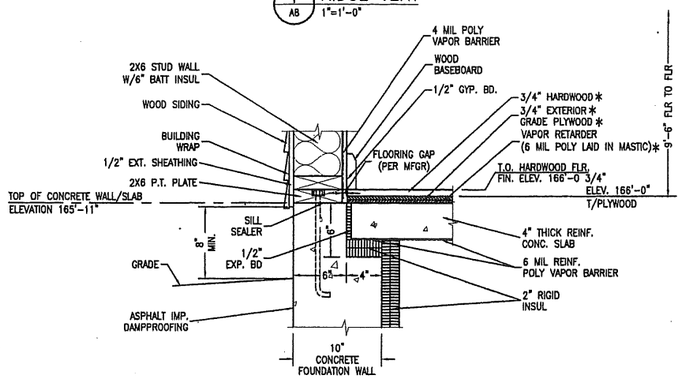
A7



1 A8 RIDGE VENT
1"=1'-0"

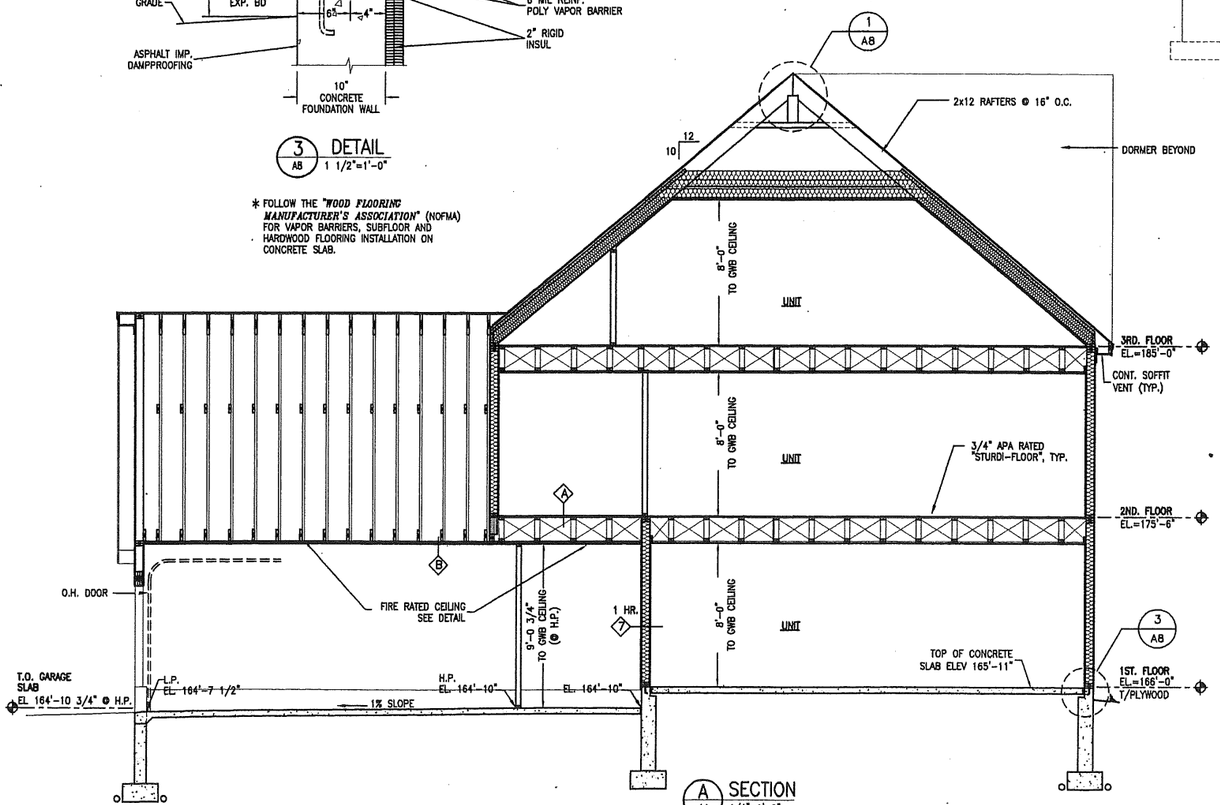


2 A8 DRAFT STOP
1"=1'-0"

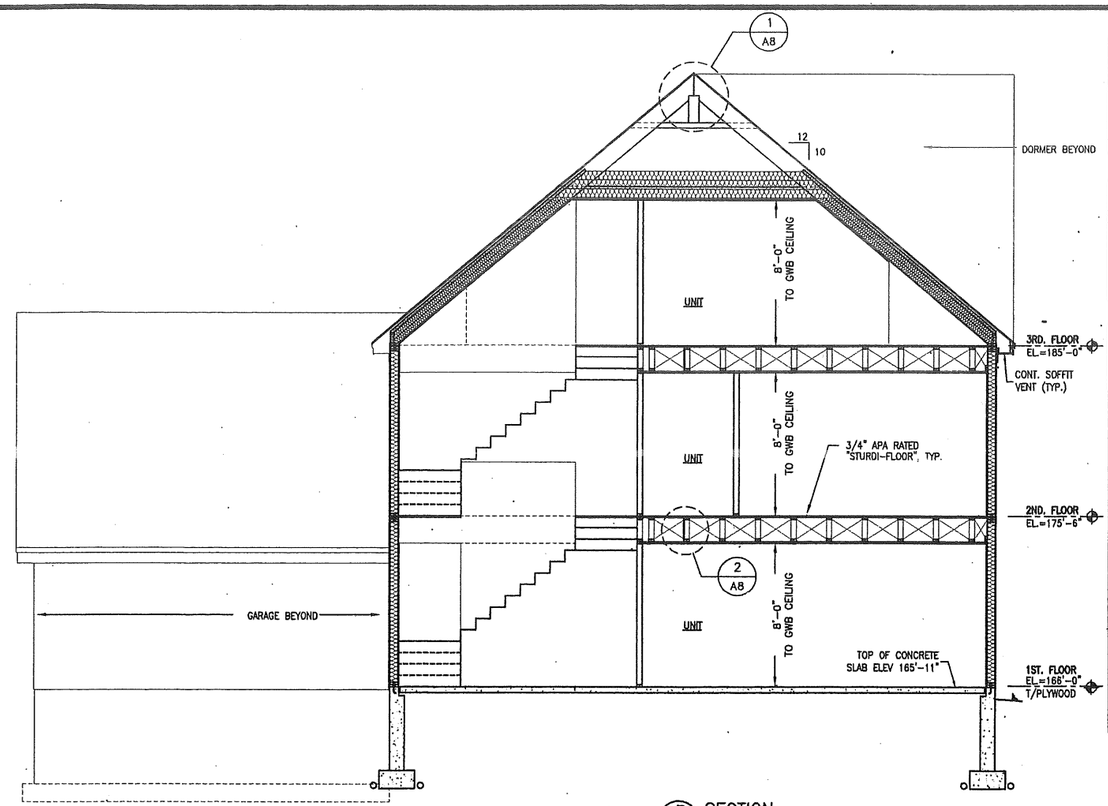


3 A8 DETAIL
1 1/2"=1'-0"

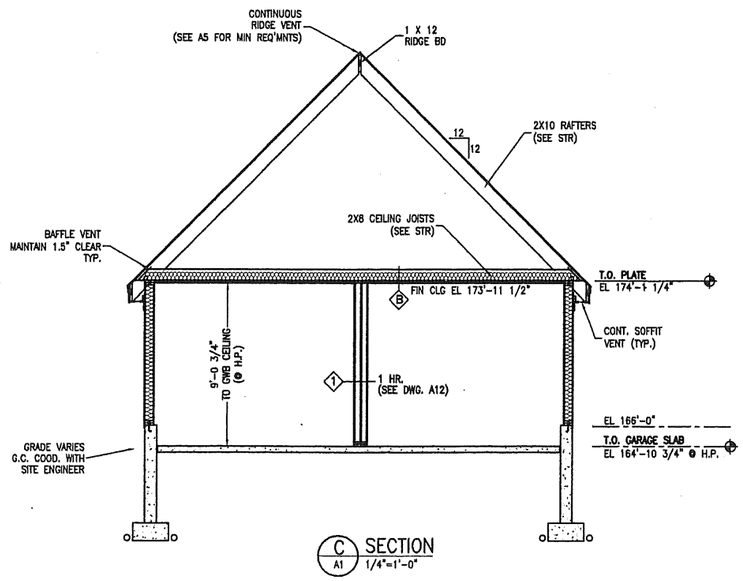
* FOLLOW THE *"WOOD FLOORING MANUFACTURER'S ASSOCIATION"* (NOFMA) FOR VAPOR BARRIERS, SUBFLOOR AND HARDWOOD FLOORING INSTALLATION ON CONCRETE SLAB.



A A1 SECTION
1/4"=1'-0"



B A1 SECTION
1/4"=1'-0"



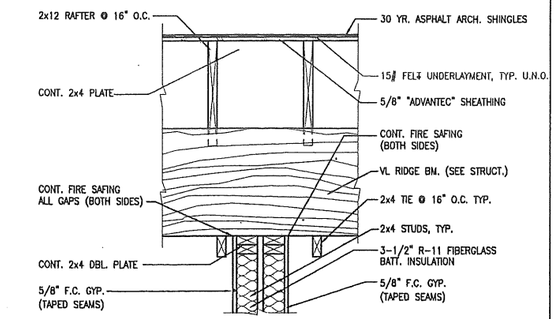
C A1 SECTION
1/4"=1'-0"

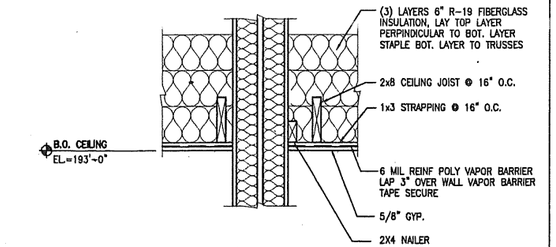
REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

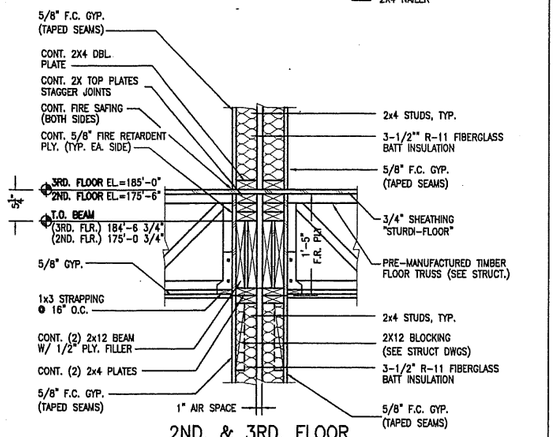
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
BUILDING SECTIONS
UNITS 19, 20, 21 & 22

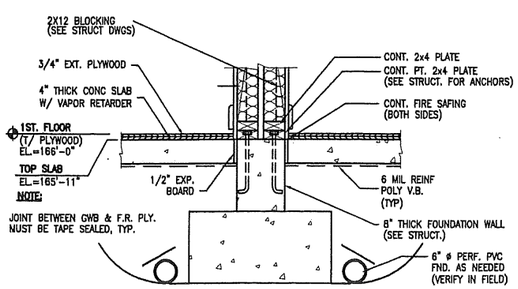
A8



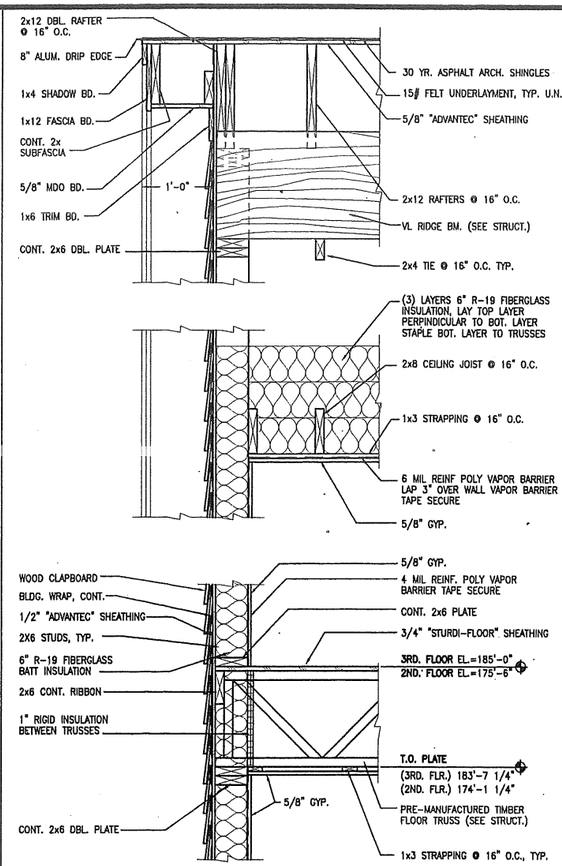




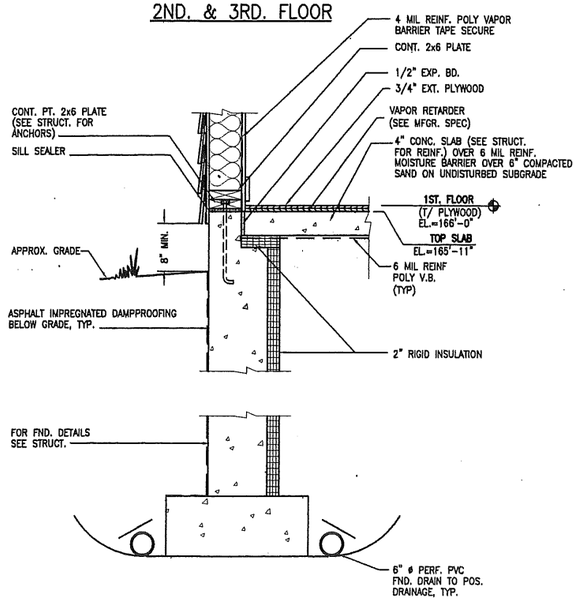
2ND. & 3RD. FLOOR



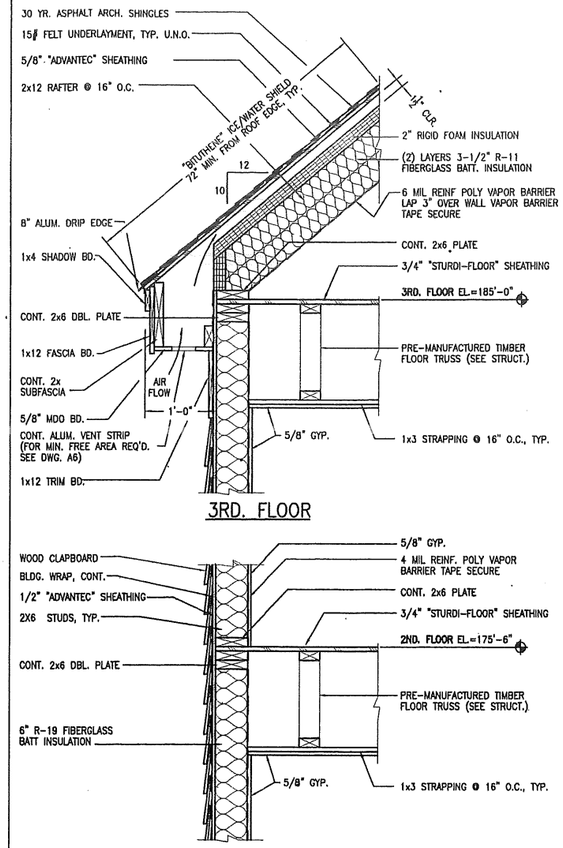
A A1 1 HR. FIRE RATED DEMISING WALL
1"=1'-0"
U.L. No. U305 (STC 50-55)



2ND. & 3RD. FLOOR

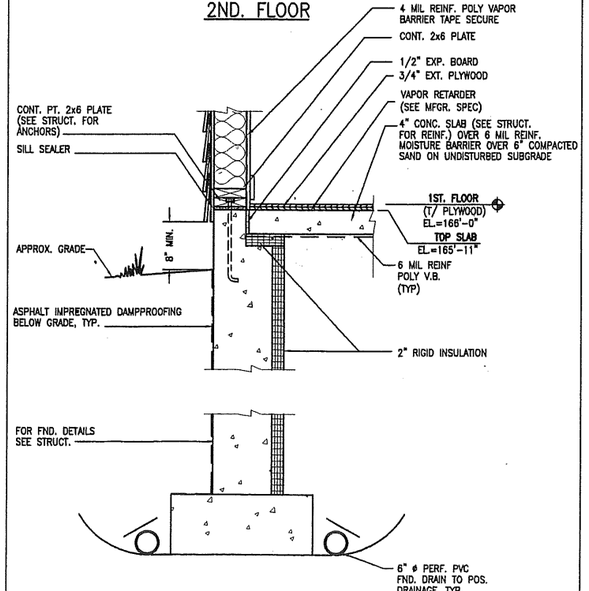


B A1 EXTERIOR GABLE END WALL
1"=1'-0"

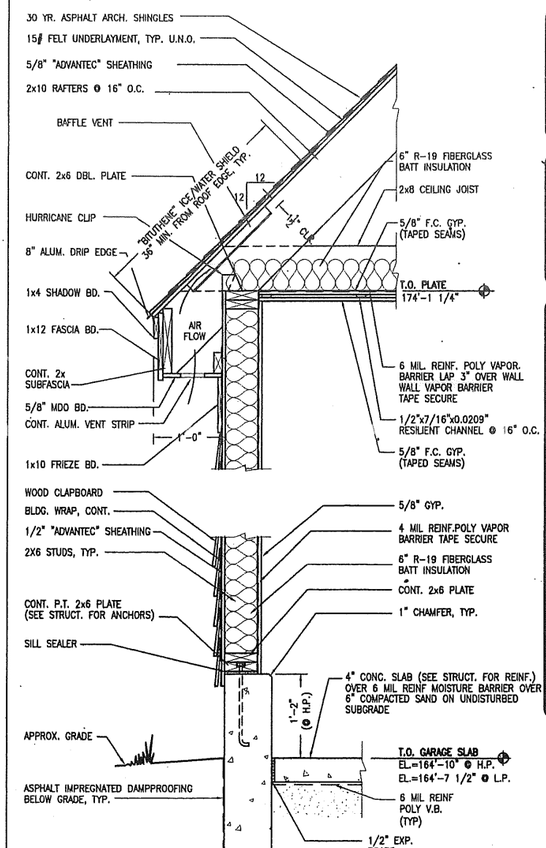


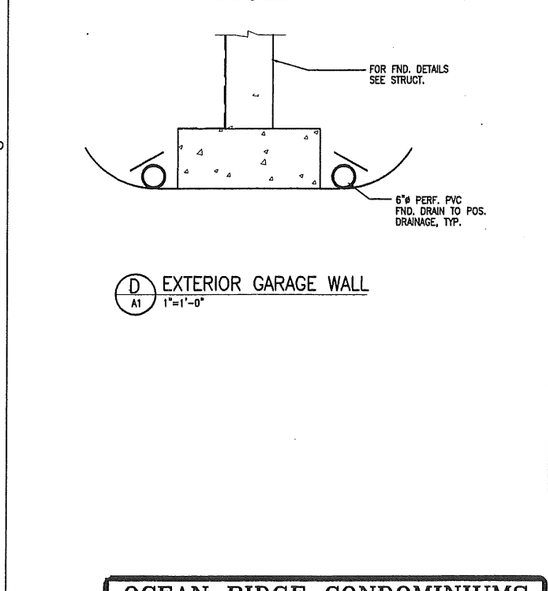
3RD. FLOOR

2ND. FLOOR



C A1 EXTERIOR WALL
1"=1'-0"





D A1 EXTERIOR GARAGE WALL
1"=1'-0"

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	4-19-04	FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
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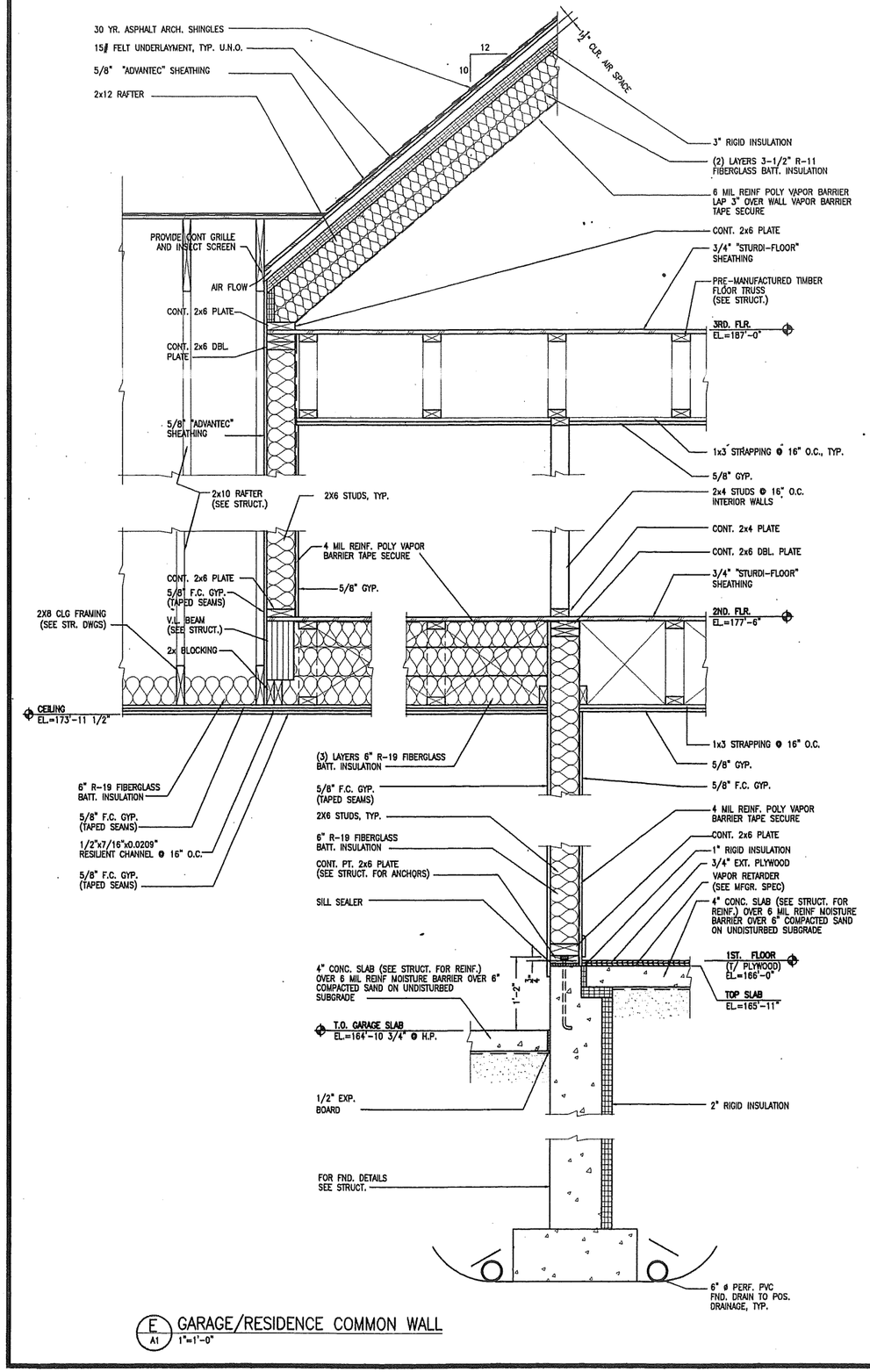
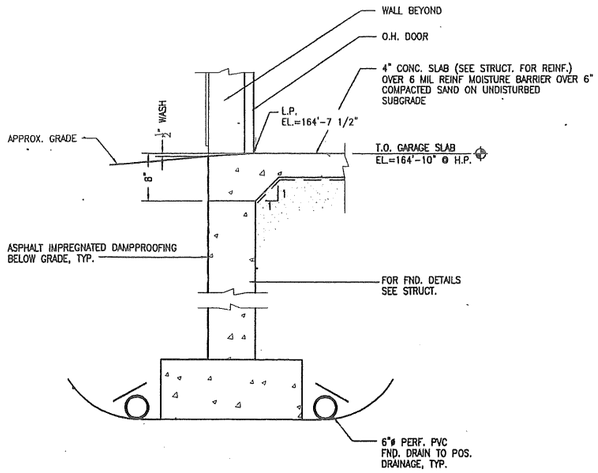
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECTIONS & DETAILS
UNITS 19, 20, 21, & 22

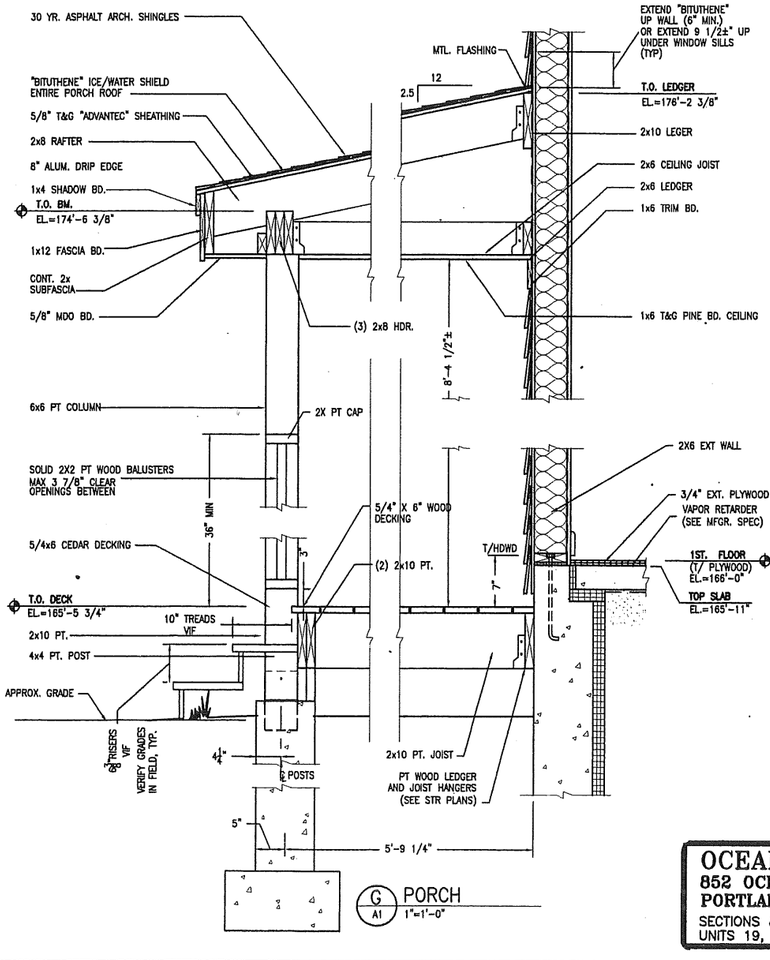
A9



E / A1 GARAGE/RESIDENCE COMMON WALL
1"=1'-0"



F / A1 THICKENED SLAB @ O.H. DOOR
1"=1'-0"



G / A1 PORCH
1"=1'-0"

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

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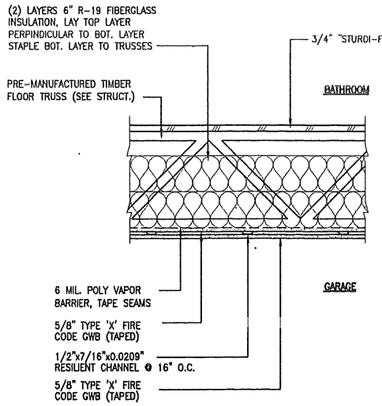
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECTIONS & DETAILS
UNITS 19, 20, 21, & 22

A10

CEILING TYPES



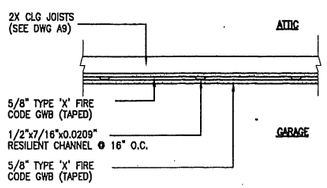
A CEILING (1 HR. FIRE RATED)

FIRE RESISTANT CEILING

BASE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG, 0.113" SHANK, 19/64" HEADS, 7" O.C. ALL SEAMS TAPED.

RESILIENT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL, 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.



B CEILING (1 HR. FIRE RATED)

FIRE RESISTANT CEILING

BASE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG, 0.113" SHANK, 19/64" HEADS, 7" O.C. ALL SEAMS TAPED.

RESILIENT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL, 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GWB APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

GENERAL NOTES

1 - ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS, AND VERIFY PROPOSED RENOVATIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS PRIOR TO PROCEEDING WITH WORK

2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENETS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

3 - ALL WORK SHALL BE IN ACCORDANCE WITH ANSI, BOCA 1999,NEC NFPA 101, AND ALL LOCAL, STATE,& FEDERAL REQUIREMENTS

4 - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS

6 - MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STATE AND FEDERAL STANDARDS

7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MAXIMUM 7 3/4" RISER AND A MINIMUM 10" DEEP TREAD

8 - FINISHES SHALL BE DRYWALL, TAPED, SANDED AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS

9 - COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/G.C. PRIOR TO PROCEEDING WITH WORK

10 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION

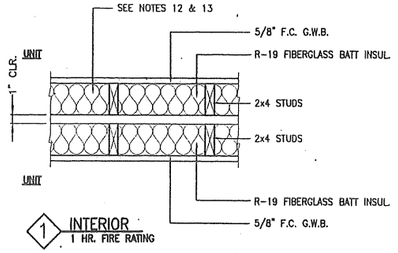
11 - FIRE DOOR ASSEMBLY, INCLUDING THE DOORWAY, FRAME, DOOR AND NECESSARY HARDWARE SHALL CONFORM TO NFPA-101 SECTION 5-1.

12 - ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SLEEVED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE SAFING MATERIAL IF NEEDED.

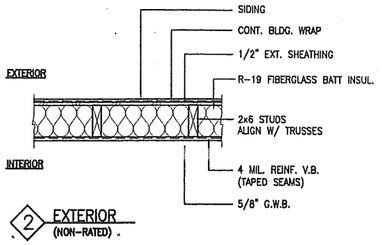
13 - VERTICAL CUTOUTS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED AT THE MIDPOINT BETWEEN STUDS. NO CUTOUTS SHALL BE LOCATED BEHIND JOIST BEARINGS.

14 - SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.

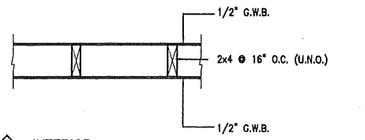
WALL TYPES



1 INTERIOR (1 HR. FIRE RATING)



2 EXTERIOR (NON-RATED)



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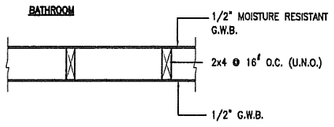
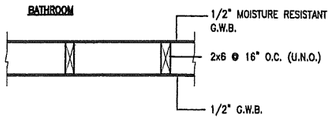


4 INTERIOR (NON-RATED)



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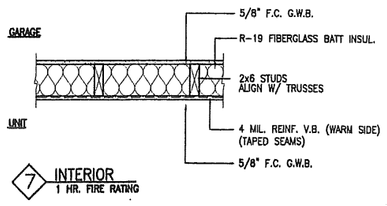
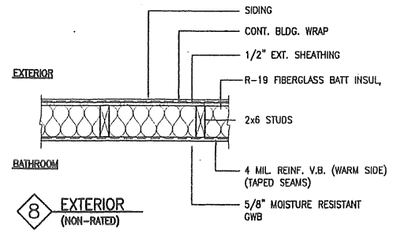


7 INTERIOR (1 HR. FIRE RATING)



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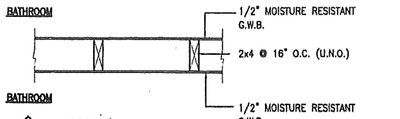
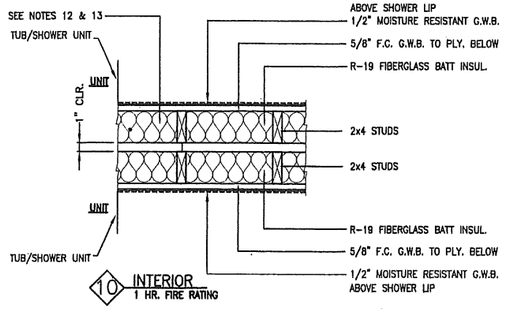
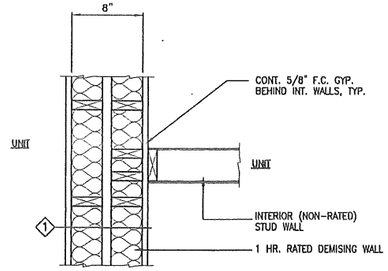


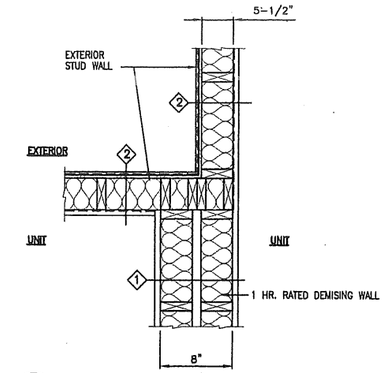
9 INTERIOR (NON-RATED)



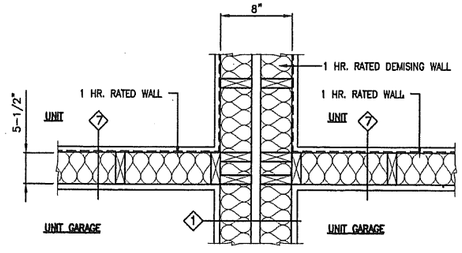
10 INTERIOR (1 HR. FIRE RATING)



1 DEMISING WALL/INTERIOR WALL
A1, A2, A3 N.T.S



2 DEMISING WALL/EXTERIOR WALL
A1, A2, A3 N.T.S



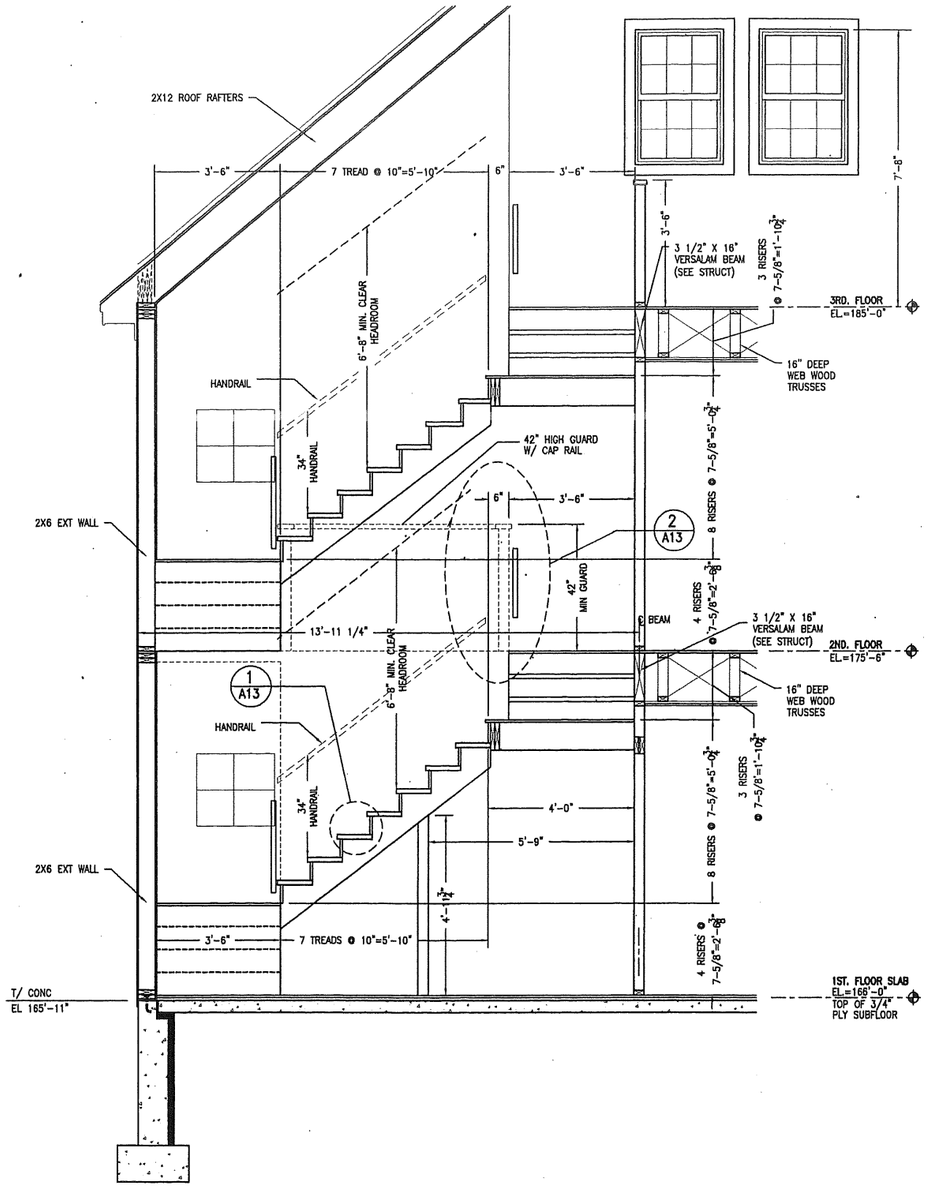
3 GARAGE/UNIT DEMISING WALL
A1 N.T.S

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

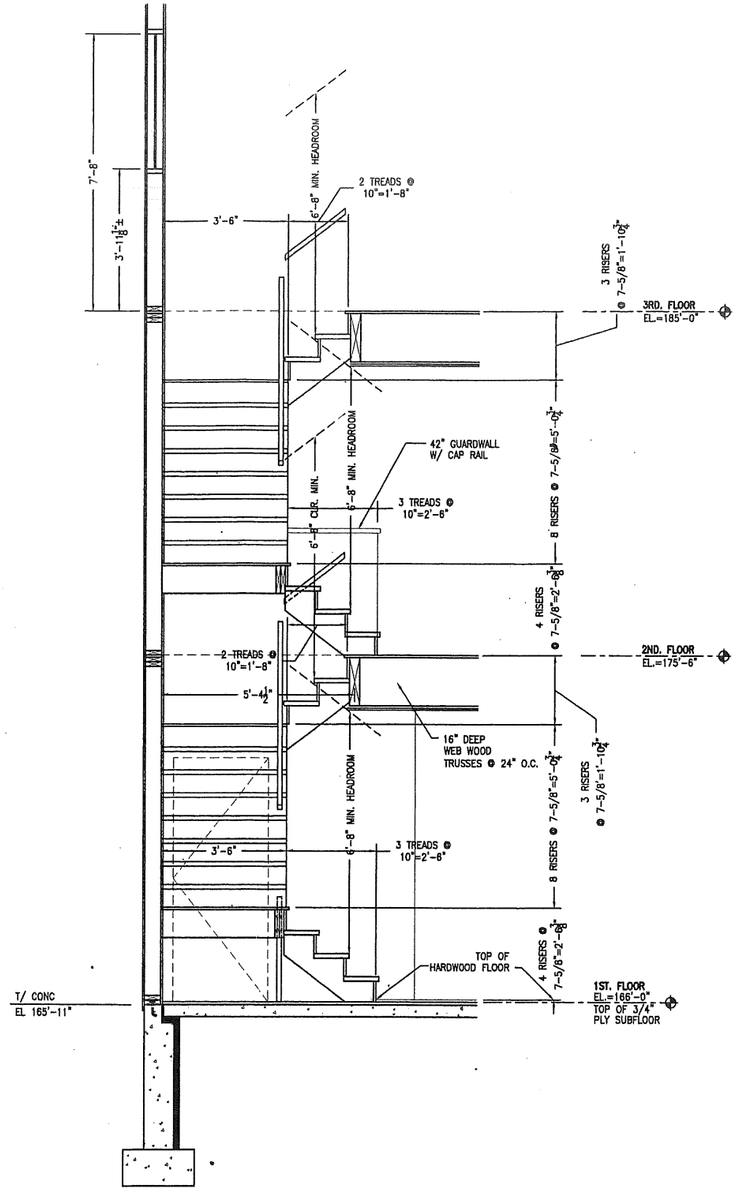
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
WALL TYPES & DETAILS
UNITS 19, 20, 21 & 22

A11



J A1,2&3 SECTION 1/2"=1'-0"

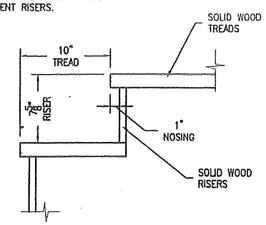


K A1,2&3 SECTION 1/2"=1'-0"

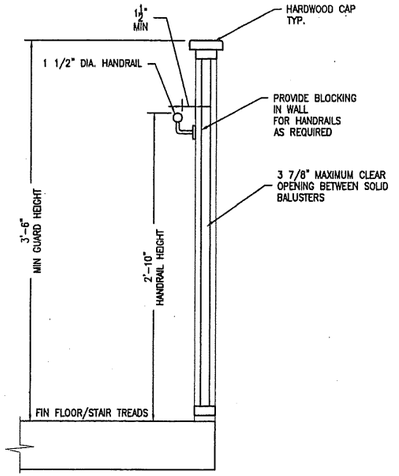
NOTES

1) NOSING SHALL BE MINIMUM 3/4", MAXIMUM 1 1/4"

2) VARIATIONS SHALL NOT EXCEED 3/16" IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS.



1 A12 DETAIL 1 1/2"=1'-0"



2 A12 DETAIL 1"=1'-0"

NOTE:

BEGIN STAIR RISER DIMENSIONS FROM FINISHED HARDWOOD FLOORS.

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
STAIR SECTIONS & DETAILS
UNITS 19, 20, 21 & 22

A12

DOOR SCHEDULE

DOOR SCHEDULE ABBREVIATIONS

CLO.	CLOSER	HDWE	HARDWARE	S.	STEEL
D.C.	DOOR CHAIN	HM	HOLLOW METAL	S.C.	SOLID CORE HARDBOARD
D.K.	DOOR KNOCKER	INS	INSULATED	S.H.	SPRING HINGE
D.S.	DOOR SWEEP	K	KICKPLATE (PUSH SIDE)	S.J.	SPLIT JAMB (WOOD)
EHO	ELECTRO. HOLD OPENER	KL	KEY LOCK	TEMP	TEMPERED
ES	ELECTRIC STRIKE	MTL.	METAL	THK	THICKNESS
F.J.P.	FINGER JOINTED PRIMED	NO	NUMBER	WD	WOOD (SOLID)
FR	FIRE RATED	P.H.	PANIC HARDWARE	WG	WIRE GLASS
HA	HANDICAP ACCESSIBLE	P.P.	PUSH/PULL	V	VIEWER
HC	HOLLOW CORE HARDBOARD	P.	PULL		
		P.R.S.	PRIVACY SET		
		P.S.	PASSAGE SET		

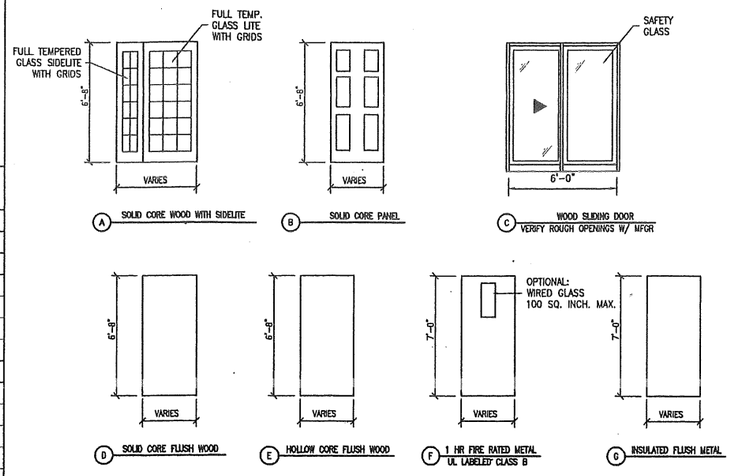
DOORS										FRAME TYPES					THRESHOLD		
NO.	TYPE	SIZE	THK.	F.R.	HDWE SET	MAT.	GLASS SIZE	GLASS TYPE	REMARKS	TYPE	MAT.	F.R.	DETAILS HEAD	DETAILS JAMB	MAT.	DETAIL SILL	DETAIL HT.
EXTERIOR																	
01	A	3'-0"x 6'-8"	1 3/8"		KNOB	WOOD	–	–	INS, KL, TEMP, DS	BB	WOOD	–	–	C	WOOD	–	–
02	I	9'-0"x 7'-0"			MFGR	INSUL			INSUL O.H. GARAGE DOOR	DD	WOOD	–	–	C	WOOD	–	–
03	C	6'-0"x 6'-8"			MFGR				INS, TEMP	BB	WOOD			C	WOOD		
04	G	3'-0"x 6'-8"	1 3/8"		PULL	18GA MTL	–	–	INS, KL, DC	AA	MTL	–	–	C	ALUM.	–	–
FIRST FLOOR																	
10	F	3'-0"x 6'-3"	1 3/4"	1 HR.	KNOB	18GA MTL	–	–	INS, SH, DS	CC	MTL	–	–	D		–	–
11	J	3'-0"x 6'-8"	1 3/8"		KNOB	WD	–	–	LOCKSET, DS	BB	WD	–	–	B		–	–
12	B	2'-6"x 6'-8"	1 3/8"		KNOB	WD	–	–	LOCKSET	BB	WD	–	–	C	WOOD	–	–
13	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD	–	–	LOCKSET	BB	WD	–	–	C	WOOD	–	–
14	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD	–	–	LOCKSET	BB	WD	–	–	C	WOOD	–	–
15	B	2'-8"x 7'-0"	1 3/4"		KNOB		–	–	SH, DS, PS	BB	WD		–	C	WOOD	–	–
SECOND FLOOR																	
20	B	PR 2'-8"x 6'-8"	1 3/8"		KNOB	WD			LOCKSET	BB	WD			C	WOOD		
21	B	PR 2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
22	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
23	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
24	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
25	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
26	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
27	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
THIRD FLOOR																	
30	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			LOCKSET	BB	WD			C	WOOD		
31	B	2'-8"x 4'-0"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		
32	B	PR 2'-8"x 6'-8"	1 3/8"		KNOB	WD			PRS	BB	WD			C	WOOD		
33	B	2'-8"x 6'-8"	1 3/8"		KNOB	WD			PS	BB	WD			C	WOOD		

WINDOW SCHEDULE

NO.	TYPE	MANUF	CAT NO.	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS HEAD	DETAILS JAMB
W1	C	"HANCOCK"	PT2624*	N/A	2'-2" X 2'-0"	"HANCOCK LUMBER WINDOW TYPE"	–	–
W1A	E	"HANCOCK"	–	N/A	2'-2" X 2'-0"	"HANCOCK LUMBER WINDOW TYPE" AWNING	–	–
W2	A	"HANCOCK"	PDH2860*	N/A	2'-4" X 5'-0"	"HANCOCK LUMBER WINDOW TYPE"	–	–
W3	A	"HANCOCK"	PDH4060*	N/A	3'-4" X 5'-0"	"HANCOCK LUMBER WINDOW TYPE" **EGRESS WINDOW	–	–
W5	B	"HANCOCK"	PDH4060-2*	N/A	6'-7 1/2" X 5'-0"	"HANCOCK LUMBER WINDOW TYPE" **EGRESS WINDOW		
W6	A	"HANCOCK"	PDH3644*	N/A	3'-0" X 3'-8"	"HANCOCK LUMBER WINDOW TYPE" HEAD HGT @ 7'-8" AFF		

**NOTE 1:
EACH BEDROOM OR SLEEPING AREA SHALL HAVE AN EGRESS WINDOW MIN. 20" IN WIDTH, 24" IN HEIGHT, & SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR WITH A MINIMUM 5.7 SQ. FT. CLEAR OPENING (MINIMUM ONE EACH BEDROOM)

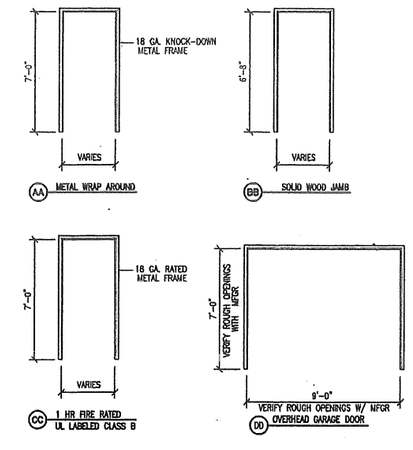
DOOR TYPES



A SOLID CORE WOOD WITH SIDELITE
B SOLID CORE PANEL
C WOOD SLIDING DOOR VERIFY ROUGH OPENINGS W/ MFGR
D SOLID CORE FLUSH WOOD
E HOLLOW CORE FLUSH WOOD
F 1 HR FIRE RATED METAL UL LABELED CLASS B
G INSULATED FLUSH METAL
I OVERHEAD GARAGE DOOR
J FLUSH MTL.

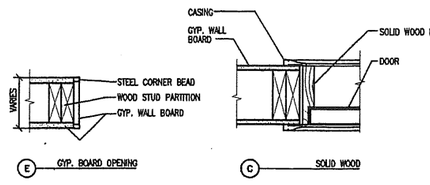
NOTES
1) – WINDOW AND DOOR QUANTITIES SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

FRAME TYPES

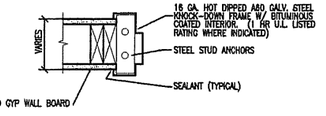


AA METAL WRAP AROUND
BB SOLID WOOD JAMB
CC 1 HR FIRE RATED UL LABELED CLASS B
DD OVERHEAD GARAGE DOOR

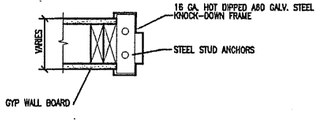
JAMB TYPES



E GYP. BOARD OPENING
C SOLID WOOD

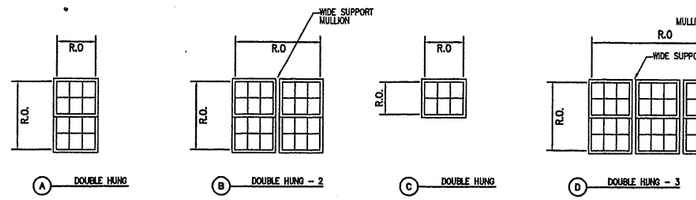


D 1 HR RATED METAL WRAP AROUND



E METAL WRAP AROUND (NON-RATED)

WINDOWS



A DOUBLE HUNG
B DOUBLE HUNG – 2
C DOUBLE HUNG
D DOUBLE HUNG – 3
E DOUBLE HUNG

NOTES:
PROVIDE TEMPERED SAFETY GLASS IN ALL STAIR WINDOWS, WITHIN 24" OF DOORS AND LESS THAN 18" ABOVE FINISHED FLOOR NEXT TO A WALKING SURFACE.

REV.	DATE	STATUS
	4-19-04	FOR PERMITTING

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
DOOR AND WINDOW SCHEDULE
UNITS 19, 20 21, & 22

A13