

R-3 DRUD

25' min to exterior property line  
required - 27' scaled

CHANGES REFLECTED ON THIS AMENDED SUBDIVISION PLAN HAVE BEEN REVIEWED AND APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT.

*E. P. Urban* 4/23/03  
DIRECTOR DATE

THIS PLAN IS A REVISION OF THE SUBDIVISION PLAN SIGNED BY THE PLANNING BOARD ON AUGUST 14, 2001.



# OCEAN RIDGE CONDOMINIUMS 852 OCEAN AVENUE PORTLAND, MAINE

UNITS 17 & 18

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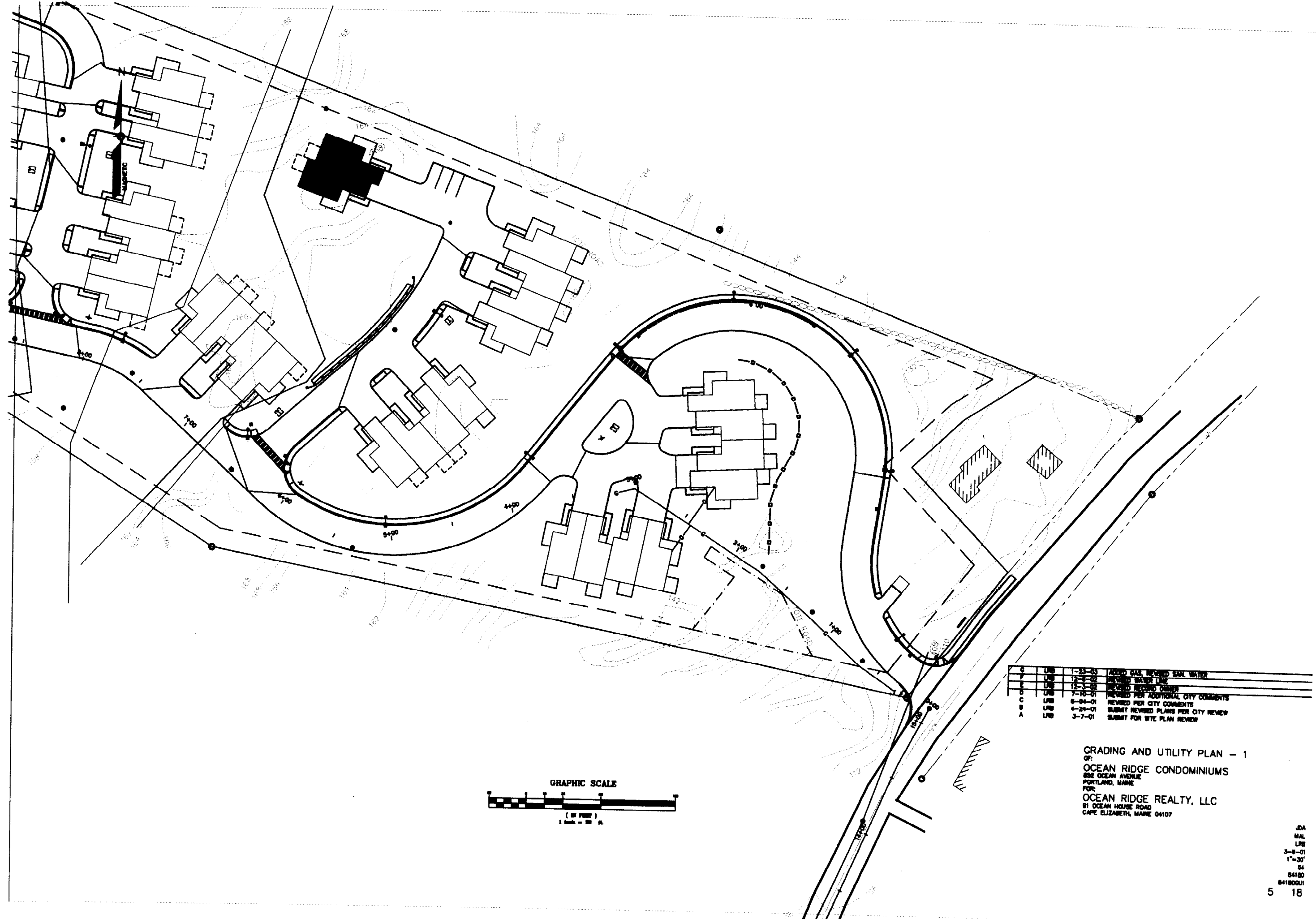
LIST OF DRAWINGS:

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2 - GRADING PLAN SHEET 2

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S2 - FOUNDATION PLAN  
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S9 - FRAMING SECTIONS AND DETAILS

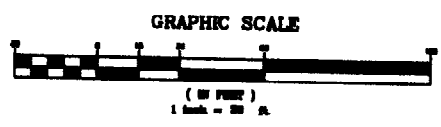
A1 - BASEMENT FLOOR PLAN  
A2 - FIRST FLOOR PLAN  
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A9 - BUILDING SECTIONS  
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A12 - WALL TYPES AND DETAILS  
A13 - STAIR SECTIONS  
A14 - DOOR AND WINDOW SCHEDULES

JUNE 16, 2003 PER SCOPE CHANGE



G	LD	1-23-03	ADDED GAS, REVISED SANITARY WATER
F	LD	12-2-02	REVISED WATER LINE
E	LD	12-3-02	REVISED RECORD OWNER
D	LD	7-10-01	REVISED PER ADDITIONAL CITY COMMENTS
C	LD	6-04-01	REVISED PER CITY COMMENTS
B	LD	4-24-01	SUBMIT REVISED PLANS PER CITY REVIEW
A	LD	3-7-01	SUBMIT FOR SITE PLAN REVIEW

GRADING AND UTILITY PLAN - 1  
 OF:  
 OCEAN RIDGE CONDOMINIUMS  
 852 OCEAN AVENUE  
 PORTLAND, MAINE  
 FOR:  
 OCEAN RIDGE REALTY, LLC  
 81 OCEAN HOUSE ROAD  
 CAPE ELIZABETH, MAINE 04107



JDA  
 MAL  
 LWB  
 3-8-01  
 1"=30'  
 84  
 84180  
 84180G01  
 5 18

**GENERAL NOTES:**

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, relets, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The structure is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, shoring temporary bracing, gys, or tie downs. Such materials shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

**DESIGN LOADS:**

- Building code: BOCA Basic Building Code (1999)
- Design Live Loads: (Ground snow load = 80 PSF)
  - Roof.....42 PSF + Drift
  - Living areas.....40 PSF
- Design wind loads are based on exposure B using 85 mph basic wind speed.
- Seismic design utilizes the following criteria:
  - Building framing system: Concentrically braced frames, and shear walls.
  - Analyze procedure: Equivalent Lateral Force Procedure.
  - Seismic hazard exposure group: "1"
  - Seismic performance category: "C"
  - Soil profile type: "S1"
  - Peak velocity-related acceleration (Av): "0.10"
  - Peak acceleration (As): "0.10"
  - Response modification factor (R): "5"
  - Deflection amplification factor (Cd): "4 1/2"

**FOUNDATION NOTES:**

- Foundations have been designed with a presumptive soil bearing capacity indicated in of 2000 PSF to be verified in the field.
- Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill. If bedrock is encountered, contractor shall overexcavate and bear footings on 2'-0" thick layer of compacted structural fill.
- Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade.
- Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements. Concrete slabs shall be moist cured.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 inch	100
3 inch	90 to 100
1/4 inch	25 to 90
NO. 40	0 to 30
NO. 200	0 to 5

- Structural fill beneath slabs shall be placed in layers not exceeding 12" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
- Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
- Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
- Backfill both sides of foundation walls simultaneously.

**CONCRETE NOTES:**

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
  - 4000 PSI for basement walls.
  - 3000 PSI for footings, frost walls and piers.
  - 4000 PSI for all slabs on grade.
- All concrete shall be air entrained 4%-6% with approved admixtures.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318-Latest edition.
- Welded wire fabric shall be provided in flat sheets.
- Fiber reinforced concrete shall conform to ATSM C-1116.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit (6) blue line prints and (1) reproducible (asplc) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6" minimum.
- Concrete finishes: See specifications and Architectural drawings for additional information.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
- The general contractor shall be responsible for coordination of: door band out locations, slab depression and other required band outs. Coordinate location of band outs with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.
- Provide control joints in slabs as follows:
  - 15' x 15' (225 SF) with fibremesh reinforcement
  - 20' x 20' (400 SF) with welded wire fabric reinforcement

**STRUCTURAL STEEL NOTES:**

- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Latest edition.
- Structural steel:
  - Structural steel shall conform to ASTM A-36.
  - Structural tubing shall conform to ASTM A-500 GR.B.
  - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.


**TIMBER TRUSS FRAMING:**

- Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.R. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
- Applicable specifications:
  - National Design Specification for stress graded lumber and its fastening (NDS).
  - Design specifications for light metal plate connected wood trusses (TPI-Latest edition)
- Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
- Submittals:
  - Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
  - Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
- All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
- Connector plates shall be galvanized.
- Timber trusses shall be designed in accordance with BOCA and ASCE 7-99.
- Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI-latest edition).
- Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.
- Maximum permissible floor live load deflection = L/480  
See S6 for floor loadings

**TIMBER FRAMING:**

- All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) -latest edition.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
- Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 g/GF in accordance with AWPA C-18.
- Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Provide Simpson H2.5 hurricane anchors where timber framing and/or trusses bear on walls.
- Nailing not specified shall conform with BOCA 1999.
- Exterior wall sheathing shall be 1/2" thick APA rated sheathing fastened with 10d nails @ 4" o.c. at panel edges and 6" o.c. intermediate, (typ unless otherwise noted)
- Floor decking shall be 3/4" thick APA rated "STURDI-FLOOR" plywood sheathing fastened with construction adhesive and 10d nails @ 6" o.c. at panel edges and intermediates.
- Roof sheathing shall be 5/8" thick APA rated sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediates.
- All 2 x P.T. all plates shall be installed on all sealer.

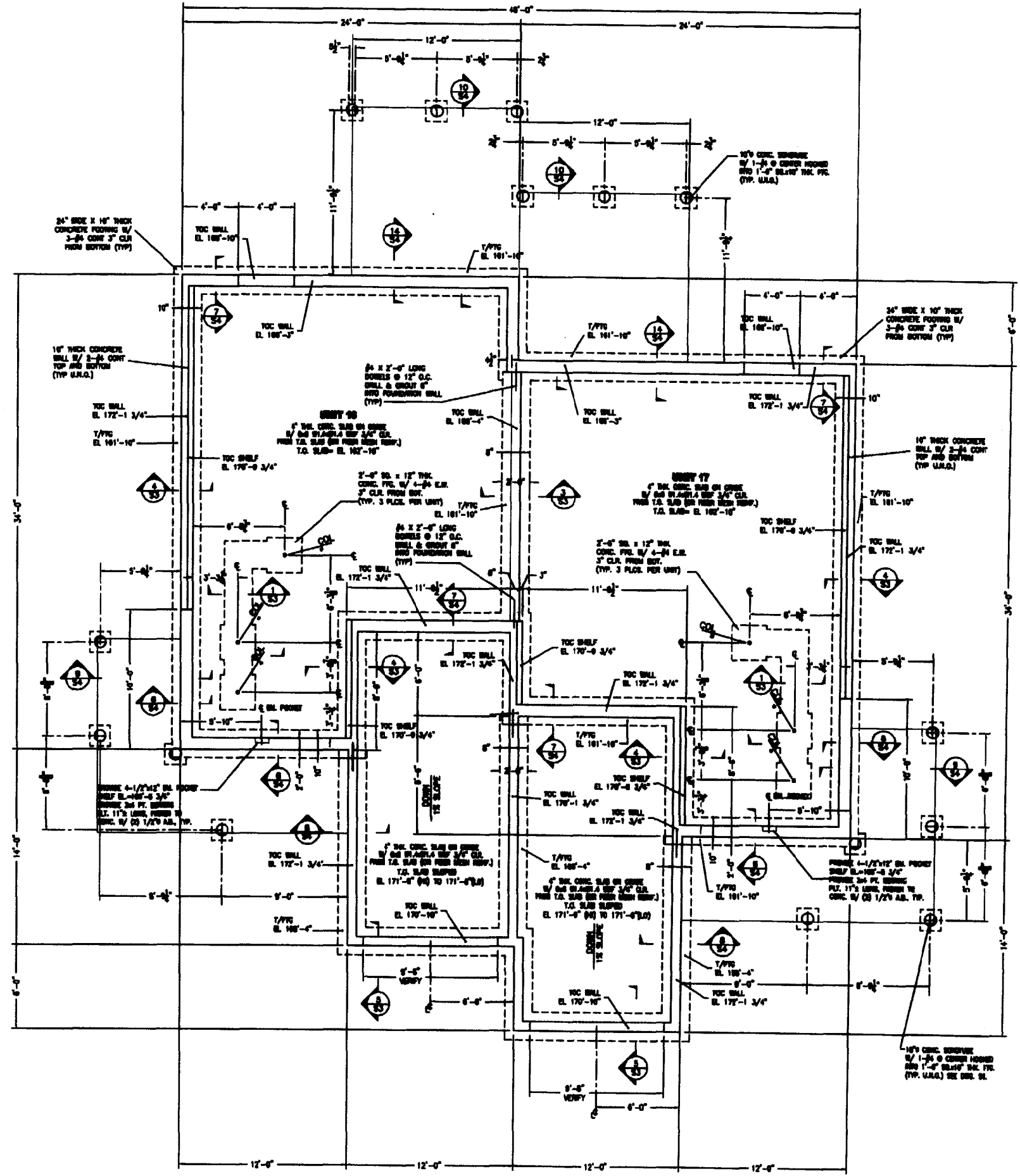
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**OCEAN RIDGE CONDOMINIUMS**  
 852 OCEAN AVENUE  
 PORTLAND, MAINE  
 GENERAL NOTES  
 UNITS 17 & 18

S1



FOUNDATION PLAN  
1/20-17

- NOTES:
1. SEE GENERAL NOTES ON S1.
  2. "C" INDICATES 3-1/2" LALLY COLUMN ON A 2'-0" SQ. #12 THICK CONCRETE FOOTING W/ 4-#4 E.W. 3" CLEAR FROM BOTTOM OF FOOTING.

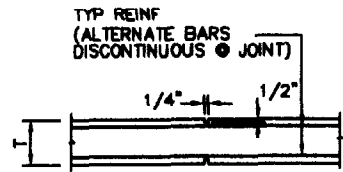
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Date: 8-18-03	Project: PER EDCR CHANGE
Scale:	
Author: JAMES W. SMITH	
Project #: 23033	

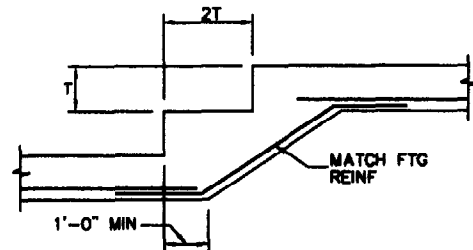
OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
FOUNDATION PLAN  
UNITS 17 & 18

**S2**



TYP CONTROL JOINT IN WALL

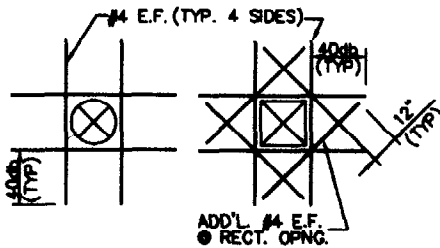
N.T.S.



TYP STEP FOOTING DETAIL

N.T.S.

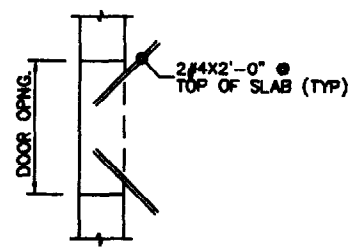
NOTE: T = FOOTING THICKNESS



TYP. OPENING IN WALL OR SLAB

N.T.S.

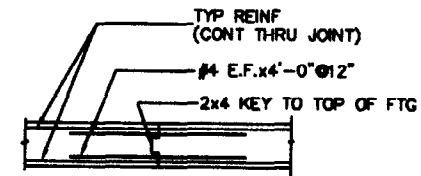
NOTE: OPENING IN SLAB APPLIES @ ALL OPENINGS



TYP. SLAB CORNER DETAIL @ DOOR

N.T.S.

NOTE: PROVIDE 2#4x4'-0"(TOP) IN SLAB AT INSIDE CORNERS. SEE PLAN, INCLUDING STAIRS, & HVAC OPENINGS. PLACE REINF IN MIDDLE OF SLAB @ SLAB OPENINGS.

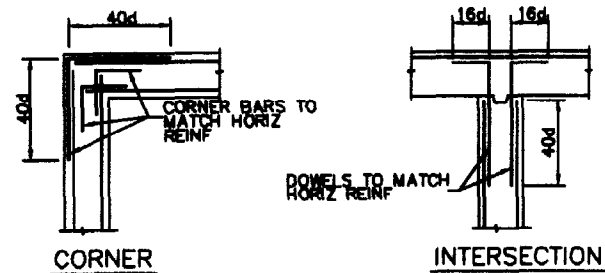


TYP. CONSTRUCTION JOINT IN WALL

N.T.S.

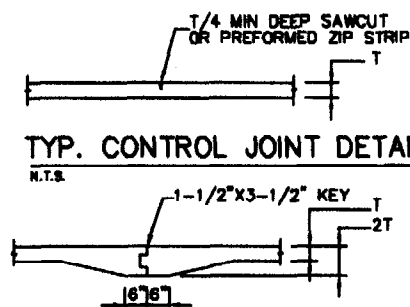
NOTES:

1. CONST JOINT DOES NOT EXTEND THRU FTG
2. DISTANCE BETWEEN CONST JOINTS IN STRAIGHT LENGTHS OF WALL NOT TO EXCEED 60'-0"



TYP WALL REINF DETAILS

N.T.S.

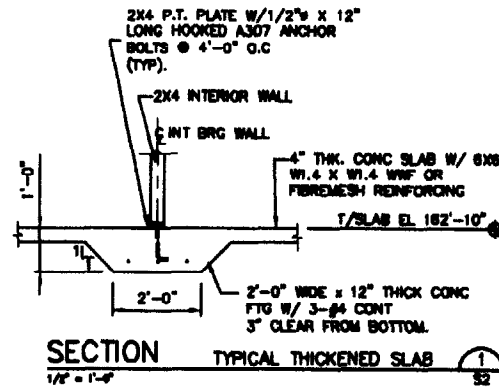


TYP. CONTROL JOINT DETAIL

N.T.S.

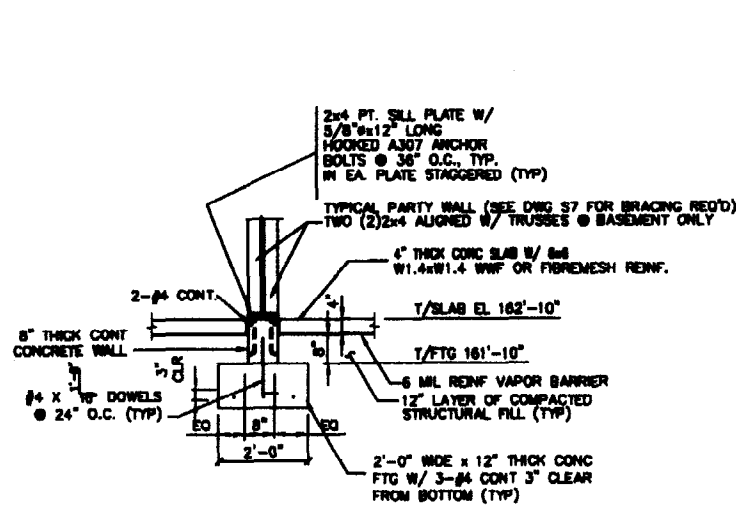
TYP. CONSTRUCTION JOINT DETAIL

N.T.S.



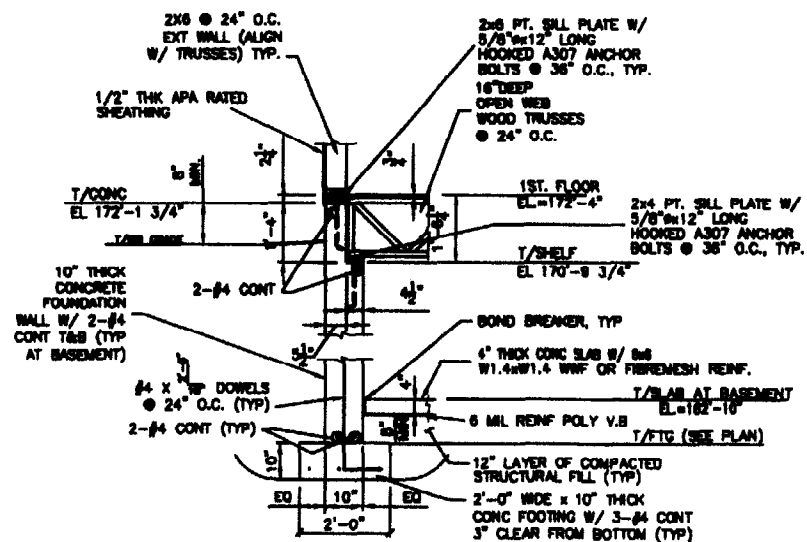
SECTION TYPICAL THICKENED SLAB

1/2" x 1'-0"



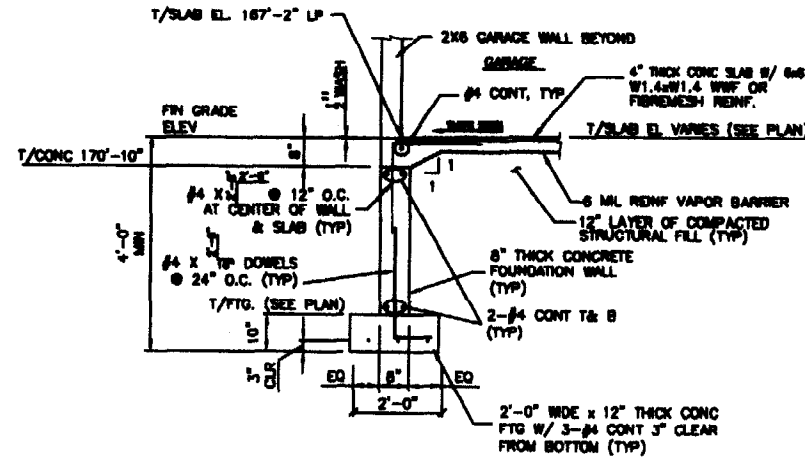
SECTION TYPICAL PARTY WALL

1/2" x 1'-0"



SECTION TYPICAL BASEMENT WALL AT FLOOR TRUSS BEARING

1/2" x 1'-0"



SECTION TYPICAL GARAGE ENTRY SLAB

1/2" x 1'-0"

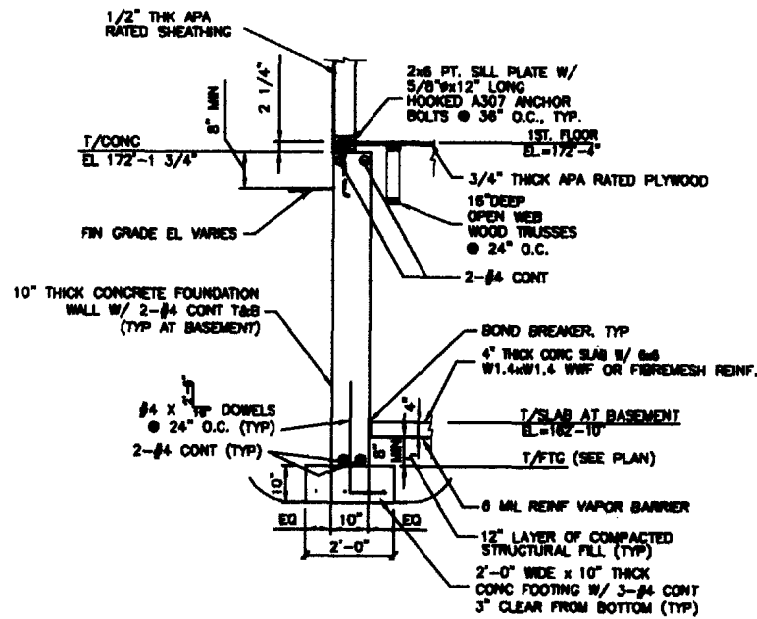
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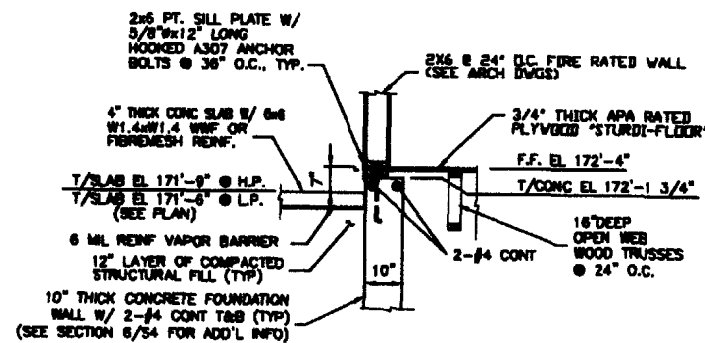
Prepared by: J.L.	Checked by: J.L.
Drawn by: J.L.	Reviewed by: J.L.
Date: JUNE 16, 2003	Project #: 23008

OCEAN RIDGE CONDOMINIUMS  
 852 OCEAN AVENUE  
 PORTLAND, MAINE  
 FOUNDATION DETAILS  
 UNITS 17 & 18

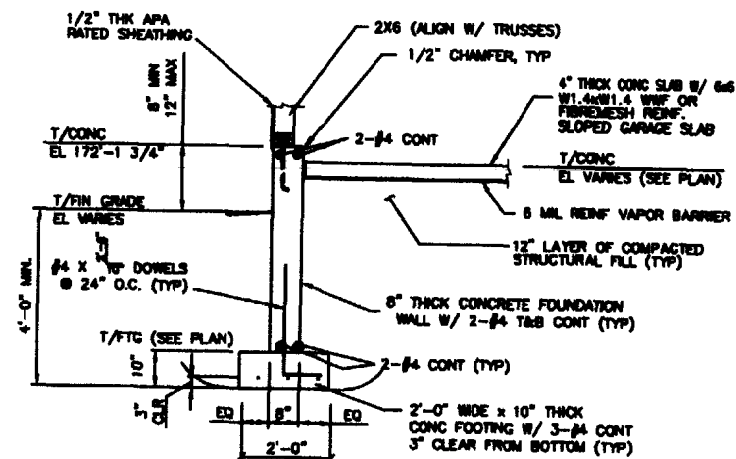
**S3**



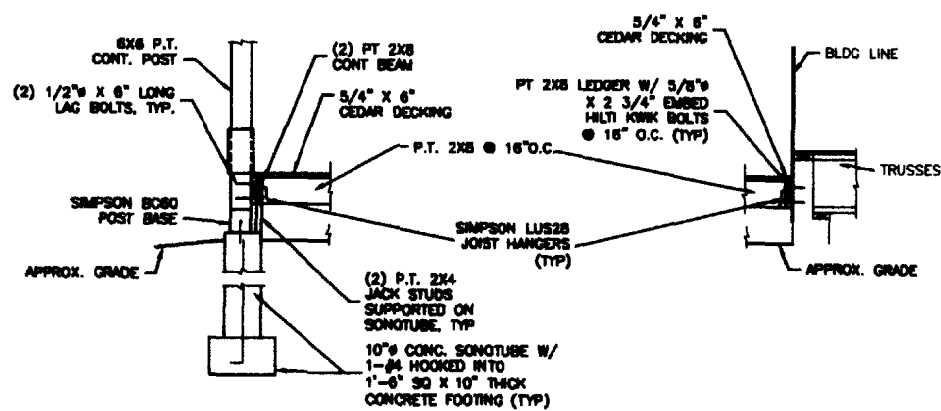
SECTION 6 TYPICAL BASEMENT WALL PARALLEL TO FLOOR TRUSSES



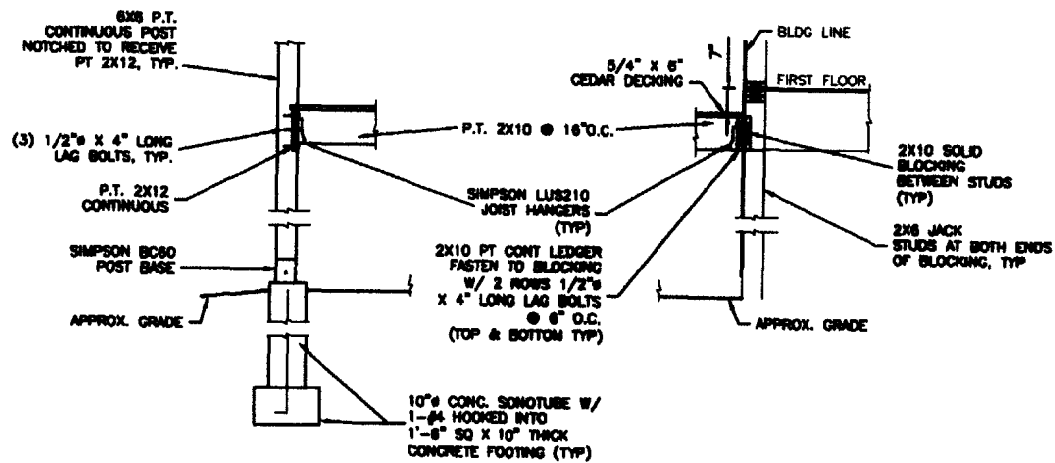
SECTION 7 TYPICAL BASEMENT WALL ADJACENT TO GARAGE



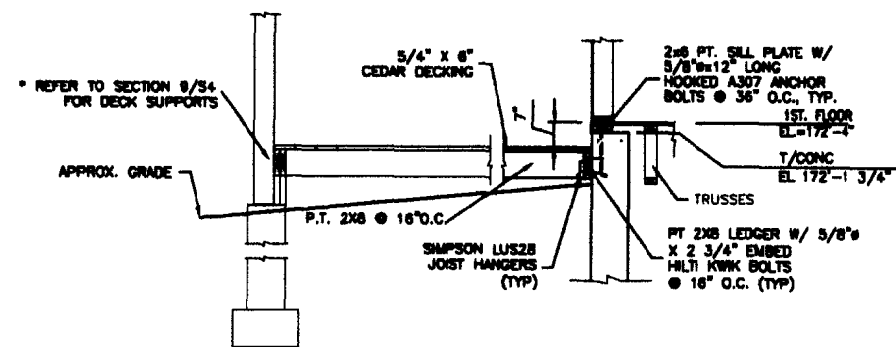
SECTION 8 TYPICAL GARAGE SIDE WALLS



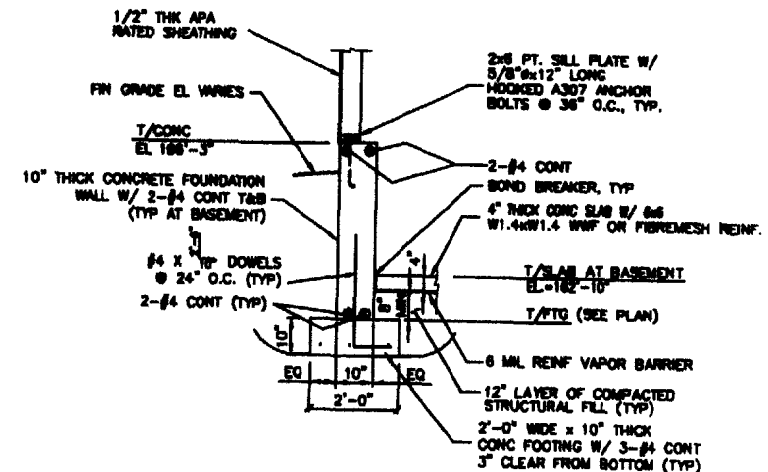
SECTION 9 TYPICAL ENTRY PORCHES



SECTION 10 TYPICAL UNIT DECKS



SECTION 11 TYPICAL PORCHES



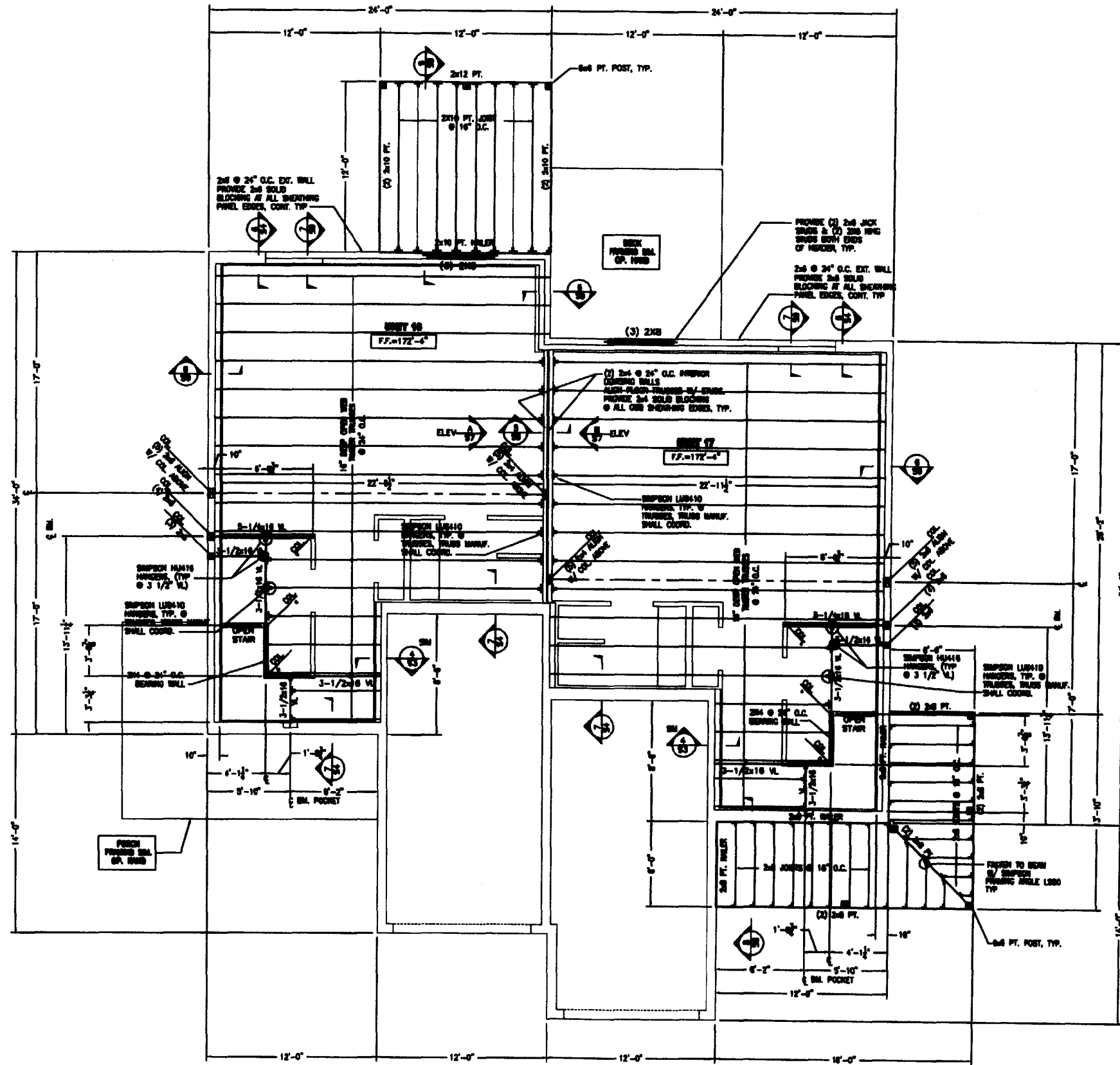
SECTION 12 TYPICAL BASEMENT WALL AT REAR WALL

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OCEAN RIDGE CONDOMINIUMS  
 852 OCEAN AVENUE  
 PORTLAND, MAINE  
 FOUNDATION DETAILS  
 UNITS 17 & 18

**S4**



FIRST FLOOR FRAMING PLAN  
1/4"=1'-0"



LEGEND  
BEARING WALL

1. SEE GENERAL NOTES ON S1.
2. "W" INDICATES WERNSHAW BEAM MANUFACTURED BY WERNER CARTRIDGE CORP. OR APPROVED EQUAL.
3. PROVIDE 2x4 JACK STUPE PLUS 2x6 HNC STUPE AT JAMB AT BOTH ENDS OF HINGERS. (TYP. U.S.G.)
4. "C" INDICATES 3-1/2" LALLY COLUMN ON A 2'-0" x 12" THICK CONCRETE FOOTING 6" x 24" x 12" CLEAR FROM BOTTOM OF FOOTING. ALSO 1/2" COLUMN ABOVE AS APPLICABLE AND PROVIDE SOLID 2x HORIZONTAL BLOCKING IN FLOOR SYSTEM BETWEEN COLUMNS.

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
FIRST FLOOR FRAMING PLAN  
UNITS 17 & 18

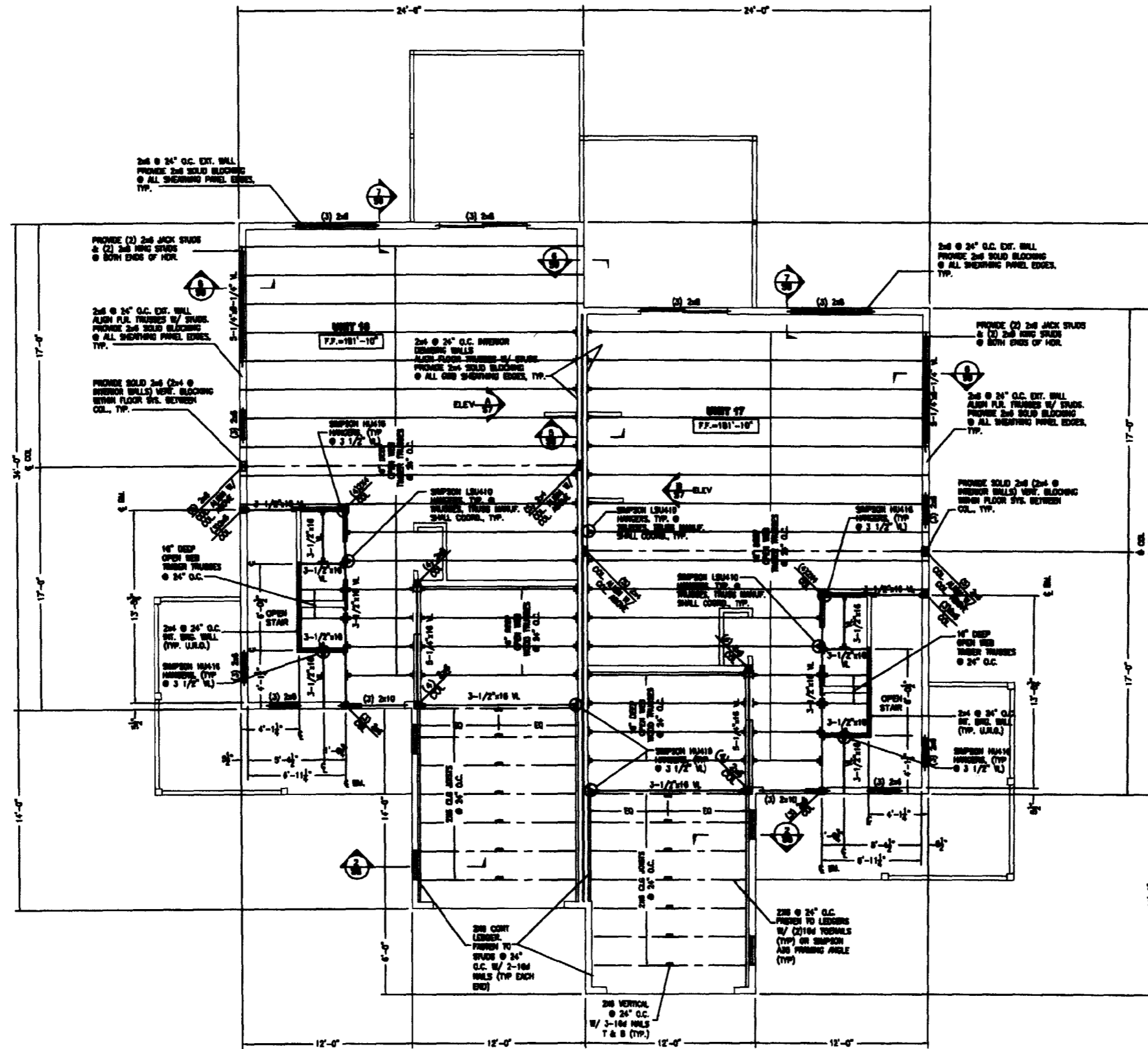
S5

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DESIGNED BY	DATE	DESCRIPTION	SCALE
JAL	6-18-03	FBI SCOPE CHANGE	AS SHOWN





SECOND FLOOR FRAMING PLAN  
1/8"=1'-0"

- NOTES
1. SEE GENERAL NOTES ON S1.
  2. "U." INDICATES UPRUSH BEAM MANUFACTURED BY BUSHY CONCRETE CORP. OR APPROVED EQUAL.
  3. PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JOINTS AT BOTH ENDS OF BEAMS. (TYP. U.S.A.)



LEGEND  
BEARING WALL

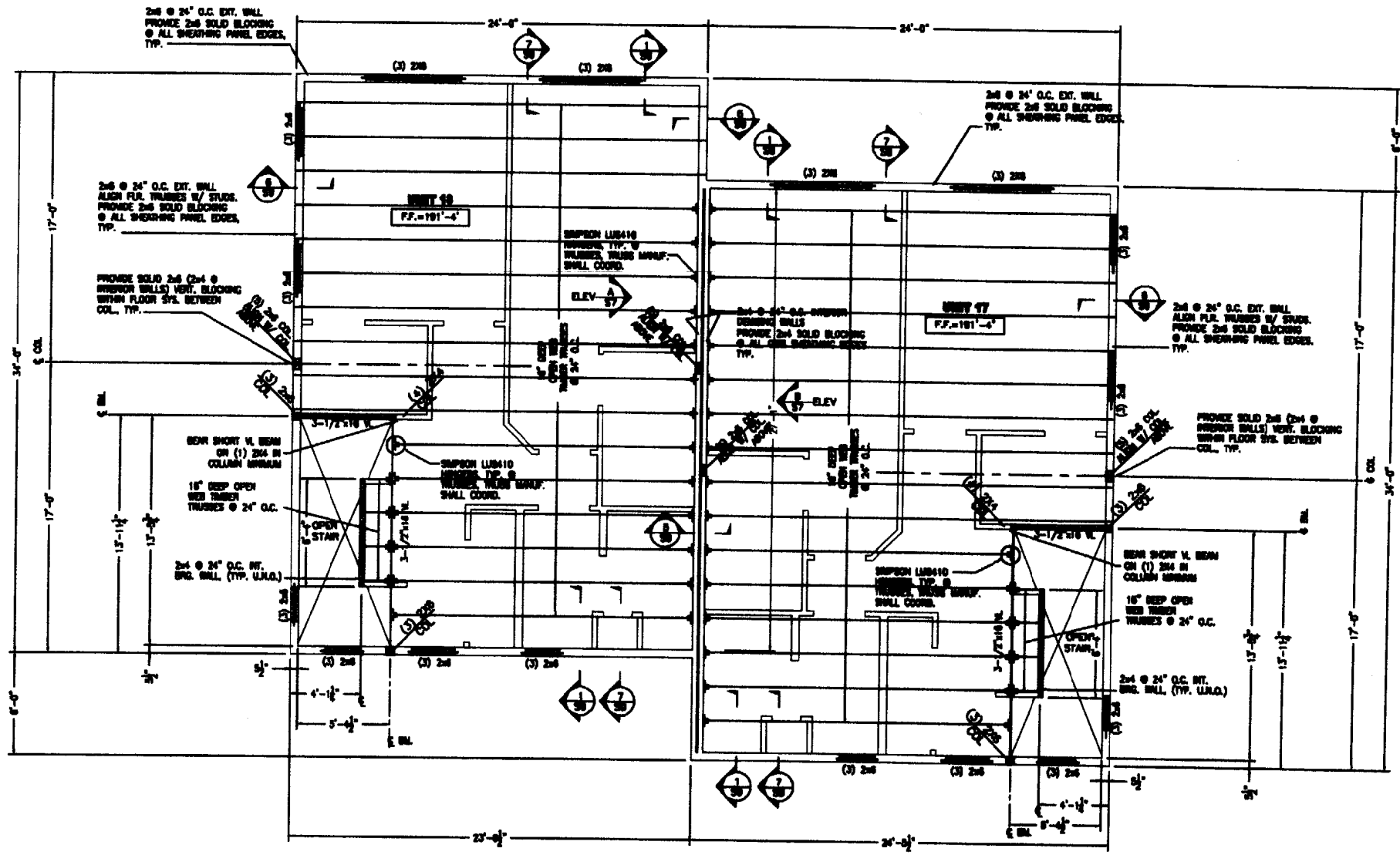
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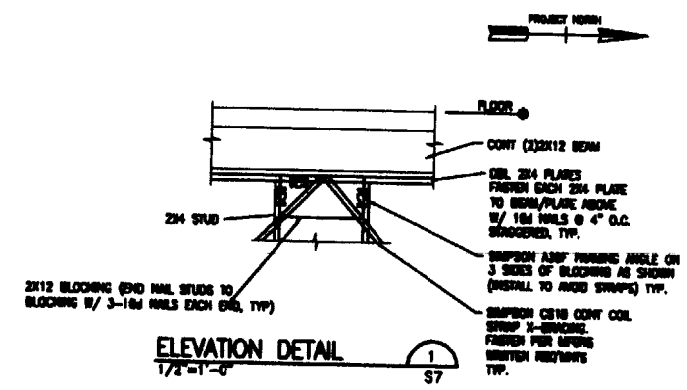
Project No.	0-10-03
Client	BBB SCORP CHANGE
Scale	
Drawn by	
Checked by	
Date	June 16, 2003
Project #	23039

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
SECOND FLOOR FRAMING PLAN  
UNITS 17 & 18

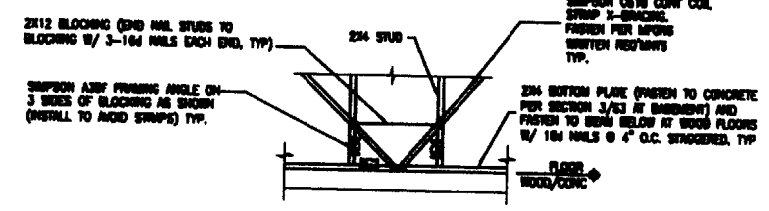
**S6**



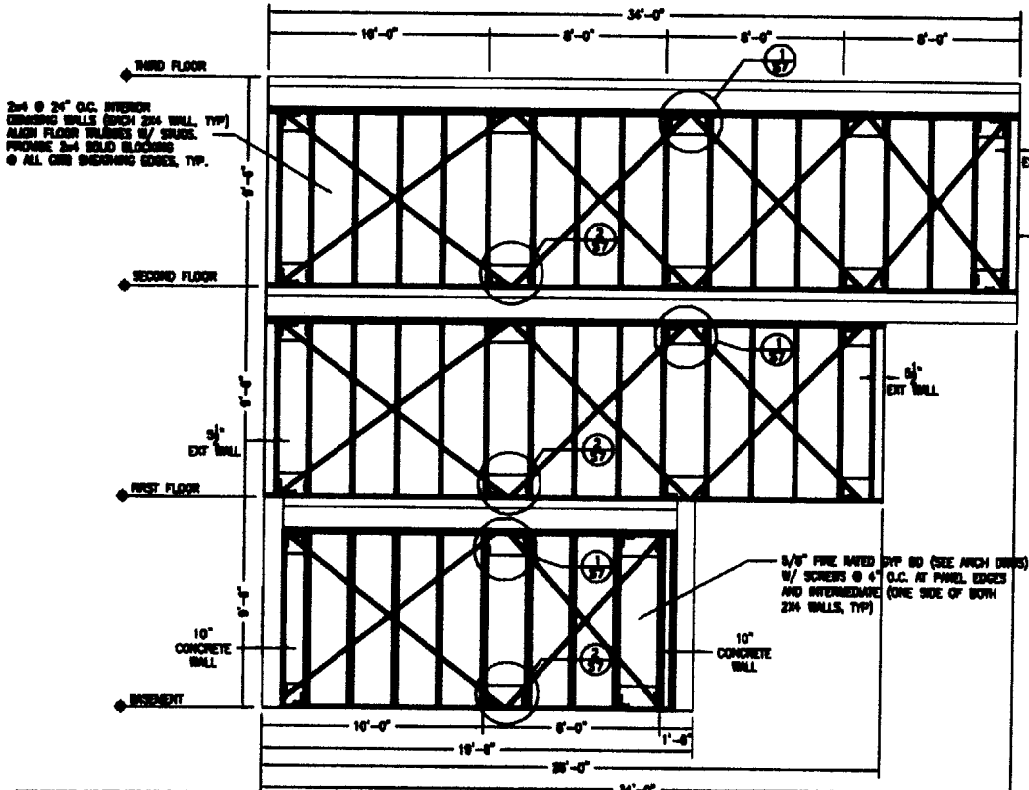
THIRD FLOOR FRAMING PLAN  
1/4"=1'-0"



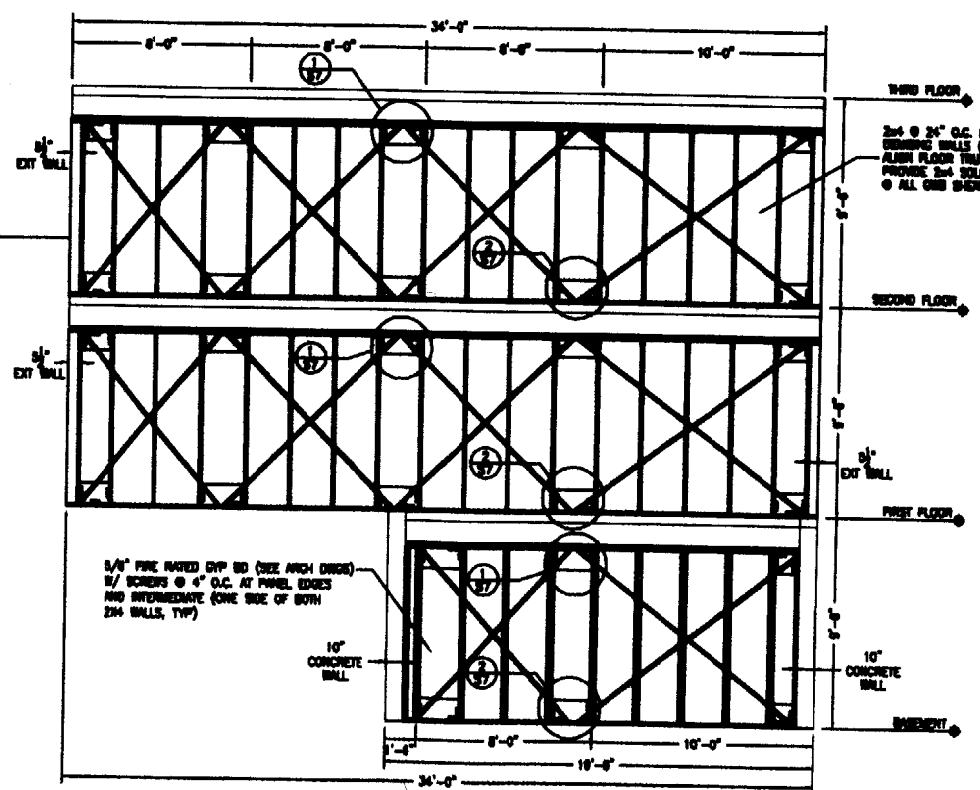
ELEVATION DETAIL 1  
1/2"=1'-0"



ELEVATION DETAIL 2  
1/2"=1'-0"



BRACING ELEVATION A  
1/4"=1'-0"



BRACING ELEVATION B  
1/4"=1'-0"

LEGEND  
BEARING WALL

- NOTES:
- SEE GENERAL NOTES ON S1.
  - "L" INDICATES VERSALAM BEAM MANUFACTURED BY BONE CRIGGERS CORP. OR APPROVED EQUAL.
  - PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMES AT BOTH ENDS OF HEADERS (TYP. U.A.G.)

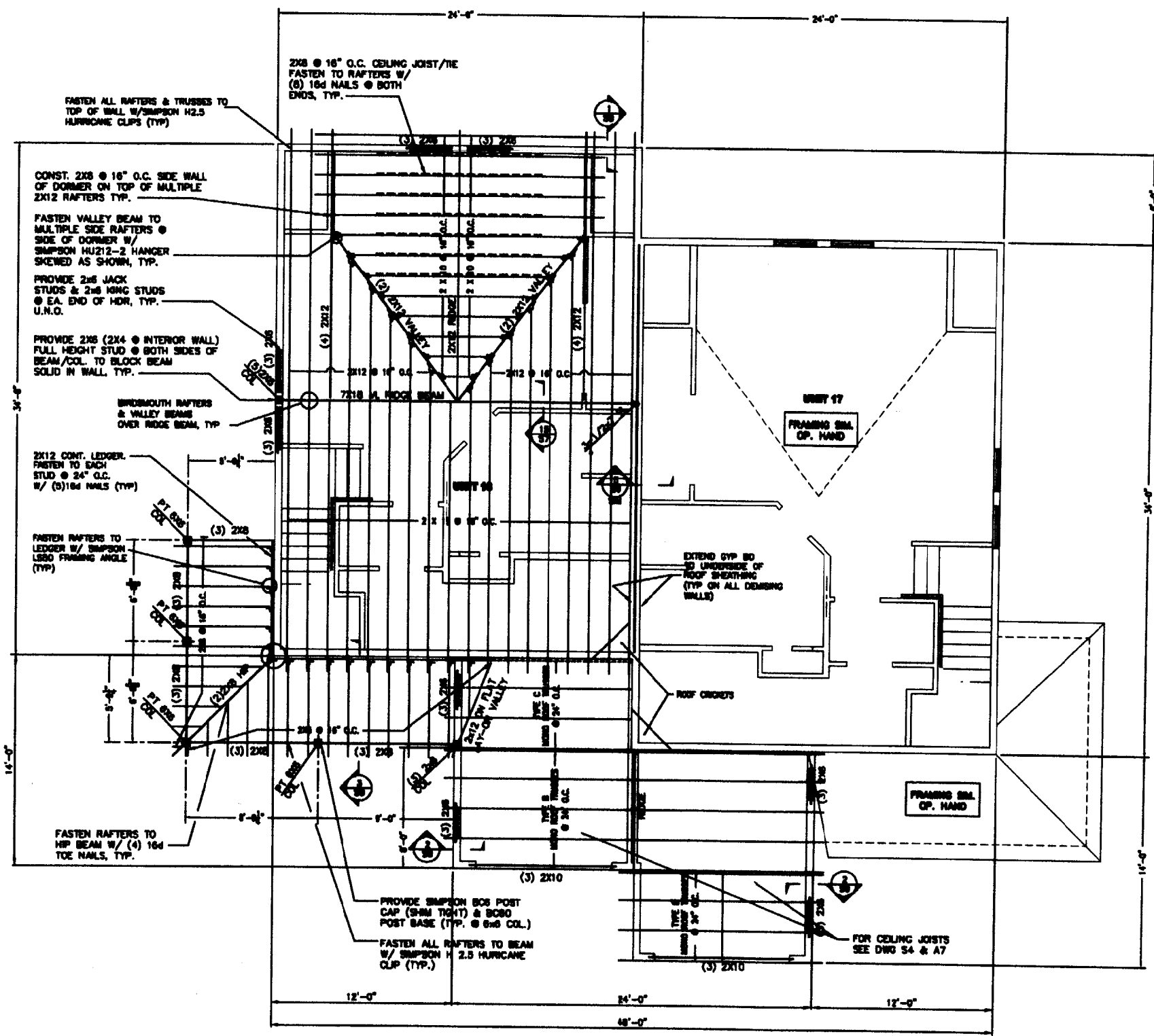
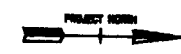
**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.  
565 G STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
FAX: (207) 798-8432  
E/MAIL: llstructural@earthlink.net



Project No.	17-18
Date	6-16-07 PER SCOPE CHANGE
Scale	
Author	
Check	
Design	
Drawn by	JLL
Checked by	JLL
Date	June 16, 2007
Plot Date	
Project #	1718

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
THIRD FLOOR FRAMING PLAN  
UNITS 17 & 18

**S7**



**ROOF FRAMING PLAN**  
1/4"=1'-0"

**LEGEND**  
BEARING WALL

- NOTES**
- SEE GENERAL NOTES ON S1.
  - "V" MEMBERS VERSALAM BEAM MANUFACTURED BY BOHE CHECKED CORP. OR APPROVED EQUAL.
  - "C" MEMBERS COLLAM PROPERTIES SHALL BE "VERSA-LAM BEAM" 3000 PSF OF (E=2.2x10<sup>6</sup> PSF AND R=3000 PSF).
  - ROOF TRUSS LOADING SHALL BE AS FOLLOWS:  

TCLL=40 PSF	TCLL=60 PSF
TCLM=10 PSF	TCLM=10 PSF
SCCL=0 PSF	SCCL=0 PSF
SCCM=10 PSF	SCCM=10 PSF

  
 TRUSS TYPE "A" @ 24" O.C.      TRUSS TYPE "W" AND "V" @ 24" O.C.

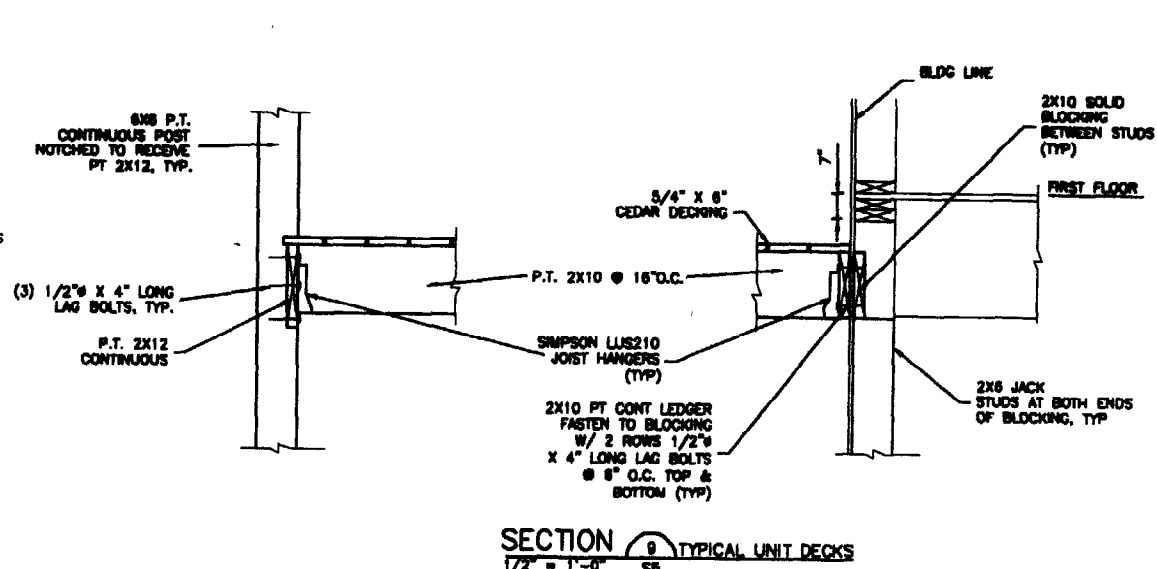
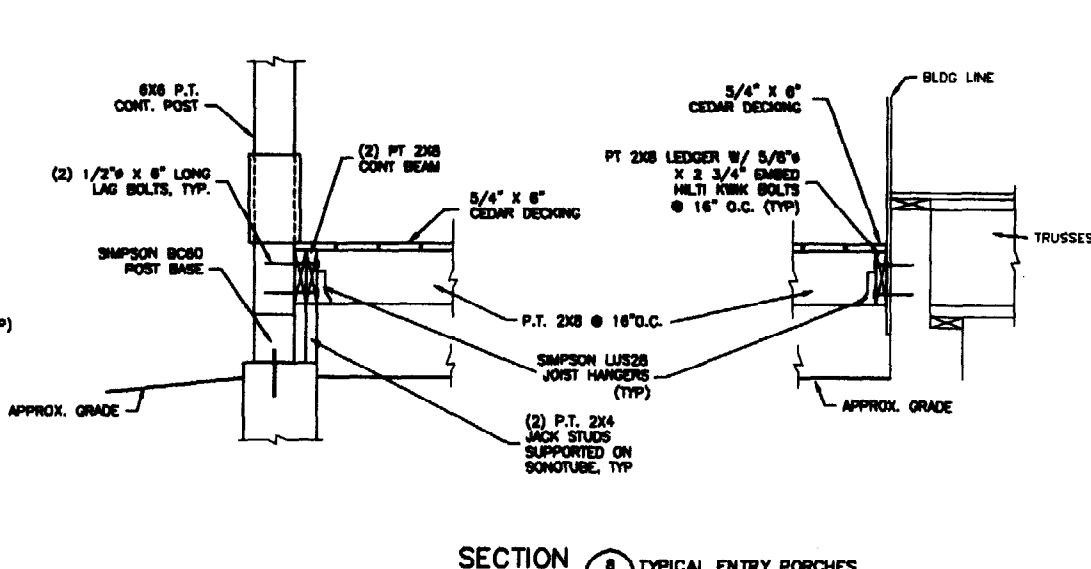
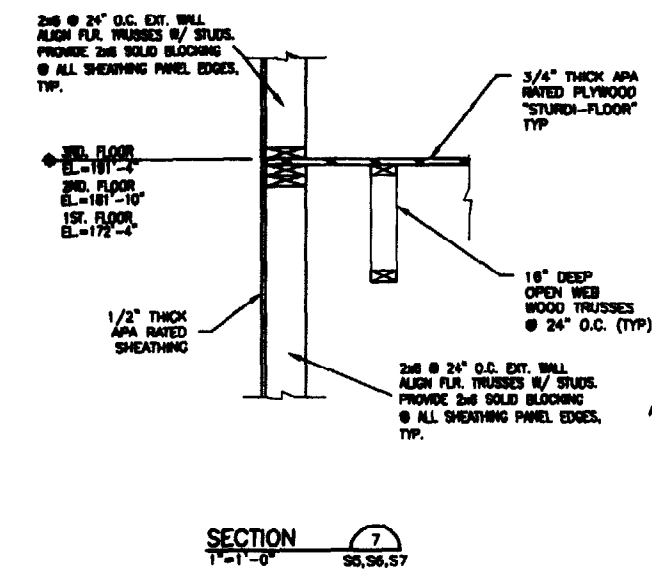
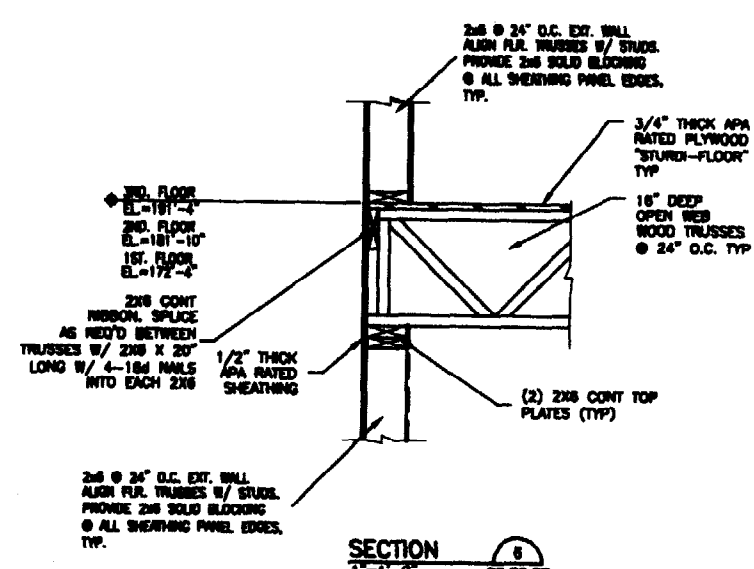
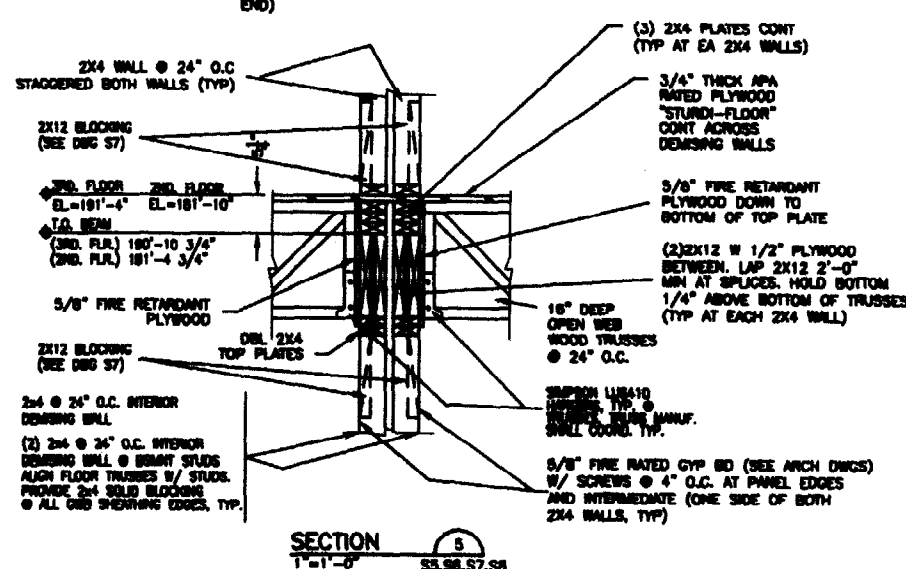
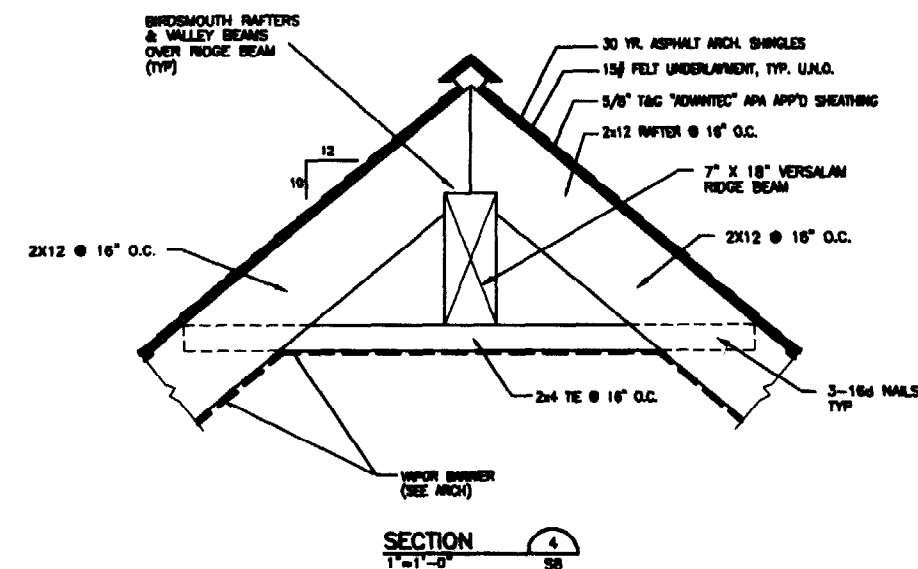
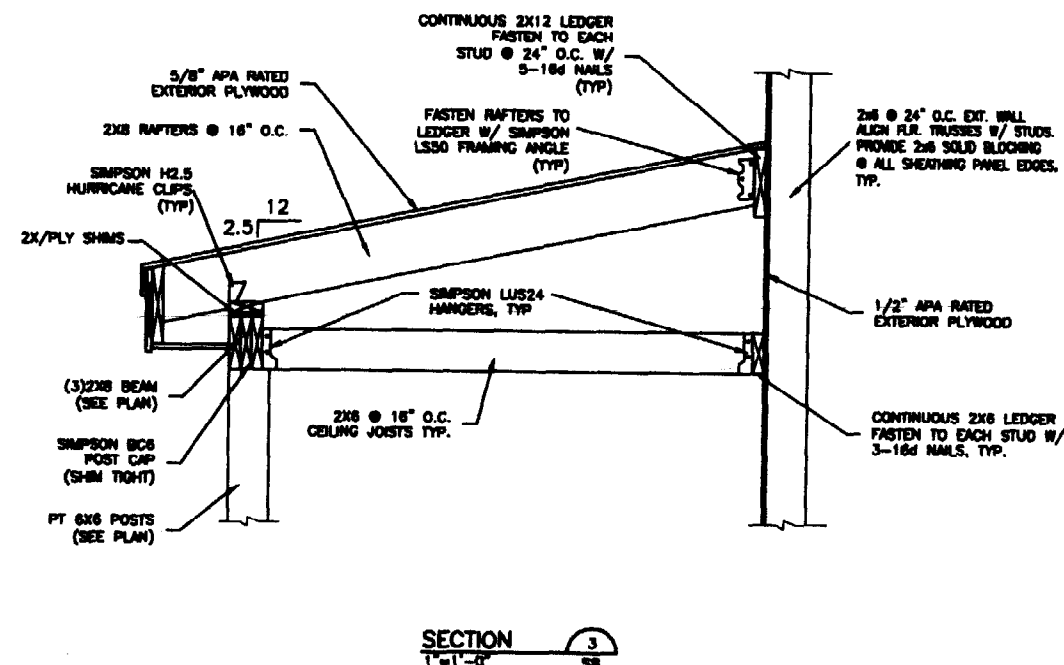
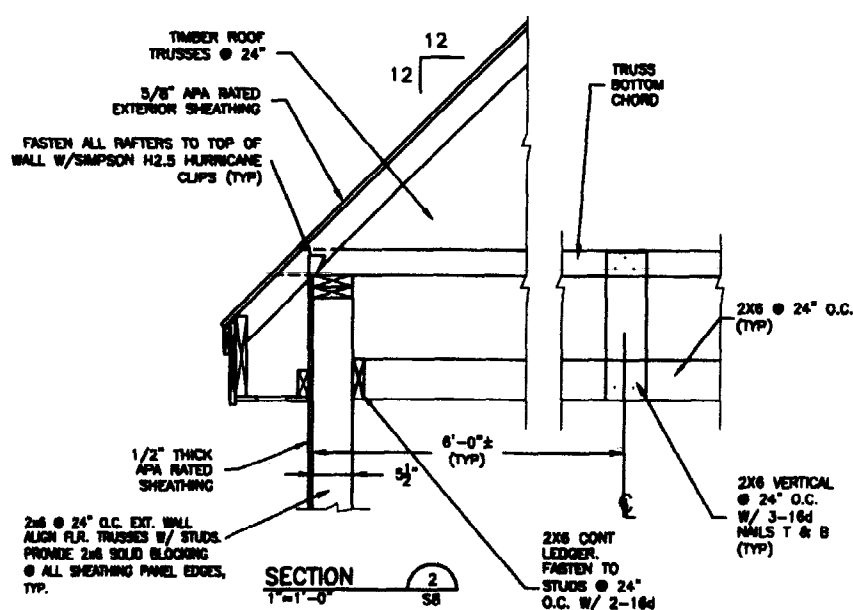
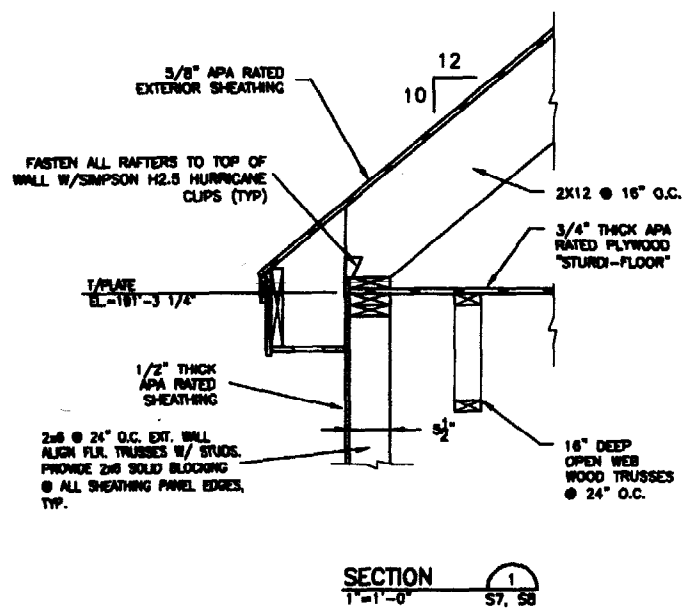
**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
505 Q STREET  
SOUTH PORTLAND, MAINE 04108  
PHONE: (207) 767-4830  
FAX: (207) 768-5432  
EMAIL: Lengineering@earthlink.net



Project No.	04108
Client	UNIT 17 & 18
Design By	L & L
Checked By	L & L
Date	JUNE 14, 2003
Scale	AS SHOWN

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
ROOF FRAMING PLAN  
UNITS 17 & 18

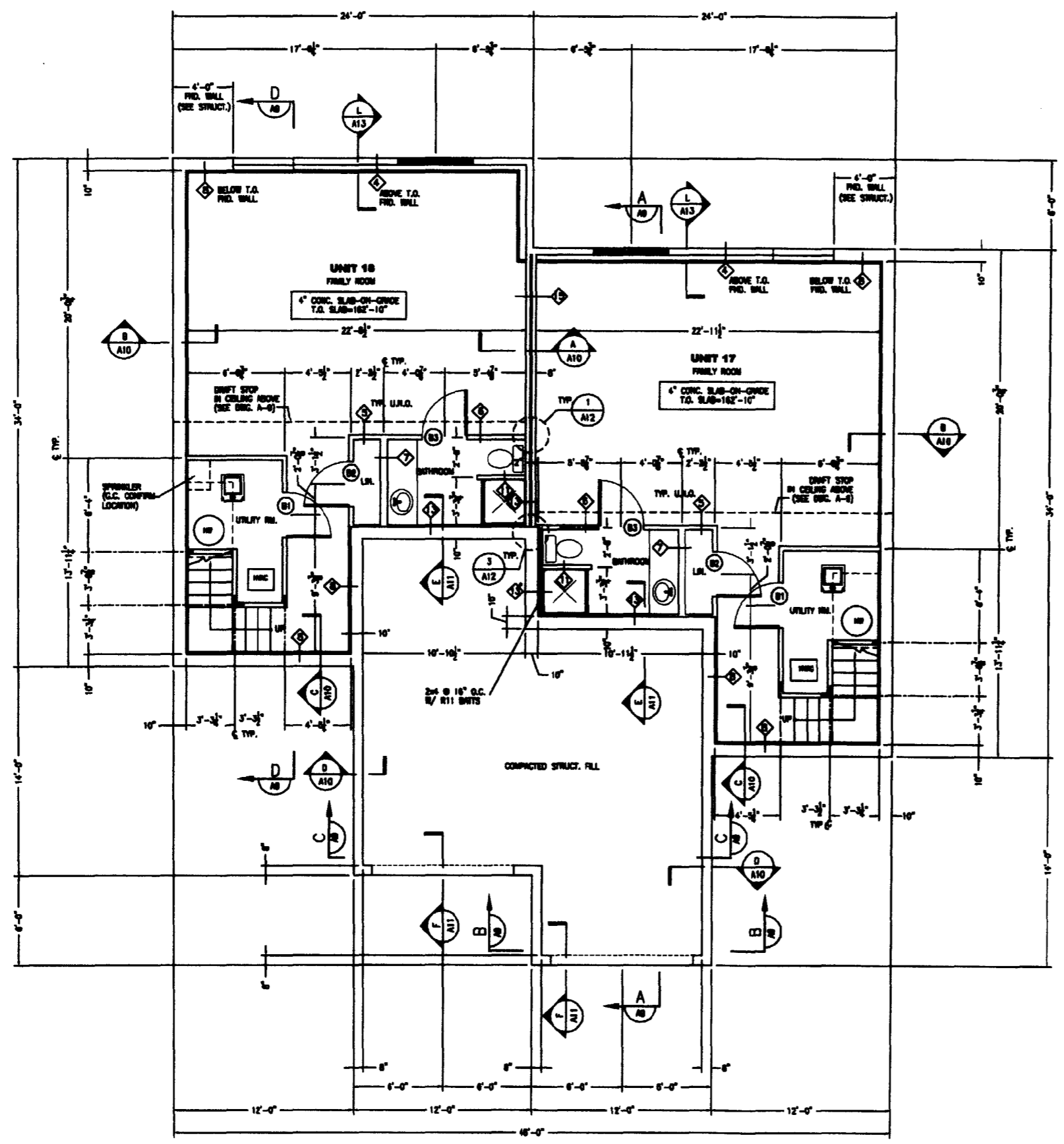
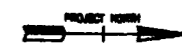




**L & L STRUCTURAL ENGINEERING SERVICES, INC.**  
 505 Q STREET  
 SOUTH PORTLAND, MAINE 04105  
 PHONE: (207) 787-4530  
 FAX: (207) 789-5432  
 EMAIL: l&lengineer@earthlink.net

**OCEAN RIDGE CONDOMINIUMS**  
 852 OCEAN AVENUE  
 PORTLAND, MAINE  
 FRAMING SECTIONS AND DETAILS  
 UNITS 17 & 18

**S9**

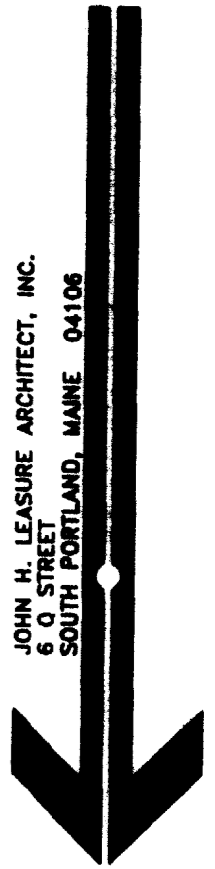


**BASEMENT FLOOR PLAN**

**NOTES:**

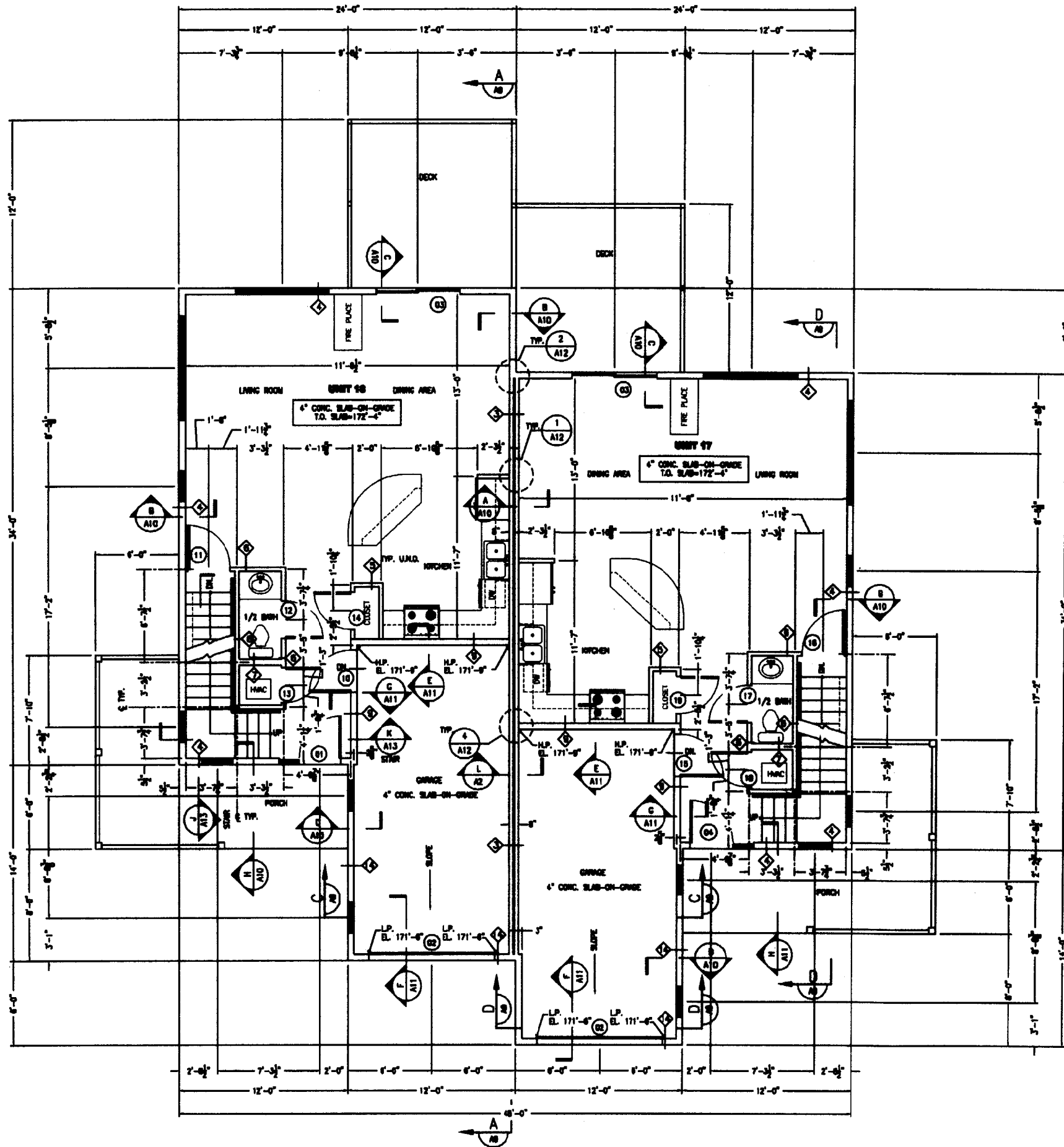
- 1) ENTIRE BUILDING SHALL BE SPRAWLERED PER NFPA 13N
- 2) FOR WALL TYPES, SEE DWG. A12.
- 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.


JOHN H. LEASURE ARCHITECT, INC.  
 60 STREET  
 SOUTH PORTLAND, MAINE 04106

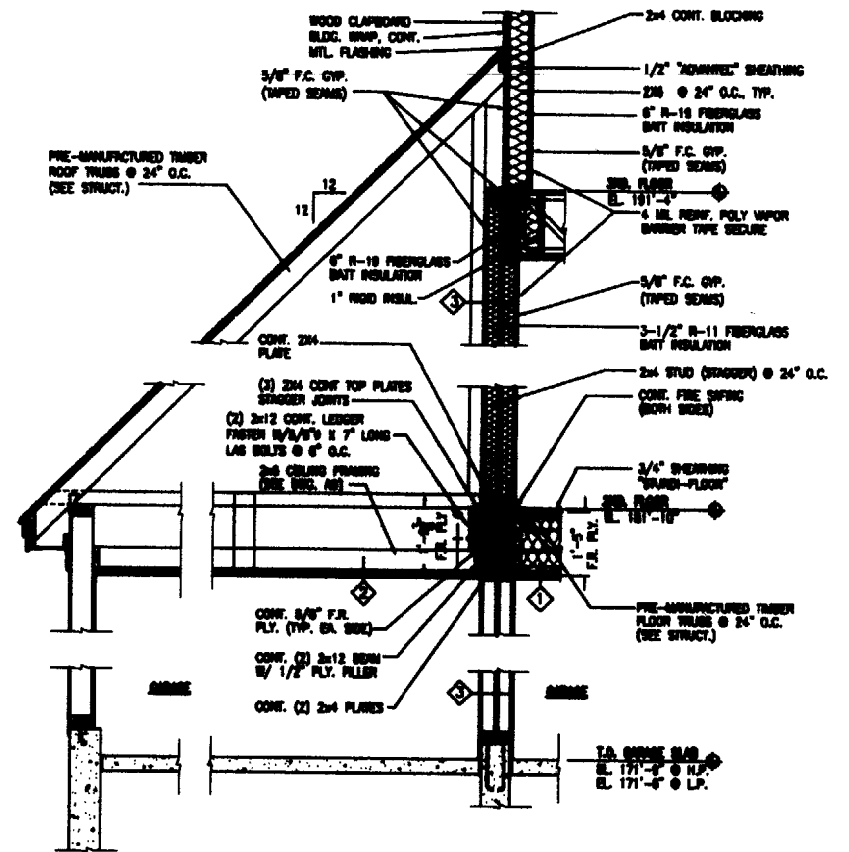


**OCEAN RIDGE CONDOMINIUMS**  
 662 OCEAN AVENUE  
 PORTLAND, MAINE  
 BASEMENT FLOOR PLAN  
 UNITS 17 & 18

**A1**



FIRST FLOOR PLAN  
1/4"=1'-0"



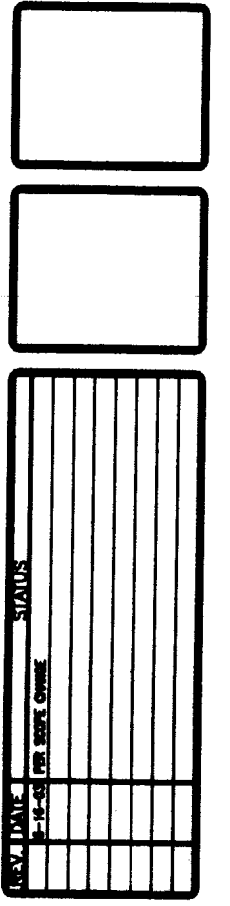
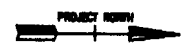
(L) GARAGE DEMISING WALL  
AS SH 1/2"=1'-0"

- NOTES:**
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
  - 2) FOR WALL TYPES, SEE DRG. A12
  - 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

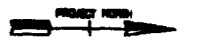
**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
FIRST FLOOR PLAN  
UNITS 17 & 18

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

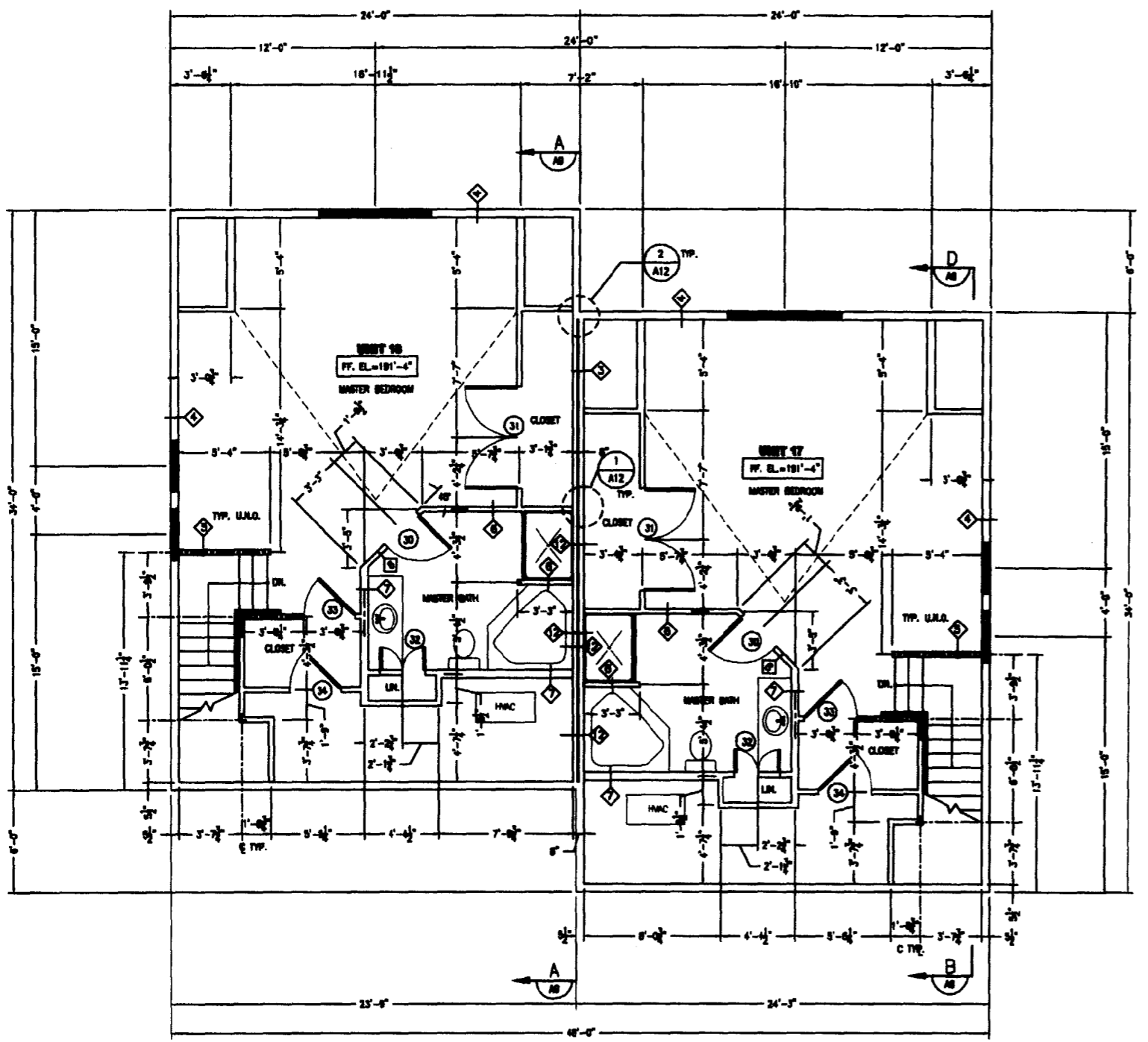
**A2**







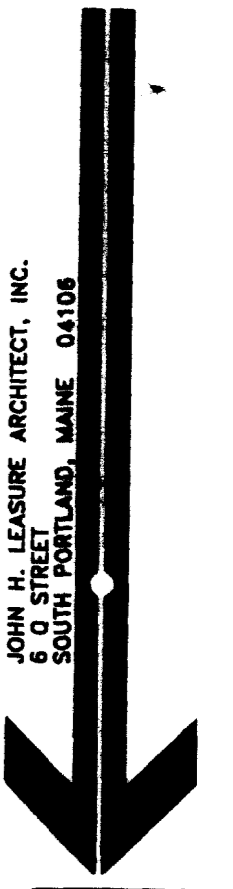
REVISION	DATE	BY	STATUS



THIRD FLOOR PLAN  
1/4"=1'-0"

- NOTES:
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13B
  - 2) FOR WALL TYPES, SEE DIM. A12.
  - 3) INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALLS/DOORS AND WINDOWS UNLESS INDICATED OTHERWISE.

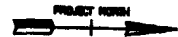
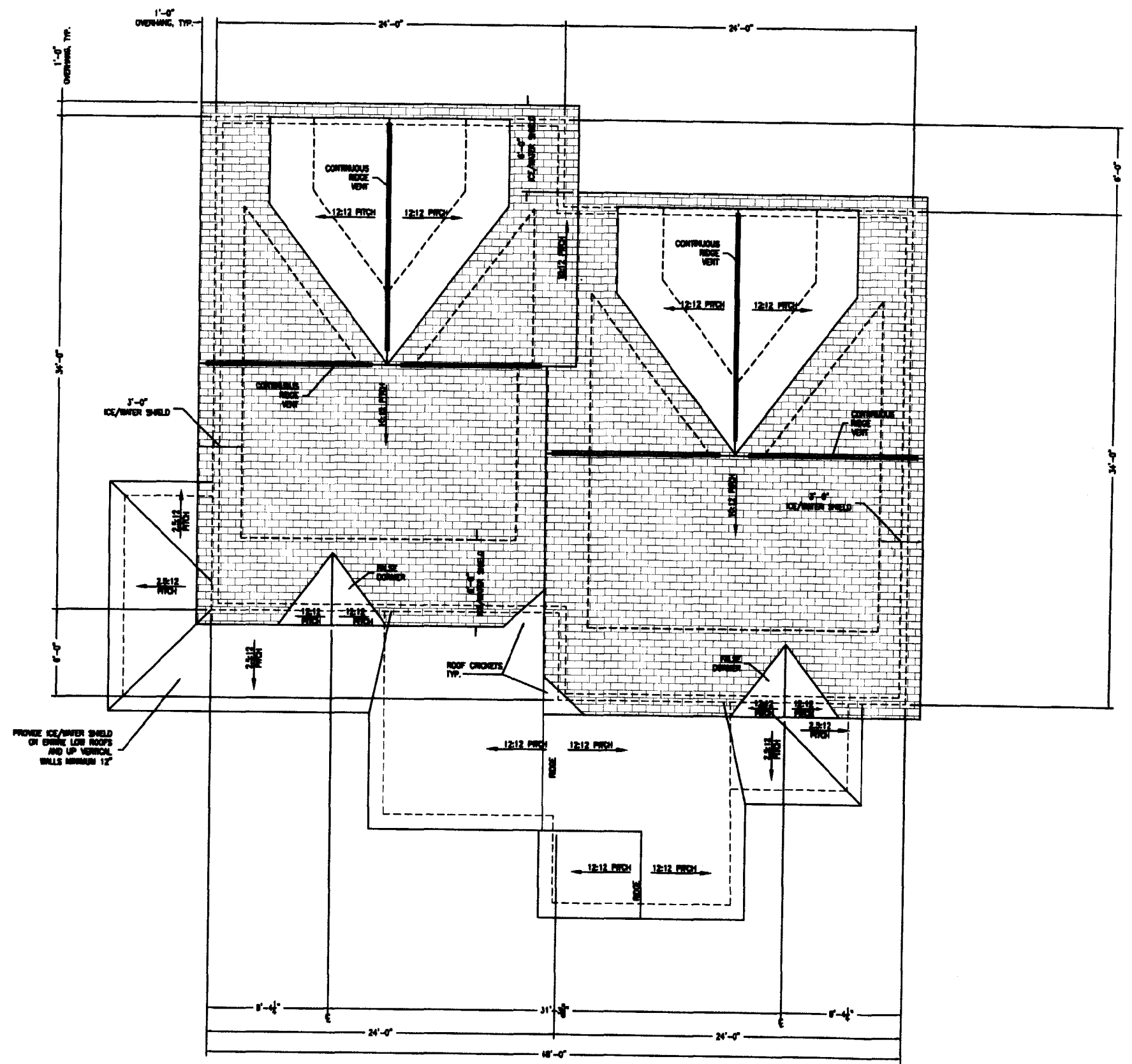
JOHN H. LEASURE ARCHITECT, INC.  
6 O STREET  
SOUTH PORTLAND, MAINE 04106



OCEAN RIDGE CONDOMINIUMS  
862 OCEAN AVENUE  
PORTLAND, MAINE  
THIRD FLOOR PLAN  
UNITS 17, & 18

**A4**

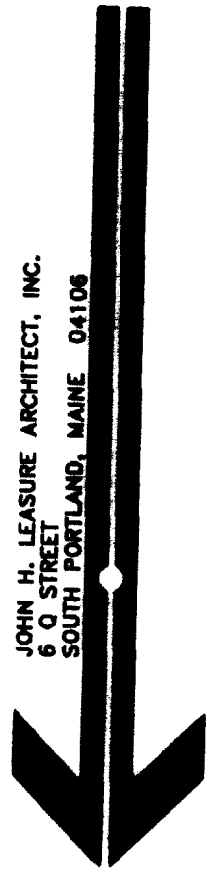




REV.	DATE
1	2-18-83
2	1-15-85

**ROOF PLAN**  
1/8"=1'-0"

JOHN H. LEASURE ARCHITECT, INC.  
6 O STREET  
SOUTH PORTLAND, MAINE 04106

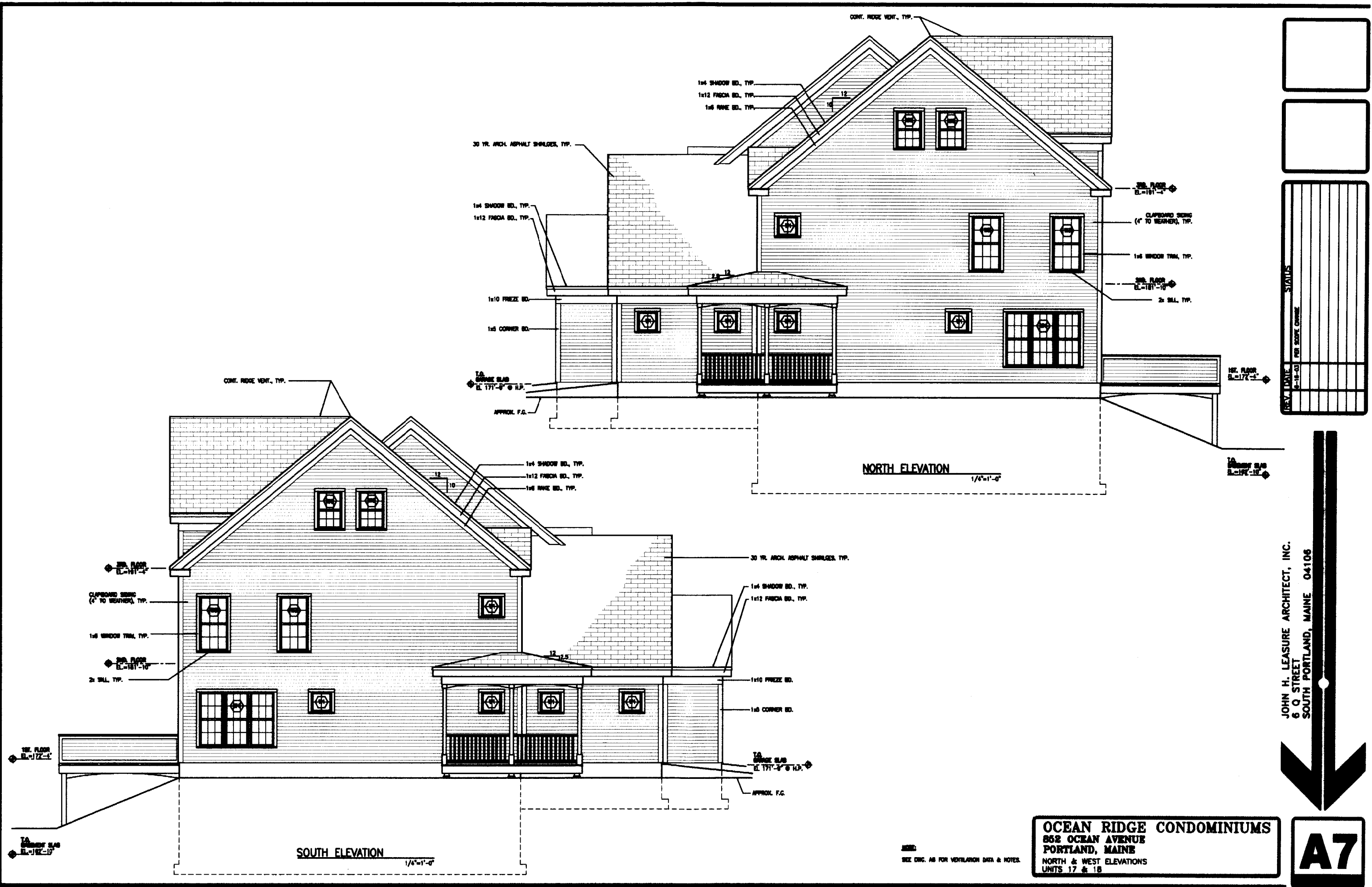


**NOTES:**  
1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R

**OCEAN RIDGE CONDOMINIUMS**  
858 OCEAN AVENUE  
PORTLAND, MAINE  
ROOF PLAN  
UNITS 17 & 18

**A5**





NORTH ELEVATION  
1/4"=1'-0"

SOUTH ELEVATION  
1/4"=1'-0"

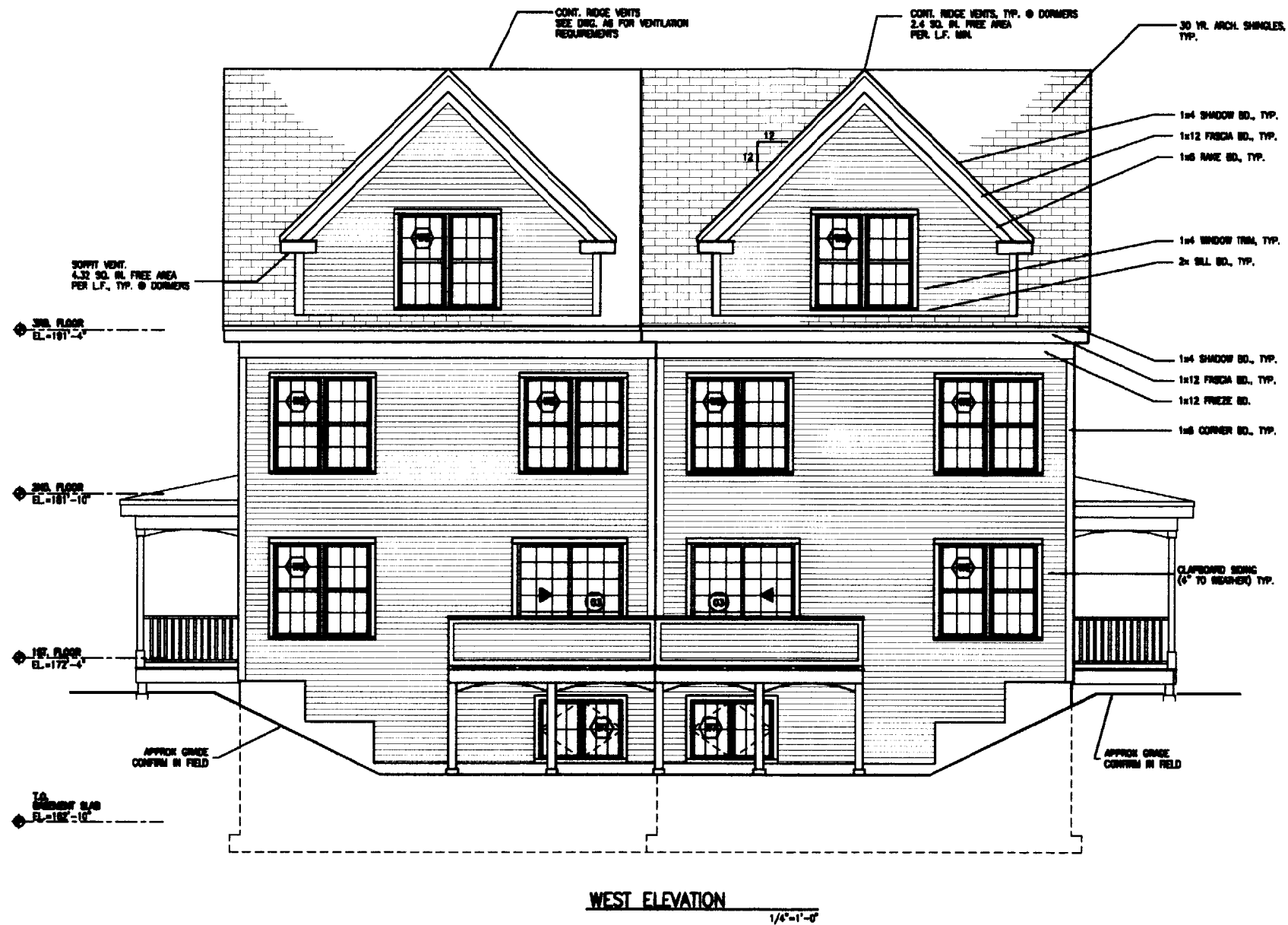
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1	2-18-03	FOR SCHEMATIC CHANGE

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

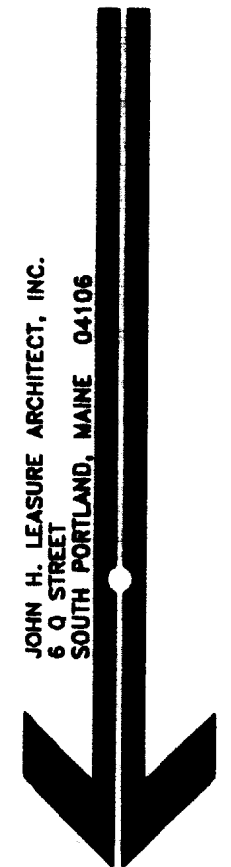
OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
NORTH & WEST ELEVATIONS  
UNITS 17 & 18

A7

SEE: SEE ENG. AS FOR VENTILATION DATA & NOTES.



REV.	DATE	STATUS
1	2-10-05	PER SCOPE CHANGE

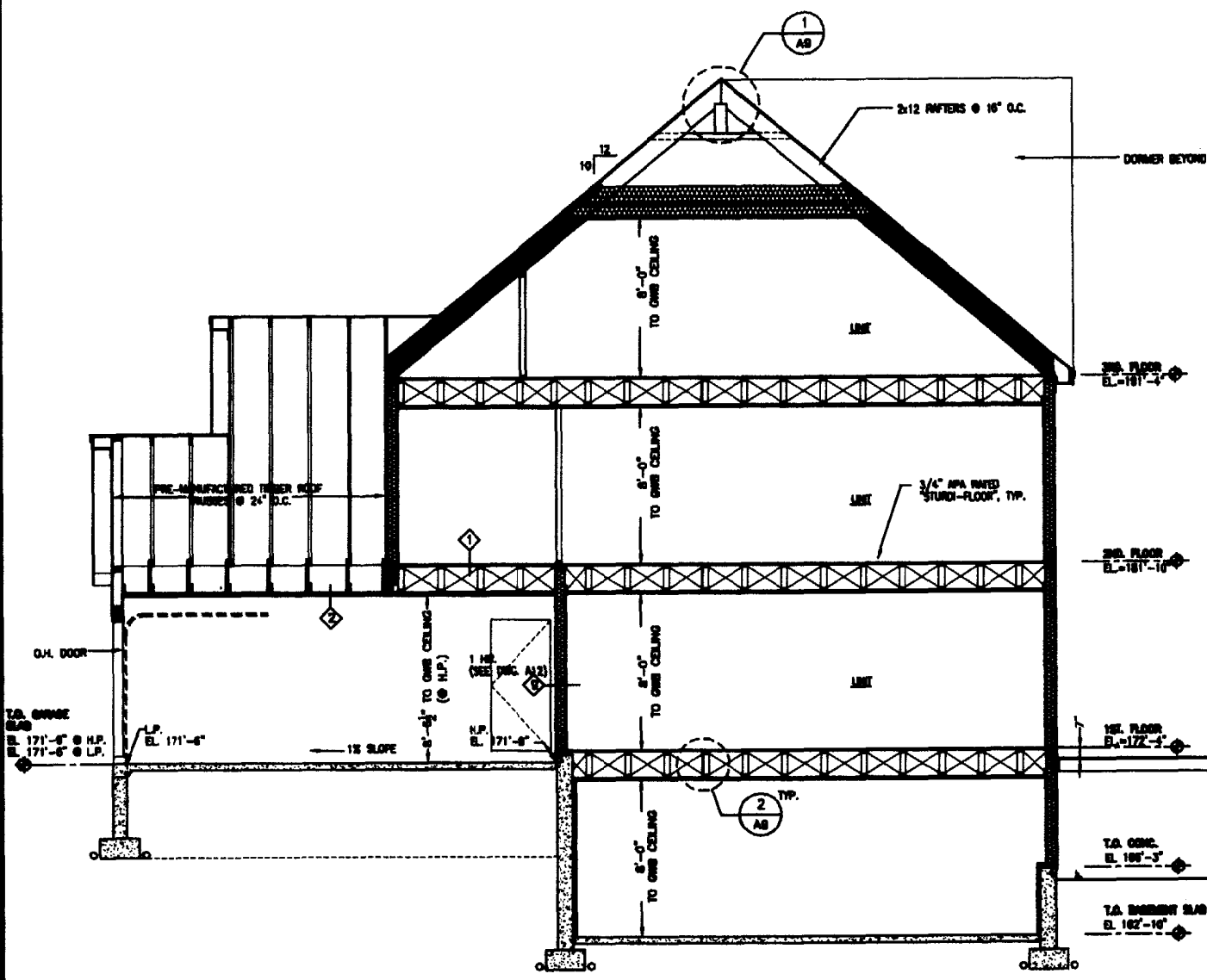


JOHN H. LEASURE ARCHITECT, INC.  
 6 Q STREET  
 SOUTH PORTLAND, MAINE 04106

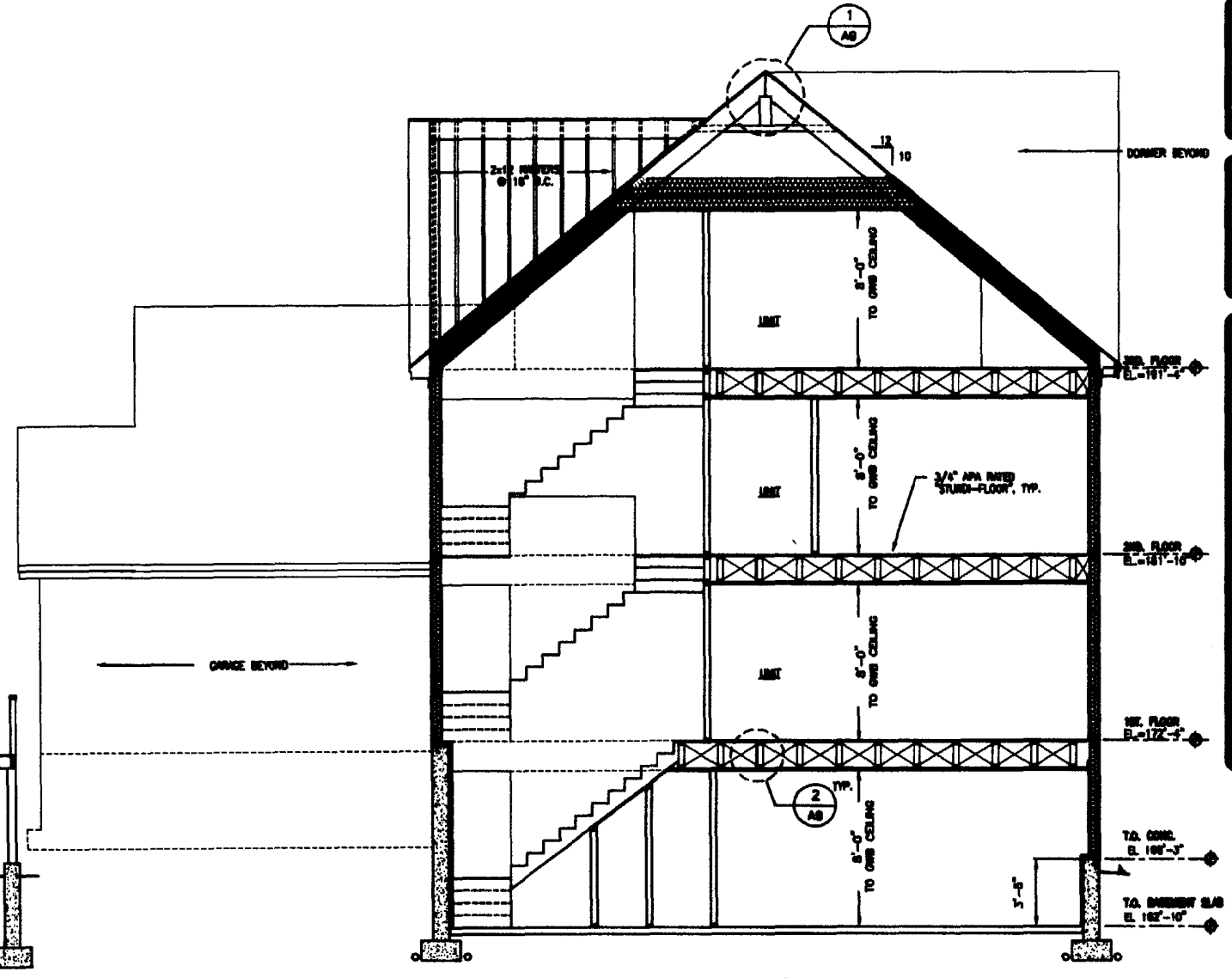
NOTE:  
 SEE DRG. A8 FOR VENTILATION DATA & NOTES.

**OCEAN RIDGE CONDOMINIUMS**  
 858 OCEAN AVENUE  
 PORTLAND, MAINE  
 NORTH & WEST ELEVATIONS  
 UNITS 17 & 18

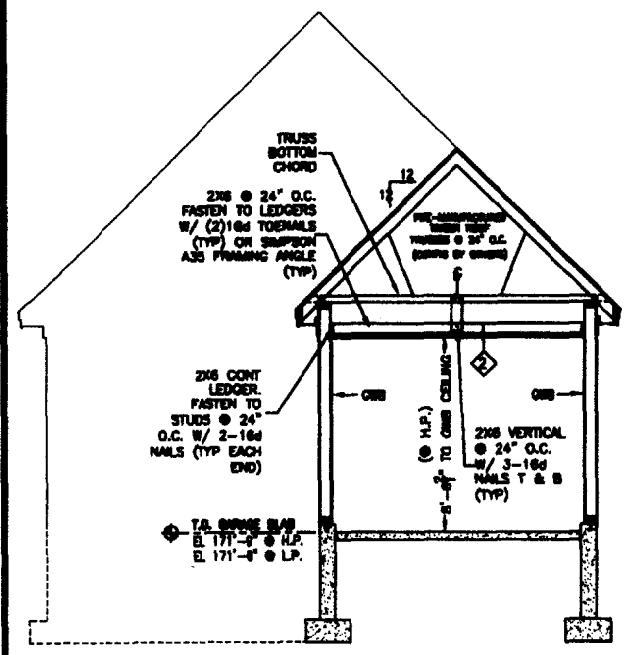
**A8**



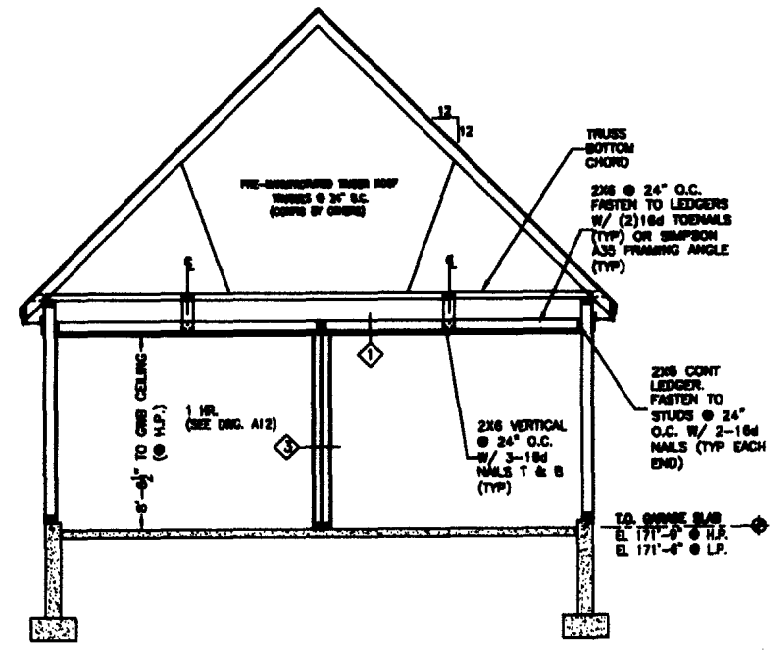
**A SECTION**  
A1  
1/4"=1'-0"



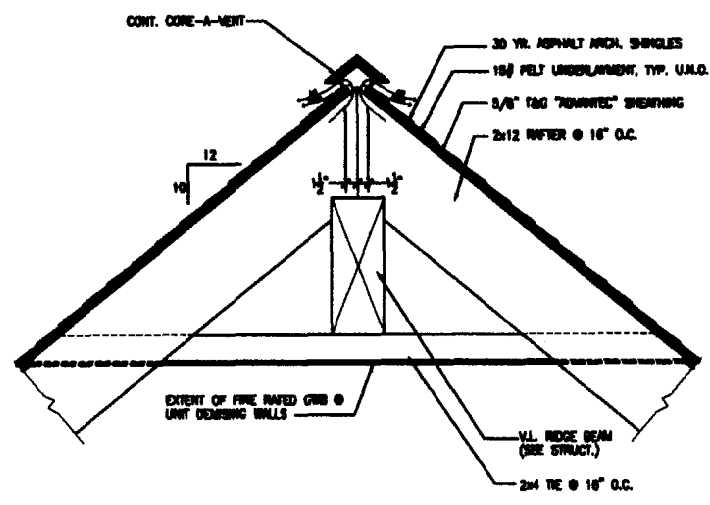
**D SECTION**  
D1  
1/4"=1'-0"



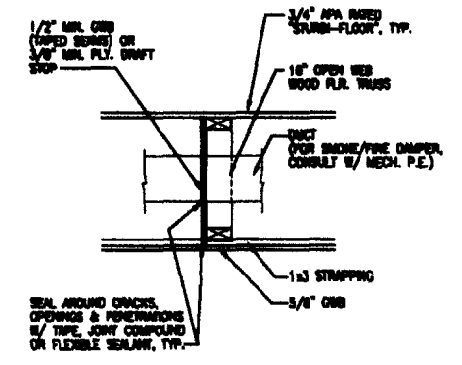
**B SECTION**  
B1  
1/4"=1'-0"



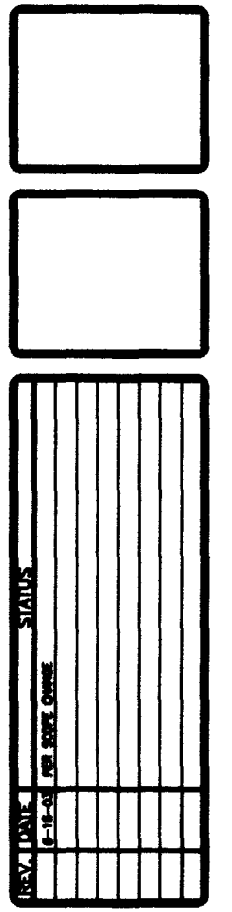
**C SECTION**  
C1  
1/4"=1'-0"



**1 RIDGE VENT**  
1A  
1"=1'-0"



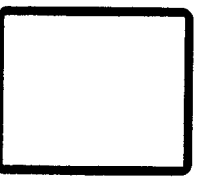
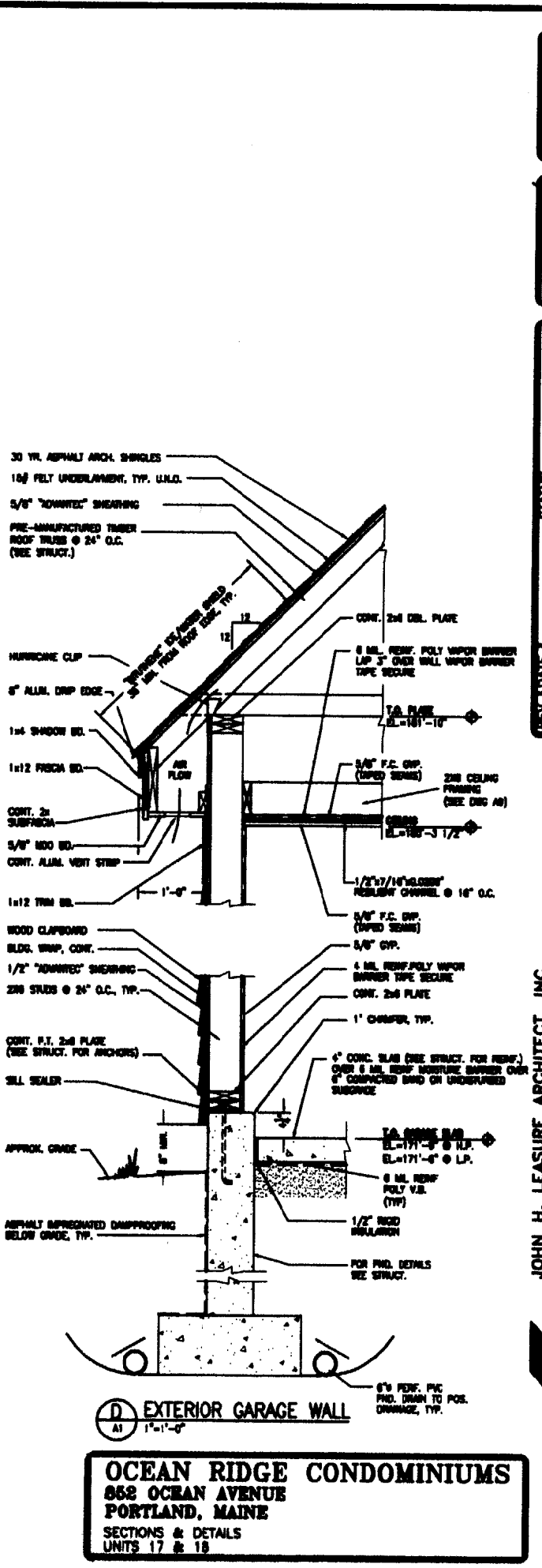
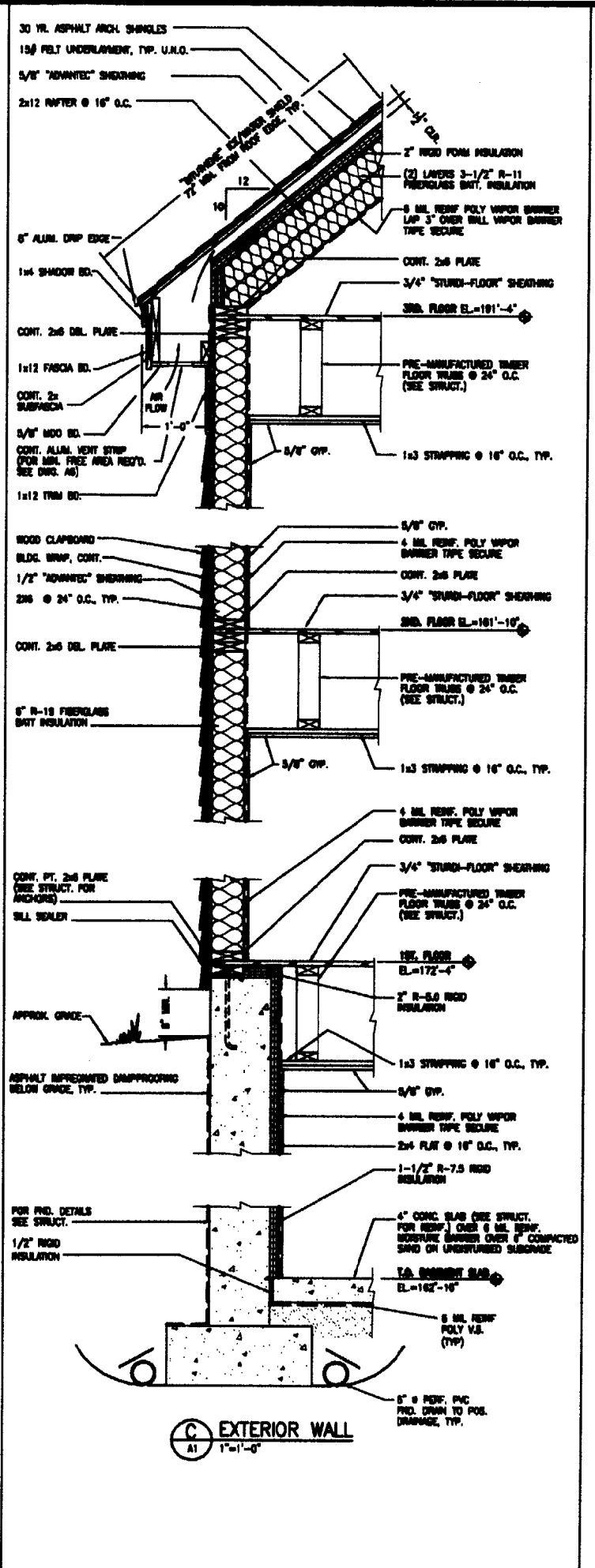
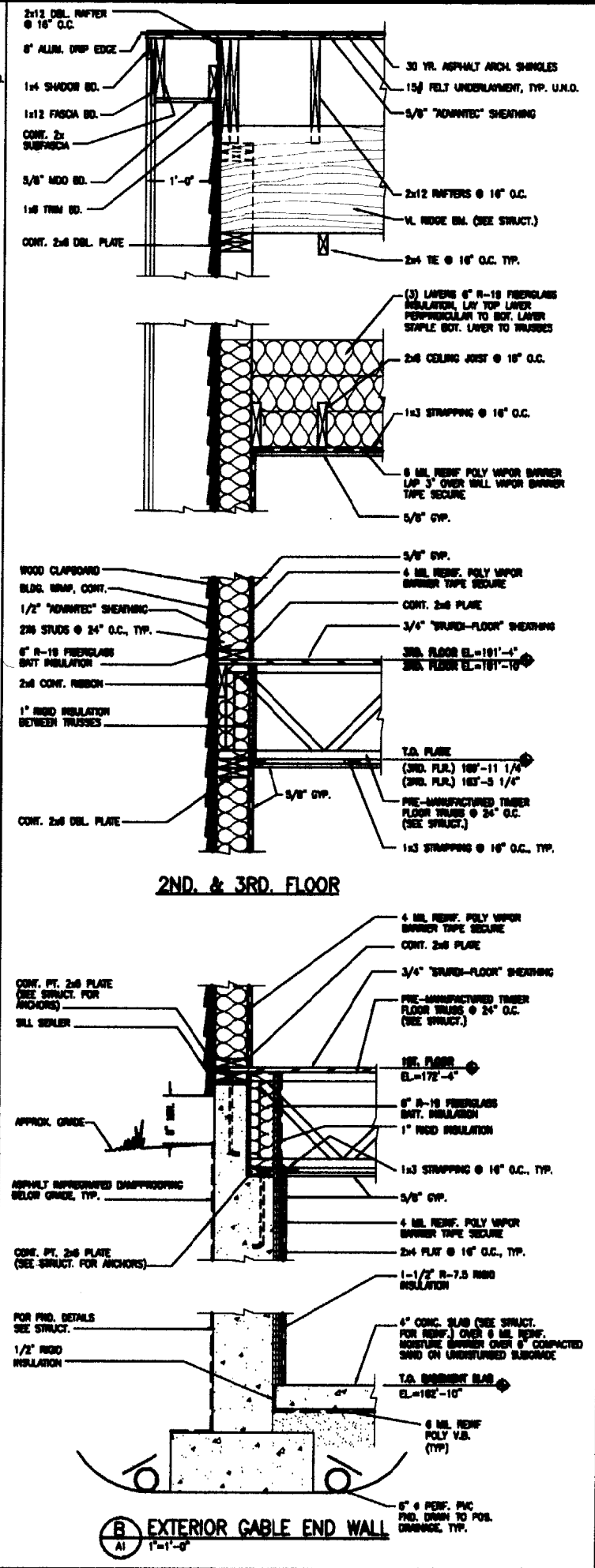
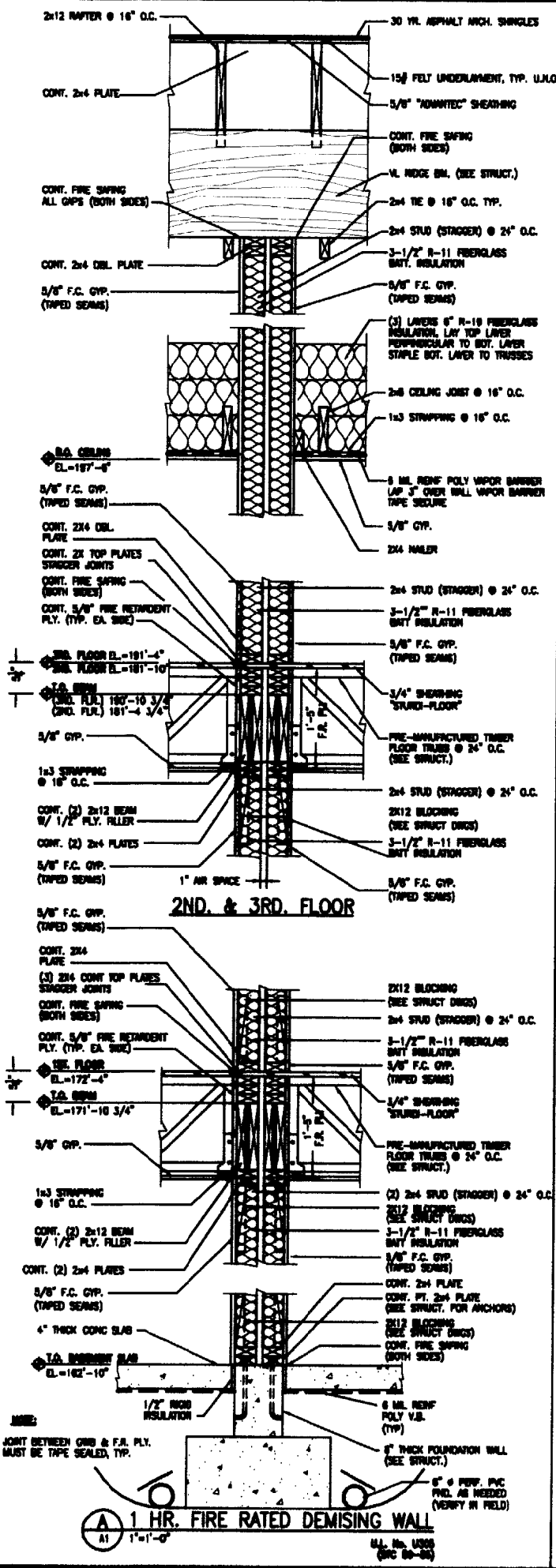
**2 DRAFT STOP**  
2A  
1"=1'-0"



JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
BUILDING SECTIONS  
UNITS 17 & 18

**A9**

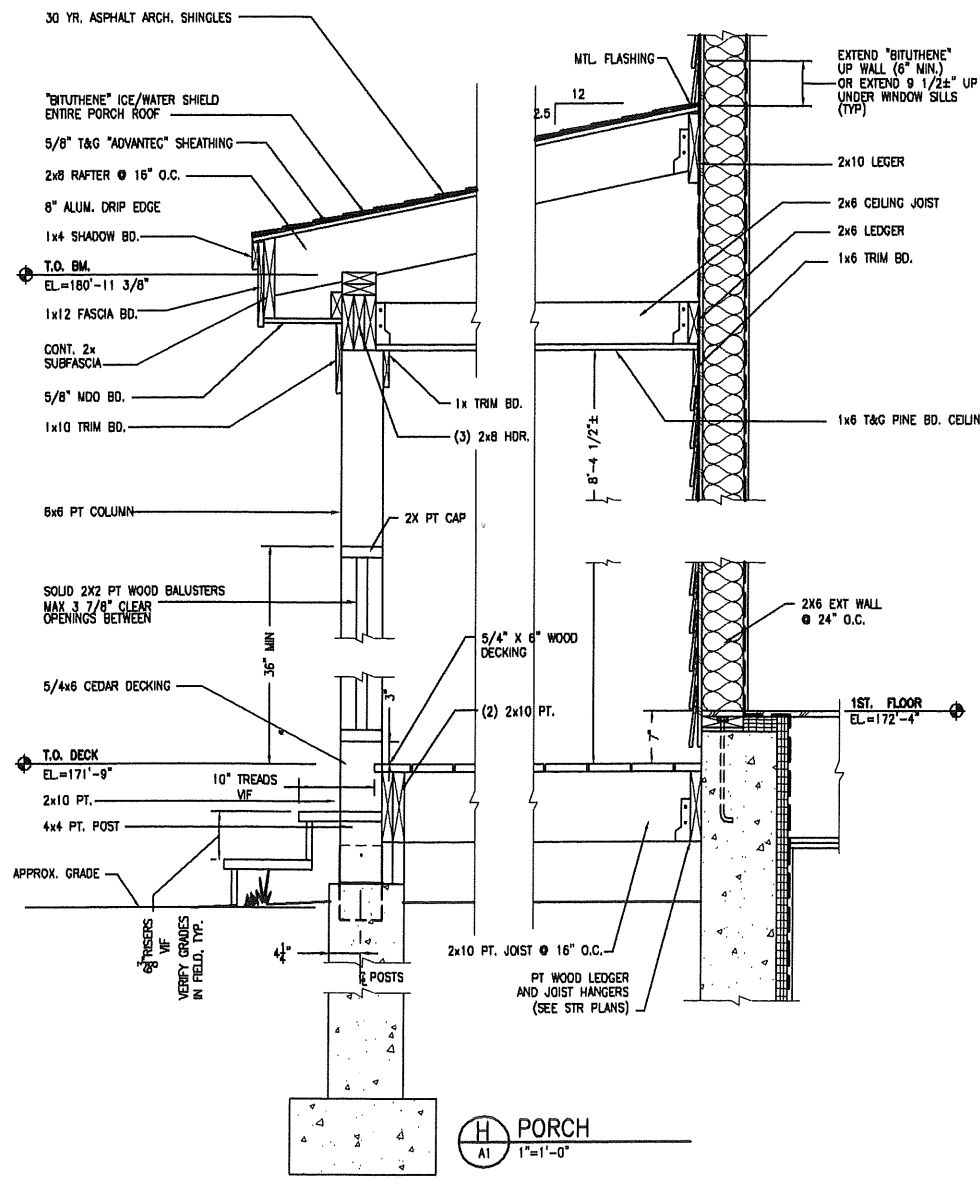
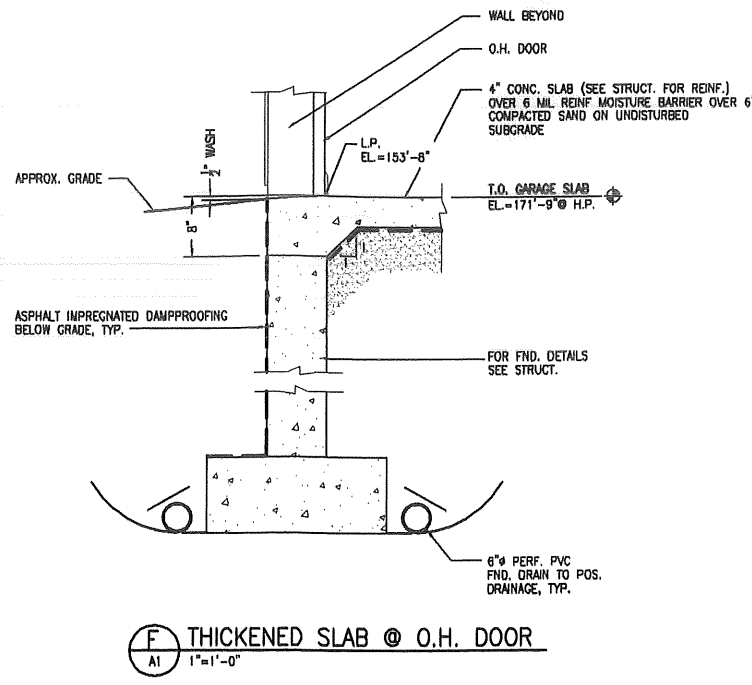
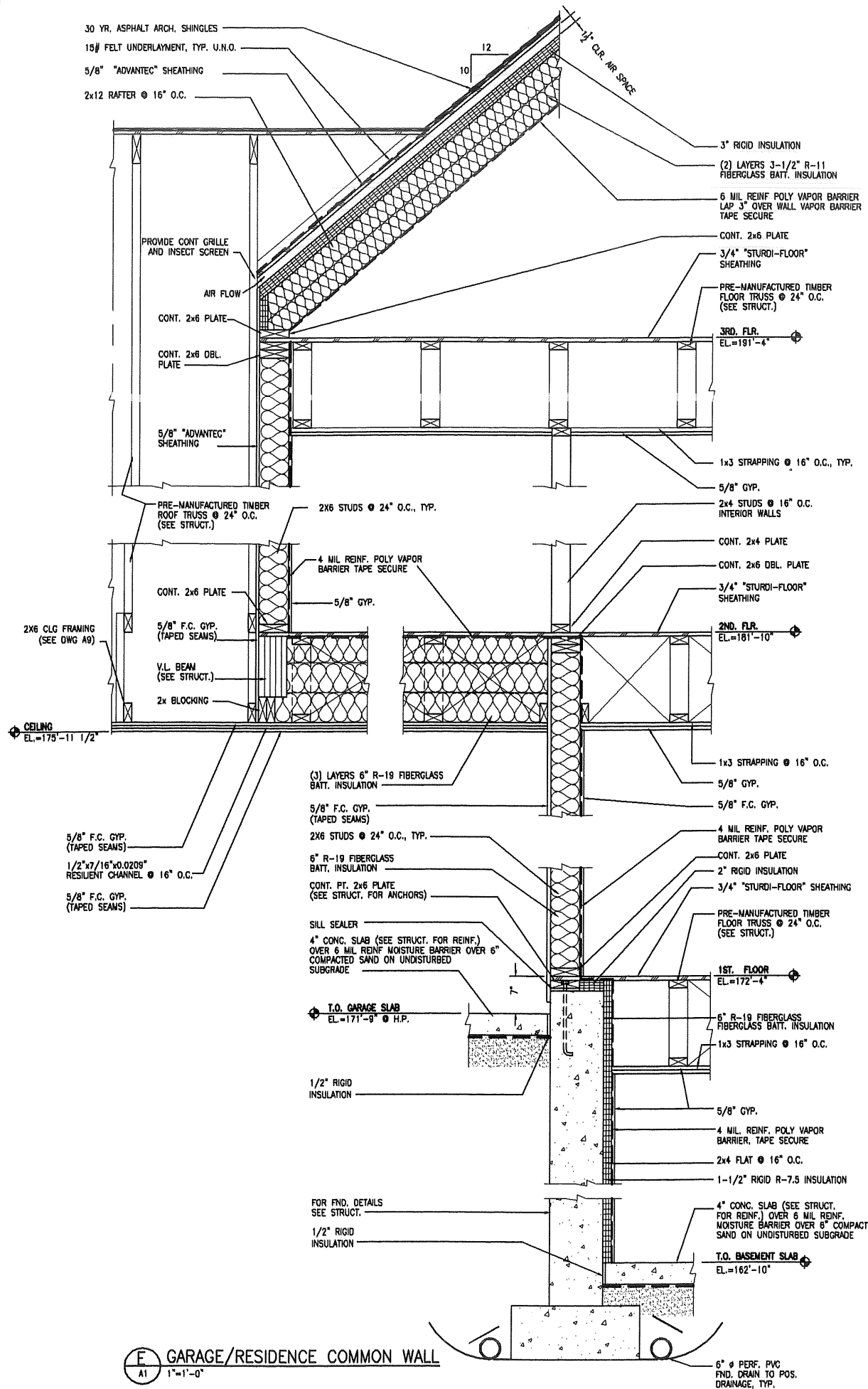


REV.	DATE	STATUS

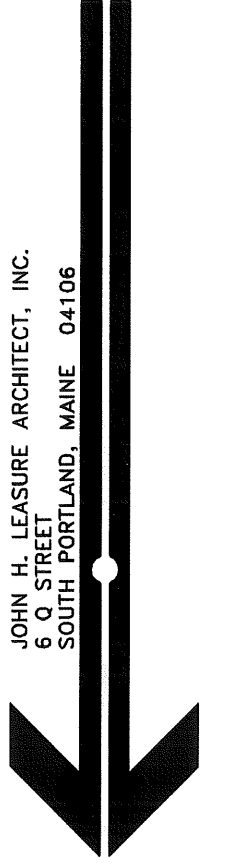
JOHN H. LEASURE ARCHITECT, INC.  
 6 Q STREET  
 SOUTH PORTLAND, MAINE 04106

**OCEAN RIDGE CONDOMINIUMS**  
 868 OCEAN AVENUE  
 PORTLAND, MAINE  
 SECTIONS & DETAILS  
 UNITS 17 & 19

A10



REV.	DATE	STATUS
0	0-16-01	PERSCOPE CHANGE

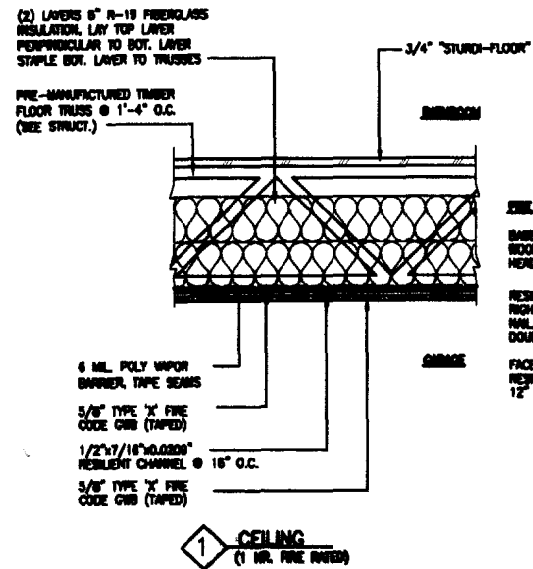


JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

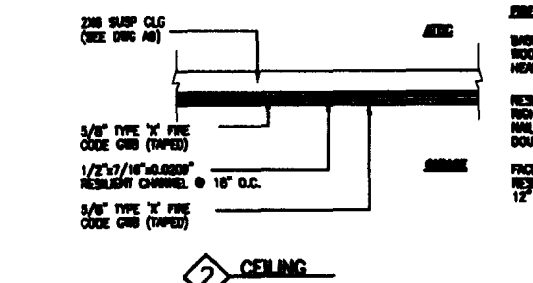
**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
SECTIONS & DETAILS  
UNITS 17 & 18

**A11**

**CEILING TYPES**



**FIRE RESISTANCE CEILING**  
 BASE LAYER 5/8" TYPE "X" GIB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 64 NAILS 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, 7" O.C. ALL SEAMS TAPED.  
 RESILIENT FURNING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 64 NAIL, 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.  
 FACE LAYER 5/8" TYPE "X" GIB APPLIED AT RIGHT ANGLES TO RESILIENT FURNING CHANNELS WITH 1" TYPE "S" DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

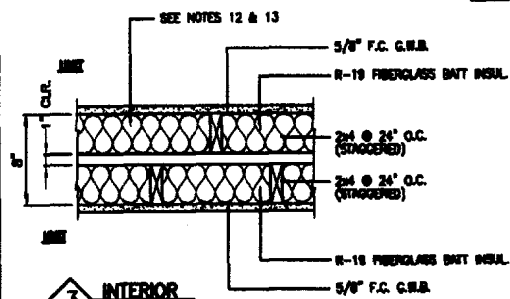


**FIRE RESISTANCE CEILING**  
 BASE LAYER 5/8" TYPE "X" GIB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 64 NAILS 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, 7" O.C. ALL SEAMS TAPED.  
 RESILIENT FURNING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 64 NAIL, 2-1/2" LONG, 0.113" SHANK, 19/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.  
 FACE LAYER 5/8" TYPE "X" GIB APPLIED AT RIGHT ANGLES TO RESILIENT FURNING CHANNELS WITH 1" TYPE "S" DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

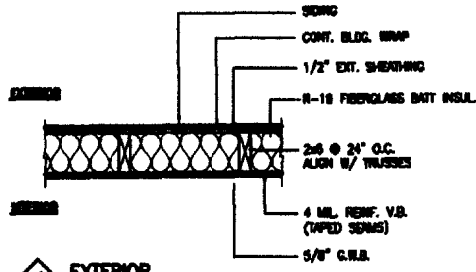
**GENERAL NOTES**

- 1 - ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS AND VERIFY PROPOSED REMEDIATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- 2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE WHETHER EXISTING AND PROPOSED TO ENSURE THE SAFETY OF THE BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, BRACING, TEMPORARY BRACING, GUTS OR RE-ROOFING. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR UPON COMPLETION OF THE PROJECT.
- 3 - ALL WORK SHALL BE IN ACCORDANCE WITH ANSI, BOCA 1989/IEC NFPA 101, AND ALL LOCAL, STATE & FEDERAL REQUIREMENTS.
- 4 - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- 5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
- 6 - MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL STANDARDS.
- 7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MINIMUM 7 3/4" RISER AND A MINIMUM 10" DEEP TREAD.
- 8 - FINISHES SHALL BE DRYWALL, TAPED, BANDED AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS.
- 9 - COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/S/C. PRIOR TO PROCEEDING WITH WORK.
- 10 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.
- 11 - FIRE DOOR ASSEMBLY, INCLUDING THE DOORWAY, FRAME, DOOR AND NECESSARY HARDWARE SHALL COMPLY TO NFPA-101 SECTION 5-1.
- 12 - ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SLEEVED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE SAVING MATERIAL IF NEEDED.
- 13 - VERTICAL CUTOUTS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED AT THE MIDPOINT BETWEEN STUDS. NO CUTOUTS SHALL BE LOCATED BEHIND JOIST BEARINGS.

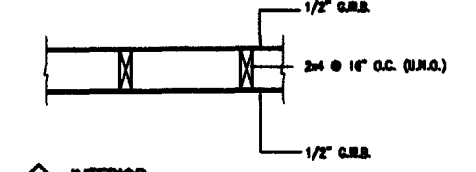
**WALL TYPES**



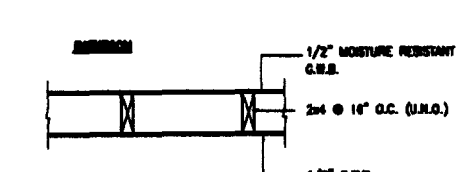
**3 INTERIOR (1 HR. FIRE RATED)**



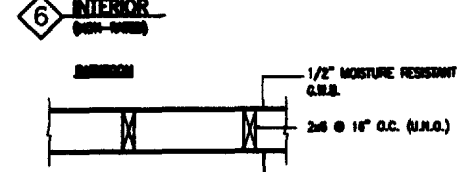
**4 EXTERIOR (NON-FIRED)**



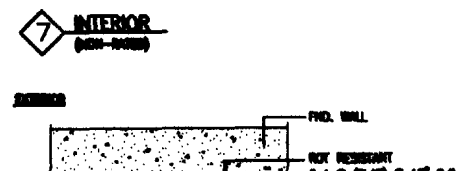
**5 INTERIOR (NON-FIRED)**



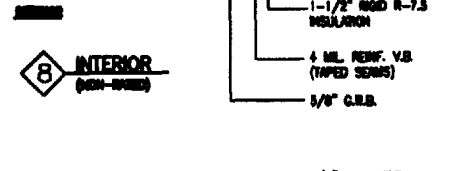
**6 INTERIOR (NON-FIRED)**



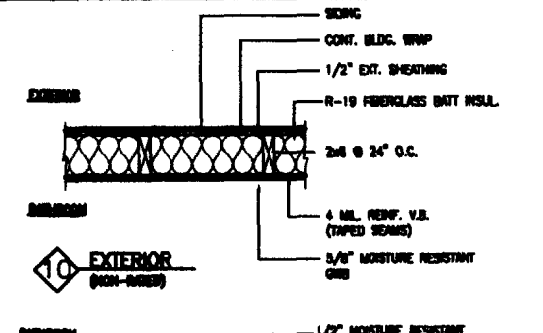
**7 INTERIOR (NON-FIRED)**



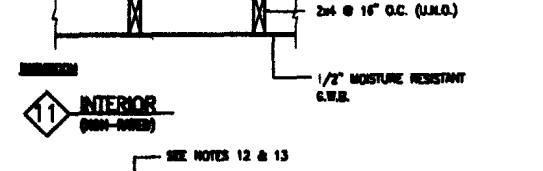
**8 INTERIOR (NON-FIRED)**



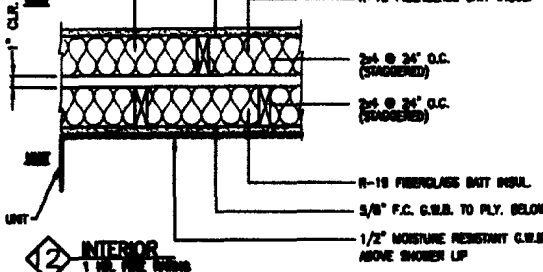
**9 INTERIOR (1 HR. FIRE RATED)**



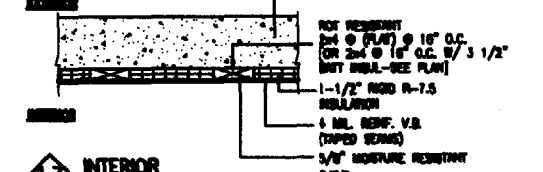
**10 EXTERIOR (NON-FIRED)**



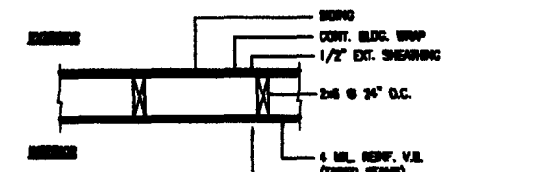
**11 INTERIOR (NON-FIRED)**



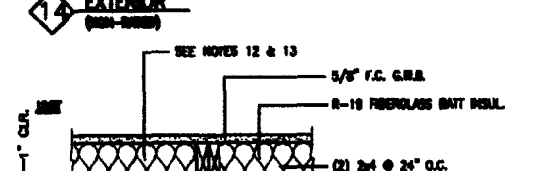
**12 INTERIOR (1 HR. FIRE RATED)**



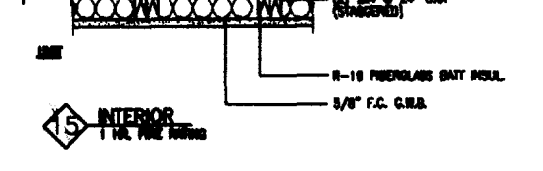
**13 INTERIOR (NON-FIRED)**



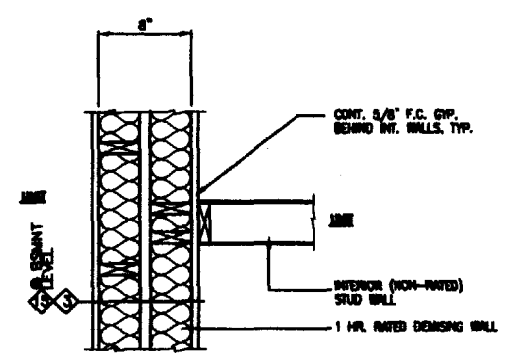
**14 EXTERIOR (NON-FIRED)**



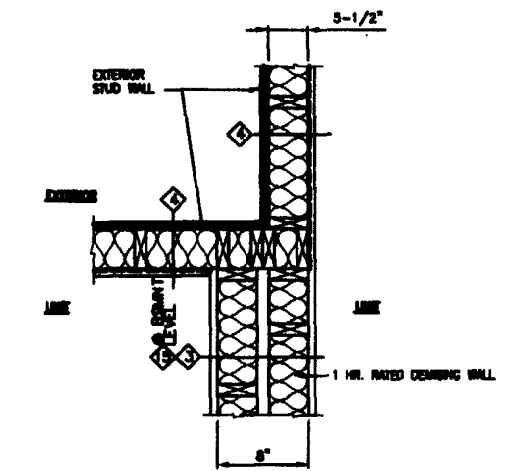
**15 INTERIOR (1 HR. FIRE RATED)**



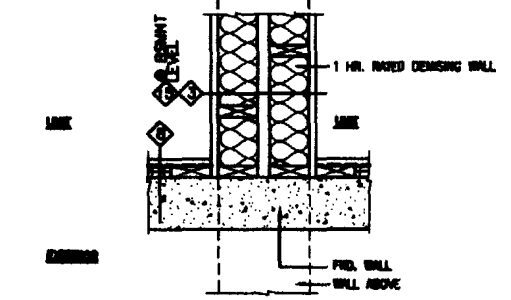
**16 INTERIOR**



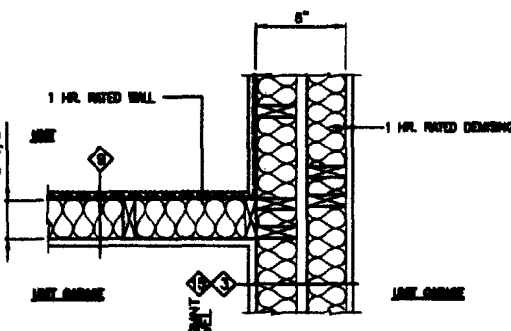
**1 DEMISING WALL/INTERIOR WALL**



**2 DEMISING WALL/EXTERIOR WALL**



**3 DEMISING WALL/FOUNDATION WALL**



**4 GARAGE/UNIT DEMISING WALL**

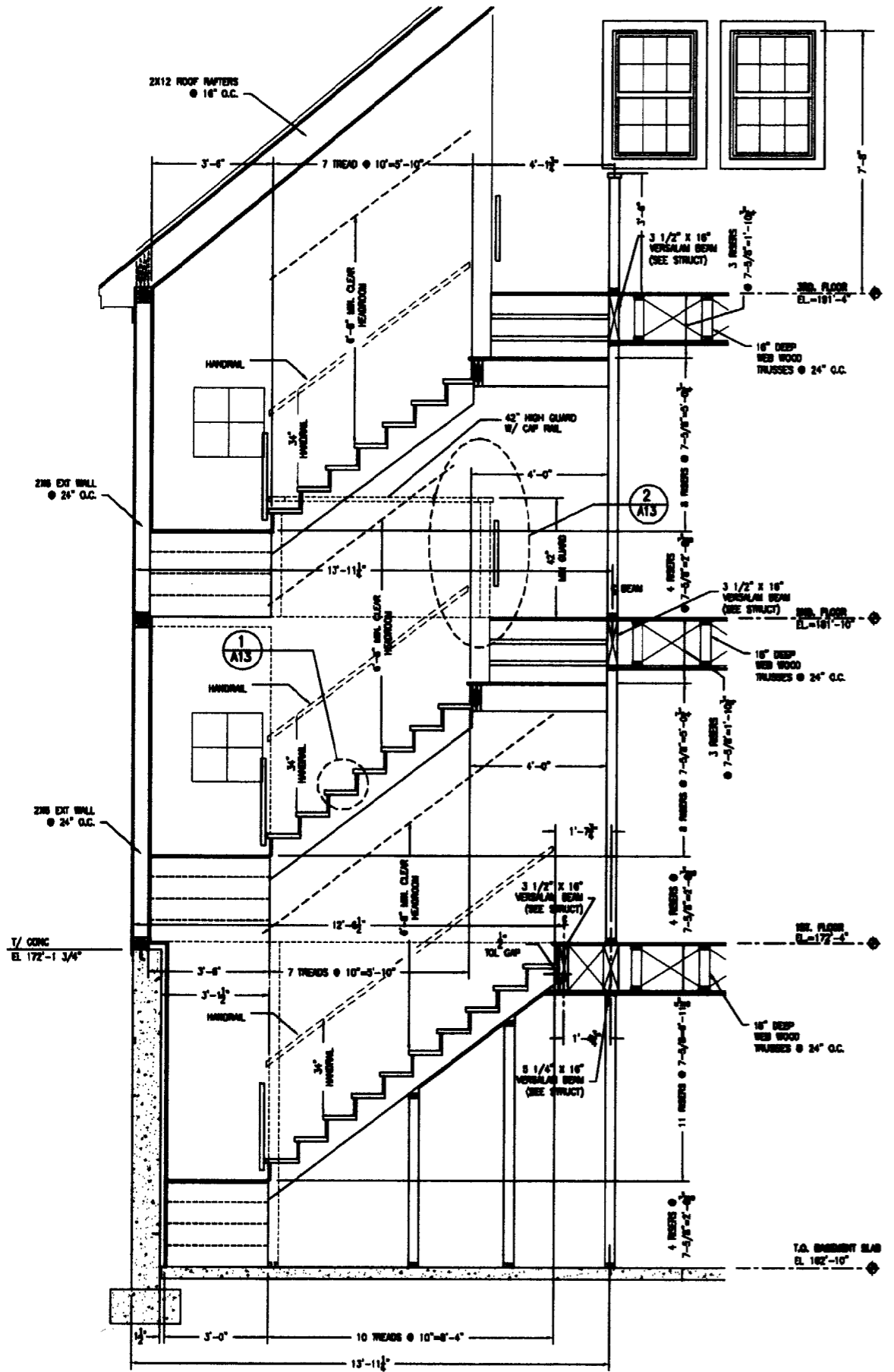
**OCEAN RIDGE CONDOMINIUMS**  
 868 OCEAN AVENUE  
 PORTLAND, MAINE  
 WALL TYPES & DETAILS  
 UNITS 17 & 18

REV.	DATE	BY	DESCRIPTION

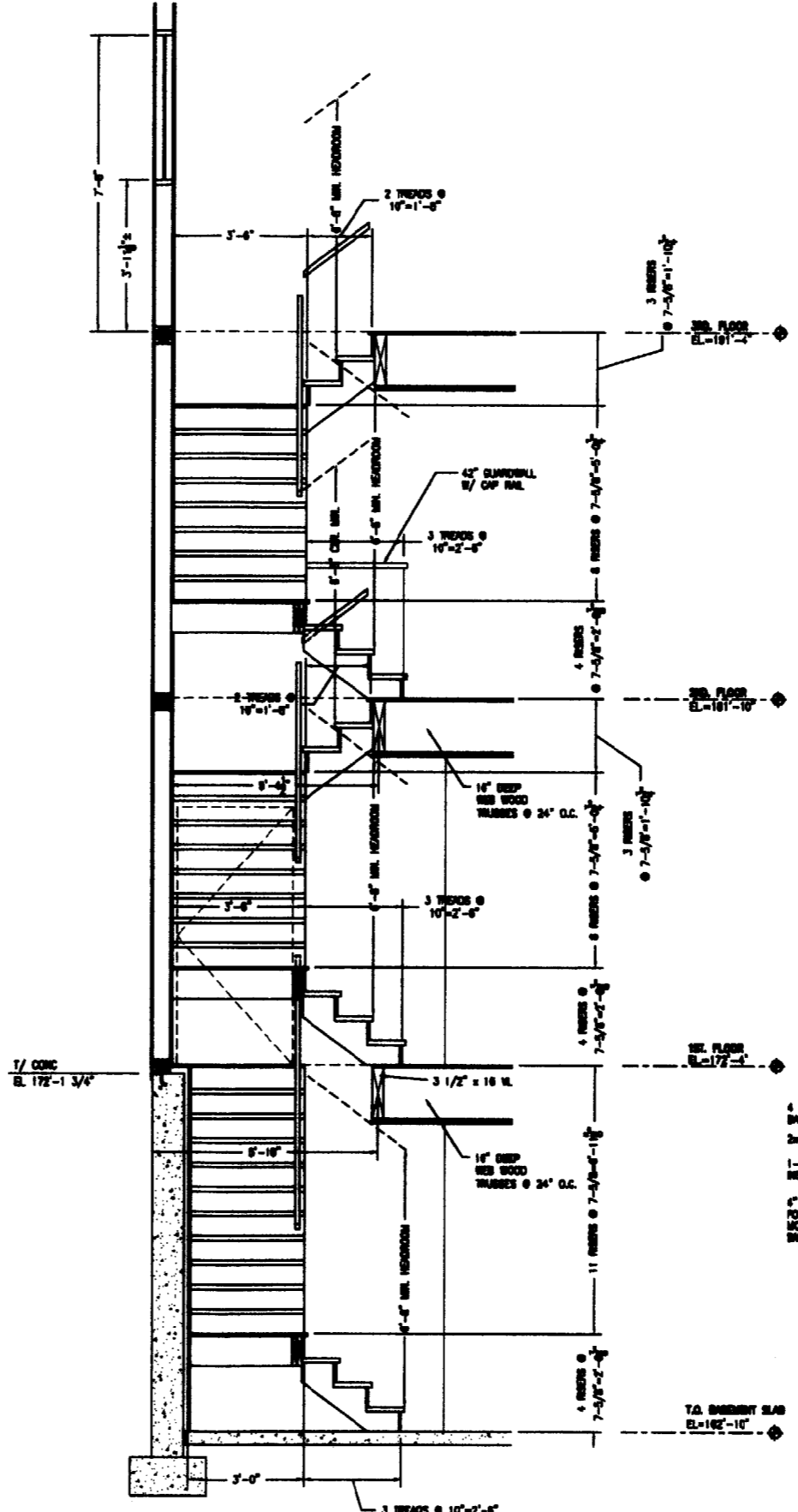
JOHN H. LEASURE ARCHITECT, INC.  
 6 Q STREET  
 SOUTH PORTLAND, MAINE 04106

**A12**



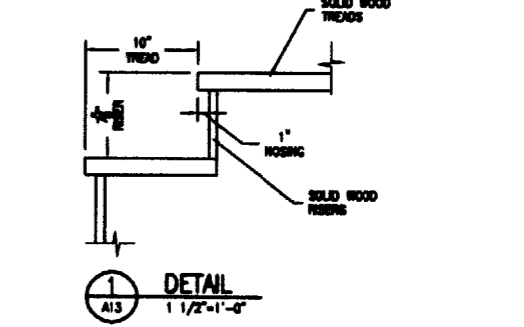


**J SECTION**  
1,2,3 @ 1/2"=1'-0"

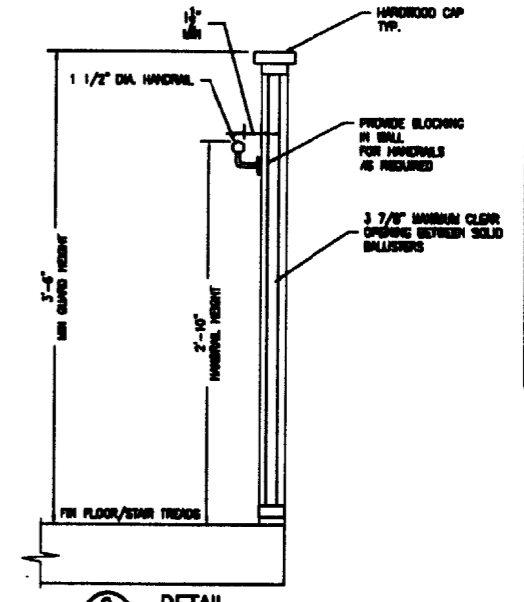


**K SECTION**  
1,2,3 @ 1/2"=1'-0"

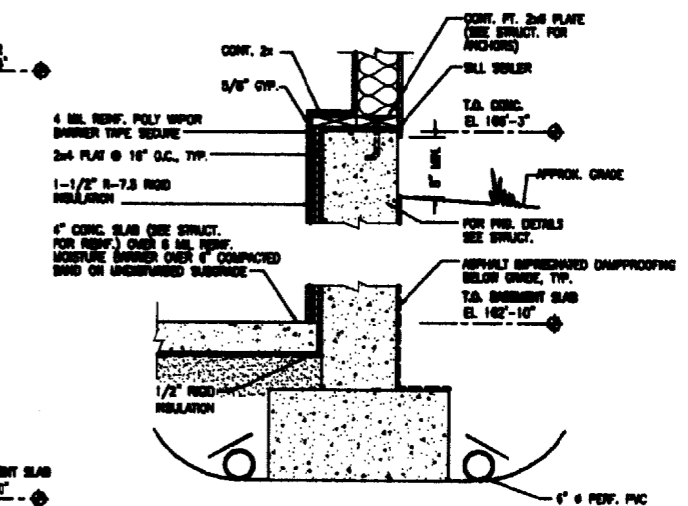
- NOTES**
- 1) ROSSING SHALL BE MINIMUM 3/4", MAXIMUM 1 1/4"
  - 2) WOODWORK SHALL NOT EXCEED 3/16" IN THE DEPTH OF ADJACENT TREDS OR IN THE HEIGHT OF ADJACENT RISERS.



**DETAIL A13**  
1 1/2"=1'-0"



**DETAIL 2**  
A13  
1"=1'-0"



**A1 EXTERIOR WALL**  
A1  
1"=1'-0"

REV.	DATE	STATUS

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

**OCEAN RIDGE CONDOMINIUMS**  
868 OCEAN AVENUE  
PORTLAND, MAINE  
STAIR SECTIONS & DETAILS  
UNITS 17 & 18

**A13**

# DOOR SCHEDULE

## DOOR SCHEDULE ABBREVIATIONS

C.D. CLOSER	H.W. HARDWARE	S. STEEL
D.X. DOOR HINGED	H.M. HOLLOW METAL	S.C. SOLID CORE HARDBOARD
D.S. DOOR SWEPT	I.S. INSULATED	S.H. SPRING HINGE
E.O. ELECTRIC HOLD OPENER	K. KEYPATE (PUSH SIDE)	S.L. SPLIT JAMB (WOOD)
E.S. ELECTRIC STRIKE	N.L. NICKPLATE	TEMP. TEMPERED
F.J.P. FINISH JOINTED FINISH	N.T. METAL	THK. THICKNESS
FR. FIRE RATED	N.U. NUMBER	W.D. WOOD (SOLID)
HA. HANDICAP ACCESSIBLE	P.P. PUSH/PULL	W.G. WIRE GLASS
HC. HOLLOW CORE HARDBOARD	P. FULL	V. VENEER

### DOORS

### FRAME TYPES

### THRESHOLD

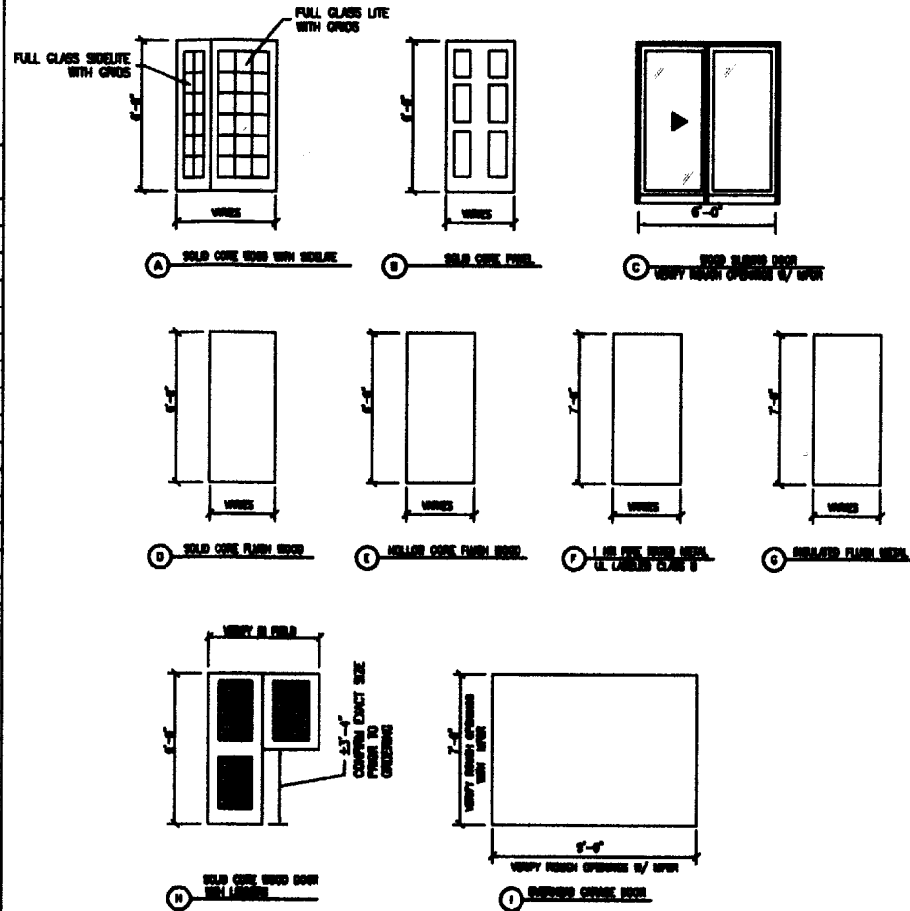
NO.	TYPE	SIZE	THK.	F.R.	H.W. SET	MAT.	GLASS		REMARKS	TYPE	MAT.	F.R.	DETAILS		MAT.	DETAIL SILL HT.
							SIZE	TYPE					HEAD	JAMB		
<b>BASEMENT</b>																
01	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
02	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	PASSAGE SET	BB	WOOD	-	-	K	WOOD	-
03	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
04	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
05	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
06	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	PASSAGE SET	BB	WOOD	-	-	K	WOOD	-
<b>EXTENSION</b>																
07	A	3'-0" x 7'-0"	1 3/8"	-	WOOD	WOOD	-	-	FR. HL. TEMP. DS	BB	WOOD	-	-	K	WOOD	-
08	I	6'-0" x 7'-0"	-	-	INSUL.	INSUL.	-	-	INSUL. G.H. GARAGE DOOR	BD	WOOD	-	-	K	WOOD	-
09	C	6'-0" x 6'-0"	-	-	UPOR	UPOR	-	-	FR. TEMP.	BB	WOOD	-	-	K	WOOD	-
10	A	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	FR. HL. TEMP. DS	BB	WOOD	-	-	K	WOOD	-
<b>FIRST FLOOR</b>																
11	F	3'-0" x 7'-0"	1 3/8"	1 HR.	WOOD	18GA MTL.	-	-	FR. SH. DS	CC	MTL.	-	-	L	WOOD	-
12	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
13	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
14	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
15	F	3'-0" x 7'-0"	1 3/8"	1 HR.	WOOD	18GA MTL.	-	-	FR. SH. DS	CC	MTL.	-	-	L	WOOD	-
16	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
17	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
18	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
<b>SECOND FLOOR</b>																
19	B	PR 3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
20	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
21	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
22	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
23	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
24	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
25	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
26	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
27	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
<b>THIRD FLOOR</b>																
28	B	2'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
29	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
30	B	PR 1'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
31	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
32	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
33	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-
34	B	3'-0" x 6'-0"	1 3/8"	-	WOOD	WOOD	-	-	LOCKSET	BB	WOOD	-	-	K	WOOD	-

# WINDOW SCHEDULE

NO.	TYPE	MANUF.	CAT NO.	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS	
							HEAD	JAMB
W1	C	"HANCOCK"	PT2824	N/A	2'-2" x 2'-0"	"HANCOCK LUMBER WINDOW TYPE" (COORD. LOCATION IN FIELD, SEE DWG. A6 & A3)	-	-
W2	A	"HANCOCK"	PDH2880	N/A	2'-4" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W3	A	"HANCOCK"	PDH4080	N/A	3'-4" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE" EGRESS WINDOW	-	-
W4	D	"HANCOCK"	PDH3085-3	N/A	7'-5" x 5'-5"	"HANCOCK LUMBER WINDOW TYPE"	-	-
W5	B	"HANCOCK"	PDH4080-2	N/A	6'-7 1/2" x 5'-0"	"HANCOCK LUMBER WINDOW TYPE" EGRESS WINDOW	-	-
W6	A	"HANCOCK"	PDH3844	N/A	3'-0" x 3'-8"	"HANCOCK LUMBER WINDOW TYPE" HEAD HGT @ 7'-5" AFF	-	-
W7	C	"HANCOCK"	C3048-2	N/A	4'-11 1/2" x 4'-0"	"HANCOCK LUMBER WINDOW TYPE" EGRESS WINDOW	-	-

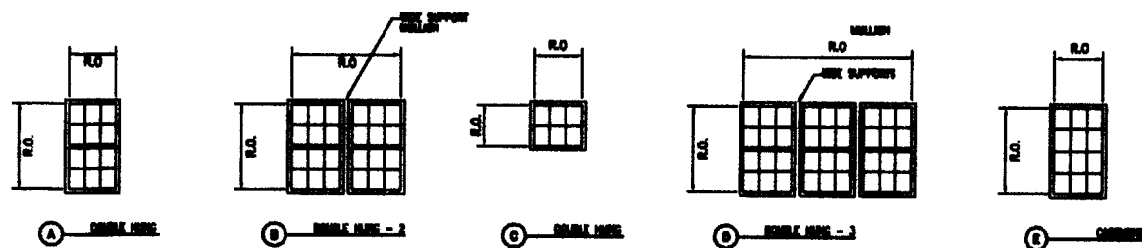
\*NOTE: CONTRACTOR SHALL COORDINATE WINDOW ROUGH-IN CENTERLINE DIMENSIONS WITH NEW WINDOW TYPES AND ALIGN VERTICALLY.

## DOOR TYPES

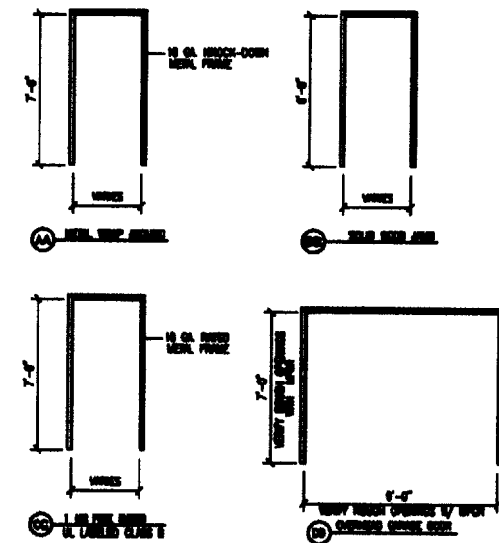


NOTE: 1) - WINDOW AND DOOR QUANTITIES SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

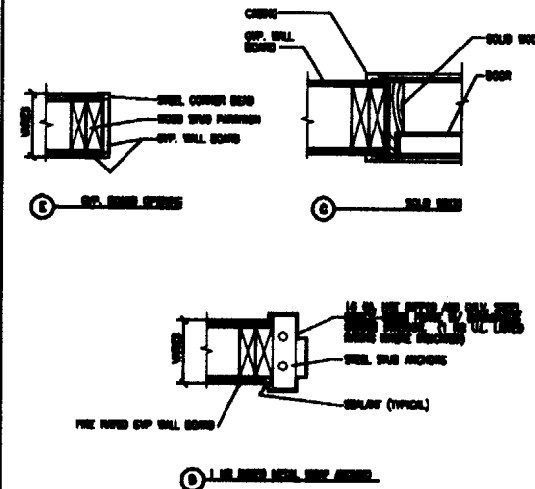
## WINDOWS



## FRAME TYPES



## JAMB TYPES



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658 OCEAN AVENUE  
PORTLAND, MAINE  
DOOR AND WINDOW SCHEDULE  
UNITS 17 & 18

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