

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

Permit Number: 030403

PERMIT

This is to certify that Ocean Ridge Realty Llc /Pat Tinsman

has permission to Build Units 9,10,11,12

AT 840 Ocean Ave 416A A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and work in progress must be reported before this building or part thereof is occupied or closed-in. HOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature] 5/13/03
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0403	Issue Date:	CBL: 416A A003001
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Location of Construction: 840 Ocean Ave	Owner Name: Ocean Ridge Realty Llc	Owner Address: 91 Ocean Ave	Phone: 650-3965
Business Name:	Contractor Name: Patrick Tinsman	Contractor Address: 91 Old Ocean House Rd. Cape Elizabe	Phone 2076503965
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	Zone: R3/FA

Past Use: Vacant land	Proposed Use: Ocean Ridge Condominium units 9,10,11,12	Permit Fee: \$3,823.00	Cost of Work: \$500,000.00	CEO District: 2	PR40
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B 5/13/03		

Proposed Project Description: Build Units 9,10,11,12	Signature: <i>[Handwritten Signature]</i>	Signature: <i>[Handwritten Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: kwd	Date Applied For: 04/30/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>5/1/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0403	Date Applied For: 04/30/2003	CBL: 416A A003001
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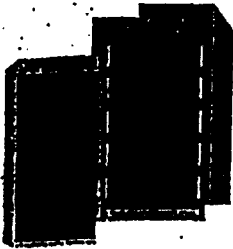
Proposed Use: Ocean Ridge Condominium units 9,10,11,12	Proposed Project Description: Build Units 9,10,11,12
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/01/2003
Note: **Ok to Issue:**

- 1) Construction shall comply with the originally approved site plan.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Units 9-12



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: JOHN H. LEASURE ARCHITECT INC.

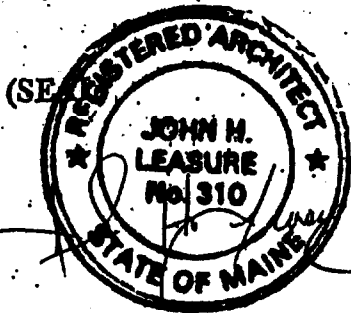
RE: Certificate of Design

DATE: APRIL 28, 2003

These plans and/or specifications covering construction work on:

OCEAN RIDGE CONDOMINIUMS (UNITS 9-12)
852 OCEAN AVE.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



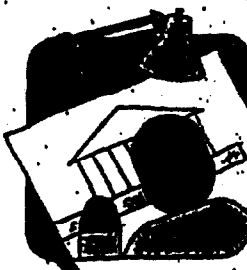
Signature [Handwritten Signature]
Title PRESIDENT
Firm JOHN H. LEASURE ARCHIT. INC.
Address SIX Q ST S.P. ME
04106

As per Maine State Law:

\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL, OR CIVIL ENGINEERING



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE-ARCHITECT, INC.
L & L STRUCTURAL ENGINEERING SERVICES INC.

DATE: APRIL 28, 2003

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 852 OCEAN AVE

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) R3
Type of Construction SB Bldg. Height 32'-8" Bldg. Sq. Footage 2888 SF HABITABLE
1132 SF GARAGES.
Seismic Zone Z/A_v = 0.10 Group Class CATEGORY II
Roof Snow Load Per Sq. Ft. 42 PSF Dead Load Per Sq. Ft. 15 PSF
Basic Wind Speed (mph) 85 MPH Effective Velocity Pressure Per Sq. Ft. 28 PSF
Floor Live Load Per Sq. Ft. 40 PSF

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered _____

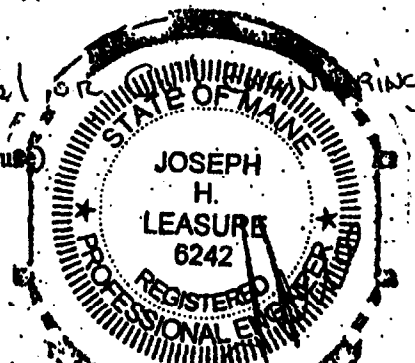
List Occupant loading for each room or space, designed into this Project.

WE ASSUME NO LIMITED MECHANICAL, ELECTRICAL OR PLUMBING

PSH 6/07DK



(Designers Stamp & Signature)



03-04/03

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

840

Location/Address of Construction: <u>852 OCEAN AVE . PORTLAND</u>		
Total Square Footage of Proposed Structure <u>6000 ±</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>416</u> Block# <u>AA</u> Lot# <u>003</u>	Owner: <u>OCEAN RIDGE REALTY LLC</u>	Telephone: <u>650-3965</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>500,000</u> Fee: \$ <u>3,523.00</u>
Current use: <u>RAW LAMP</u>	4 (of) <u>300.00</u>	
If the location is currently vacant, what was prior use:	Total <u>3,823.00</u>	
Approximately how long has it been vacant:		
Proposed use: <u>CONDOMINIUMS (4) units 9, 10, 11 & 12</u>	Project description:	
Contractor's name, address & telephone: <u>PATRICK TINSMAN</u> <u>91 OLD OCEAN HOUSE RD</u> <u>CAPE ELIZABETH</u>		
Who should we contact when the permit is ready: <u>(SAME)</u> Mailing address: <u>MAINE 04107</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>650-3965</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Pat Tinsman</u>	Date: <u>4-30-03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

New owner → Applicant: Ocean Ridge Realty, LLC

Date: 3/31/03

Address: 840-846 Ocean Ave
Ocean Ridge Dev.

C-B-L: 46A-A-3

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New revival of Maryem Mortgage Corp in 2001

Zone Location - R-3 Zone PRUD Development

Interior or corner lot -

Proposed Use/Work - 46 unit PRUD Development with attached garages

Sevage Disposal - City

Lot Street Frontage - 50'

Front Yard - ① min building setback from external subdivision property lines 25' for 3 or fewer D.U. in a bldg

Rear Yard - 35' for 4 or more D.U. in a bldg

Side Yard - ② min distance between detached PRUD dwelling units 16' - 16' exactly in a few places

Width of Lot - ③ Recreation Areas shall be located at least 25' from dwelling units - OK

Height -

Lot Area - PRUDS min 3 gross acres - 10.08 acres given (439,085 sq ft)

Lot Coverage/ Impervious Surface - ④ MAXIMUM Number of units in a bldg of average shall be 5 ← A) A PRUD 5 acres or more = 6 units

Area per Family - B) A PRUD 5 acres or less = 2 units

Off-street Parking - ⑤ MAXIMUM length of a PRUD Bldg. 'No garage 100' with garage 140' - 140' length shown

Loading Bays ⑥ min Recreation area = 300 sq ft/DU with a min of 300 x 46 = 13800 - full outlined system as 6,000 sq ft and 5,000 sq ft

Site Plan - #2003-0056 ⑦ ~~Net Land Area~~ minimum net area per D.U. 6,500 - using net area of 46 DU.

Shoreland Zoning/ Stream Protection - Just on the 46 DU.

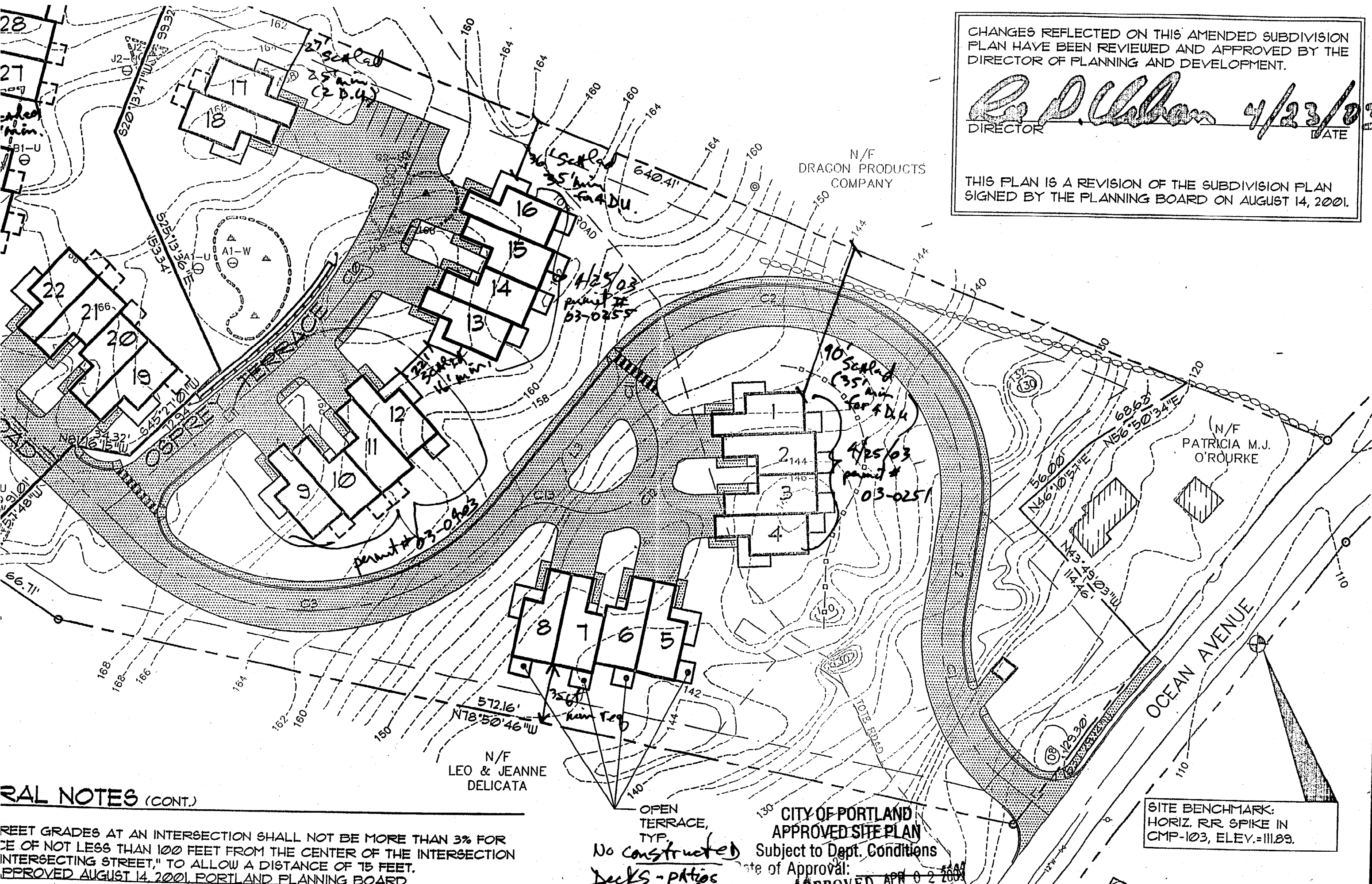
Flood Plains - Panel 7 Zone X

Min Area parking 2/D.U. is 1 for every 6 D.U. ⑧ 46 / 2 = 23
These units have 1 garage; 11 extra parking spaces needed 11 extra shown

CHANGES REFLECTED ON THIS AMENDED SUBDIVISION PLAN HAVE BEEN REVIEWED AND APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT.

R. P. O'Leary 4/23/03
 DIRECTOR DATE

THIS PLAN IS A REVISION OF THE SUBDIVISION PLAN SIGNED BY THE PLANNING BOARD ON AUGUST 14, 2001.



GENERAL NOTES (CONT.)

STREET GRADES AT AN INTERSECTION SHALL NOT BE MORE THAN 3% FOR A DISTANCE OF NOT LESS THAN 100 FEET FROM THE CENTER OF THE INTERSECTION OF INTERSECTING STREET, TO ALLOW A DISTANCE OF 15 FEET.

APPROVED AUGUST 14, 2001, PORTLAND PLANNING BOARD

WASTE REMOVAL SHALL BE CURB SIDE PICK-UP BY PRIVATE TRUCK OR

OPEN TERRACE, TYP.

No constructed Decks - patios only

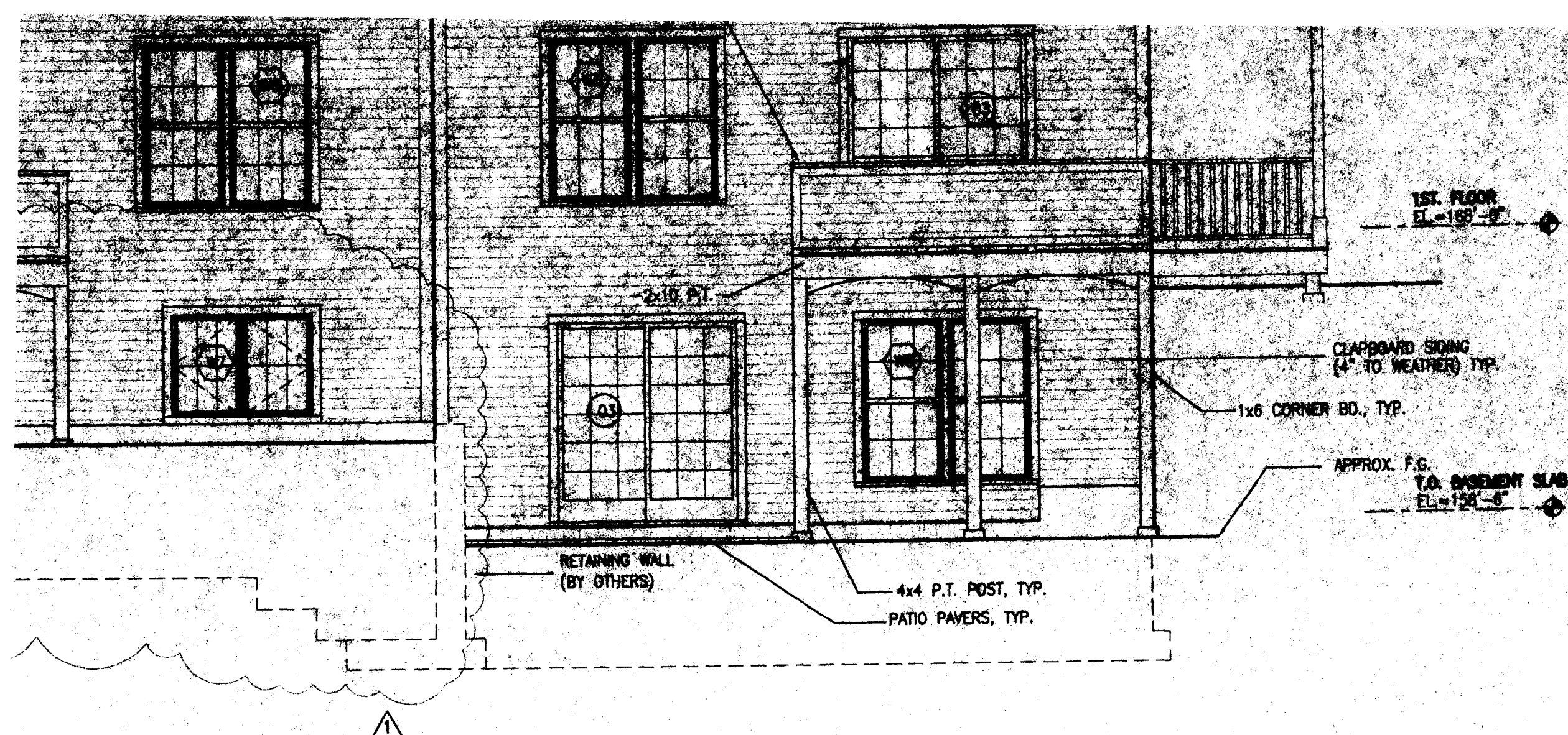
CITY OF PORTLAND APPROVED SITE PLAN

Subject to Dept. Conditions

Date of Approval: APR 02 2003

APPROVED APR 02 2003

SITE BENCHMARK:
 HORIZ. RR SPIKE IN
 CMP-103, ELEV.=111.89.



1ST. FLOOR
EL. = 189'-0"

CLAPBOARD SIDING
(4" TO WEATHER) TYP.

1x6 CORNER BD., TYP.

APPROX. F.G.
T.O. BASEMENT SLAB
EL. = 158'-6"

RETAINING WALL
(BY OTHERS)

4x4 P.T. POST, TYP.
PATIO PAVERS, TYP.

2x10 P.T.

1

-0"

NOTE:
SEE DWG. A6 FOR VENTILATION DATA & NOTES.

JOHN H. LEASURE ARCHITECT, INC.
5, 0, STREET

GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. The specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, bores, rigns, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The designer is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, shoring temporary bracing, gusset or tie down. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

- Building code: BOCA Basic Building Code (1999)
- Design Live Loads: (Ground snow load = 60 PSF)
 - Roof: 42 PSF + Drift
 - Living areas: 40 PSF
- Design wind loads are based on exposure B using 85 mph basic wind speed.
- Seismic design utilizes the following criteria:
 - Building framing system: Concentrically braced frames, and shear walls.
 - Analysis procedure: Equivalent Lateral Force Procedure.
 - Seismic hazard exposure group: "T"
 - Seismic performance category: "C"
 - Soil profile type: "S1"
 - Peak velocity-related acceleration (Av): "0.10"
 - Peak acceleration (Ag): "0.10"
 - Response modification factor (R): "5"
 - Deflection amplification factor (Cd): "4 1/2"

FOUNDATION NOTES:

- Foundations have been designed with a presumptive soil bearing capacity indicated in of 2000 PSF to be verified in the field.
- Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill. If bedrock is encountered, contractor shall excavate and bear footings on 2'-0" thick layer of compacted structural fill.
- Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade.
- Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements. Concrete slabs shall be moist cured.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, leaves, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 inch	100
3 inch	90 to 100
1/4 inch	25 to 90
NO. 40	0 to 30
NO. 200	0 to 5

- Structural fill beneath slabs shall be placed in layers not exceeding 12" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
- Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
- Exterior concrete slabs on grade shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6#5 - W1,4W11,4 W1F.
- Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES:

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
 - 3000 PSI for basement walls.
 - 3000 PSI for footings, frost walls and piers.
 - 4000 PSI for all slabs on grade.
- All concrete shall be air entrained 4%-6% with approved admixtures.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318-Latest edition.
- Welded wire fabric shall be provided in flat slabs.
- Fiber reinforced concrete shall conform to ATSM C-1116.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit (8) blue line prints and (1) reproducible (asplc) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices of W1F shall be 6" minimum.
- Concrete finishes: See specifications and Architectural drawings for additional information.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint. The general contractor shall be responsible for coordination of door head out locations, slab depression and other required bond cuts. Coordinate location of bond cuts with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.
- Provide control joints in slabs as follows:
 - 15' x 15' (225 SF) with fibermesh reinforcement
 - 20' x 20' (400 SF) with welded wire fabric reinforcement

STRUCTURAL STEEL NOTES:

- Structural steel fabrication, erection, and connection design shall conform to AISC Specification for the design, fabrication, and erection of structural steel-Latest edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR.B.
 - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

TIMBER FRAMING NOTES:

- Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.P. Southern Pine, kiln dried, 19% maximum M.C., or approved alternate.
- Applicable specifications:
 - National Design Specification for stress graded lumber and its fastening (NDS).
 - Design specifications for light metal plate connected wood trusses (TPI-Latest edition)
- Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
- Submittals:
 - Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
 - Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
- All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
- Connector plates shall be galvanized.
- Timber trusses shall be designed in accordance with BOCA and ASCE 7-98.
- Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI-latest edition).
- Trusses shall be designed for all potential load combinations of the loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.

TIMBER FRAMING:

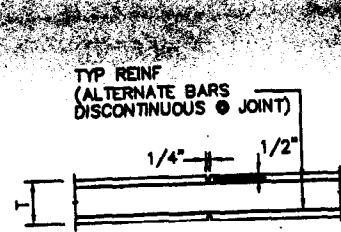
- All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) -latest edition.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
- Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWPA C-18.
- Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Provide Simpson H3 hurricane anchors where timber framing and/or trusses bear on structural steel beams.
- Nothing not specified shall conform with BOCA 1999.
- Exterior wall sheathing shall be 1/2" thick APA rated sheathing fastened with 10d nails @ 4'-0" o.c. at panel edges and 6" o.c. intermediate, (typ unless otherwise noted)
- Floor decking shall be 3/4" thick APA rated "STURDI-FLOOR" plywood sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
- Roof sheathing shall be 5/8" thick APA rated sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
- All 2 x P.T. all plates shall be installed on all aceler.

L & L STRUCTURAL ENGINEERING SERVICES, INC.
 500 S. STREET
 SOUTH PORTLAND, MAINE 04106
 PHONE: (207) 797-8400
 FAX: (207) 798-5432
 EMAIL: info@l-l-structural.com

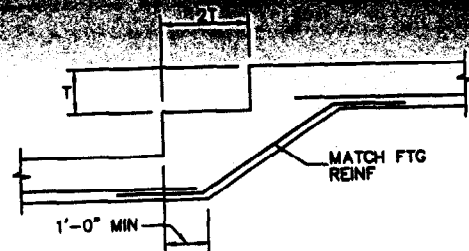
OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 GENERAL NOTES
 UNITS 13, 14, 15, & 16

Designed by: []	Checked by: []	Scale: []	Date: []
Drawn by: []	Scale: []	Scale: []	Scale: []
Scale: []	Scale: []	Scale: []	Scale: []
Scale: []	Scale: []	Scale: []	Scale: []

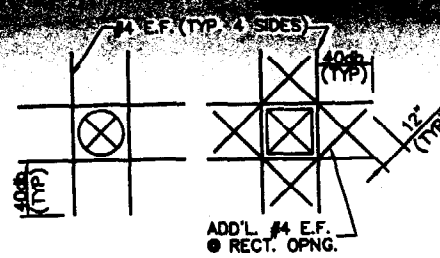
S1



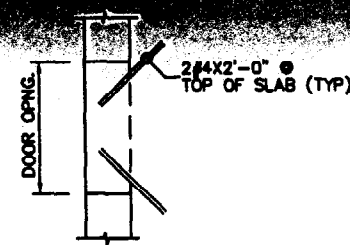
TYP CONTROL JOINT IN WALL
N.T.S.



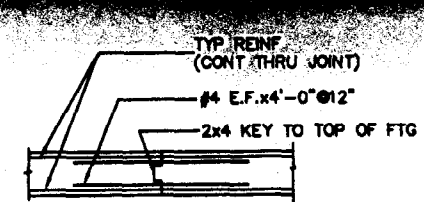
TYP STEP FOOTING DETAIL
N.T.S.
NOTE: T = FOOTING THICKNESS



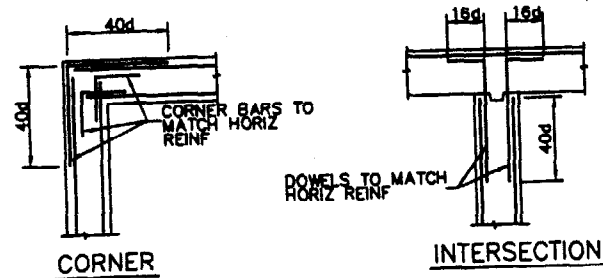
TYP. OPENING IN WALL OR SLAB
N.T.S.
NOTE: OPENING IN SLAB APPLIES @ ALL OPENINGS



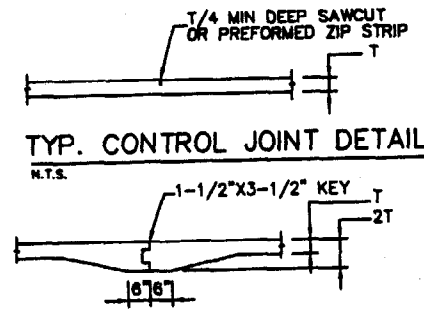
TYP. SLAB CORNER DETAIL @ DOOR N.T.S.
NOTE: PROVIDE 2#4x4'-0" (TOP) IN SLAB AT INSIDE CORNERS. SEE PLAN. INCLUDING STAIRS, & HVAC OPENINGS. PLACE REIN IN MIDDLE OF SLAB @ SLAB OPENINGS.



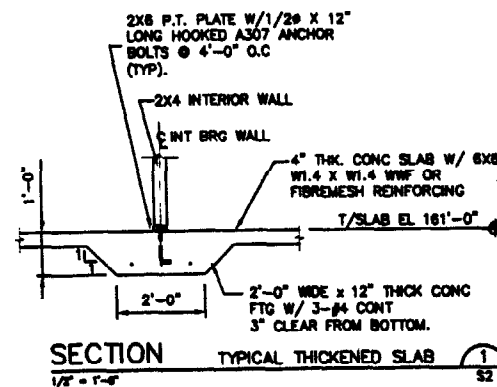
TYP. CONSTRUCTION JOINT IN WALL N.T.S.
NOTES:
1. CONST JOINT DOES NOT EXTEND THRU FTG
2. DISTANCE BETWEEN CONST JOINTS IN STRAIGHT LENGTHS OF WALL NOT TO EXCEED 60'-0"



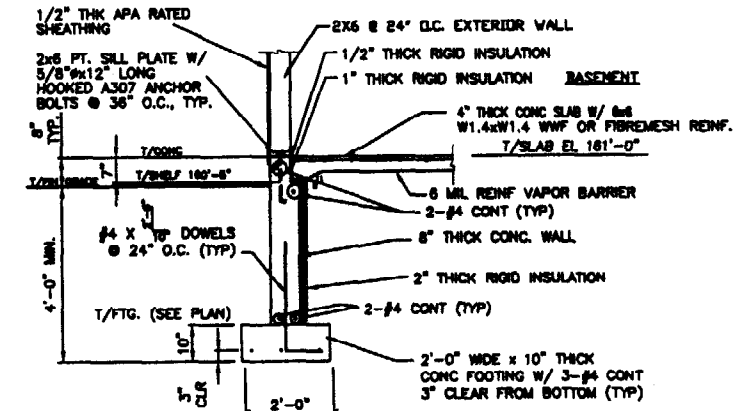
TYP WALL REIN DETAILS
N.T.S.



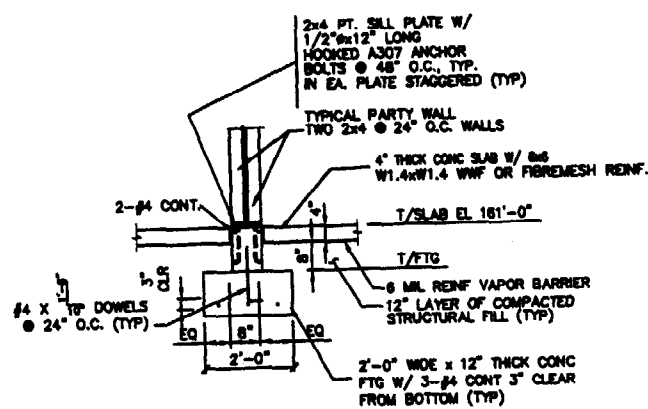
TYP. CONTROL JOINT DETAIL N.T.S.
N.T.S.
1-1/2"x3-1/2" KEY
T
2T



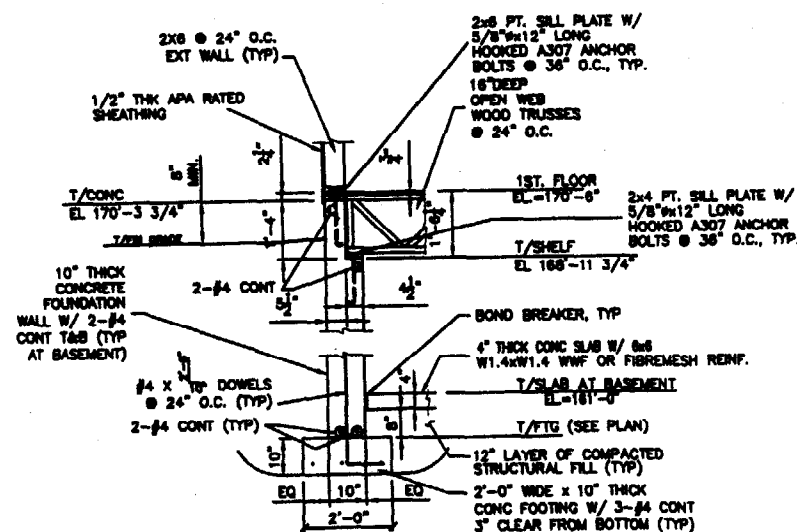
SECTION TYPICAL THICKENED SLAB 1/2" = 1'-0" 52



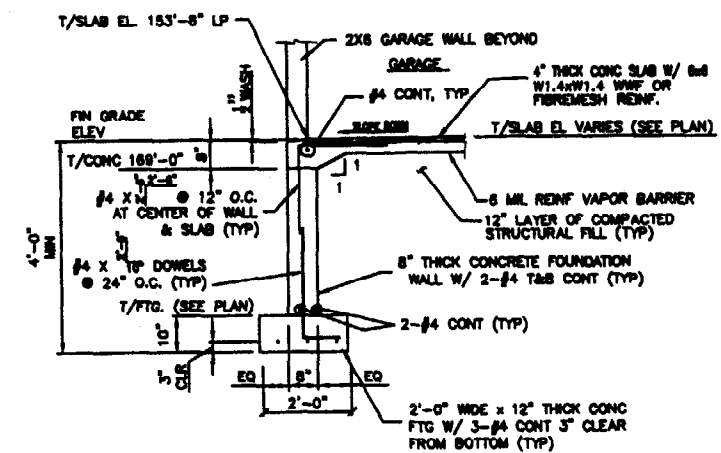
SECTION TYPICAL EXTERIOR FROST WALL 2/32



SECTION TYPICAL PARTY WALL 3/32 1/2" = 1'-0"



SECTION TYPICAL BASEMENT WALL AT FLOOR TRUSS BEARING 4/32 1/2" = 1'-0"

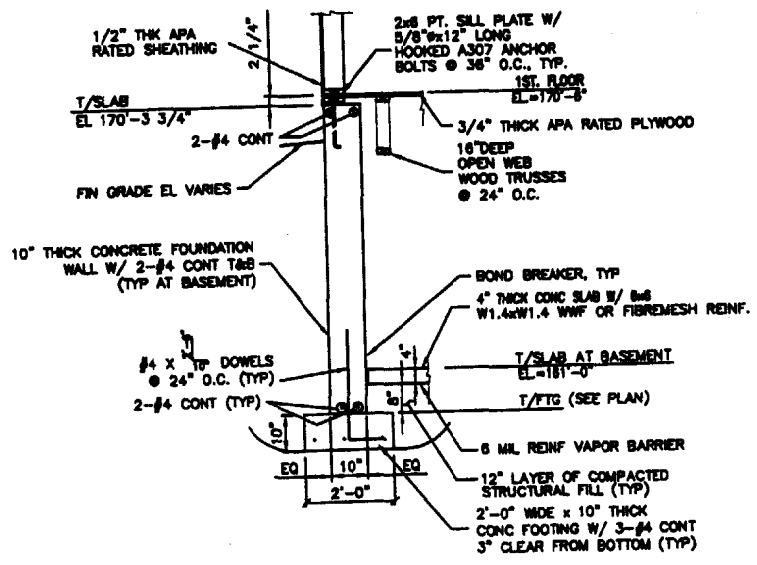


SECTION TYPICAL GARAGE ENTRY SLAB 5/32 1/2" = 1'-0"

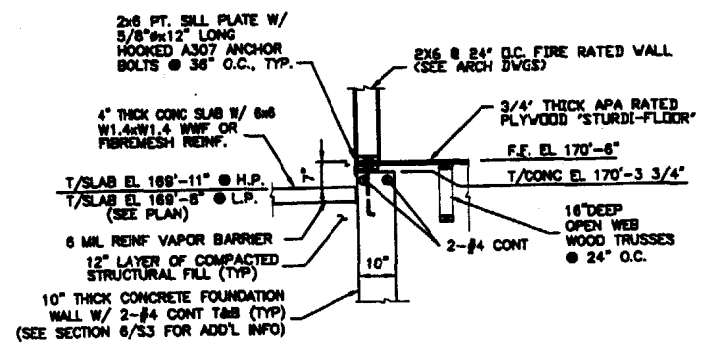
L & L STRUCTURAL ENGINEERING SERVICES, INC
SIX O STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4330
(207) 768-5432
FAX: (207) 768-5432
EMAIL: Lengineering@earthlink.net

OCEAN RIDGE CONDOMINIUMS
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PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 13, 14, 15, & 16

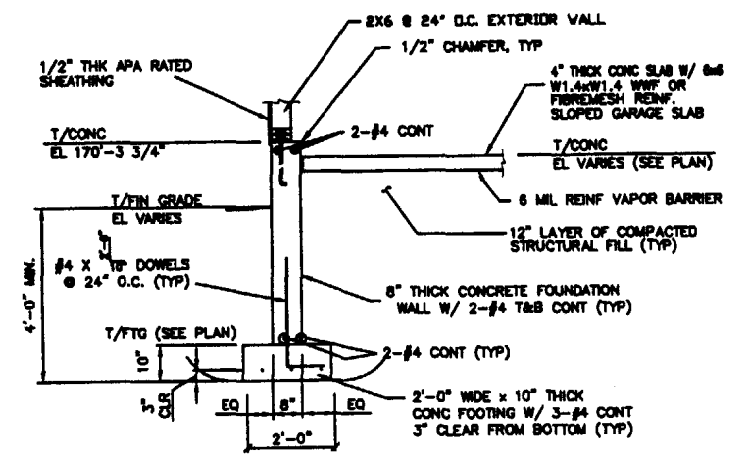
S3



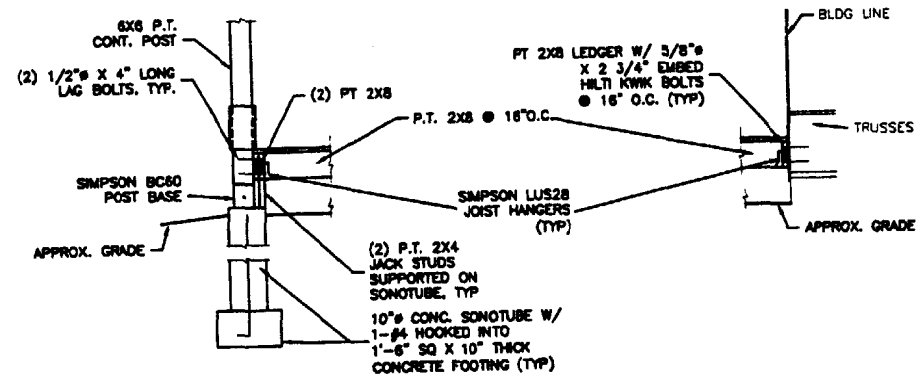
SECTION 6 TYPICAL BASEMENT WALL PARALLEL TO FLOOR TRUSSES
1/2" = 1'-0"



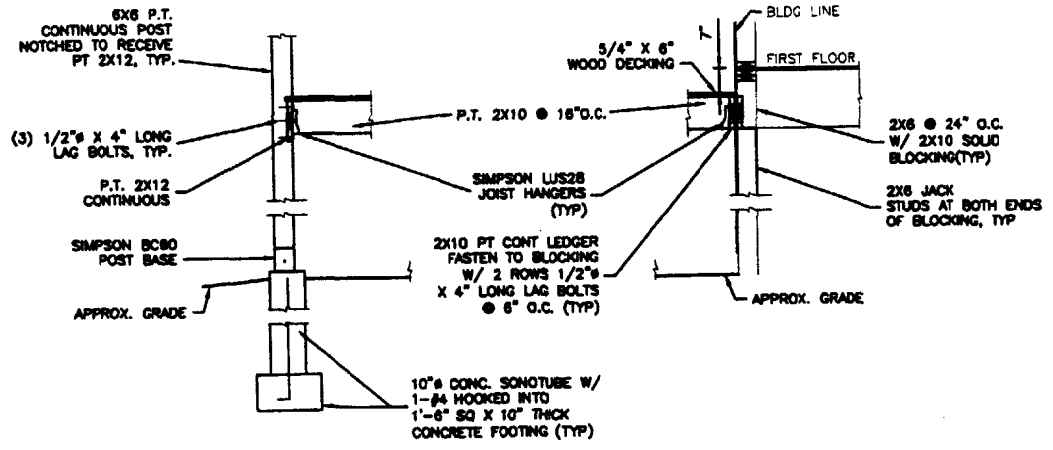
SECTION 7 TYPICAL BASEMENT WALL ADJACENT TO GARAGE
1/2" = 1'-0"



SECTION 8 TYPICAL GARAGE SIDE WALLS
1/2" = 1'-0"



SECTION 9 TYPICAL ENTRY PORCHES
1/2" = 1'-0"

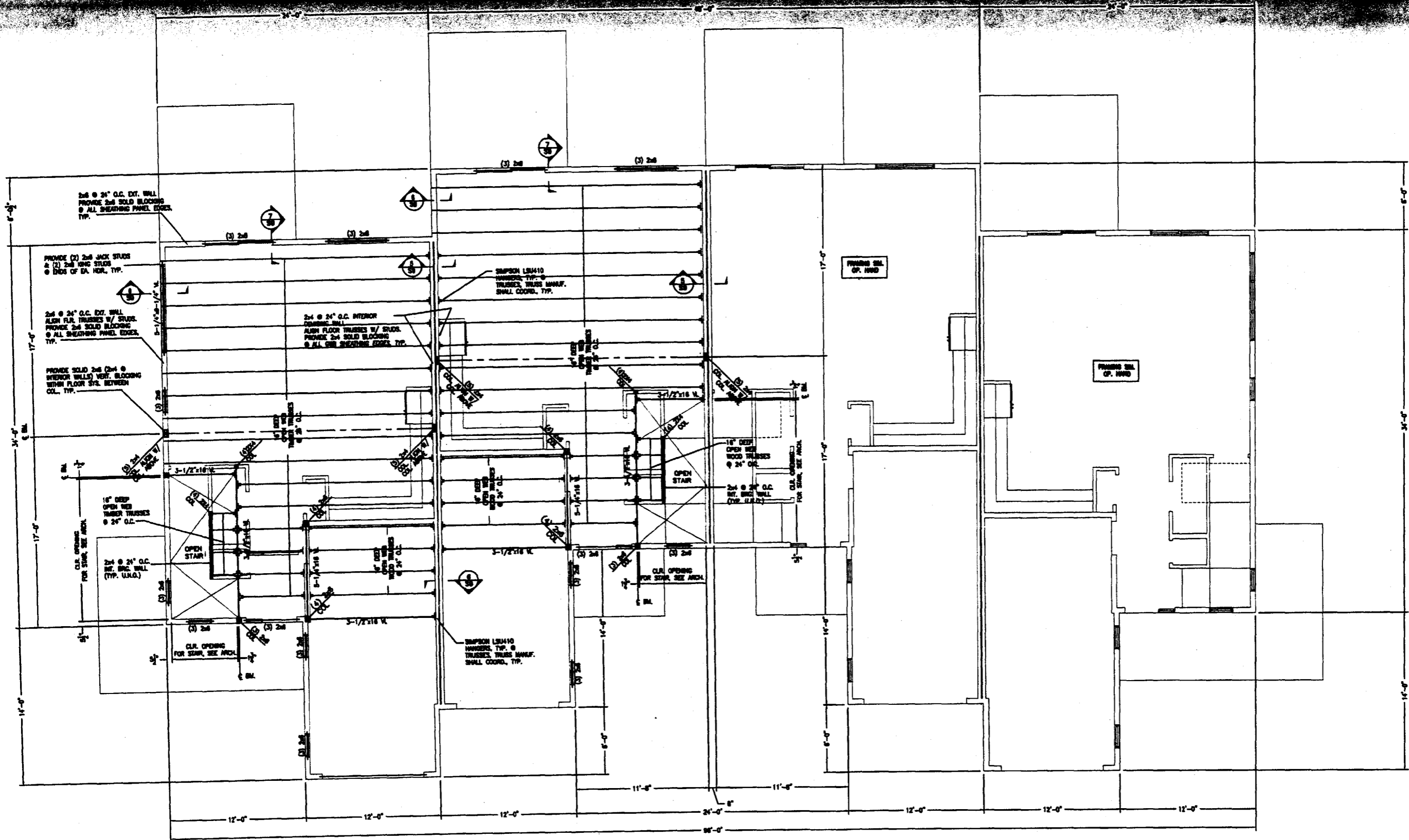


SECTION 10 TYPICAL UNIT DECKS
1/2" = 1'-0"

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ENGINEERING SERVICES, INC.
615 O STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4630
FAX: (207) 796-5432
EMAIL: L.L.Engineering@earthlink.net

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S4



SECOND FLOOR FRAMING PLAN
1/4"=1'-0"

- NOTES:**
1. SEE GENERAL NOTES ON S1.
 2. "M" INDICATES VERBAL BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
 3. PROVIDE 2x6 JACK STUDS PLUS 2x4 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS (TYP. U.L.O.)

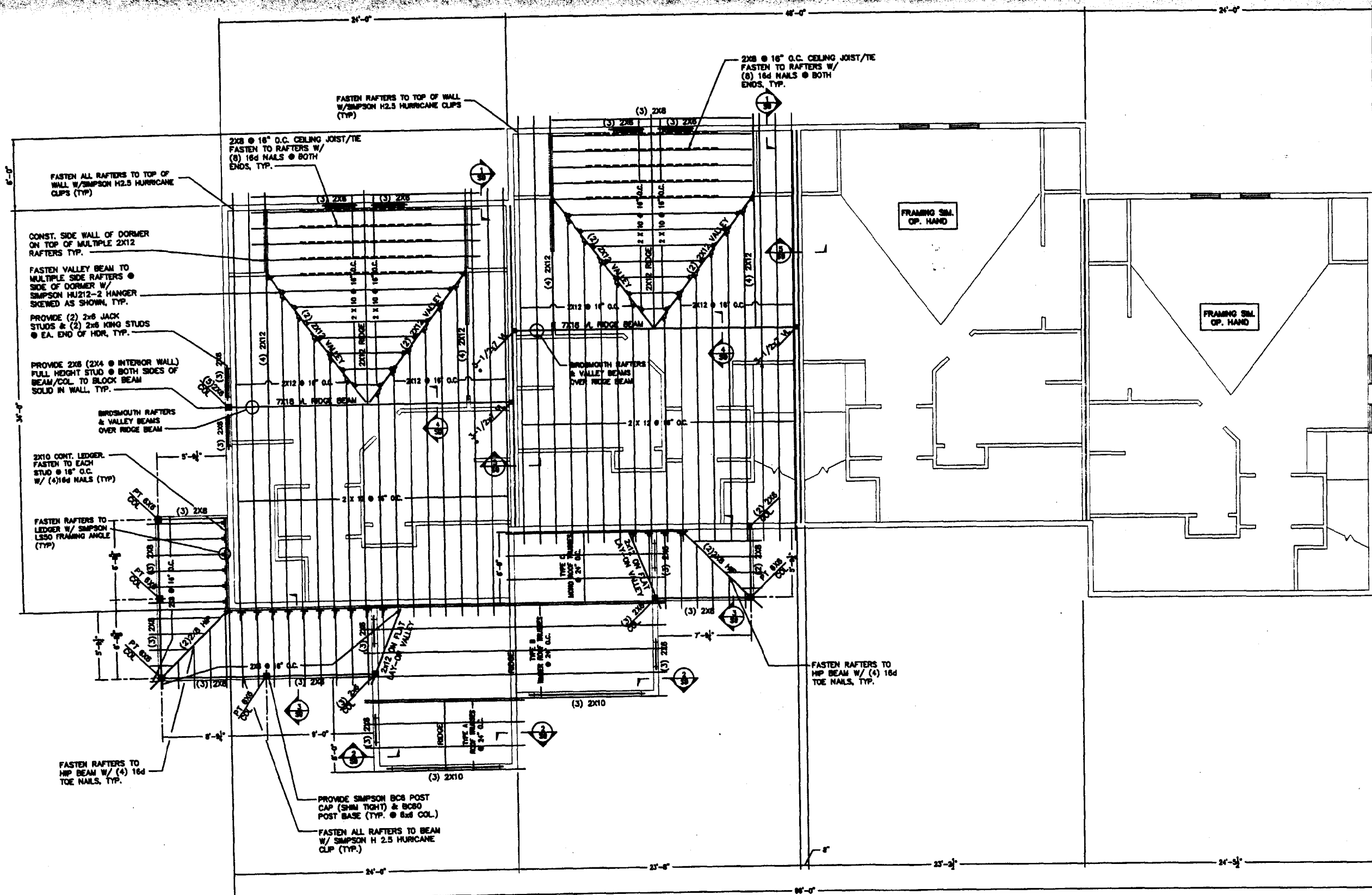
LEGEND
BEARING WALL

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**
SIX O STREET
SOUTH PORTLAND, MAINE 04105
PHONE: (207) 787-4330
FAX: (207) 786-5432
EMAIL: Lem@lengr.com

REV.	DATE	DESCRIPTION

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR FRAMING PLAN
UNITS 13, 14, 15 & 16





ROOF FRAMING PLAN
1/4"=1'-0"

- NOTES:**
- SEE GENERAL NOTES ON S1.
 - "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOSSÉ CASCHIES COMP. OR APPROVED EQUAL.
 - * INDICATES COLUMN PROPERTIES SHALL BE "VERSA-LAM BEM" 3000 P# OF (E-2.2x10" P#1 AND P#-3000 P#).
 - ROOF TRUSS LOADING SHALL BE AS FOLLOWS:
 TOLL-40 PSF TOLL-40 PSF
 TOLL-10 PSF TOLL-10 PSF
 BOLL-10 PSF BOLL-10 PSF
 BCDC-10 PSF BCDC-10 PSF
 TRUSS TYPE "X" @ 24" O.C. TRUSS TYPE "W" AND "V" @ 24" O.C.

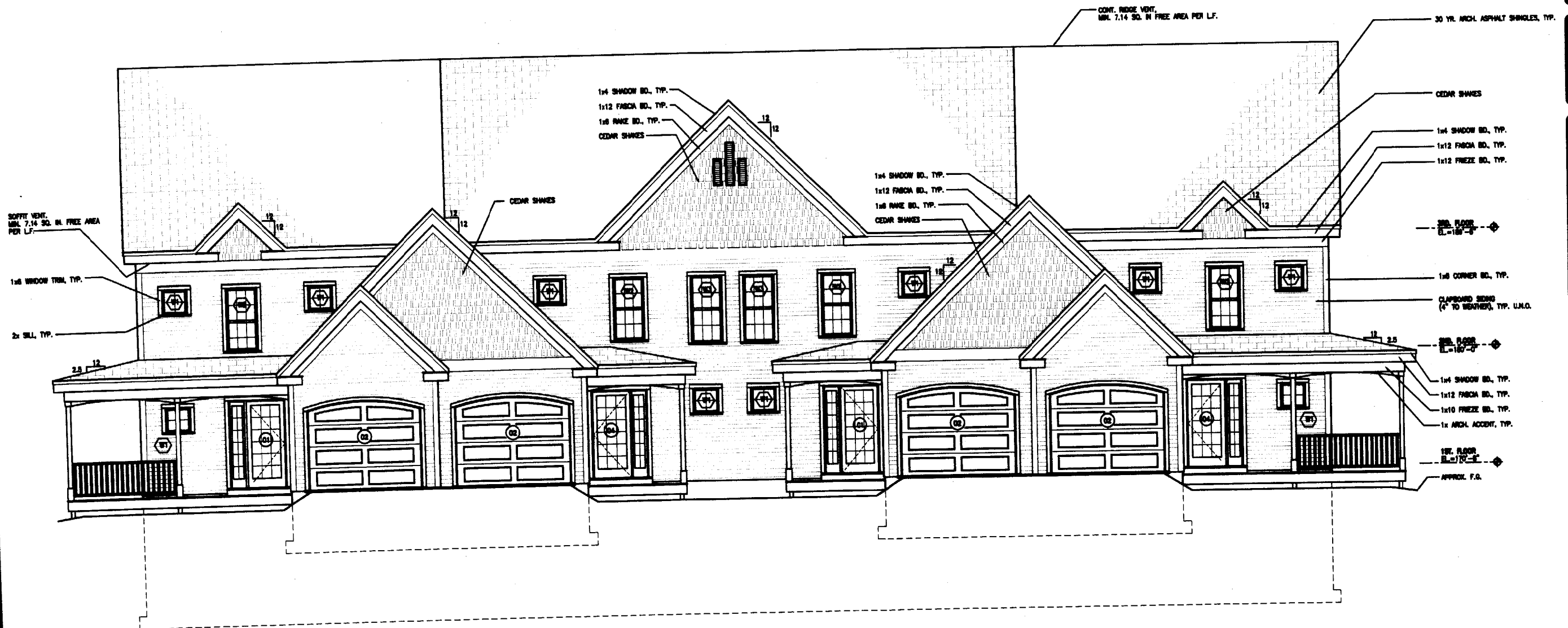
LEGEND
BEARING WALL ———

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**
SIX Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
FAX: (207) 769-5432
EMAIL: l.l.engineering@earthlink.net

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
ROOF FRAMING PLAN
UNITS 13, 14, 15, & 16



REVISIONS

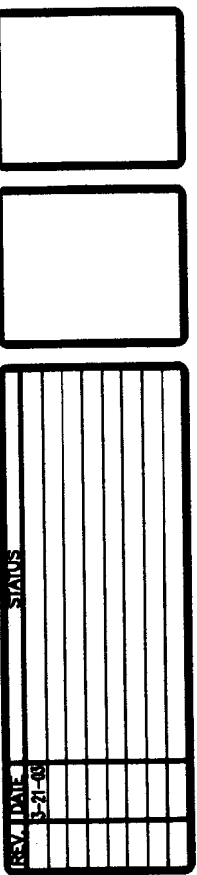


SOUTH ELEVATION
1/4"=1'-0"

ATTIC VENTILATION

MIN. ROOF	REQ'D. TOTAL FREE AREA	SG. IN/L.F.
RIDGE	1.10 SF.	7.14
SOFFIT	1.10 SF.	7.14
3RD. FLOOR DORMERS (EA.)		
RIDGE	0.3 SF.	(SEE A7)
SOFFIT	0.3 SF.	(SEE A7)

NOTE:
IF GRAVITY VENTILATION CANNOT BE ACHIEVED, ADDITIONAL GABLE END VENTS FOR UPPER LEVELS REQUIRED VENTILATION OR MECHANICAL MEANS MUST BE EMPLOYED TO PROVIDE REQ'D. VENTILATION.

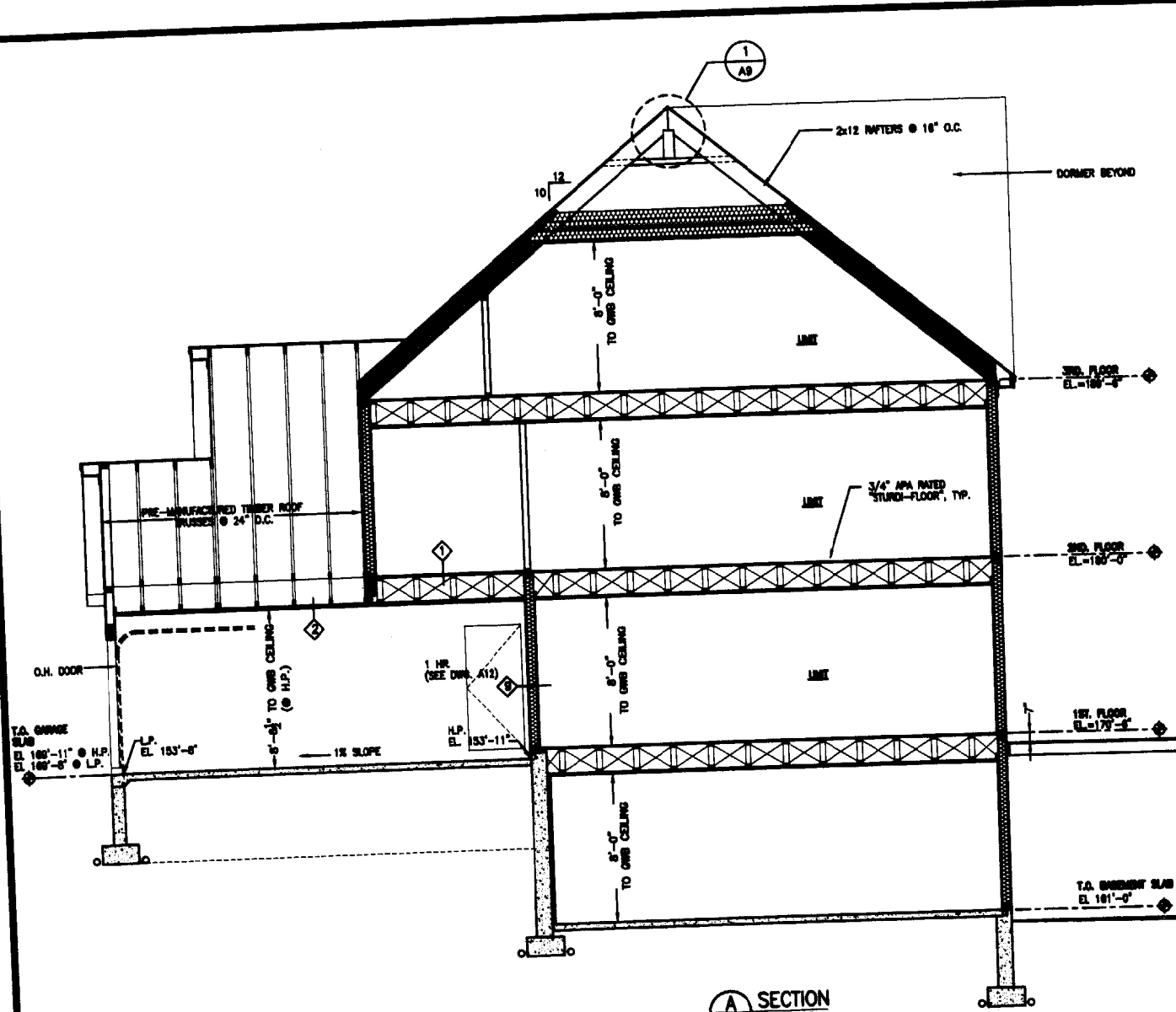


JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

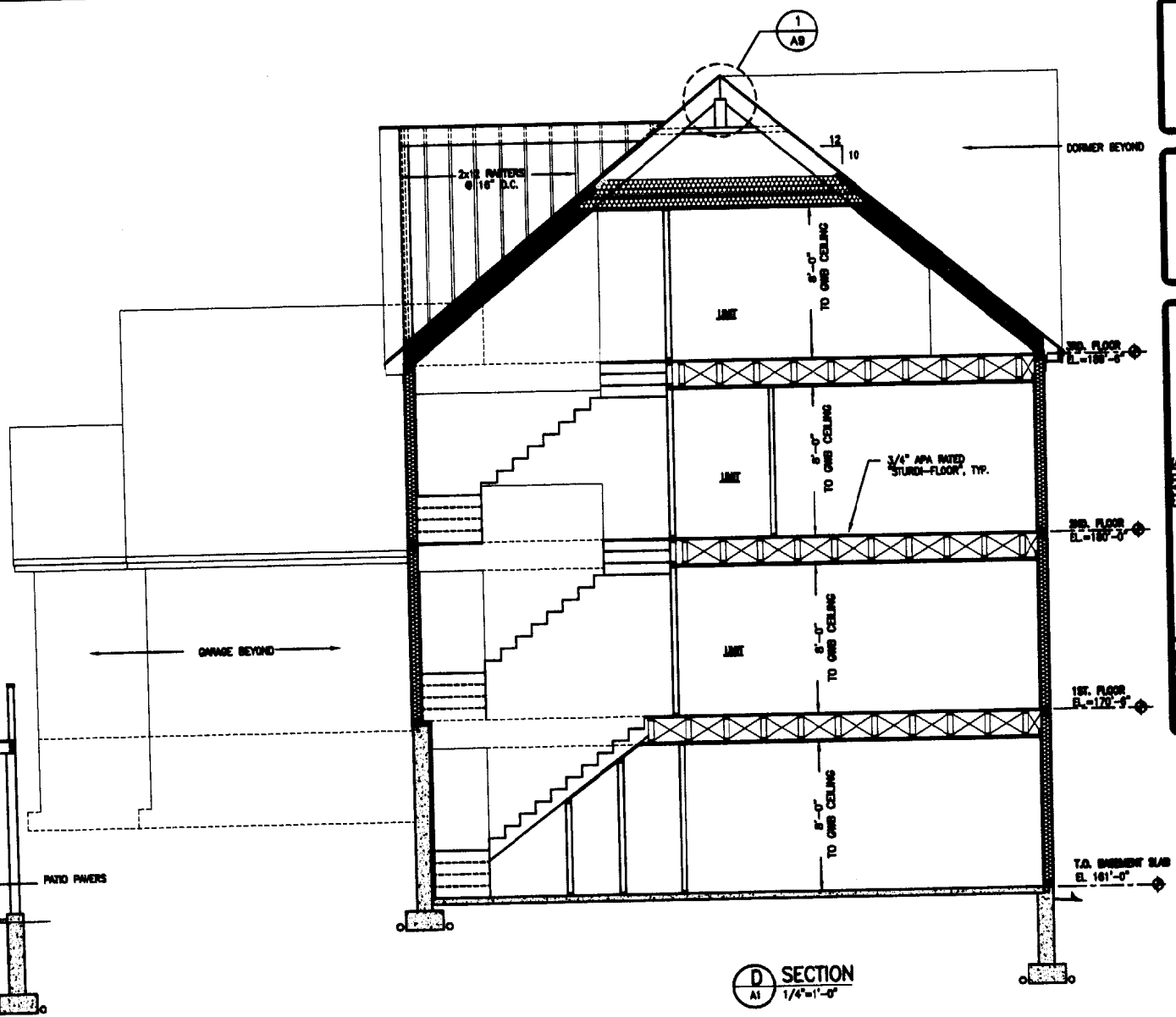


OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SOUTH ELEVATION
UNITS 13, 14, 15, & 16

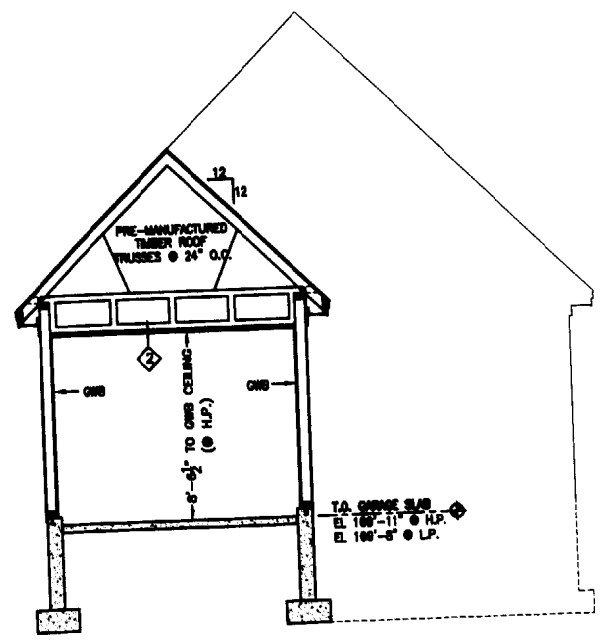
A6



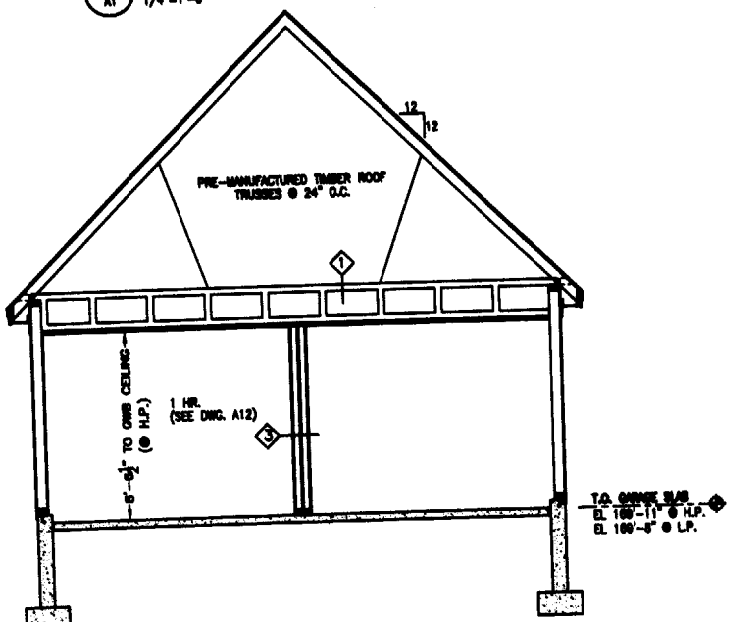
A SECTION
1/4"=1'-0"



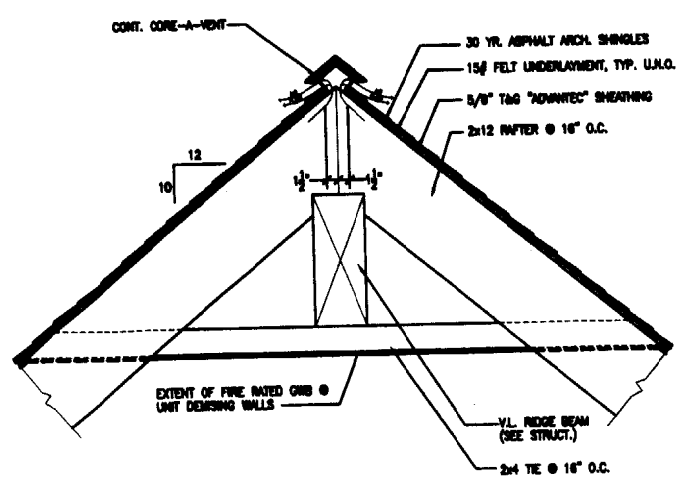
D SECTION
1/4"=1'-0"



B SECTION
1/4"=1'-0"



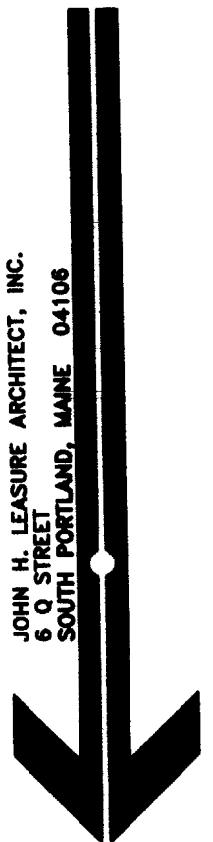
C SECTION
1/4"=1'-0"



RIDGE VENT
1"=1'-0"

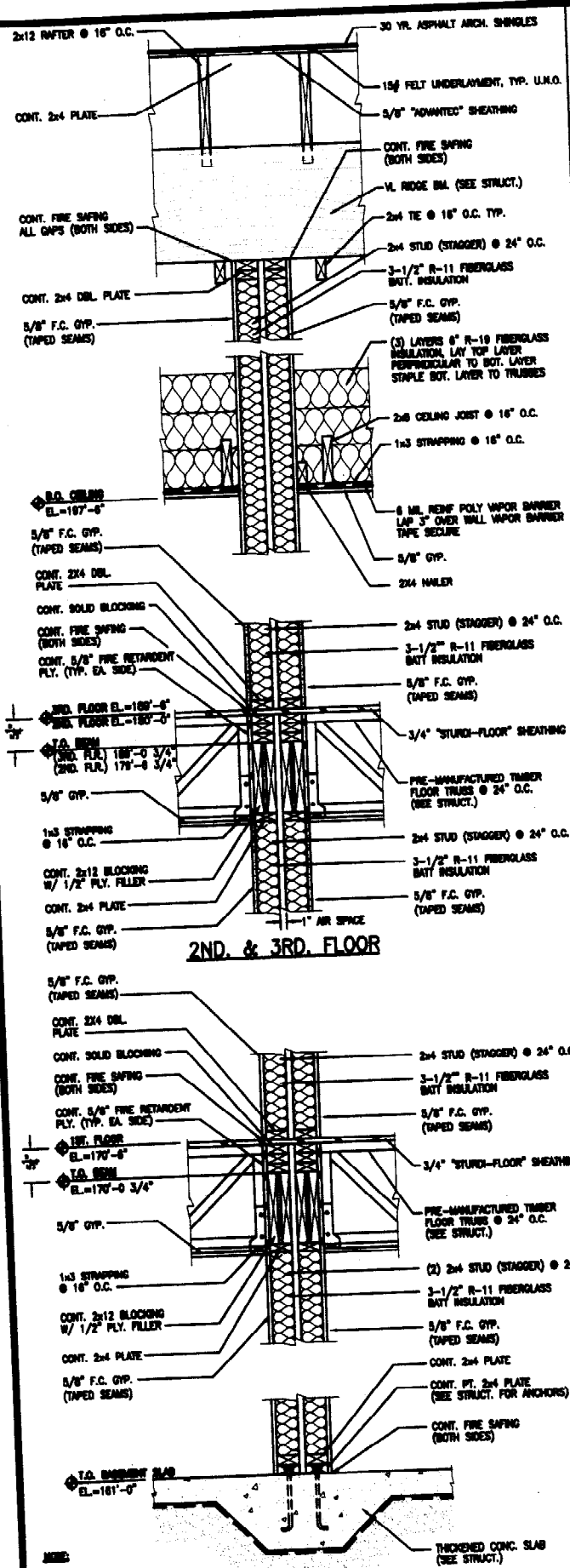
STATUS
REV. DATE

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6 Q STREET
SOUTH PORTLAND, MAINE 04106

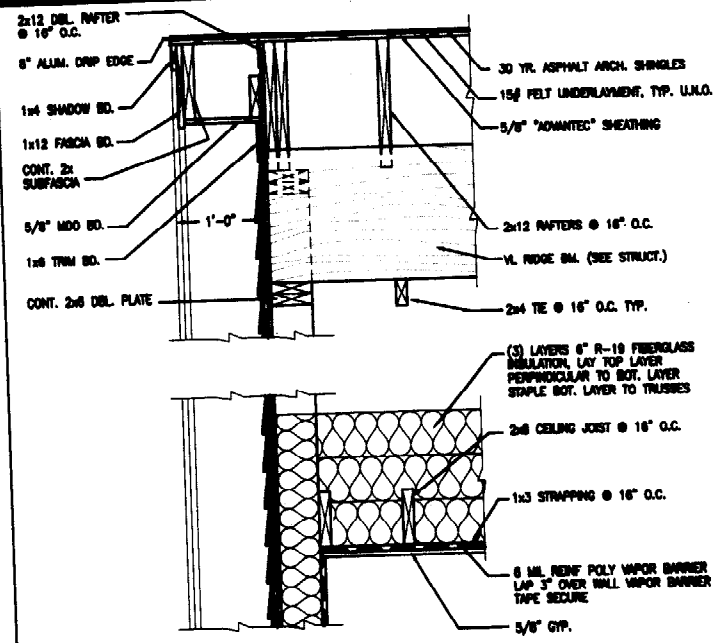


OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
BUILDING SECTIONS
UNITS 13, 14, 15, & 16

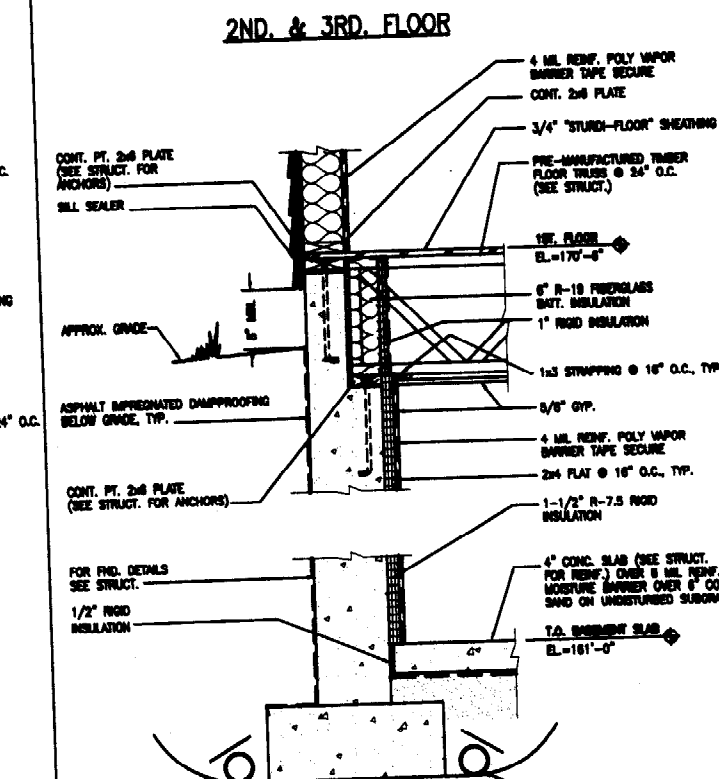
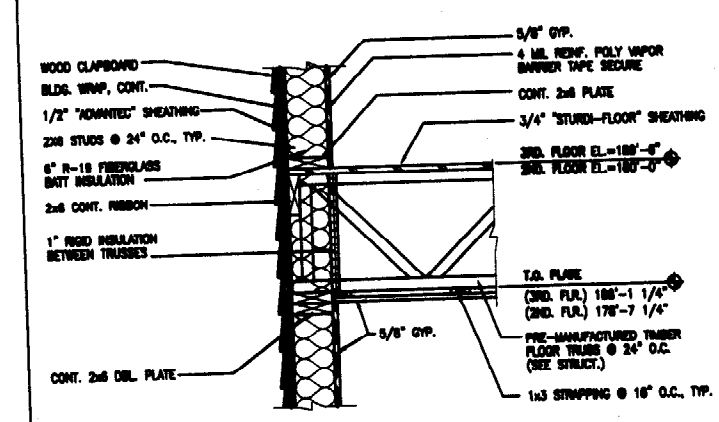
A9



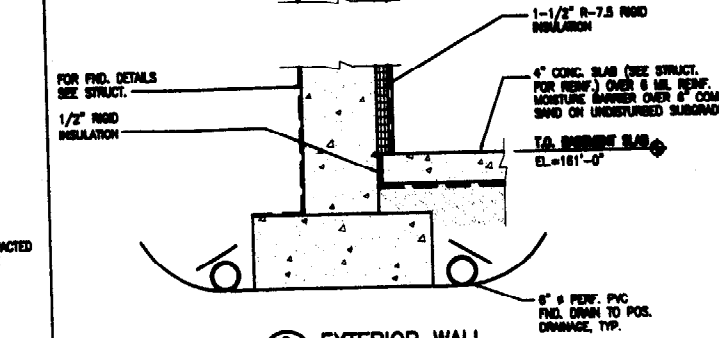
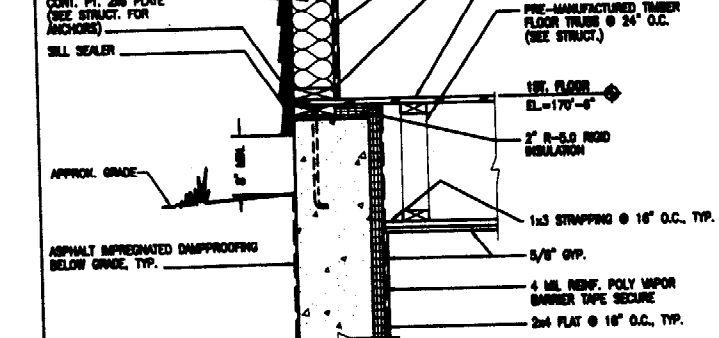
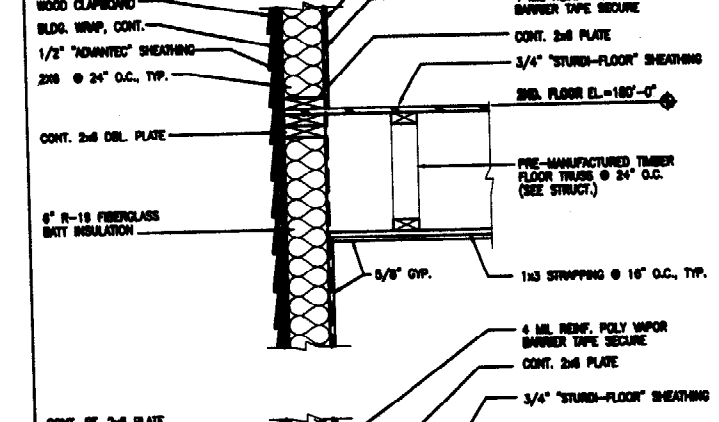
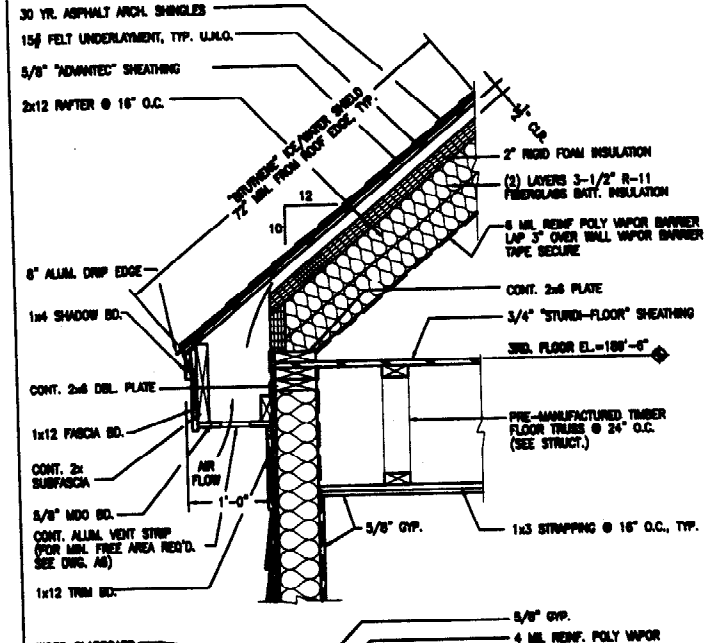
(A) 1 HR. FIRE RATED DEMISING WALL
1'-11\"/>



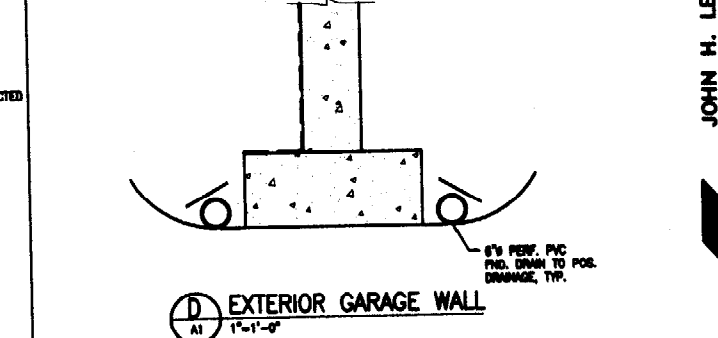
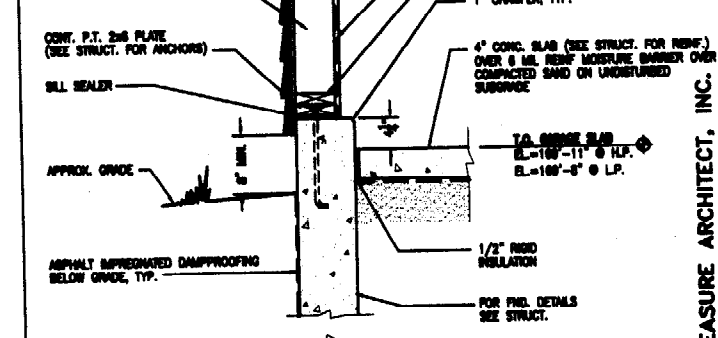
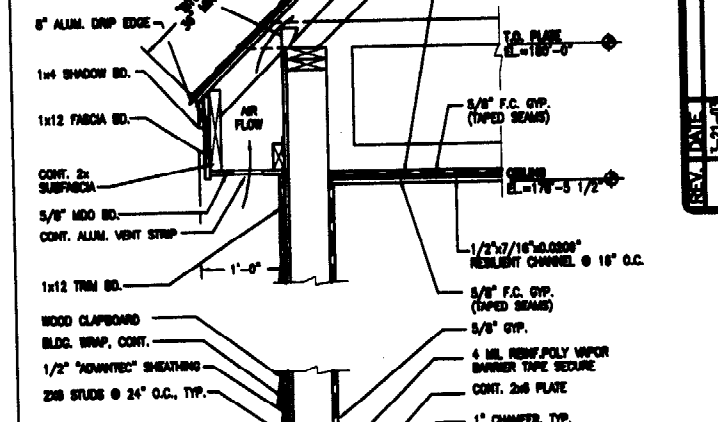
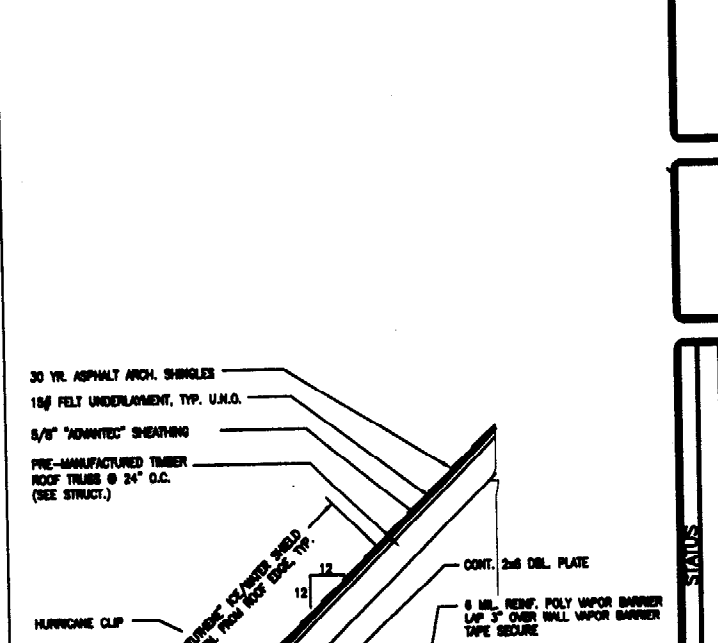
2ND. & 3RD. FLOOR



(B) EXTERIOR CABLE END WALL
1'-11\"/>



(C) EXTERIOR WALL
1'-11\"/>



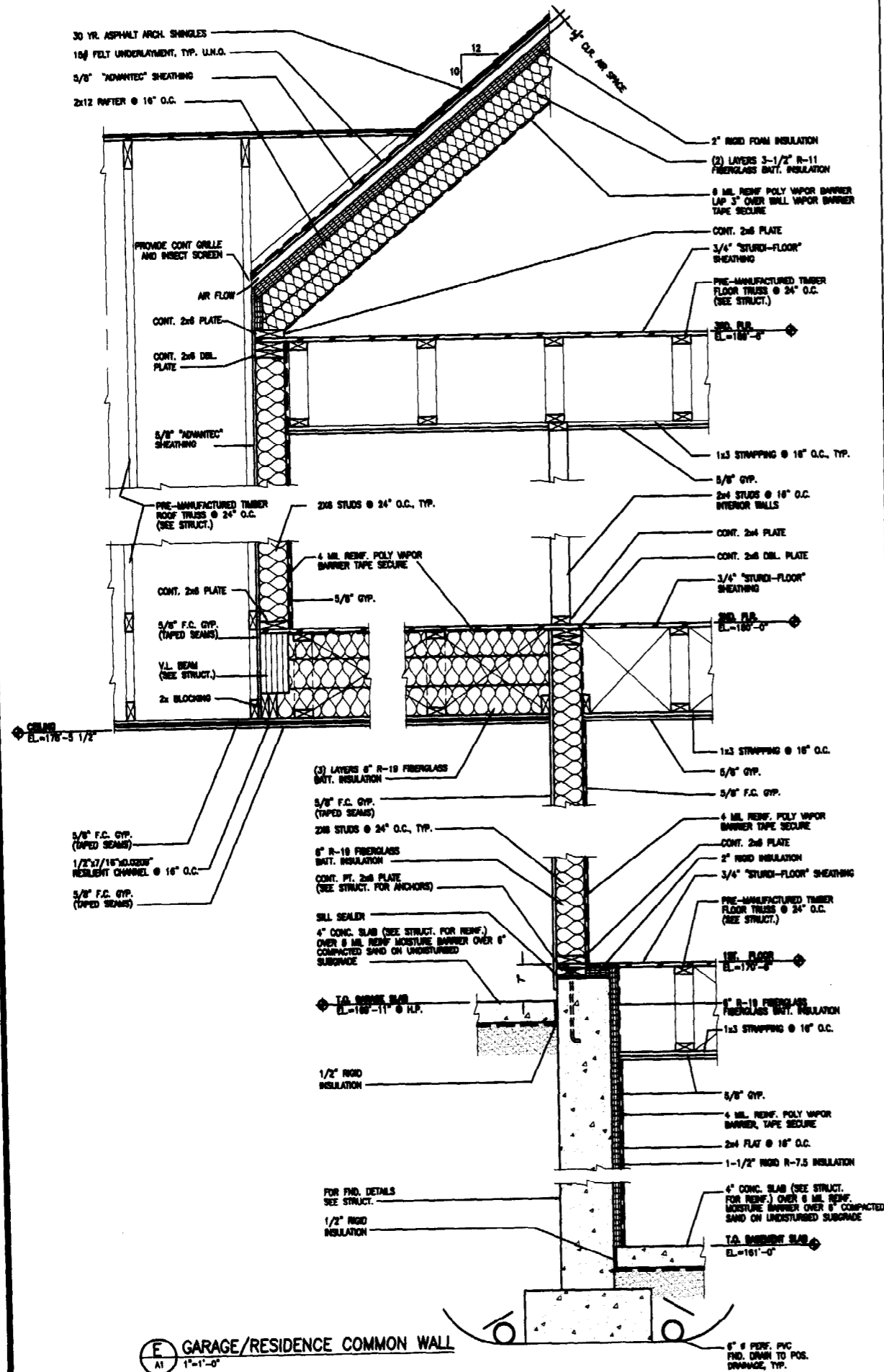
(D) EXTERIOR GARAGE WALL
1'-11\"/>

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECTIONS & DETAILS
UNITS 13, 14, 15, & 16

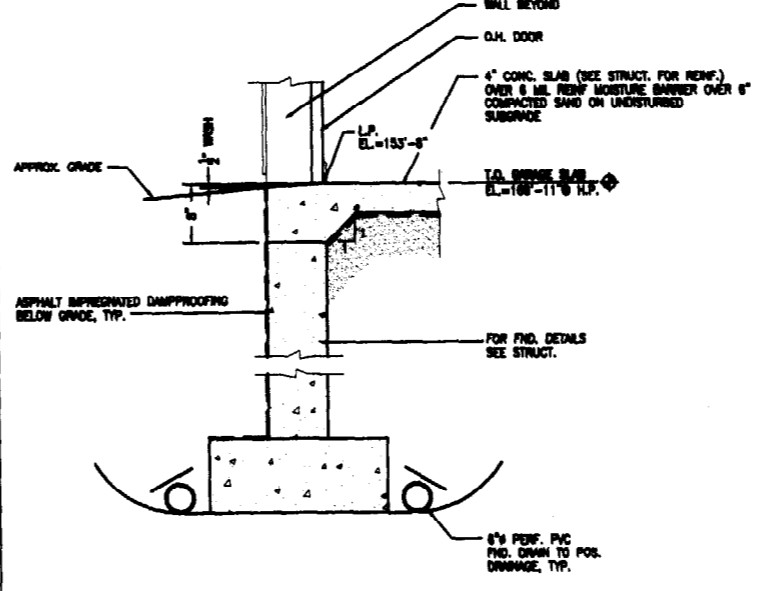
REV.	DATE	STATUS

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

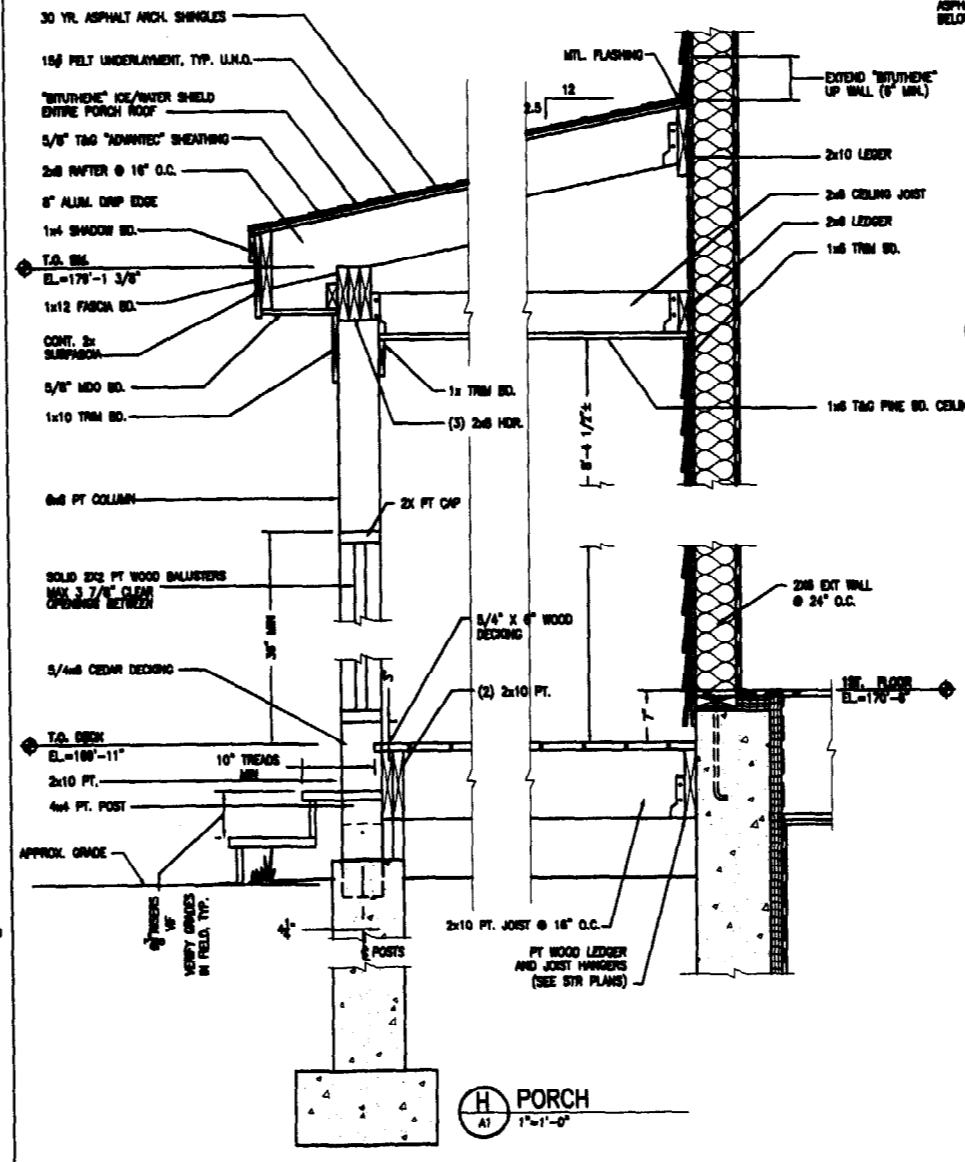
A10



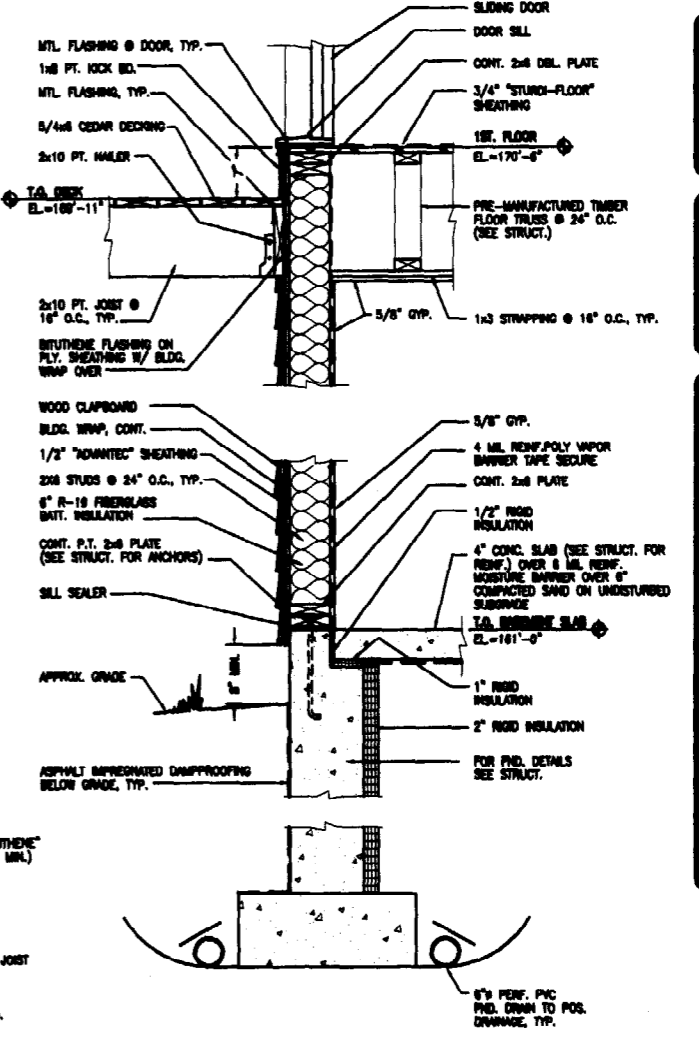
E GARAGE/RESIDENCE COMMON WALL
1/4" = 1'-0"



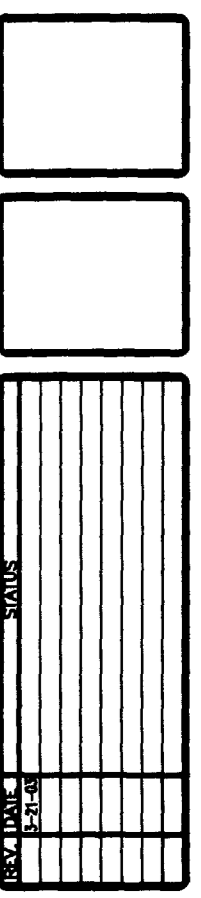
F THICKENED SLAB @ O.H. DOOR
1/4" = 1'-0"



H PORCH
1/4" = 1'-0"



G DAYLIGHT BASEMENT WALL
1/4" = 1'-0"



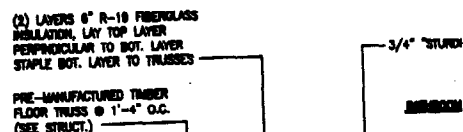
I STAIR
1/4" = 1'-0"

JOHN H. LEASURE ARCHITECT, INC.
6 O STREET
SOUTH PORTLAND, MAINE 04106

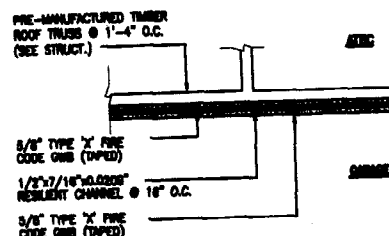
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
BASEMENT FLOOR PLAN
UNITS 13, 14, 15, & 16

A11

CEILING TYPES



1 CEILING
(1 HR. FIRE RATED)



2 CEILING
(1 HR. FIRE RATED)

FIRE RESISTANCE CHANGES

BASE LAYER 5/8" TYPE 'X' GIB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 6d NAILS 2-1/2" LONG, 0.113" SPACED, 18/64" HEADS, 7" O.C. ALL SEAMS TAPED.

RESILIENT FLUING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 6d NAIL, 2-1/2" LONG, 0.113" SPACED, 18/64" HEADS, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GIB APPLIED AT RIGHT ANGLES TO RESILIENT FLUING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

FIRE RESISTANCE CHANGES

BASE LAYER 5/8" TYPE 'X' GIB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 6d NAILS 2-1/2" LONG, 0.113" SPACED, 18/64" HEADS, 7" O.C. ALL SEAMS TAPED.

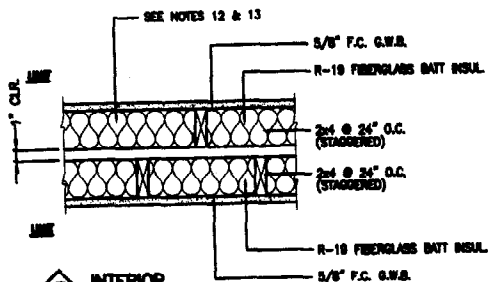
RESILIENT FLUING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 6d NAIL, 2-1/2" LONG, 0.113" SPACED, 18/64" HEADS, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GIB APPLIED AT RIGHT ANGLES TO RESILIENT FLUING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

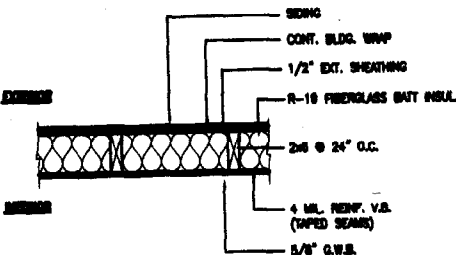
GENERAL NOTES

- 1 - ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS AND VERIFY PROPOSED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- 2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EXISTING CONDITIONS AND REQUIREMENTS TO MAINTAIN THE SAFETY OF THE BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION. THIS INCLUDES THE ASSIGNMENT OF RESPONSIBILITY FOR ANY EXISTING TEMPORARY BRACING, SHUTS OR SHORING. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- 3 - ALL WORK SHALL BE IN ACCORDANCE WITH AISC, BOCA 1990/94 NFPA 101, AND ALL LOCAL, STATE & FEDERAL REQUIREMENTS.
- 4 - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- 5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
- 6 - MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL STANDARDS.
- 7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MINIMUM 7 3/4" RISER AND A MINIMUM 10" DEEP TREAD.
- 8 - FINISHES SHALL BE DRYWALL, TAPED, SANDED AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS.
- 9 - COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/O.C. PRIOR TO PROCEEDING WITH WORK.
- 10 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.
- 11 - FIRE DOOR ASSEMBLY, INCLUDING THE DOORWAY, FRAME, DOOR AND NECESSARY HARDWARE SHALL CONFORM TO NFPA-101 SECTION 5-1.
- 12 - ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SLEEVED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE STOPPING MATERIAL IF NEEDED.
- 13 - VERTICAL OUTLETS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED AT THE MIDPOINT BETWEEN STUDS. NO OUTLETS SHALL BE LOCATED BEHIND JOIST BEARINGS.

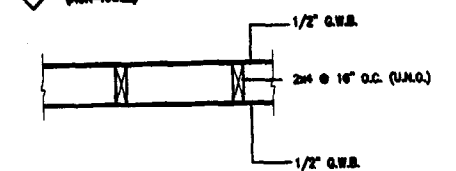
WALL TYPES



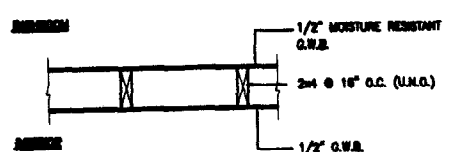
3 INTERIOR
(1 HR. FIRE RATED)



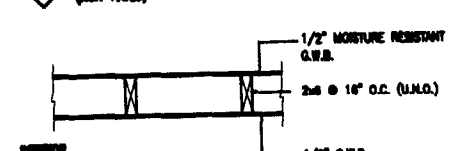
4 EXTERIOR
(NON-RATED)



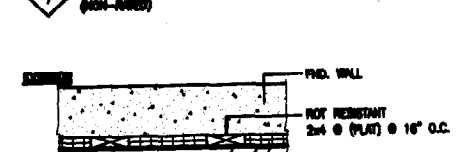
5 INTERIOR
(NON-RATED)



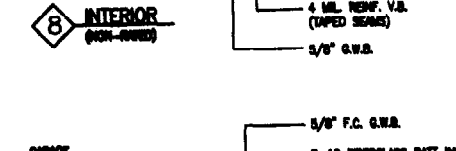
6 INTERIOR
(NON-RATED)



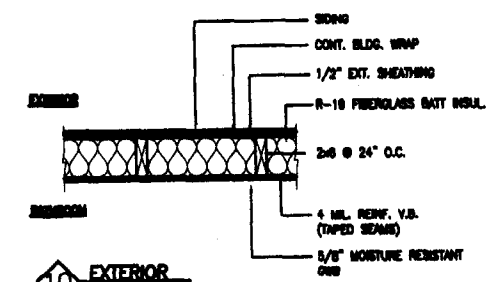
7 INTERIOR
(NON-RATED)



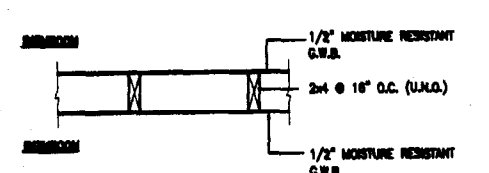
8 INTERIOR
(NON-RATED)



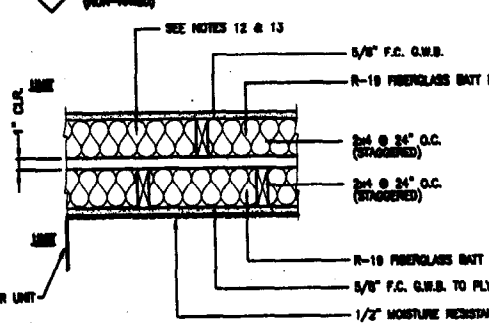
9 INTERIOR
(1 HR. FIRE RATED)



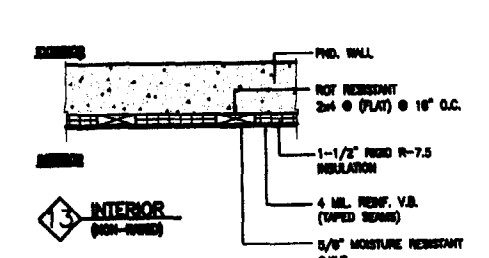
10 EXTERIOR
(NON-RATED)



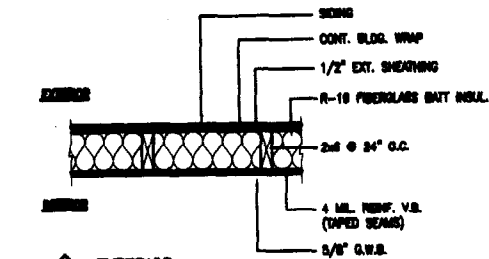
11 INTERIOR
(NON-RATED)



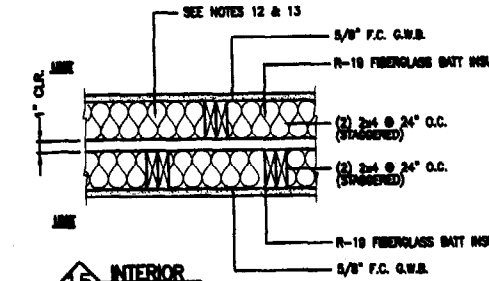
12 INTERIOR
(1 HR. FIRE RATED)



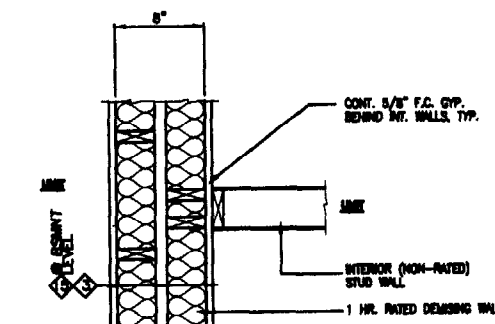
13 INTERIOR
(NON-RATED)



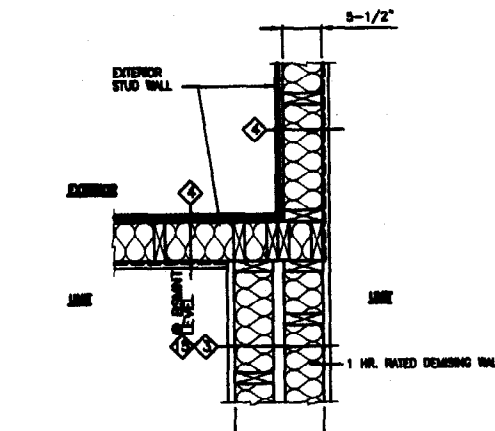
14 EXTERIOR
(NON-RATED)



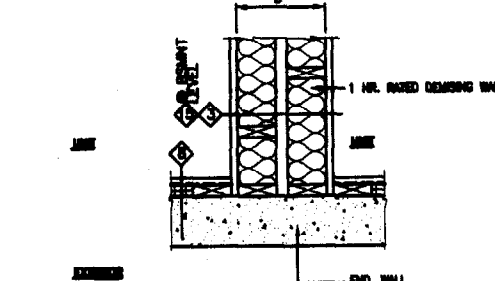
15 INTERIOR
(1 HR. FIRE RATED)



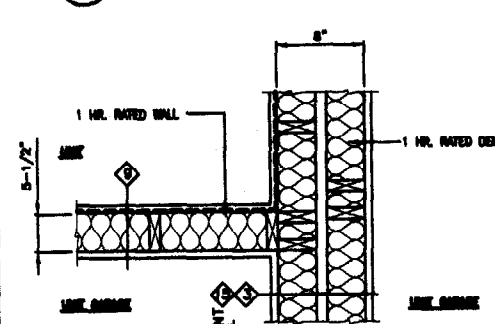
1 DEMISING WALL/INTERIOR WALL
A1, A2, A3, A4 N.T.S.



2 DEMISING WALL/EXTERIOR WALL
A1, A2, A3, A4 N.T.S.

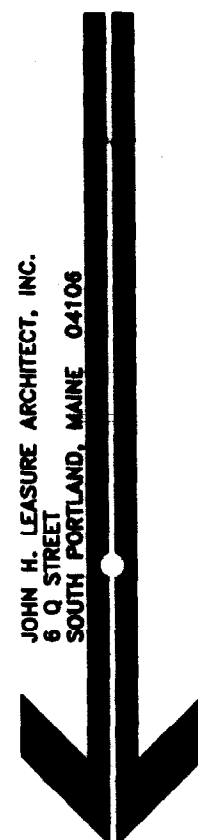
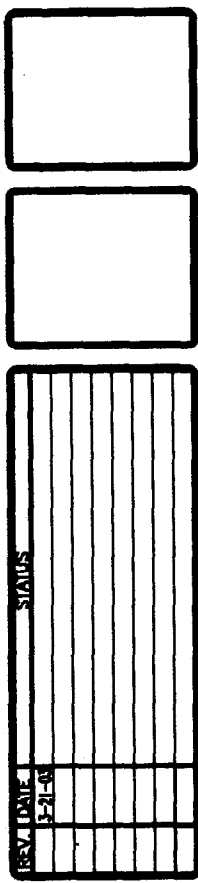


3 DEMISING WALL/FOUNDATION WALL
A3 N.T.S.



4 GARAGE/UNIT DEMISING WALL
A2 N.T.S.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
WALL TYPES & DETAILS
UNITS 13, 14, 15, & 16



JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

A12

DOOR SCHEDULE

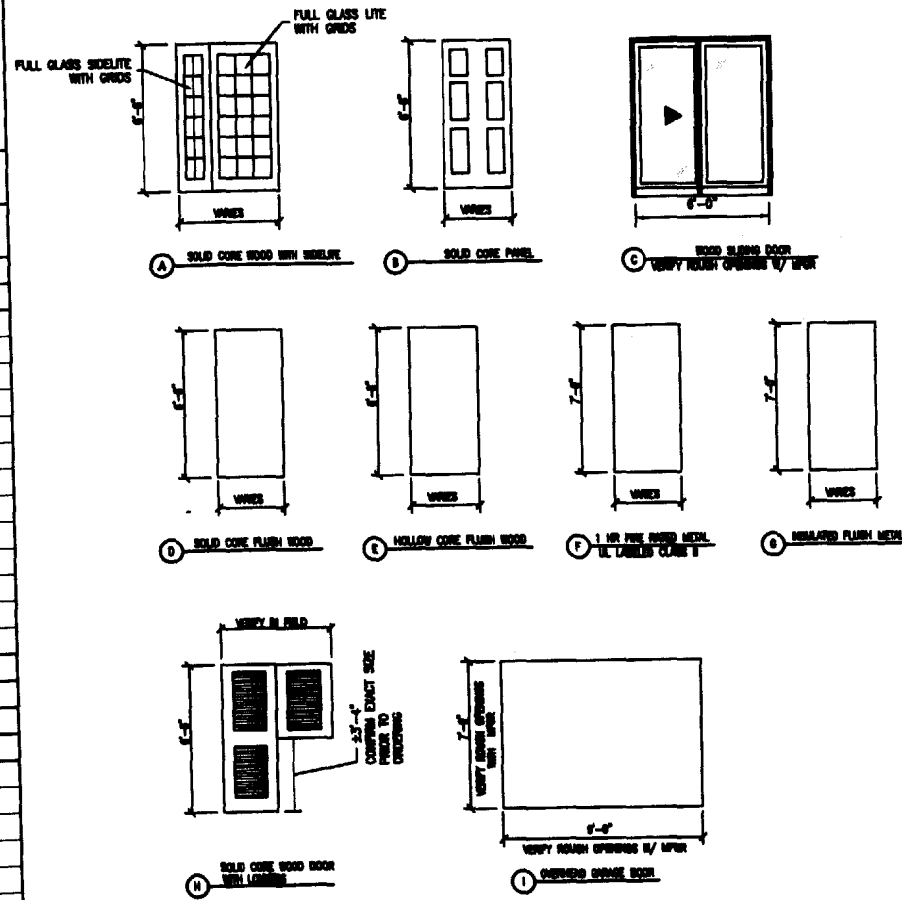
DOOR SCHEDULE ABBREVIATIONS

C.O. CLOSER	HWK HARDWARE	S. STEEL
D.K. DOOR KNOCKER	HM HOLLOW METAL	S.C. SOLID CORE HARDBOARD
D.S. DOOR SWEEP	INS INSULATED	S.H. SPRING HINGE
EHO ELECTRIC HOLD OPENER	K KNOCKPLATE (PUSH SIDE)	S.L. SPLIT LAMB (WOOD)
ES ELECTRIC STRIKE	KL KEY LOCK	TEMP TEMPERED
F.A.P. FINGER JOINTED PRIMED	MTL METAL	THK THICKNESS
FR FIRE RATED	NO NUMBER	WD WOOD (SOLID)
HA HANDICAP ACCESSIBLE	P.H. PANIC HARDWARE	WG WIRE GLASS
HC HOLLOW CORE HARDBOARD	P.P. PUSH/PULL	V VENEER

FIRST FLOOR

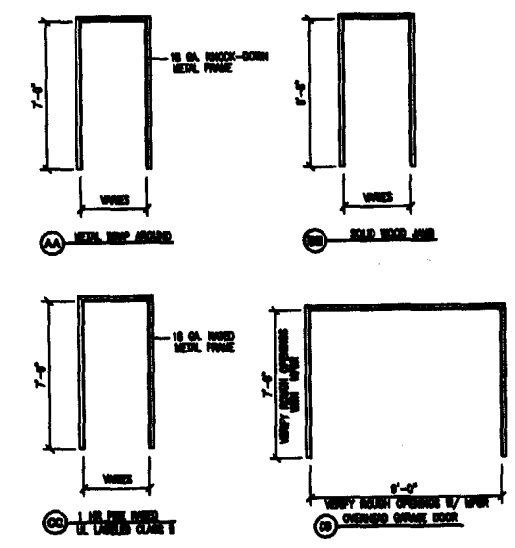
NO.	TYPE	SIZE	THK.	F.R.	HDWE SET	MAT.	GLASS		REMARKS	FRAME TYPES			THRESHOLD		
							SIZE	TYPE		TYPE	MAT.	F.R.	DETAILS	MAT.	DETAIL
										HEAD	JAMB	SILL	HT.		
01	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
02	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	PASSAGE SET	BB	WOOD	-	-	-	-
03	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
04	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
05	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
06	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	PASSAGE SET	BB	WOOD	-	-	-	-
07	A	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	INS. KL. V. TEMP. DS. DK	BB	WOOD	-	-	-	-
08	I	6'-0" x 7'-0"	-	-	INSUL	WOOD	-	-	INSUL. G.H. GARAGE DOOR	BD	WOOD	-	-	-	-
09	C	6'-0" x 6'-6"	-	-	MFR	WOOD	-	-	INS. TEMP	BB	WOOD	-	-	-	-
10	F	3'-0" x 7'-0"	1 3/4"	1 HR.	KNOB	NSGA MTL	-	-	INS. SH. OS	CC	MTL	-	-	-	-
11	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
12	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
13	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
14	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
15	F	3'-0" x 7'-0"	1 3/4"	1 HR.	KNOB	NSGA MTL	-	-	INS. SH. OS	BB	WD	-	-	-	-
16	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
17	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
18	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
19	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
20	B	PR 3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
21	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
22	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
23	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
24	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
25	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
26	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
27	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
28	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
29	B	PR 1'-4" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
30	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
31	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
32	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
33	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
34	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-

DOOR TYPES

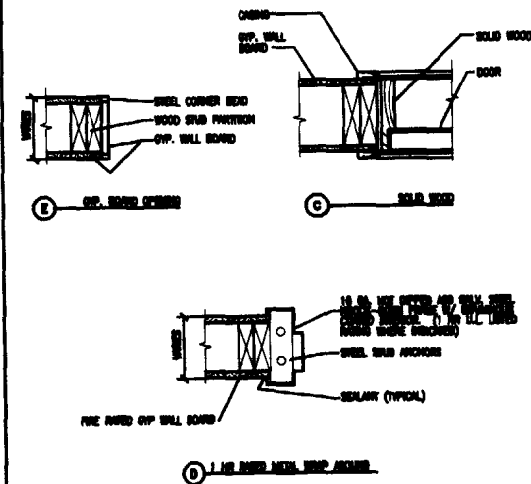


NOTE: 1) - WINDOW AND DOOR QUANTITIES SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

FRAME TYPES



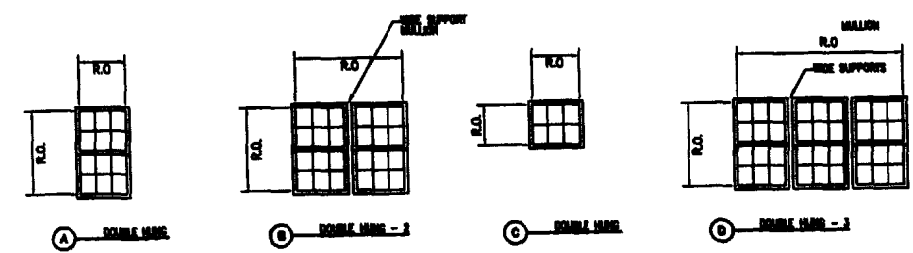
JAMB TYPES



WINDOW SCHEDULE

NO.	TYPE	MANUF	CAT NO.	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS	
							HEAD	JAMB
W1	C	ANDERSEN	DHT2011	2'-1 5/8" x 2'-1 5/16"	2'-2 1/8" x 2'-1 7/8"	LOW E GLASS, GRILLES (COLOR BY OWNER)	-	-
W2	A	ANDERSEN	TW24410	2'-5 5/8" x 5'-0 7/8"	2'-6 1/8" x 5'-1 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-
W3	A	ANDERSEN	TW2452	2'-5 5/8" x 5'-4 7/8"	2'-6 1/8" x 5'-5 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-
W4	D	ANDERSEN	TW2452-3	7'-5" x 5'-4 7/8"	7'-5 1/2" x 5'-5 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-
W5	B	ANDERSEN	TW2452-2	4'-11 5/16" x 5'-4 7/8"	4'-11 13/16" x 5'-5 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-

WINDOWS



JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

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DOOR AND WINDOW SCHEDULE
UNITS 13, 14, 15, & 16

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