

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 030255

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Ocean Ridge Realty Llc /n/a
has permission to Build New 6100 sq. Ft. Condominium Units # 13, 14, 15 and 16.
AT 840 Ocean Ave Portland, OR 97232 416A A003001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be made before this building or part thereof is occupied or otherwise closed-in. FOUR NOTARIES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0255	Issue Date:	CBL: 416A A003001
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Location of Construction: 840 Ocean Ave	Owner Name: Ocean Ridge Realty Llc	Owner Address: 91 Ocean Ave	Phone: 207-650-3965
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	Zone: R3/FH PR91
Past Use: Vacant	Proposed Use: New 6100 sq. Ft. Condominium Units / Unit # 13, 14, 15, and 16.	Permit Fee: \$3,648.00	Cost of Work: \$475,000.00
		CEO District: 2	
Proposed Project Description: Build New 6100 sq. Ft. Condominium Units / Unit # 13, 14, 15 and 16.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B 5/8/03 Signature: [Signature]
		Signature: [Signature]	Signature: [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: gg	Date Applied For: 03/25/2003	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland N/A</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone Panel 7 zone</p> <p><input checked="" type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan 2003-0056</p> <p>Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>ok with conditions Date: 4/25/03</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

UNITS 13, 14, 15, 16

All Purpose Building Permit Application

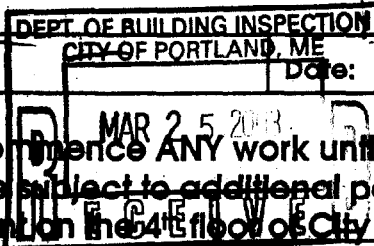
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>OCEAN RIDGE CONDOMINIUMS 840 OCEAN AVE</u>		
Total Square Footage of Proposed Structure <u>6100 ±</u>	Square Footage of Lot <u>10 ± acres TOTAL</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>416A</u> Block# <u>A</u> Lot# <u>003</u>	Owner: <u>OCEAN RIDGE REALTY LLC</u>	Telephone: <u>(207) 650-3965</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>PATRICK TINSMAN</u> <u>91 OLD OCEAN HOUSE RD</u> <u>CAPE ELIZABETH, MAINE</u>	Cost Of Work: \$ <u>475,000</u> Fee: \$ <u>3348 permit</u> <u>300 Copo (4)</u>
Current use: <u>LAND</u>	<u>650-3965</u>	<u>\$ 3648 total</u>
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>CONDOS</u>		
Project description: _____		
Contractor's name, address & telephone: <u>PATRICK TINSMAN</u>		
Who should we contact when the permit is ready: _____		
Mailing address: <u>91 OLD OCEAN HOUSE RD</u> <u>CAPE ELIZABETH, ME 04107</u> <u>650-3965</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT. WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Pat DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME Date: 3-25-03



This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0255	Date Applied For: 03/25/2003	CBL: 416A A003001
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Location of Construction: 840 Ocean Ave	Owner Name: Ocean Ridge Realty Llc	Owner Address: 91 Ocean Ave	Phone: 207-650-3965
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Multi Family	

Proposed Use: New 6100 sq. Ft. Condominium Units / Unit # 13, 14, 15, and 16.	Proposed Project Description: Build New 6100 sq. Ft. Condominium Units / Unit # 13, 14, 15 and 16.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/25/2003
Note: 4/25/03 received stamped approved site plan from planning **Ok to Issue:**
 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
 2) Separate permits shall be required for any new signage.
 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Comments:
 04/25/2003-kwd: was held up due to final revisions to site plan not being received by planning. Received in Inspections on 4/25/03; re-sent to zoning for review.



State of Maine
Department of Public Safety
Construction Permit



Not
Reviewed
for Barrier
Free

13047

Sprinkled
Sprinkler Supervised

OCEAN RIDGE CONDOMINIUMS
Located at: ⁸⁴⁰ ~~862~~ OCEAN AVE.
PORTLAND
Occupancy/Use: 1 & 2 FAMILY/OTHER

Permission is hereby given to:
OCEAN RIDGE REALTY

91 OLD OCEAN HOUSE ROAD
CAPE ELIZABETH, ME 04107

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.
no departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provisions
of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or
other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 01 th of Septemb 2003

Dated the 01 th day of March A.D. 2003

Commissioner

Copy-2 Architect

Comments:

JOHN H. LEASURE

SIX Q STREET
SOUTH PORTLAND, ME 04106

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Pat J. [Signature]
Signature of applicant/designee

5/9/03
Date

[Signature]
Signature of Inspections Official

5/9/03
Date

CBL: H16AA003 Building Permit #: 030255



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE-ARCHITECT, INC.
L & L STRUCTURAL ENGINEERING SERVICES INC.

DATE: MARCH 24, 2003

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 840 OCEAN AVE

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) R3
Type of Construction SA Bldg. Height 32'-8" Bldg. Sq. Footage 2888 SF HABITABLE
1132 SF GARAGES.
Seismic Zone Z/A_v = 0.10 Group Class CATEGORY II
Roof Snow Load Per Sq. Ft. 42 PSF Dead Load Per Sq. Ft. 15 PSF
Basic Wind Speed (mph) 85 MPH Effective Velocity Pressure Per Sq. Ft. 28 PSF
Floor Live Load Per Sq. Ft. 40 PSF

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered _____

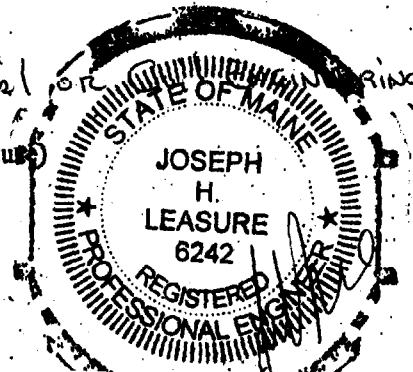
List Occupant loading for each room or space, designed into this Project.

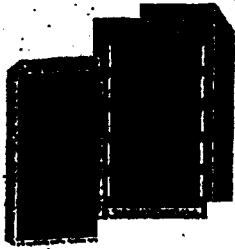
WE ASSUME NO LIVE LOADS FOR MECHANICAL, ELECTRICAL OR PLUMBING

PSH 6/07/K



(Designers Stamp & Signature)





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: JOHN H. LEASURE ARCHITECT INC.

RE: Certificate of Design

DATE: MAR 24, 2003

These plans and/or specifications covering construction work on:

OCEAN RIDGE CONDOMINIUMS (UNITS 13-16)
852 OCEAN AVE.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]
Title PRESIDENT
Firm JOHN H. LEASURE ARCHIT. INC.
Address SIX Q ST. S.P. ME
04106

As per Maine State Law:

\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2K

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL, OR CIVIL ENGINEERING

UNITS 13-16



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE-ARCHITECT, INC.

L & L STRUCTURAL ENGINEERING SERVICES INC.

DATE: MAY 5 2003 (REVISED)

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 852 OCEAN AVE

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year: BOCA 1999 Use Group Classification(s): R3

Type of Construction: 5B Bldg. Height: 32'-8" Bldg. Sq. Footage: 2888 SF HABITABLE
1132 SF GARAGES.

Seismic Zone: 2/A_v = 0.10 Group Class: CATEGORY II

Roof Snow Load Per Sq. Ft.: 42 PSF Dead Load Per Sq. Ft.: 15 PSF

Basic Wind Speed (mph): 85 MPH Effective Velocity Pressure Per Sq. Ft.: 28 PSF

Floor Live Load Per Sq. Ft.: 40 PSF

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

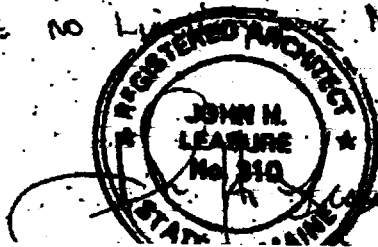
Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered _____

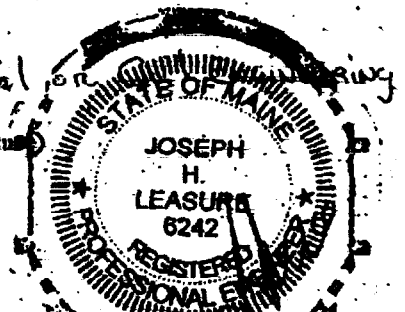
List Occupant loading for each room or space, designed into this Project.

WE ASSUME NO LOADS FOR MECHANICAL, ELECTRICAL OR PLUMBING

PSH 607/K



(Designers Stamp & Signature)



LOAD DATA

OUTSIDE DIAMETER 3.5"
11.5 LBS./FT.

OUTSIDE DIAMETER 4.0"
14.25 LBS./FT.

OUTSIDE DIAMETER 3.5
GAUGE 16
WALL THICKNESS .065
INSIDE DIAMETER 3.370
AREA OF STEEL .701
AREA OF CONCRETE 8.920
R.O.G. OF STEEL 1.215
R.O.G. OF CONCRETE .843

OUTSIDE DIAMETER 4.0
GAUGE 16
WALL THICKNESS .065
INSIDE DIAMETER 3.870
AREA OF STEEL .804
AREA OF CONCRETE 11.783
R.O.G. OF STEEL 1.391
R.O.G. OF CONCRETE .968

COLUMN LENGTH IN FEET	SAFE LOAD IN POUNDS	SLINDERNESS RATIO
5.0	18880	49
5.5	18470	54
6.0	18020	58
6.5	17530	64
7.0	17000	68
7.5	16430	74
8.0	15820	78
8.5	15180	84
9.0	14490	89
9.5	13760	94
10.0	13000	98
10.5	12200	104
11.0	11390	109
11.5	10470	114
12.0	9550	119
12.5	8580	123
13.0	7590	128
13.5	6580	133

COLUMN LENGTH IN FEET	SAFE LOAD IN POUNDS	SLINDERNESS RATIO
5.0	23570	43
5.5	23180	47
6.0	22750	52
6.5	22290	56
7.0	21790	60
7.5	21250	65
8.0	20670	69
8.5	20060	73
9.0	19410	78
9.5	18720	82
10.0	18000	86
10.5	17240	91
11.0	16440	95
11.5	15610	99
12.0	14730	103
12.5	13830	108
13.0	12890	112
13.5	11900	116
14.0	10870	121

facsimile transmittal

To: John & Joseph Leasure From: Mike Nugent
Fax: 799-5432 Date: May 1, 2003
Phone: 767-4830 Pages: 1
Re: Ocean Ridge units 1,2,3 & 4

Urgent For Review Please Comment Please Reply Please Recycle

I have my completed the initial review and have the following questions/comments:

- 1) What is the spacing of the anchor bolts from corners?
- 2) Lally column type?
- 3) What type of Fire suppression system will be used?
- 4) Door "04" shown on page A2 is not on the door schedule, tempered glass?
- 5) ~~Will require separate permits and technical info about fireplaces and heating equipment.~~
- 6) The space between the third floor ceiling joists and rafters exceeds 30 inches and no attic access is shown.
- 7) The roof system must have a one-hour fire rating in 5A buildings.
- 8) It appears that the floor ceiling assemblies need fire blocking as the space exceeds 500 Sq.ft.
- 9) Does the wall system extend to the underside of the roof sheathing?
- 10) What is the STC of the wall assemblies?
- 11) Page S9 Figure 5, using the FTW product, does the fire rated assembly include the GWB on the underside of the floor? (see section 711.4)
- 12) For the purposes of this permit, is the entire structure enveloped in rated GWB (see table 602 for type 5A construction)



389 Congress St.Rm 315
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

facsimile transmission

To: John & Joseph Leasure **From:** Mike Nugent
Fax: 799-5432 **Date:** May 6, 2003
Phone: 767-4830 **Pages:** 1
Re: Ocean Ridge units 1,2,3 & 4

Urgent For Review Please Comment Please Reply Please Recycle

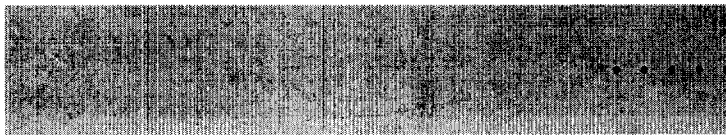
Thanks for the quick response.

With regard to the type of construction (5A or B), if you opt for the 5B designation, you'll have to have the 13R Sprinkler System monitored in compliance with Section 924.1 Method 1. Any thoughts??

According to Lt. McDougall, NFPA 13R systems do not have heads in enclosed spaces such as floor/ceiling assemblies, if this is the case draft stopping will be required, can you address this?

STC Issue—Do all of the tenant separation assemblies have an STC of 45 or greater?

Thanks again!



SIX Q STREET SOUTH PORTLAND, ME 04106

**JOHN H. LEASURE
ARCHITECT, INC.**

Fax

To: Mr Mike Nugent (City of Portland
Code Enforcement) **From:** JOHN LEASURE

Fax: 874-8716 **Pages:** 5 including this one

Phone: **Date:** 5/5/2003

Re: OCEAN RIDGE CONDOMINIUMS **CC:** PAT TINSMAN, FILE

Urgent For Review Please Comment Please Reply Please Recycle

• Comments:

Mr Nugent:

We have received your 12 comments by fax.

Please find specific reply to each comment below.

- 1) Anchor bolts are spaced 12" from corners and from ends of sill plates (typ). Otherwise as shown on plans.
- 2) Lally Column type is indicated on attached sheet from L & L Structural Engineering Services.
- 3) Fire suppression will be in accordance with NFPA 13R for Sprinkler systems as indicated on the Architectural plans A1 – A5. Sprinkler Plans and Calculations will be submitted by the Sprinkler Contractor to the Maine State Fire Marshal's Office and all State & Municipal permits obtained before any installation begins.
- 4) Door 04 is similar to door 01 and will be added to the door schedule. The glazing in the door and in the sidelites will be tempered glass.
- 5) Owner be advised that separate permits are required for the fireplaces and the heating equipment. We are not contracted to design the fireplaces or heating equipment.

May 5, 2003

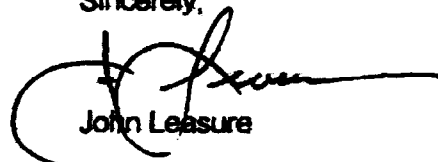
Comments, cont.

- 6) Will provide minimum 22" x 30" opening access into the attic space. One in each dwelling unit third floor level. (BOCA 1999 Sec. 1211.2) See Dwg A4.
- 7) The Construction Type 5A on the application was written incorrectly. The Building Construction Type is 5B and does not require a rated roof system. (Enclosed corrected application sheet for your file)
- 8) Draftstopping is not required in this floor/ceiling space for Type 5B Construction with automatic sprinkler system as long as the sprinklers are also installed in this combustible concealed space as required by NFPA 13R. depth. (BOCA 1999 Sec. 721.7.1.2 exception)
- 9) The Fire Rated Wall systems extends to the underside of the exterior roof sheathing typically as shown on Details1 /A9 & Detail A/A10.
- 10) The STC of the Rated Fire Wall as shown on drawing A10 is 50-55. The other walls are between 30-35 depending on insulation and sheathing materials. If you need specific wall STC documentation, please contact this office.
- 11) The 1 Hour Fire Rated dwelling Unit demising walls extend continuous (including the fire retardant plywood) up to the underside of roof sheathing/ridge beam as indicated on drawings A9 & A10. The 5/8" gyp board on the ceilings between floors of the same dwelling unit is not part of the wall fire rated wall system. (Refer to Construction Permit # 13047 by State Fire Marshal's Office.)
- 12) The buildings are Type 5B Construction (error on application) and are not required to have rated GWB envelope. However we are providing 5/8" non-rated GWB on all exterior walls.

All of these items will be incorporated into the construction drawings.

If you have additional comments or requests, please call 207-450-0555 or fax to 207-767-9771.

Sincerely,



John Leasure

John H. Leasure - Architect Inc.

Encl: Revised application sheets
Lally column data sheet

UNITS 1-4



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE - ARCHITECT INC.
L & L STRUCTURAL ENGINEERING SERVICES INC.

DATE: MAY 5, 2003 (REVISED)

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 852 OCEAN AVE

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

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Structure has full sprinkler system? Yes No Alarm System? Yes No
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Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered _____

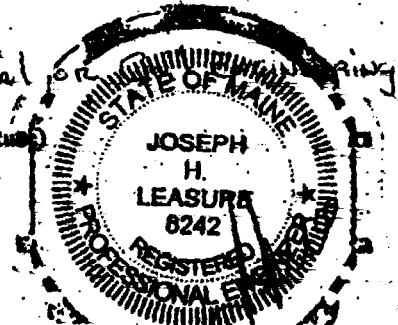
List Occupant loading for each room or space, designed into this Project.

WE ASSUME NO LOADS FOR MECHANICAL, ELECTRICAL OR

PSH 6/07/2K



(Designers Stamp & Signature)



SIX Q STREET SOUTH PORTLAND, ME 04106

**JOHN H. LEASURE
ARCHITECT, INC.**

Fax

To: Mr Mike Nugent (City of Portland Code Enforcement) **From:** JOHN LEASURE

Fax: 874-8716 **Pages:** 1 including this one

Phone: **Date:** 5/7/2003

Re: OCEAN RIDGE CONDOMINIUMS **CC:** PAT TINSMAN, FILE

Urgent For Review Please Comment Please Reply Please Recycle

● **Comments:**

Mr Mike Nugent:

We have received your comments by fax.

Please find specific reply to each comment below.

- 1) We will be opting for the Type 5B Construction and the Sprinkler System shall be supervised by Method 1. System Service shall actuate an audible alarm at a constantly attended location in accordance with NFPA 72 & BOCA 1999 Sec. 924.1. Owner will choose service and notify City before occupancy of units.
- 2) We will be using an NFPA 13R system and Lt. McDougall is correct regarding the absence of heads in this concealed floor/ceiling space. We will provide draftstopping as required by BOCA 1999 Sec721.0 using 1/2" min Gyp Bd or 3/8" min plywood on one side of one floor truss on each floor down to top of gyp bd ceiling to divide space into 2 areas, each less than 500 sq ft. Detail and delineation of draftstop on each floor will be added to the drawings for each building. Unit Attic areas and garage attics are less than 500 s.f. and will not require draftstopping.
- 3) An STC of 50-55 will apply for all the unit demising walls (refer Section A/A10)

Thank you,

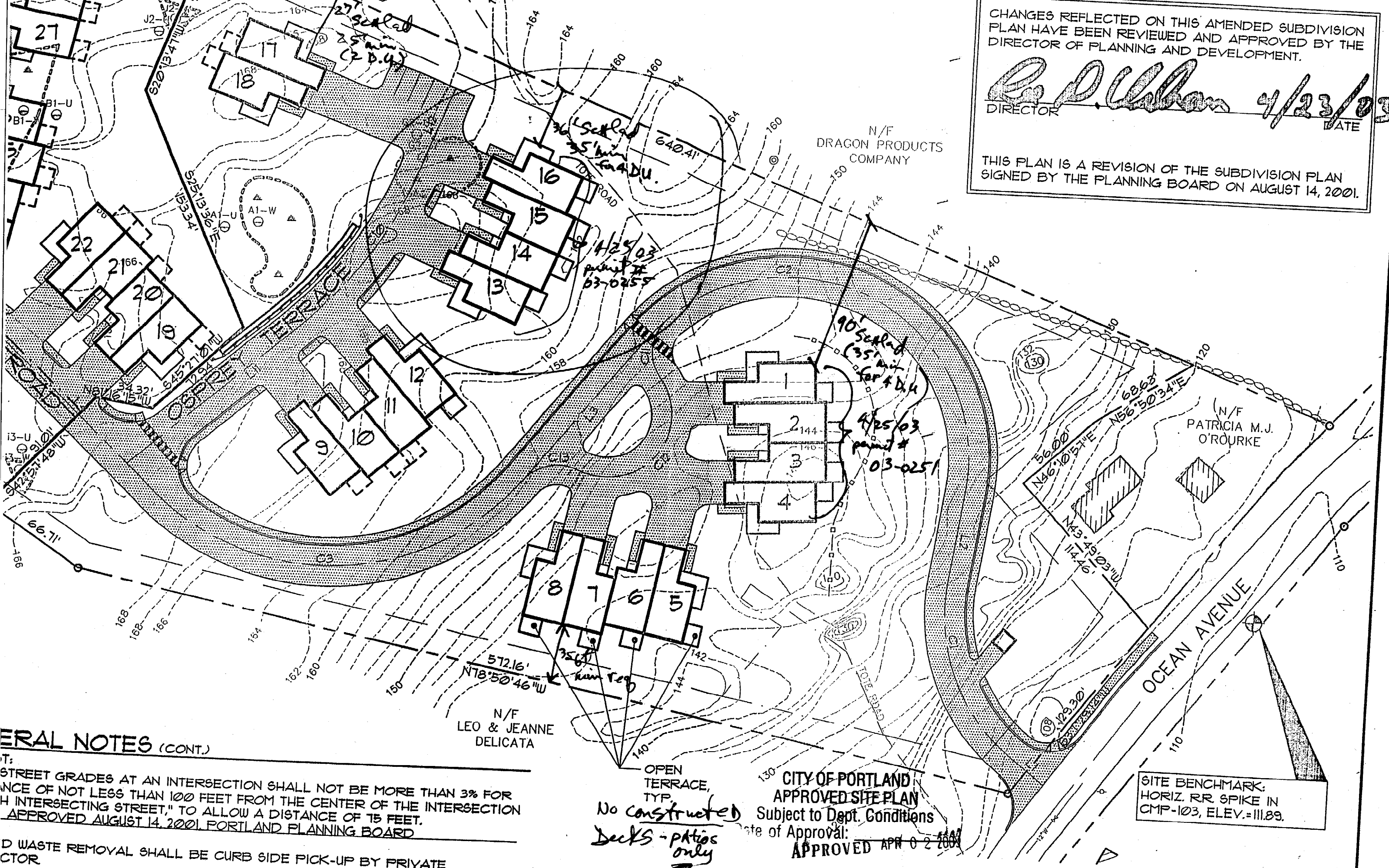
John Leasure

John H. Leasure – Architect Inc.

CHANGES REFLECTED ON THIS AMENDED SUBDIVISION PLAN HAVE BEEN REVIEWED AND APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT.

R. P. Ullman 4/23/03
 DIRECTOR DATE

THIS PLAN IS A REVISION OF THE SUBDIVISION PLAN SIGNED BY THE PLANNING BOARD ON AUGUST 14, 2001.



GENERAL NOTES (CONT.)

STREET GRADES AT AN INTERSECTION SHALL NOT BE MORE THAN 3% FOR A DISTANCE OF NOT LESS THAN 100 FEET FROM THE CENTER OF THE INTERSECTION WITH AN INTERSECTING STREET, TO ALLOW A DISTANCE OF 15 FEET.

APPROVED AUGUST 14, 2001. PORTLAND PLANNING BOARD

WASTE REMOVAL SHALL BE CURB SIDE PICK-UP BY PRIVATE CONTRACTOR

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: APR 02 2003
 APPROVED

No constructed Decks - patios only

SITE BENCHMARK:
 HORIZ. RR SPIKE IN
 CMP-103, ELEV.=111.89.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE

840

UNITS 13, 14, 15, & 16

LIST OF DRAWINGS:

- 1 - GRADING PLAN SHEET 1
- 2 - GRADING PLAN SHEET 2
- S1 - GENERAL NOTES
- S2 - FOUNDATION PLAN
- S3 - FOUNDATION SECTIONS AND DETAILS
- S4 - FOUNDATION SECTIONS AND DETAILS
- S5 - FIRST FLOOR FRAMING PLAN
- S6 - SECOND FLOOR FRAMING PLAN
- S7 - THIRD FLOOR FRAMING PLAN
- S8 - ROOF FRAMING PLAN
- S9 - FRAMING SECTIONS AND DETAILS
- S10 - FRAMING SECTIONS AND DETAILS
- A1 - BASEMENT FLOOR PLAN
- A2 - FIRST FLOOR PLAN
- A3 - SECOND FLOOR PLAN
- A4 - THIRD FLOOR PLAN
- A5 - ROOF PLAN
- A6 - EXTERIOR ELEVATIONS
- A7 - EXTERIOR ELEVATIONS
- A8 - EXTERIOR ELEVATIONS
- A9 - BUILDING SECTIONS
- A10 - WALL SECTIONS
- A11 - SECTIONS AND DETAILS
- A12 - WALL TYPES AND DETAILS
- A13 - STAIR SECTIONS
- A14 - DOOR AND WINDOW SCHEDULES

ARCHITECT:

JOHN H. LEASURE ARCHITECT, INC.
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 FAX: 767-4600

CIVIL ENGINEER:

SEBAGO TECHNICS
 ONE CHABOT STREET
 WESTBROOK, MAINE 04098
 PHONE: 856-0277

STRUCTURAL ENGINEER:

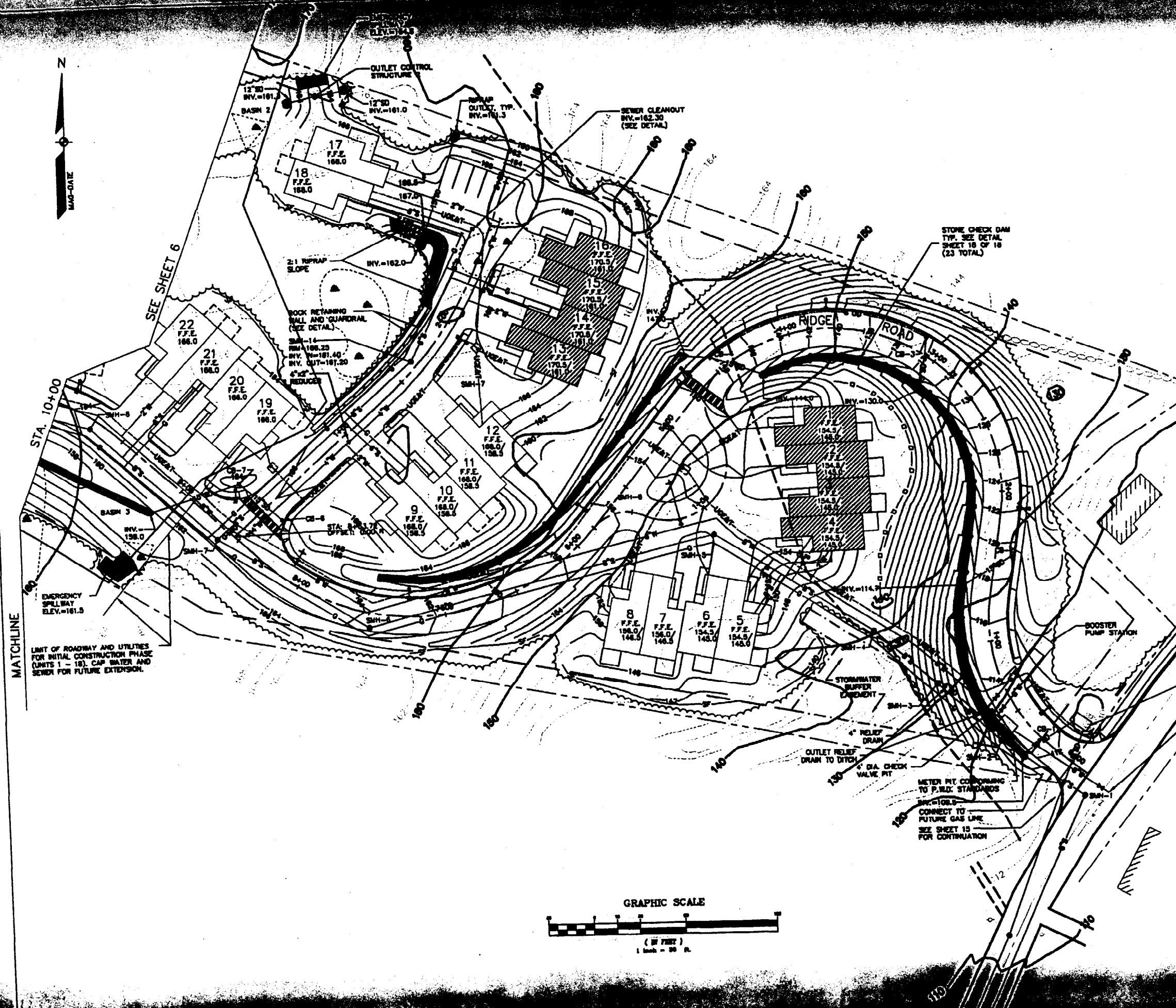
L & L STRUCTURAL ENGINEERING SERVICES, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106
 PHONE: 767-4830
 FAX: 799-5432

MARCH 21, 2003

DRAINAGE STRUCTURE SCHEDULE

STRUCTURE NO.	INVERT	DIAMETER	INVERT
OUTLET CONTROL STRUCTURE NO. 1	188.5	182.0 (12")	181.8 (12")
OUTLET CONTROL STRUCTURE NO. 2	182.5	186.0 (12")	187.8 (12")
OUTLET CONTROL STRUCTURE NO. 3	194.5	190.0 (12")	148.8 (12")
CB-1	112.07	108.0 (15")	107.8 (15")
CB-2	118.02	---	118.02(15")
CB-3	134.28	---	130.28(15")
CB-4	147.85	144.3 (15")	144.3 (15")
CB-5	184.08	---	187.85 (12")
CB-6	188.58	---	180.1 (15")
CB-7	183.7	156.7 (15")	158.8 (15")
CB-8	183.05	158.98 (15")	158.88 (15")
CB-9	183.08	188.40 (15")	189.30 (15")
VORTECHS UNIT 1	112.5	107.1 (15")	107.1 (15")
VORTECHS UNIT 2	163.5	158.78 (15")	158.78 (15")

NOTE: CONTRACTOR TO FIELD LOCATE ELECTRICAL FEED TO STREET LIGHTS.



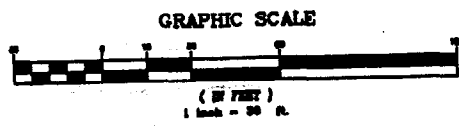
MATCHLINE
LIMIT OF ROADWAY AND UTILITIES FOR INITIAL CONSTRUCTION PHASE (UNITS 1 - 18). CAP WATER AND SEWER FOR FUTURE EXTENSION.

VORTECHS UNIT 1 MODEL 5000 (MFR. SHALL CONFIRM SIZING BEFORE INSTALL.)
CONNECT TO EXIST. WATER MAIN

REV.	BY	DATE	STATUS
H	UNB	1-7-03	REVISED PER NEW OWNER
G	UNB	1-23-03	ADDED GAS, REVISED SAN. WATER
F	UNB	12-8-02	REVISED WATER LINE
E	UNB	12-3-02	REVISED RECORD OWNER
D	UNB	7-10-01	REVISED PER ADDITIONAL CITY COMMENTS
C	UNB	8-04-01	REVISED PER CITY COMMENTS
B	UNB	4-24-01	SUBMIT REVISED PLANS PER CITY REVIEW
A	UNB	3-7-01	SUBMIT FOR SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR UNAUTHORIZED, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

GRADING AND UTILITY PLAN - 1
OF:
OCEAN RIDGE CONDOMINIUMS
882 OCEAN AVENUE
PORTLAND, MAINE
FOR:
OCEAN RIDGE REALTY, LLC
81 OCEAN HOUSE ROAD
CAPE ELIZABETH, MAINE 04107



DESIGN BY:	JDA
DRAWN BY:	MAL
CHECKED BY:	UNB
DATE:	3-8-01
SCALE:	AS SHOWN
PROJECT NO.:	01-010
DRAWING NO.:	01-010-01
SHEET NO.:	1 OF 1



GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. The specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, bores, riglets, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The designer is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, shoring temporary bracing, gusset or tie down. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

- Building code: BOCA Basic Building Code (1999)
- Design Live Loads: (Ground snow load = 60 PSF)
 - Roof: 42 PSF + Drift
 - Living areas: 40 PSF
- Design wind loads are based on exposure B using 85 mph basic wind speed.
- Seismic design utilizes the following criteria:
 - Building framing system: Concentrically braced frames, and shear walls.
 - Analysis procedure: Equivalent Lateral Force Procedure.
 - Seismic hazard exposure group: "T"
 - Seismic performance category: "C"
 - Soil profile type: "S1"
 - Peak velocity-related acceleration (Av): "0.10"
 - Peak acceleration (Ag): "0.10"
 - Response modification factor (R): "5"
 - Deflection amplification factor (Cd): "4 1/2"

FOUNDATION NOTES:

- Foundations have been designed with a presumptive soil bearing capacity indicated in of 2000 PSF to be verified in the field.
- Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill. If bedrock is encountered, contractor shall excavate and bear footings on 2'-0" thick layer of compacted structural fill.
- Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade.
- Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements. Concrete slabs shall be moist cured.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, leaves, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 inch	100
3 inch	90 to 100
1/4 inch	25 to 90
NO. 40	0 to 30
NO. 200	0 to 5

- Structural fill beneath slabs shall be placed in layers not exceeding 12" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
- Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
- Exterior concrete slabs on grade shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6#5 - W1, W11, 4 W19.
- Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES:

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
 - 3000 PSI for basement walls.
 - 3000 PSI for footings, frost walls and piers.
 - 4000 PSI for all slabs on grade.
- All concrete shall be air entrained 4%-6% with approved admixtures.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318-Latest edition.
- Welded wire fabric shall be provided in flat slabs.
- Fiber reinforced concrete shall conform to ATSM C-1116.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit (8) blue line prints and (1) reproducible (as per) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WRF shall be 6" minimum.
- Concrete finishes: See specifications and Architectural drawings for additional information.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint. The general contractor shall be responsible for coordination of door head out locations, slab depression and other required bond cuts. Coordinate location of bond cuts with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.
- Provide control joints in slabs as follows:
 - 15' x 15' (225 SF) with fibermesh reinforcement
 - 20' x 20' (400 SF) with welded wire fabric reinforcement

STRUCTURAL STEEL NOTES:

- Structural steel fabrication, erection, and connection design shall conform to AISC Specification for the design, fabrication, and erection of structural steel-Latest edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR.B.
 - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

TIMBER TRUSS FRAMING:

- Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.P. Southern Pine, kiln dried, 19% maximum M.C., or approved alternate.
- Applicable specifications:
 - National Design Specification for stress graded lumber and its fastening (NDS).
 - Design specifications for light metal plate connected wood trusses (TPI-Latest edition)
- Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
- Submittals:
 - Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
 - Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
- All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
- Connector plates shall be galvanized.
- Timber trusses shall be designed in accordance with BOCA and ASCE 7-98.
- Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI-latest edition).
- Trusses shall be designed for all potential load combinations of the loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.

TIMBER FRAMING:

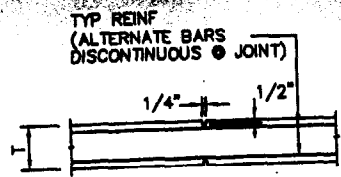
- All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) -latest edition.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
- Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWPA C-18.
- Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Provide Simpson H3 hurricane anchors where timber framing and/or trusses bear on structural steel beams.
- Nothing not specified shall conform with BOCA 1999.
- Exterior wall sheathing shall be 1/2" thick APA rated sheathing fastened with 10d nails @ 4'-0" o.c. at panel edges and 6" o.c. intermediate, (typ unless otherwise noted)
- Floor decking shall be 3/4" thick APA rated "STURDI-FLOOR" plywood sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
- Roof sheathing shall be 5/8" thick APA rated sheathing fastened with 10d nails @ 6" o.c. at panel edges and intermediate.
- All 2 x P.T. all plates shall be installed on all aceler.

L & L STRUCTURAL ENGINEERING SERVICES, INC.
 500 S. STREET
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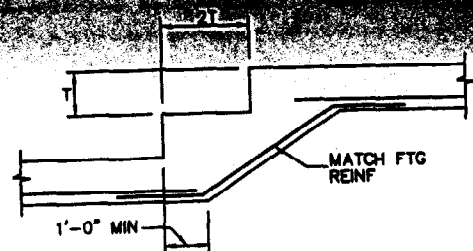
OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 GENERAL NOTES
 UNITS 13, 14, 15, & 16

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Drawn by: []	Scale: []	Sheet No. []
North Arrow	Scale: []	Sheet No. []
Plot Date: []	Project No. []	

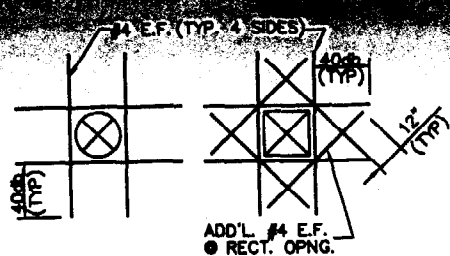
S1



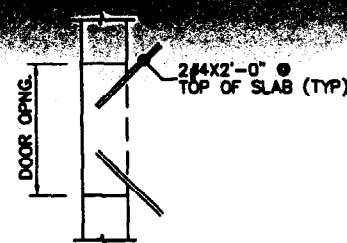
TYP CONTROL JOINT IN WALL
N.T.S.



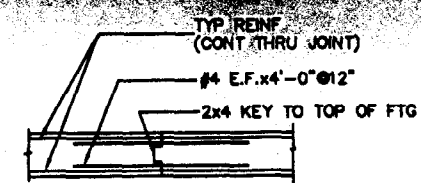
TYP STEP FOOTING DETAIL
N.T.S.
NOTE: T = FOOTING THICKNESS



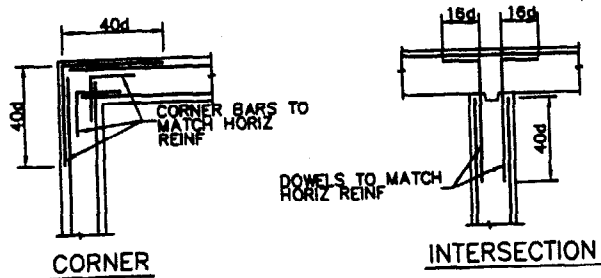
TYP. OPENING IN WALL OR SLAB
N.T.S.
NOTE: OPENING IN SLAB APPLIES @ ALL OPENINGS



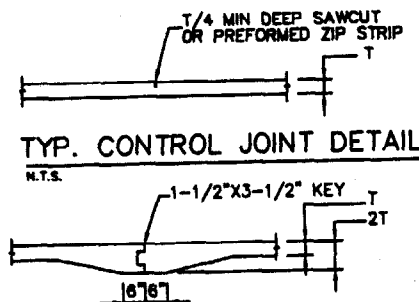
TYP. SLAB CORNER DETAIL @ DOOR N.T.S.
NOTE: PROVIDE 2#4x4'-0" (TOP) IN SLAB AT INSIDE CORNERS. SEE PLAN. INCLUDING STAIRS, & HVAC OPENINGS. PLACE REIN IN MIDDLE OF SLAB @ SLAB OPENINGS.



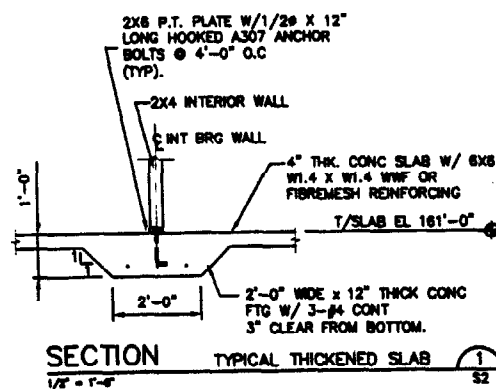
TYP. CONSTRUCTION JOINT IN WALL N.T.S.
NOTES:
1. CONST JOINT DOES NOT EXTEND THRU FTG
2. DISTANCE BETWEEN CONST JOINTS IN STRAIGHT LENGTHS OF WALL NOT TO EXCEED 60'-0"



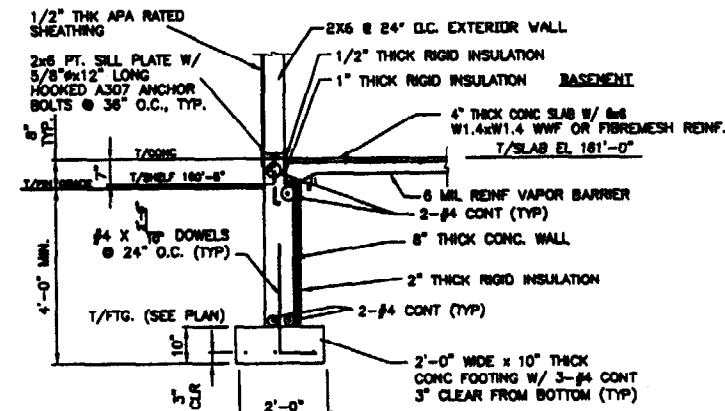
TYP WALL REIN DETAILS
N.T.S.



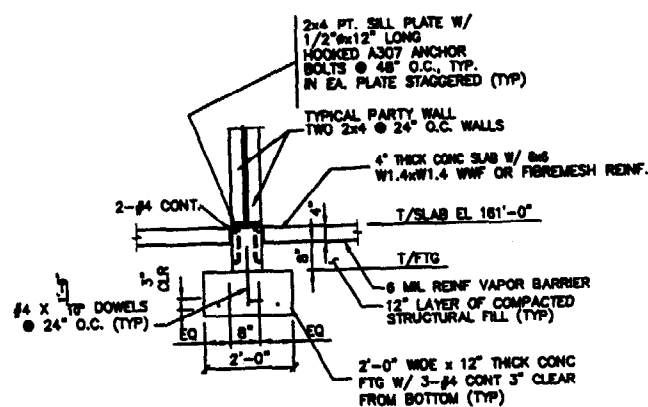
TYP. CONSTRUCTION JOINT DETAIL
N.T.S.



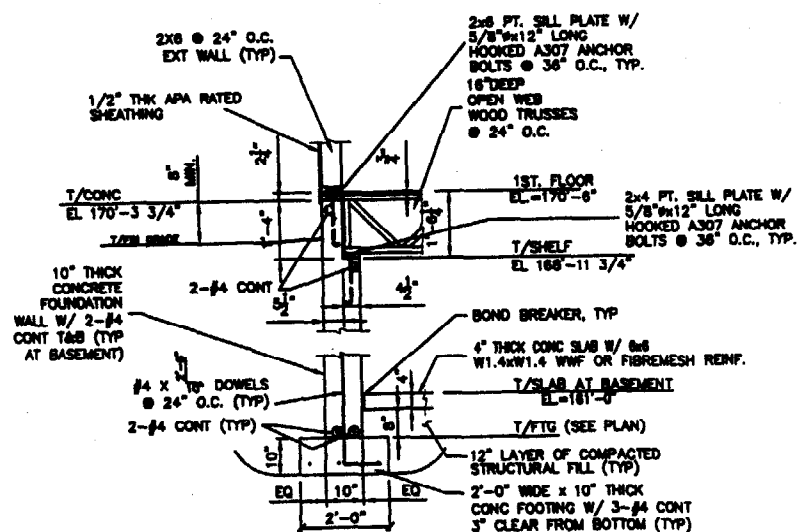
SECTION TYPICAL THICKENED SLAB 1/2" = 1'-0" S2



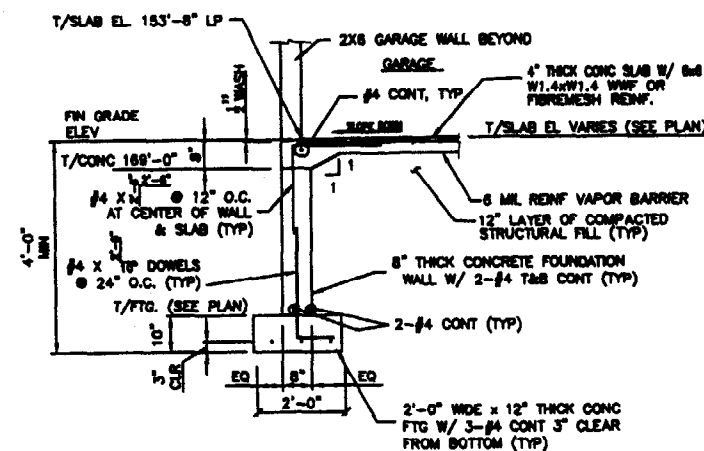
SECTION TYPICAL EXTERIOR FROST WALL 2/2" = 1'-0" S2



SECTION TYPICAL PARTY WALL 3/2" = 1'-0" S2



SECTION TYPICAL BASEMENT WALL AT FLOOR TRUSS BEARING 4/2" = 1'-0" S2

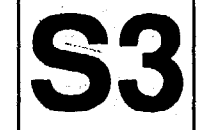


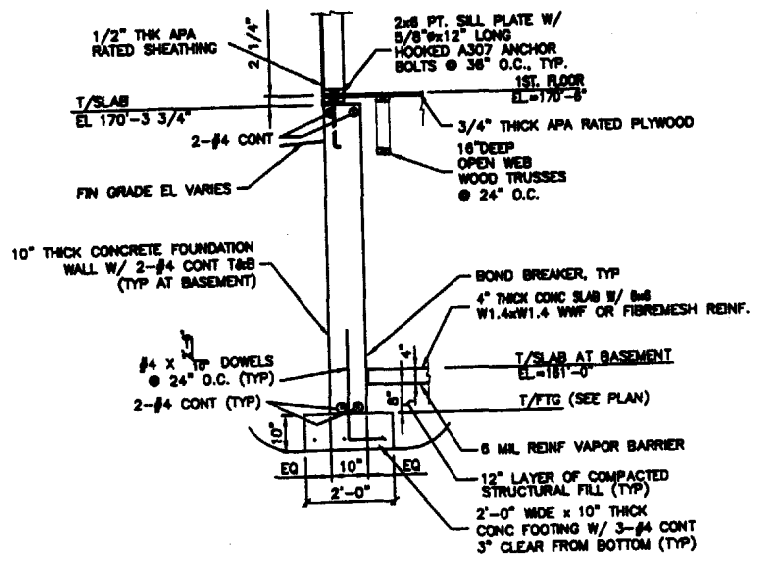
SECTION TYPICAL GARAGE ENTRY SLAB 3/2" = 1'-0" S2

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EMAIL: Lengineering@earthlink.net

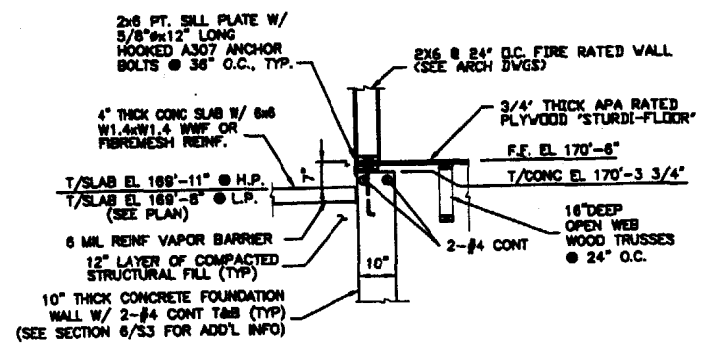
Designed by: JLL	Checked by: JLL
Drawn by: JLL	Reviewed by: JLL
Scale:	Scale:
Date:	Date:
Project #:	Project #:

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 13, 14, 15, & 16

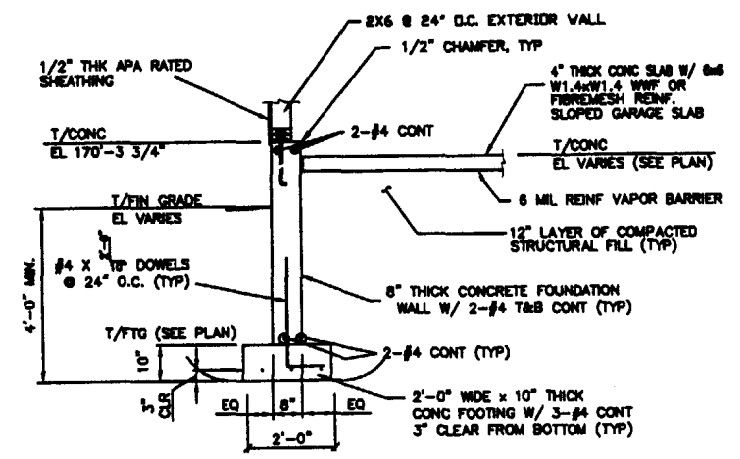




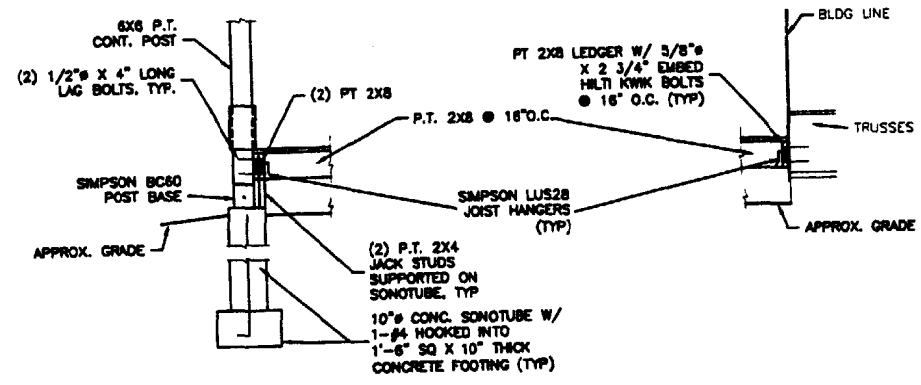
SECTION 6 TYPICAL BASEMENT WALL PARALLEL TO FLOOR TRUSSES
1/2" = 1'-0"



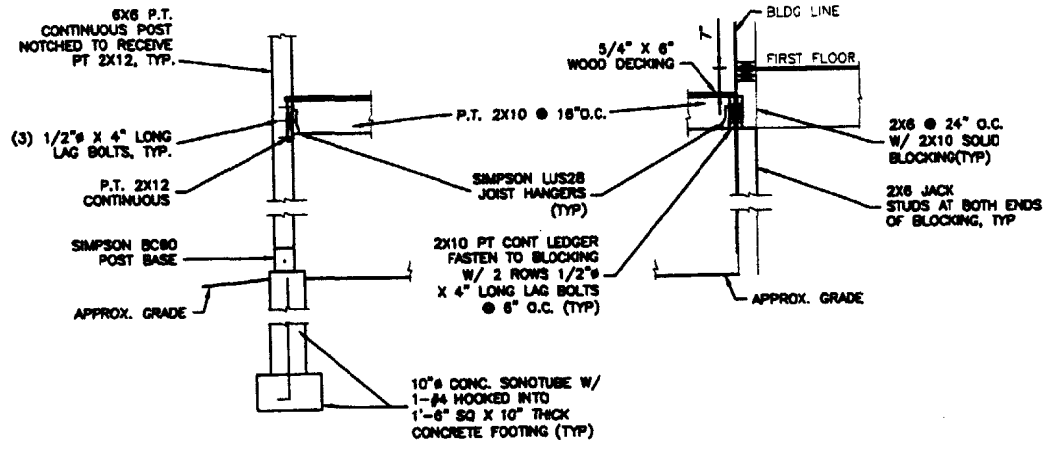
SECTION 7 TYPICAL BASEMENT WALL ADJACENT TO GARAGE
1/2" = 1'-0"



SECTION 8 TYPICAL GARAGE SIDE WALLS
1/2" = 1'-0"



SECTION 9 TYPICAL ENTRY PORCHES
1/2" = 1'-0"

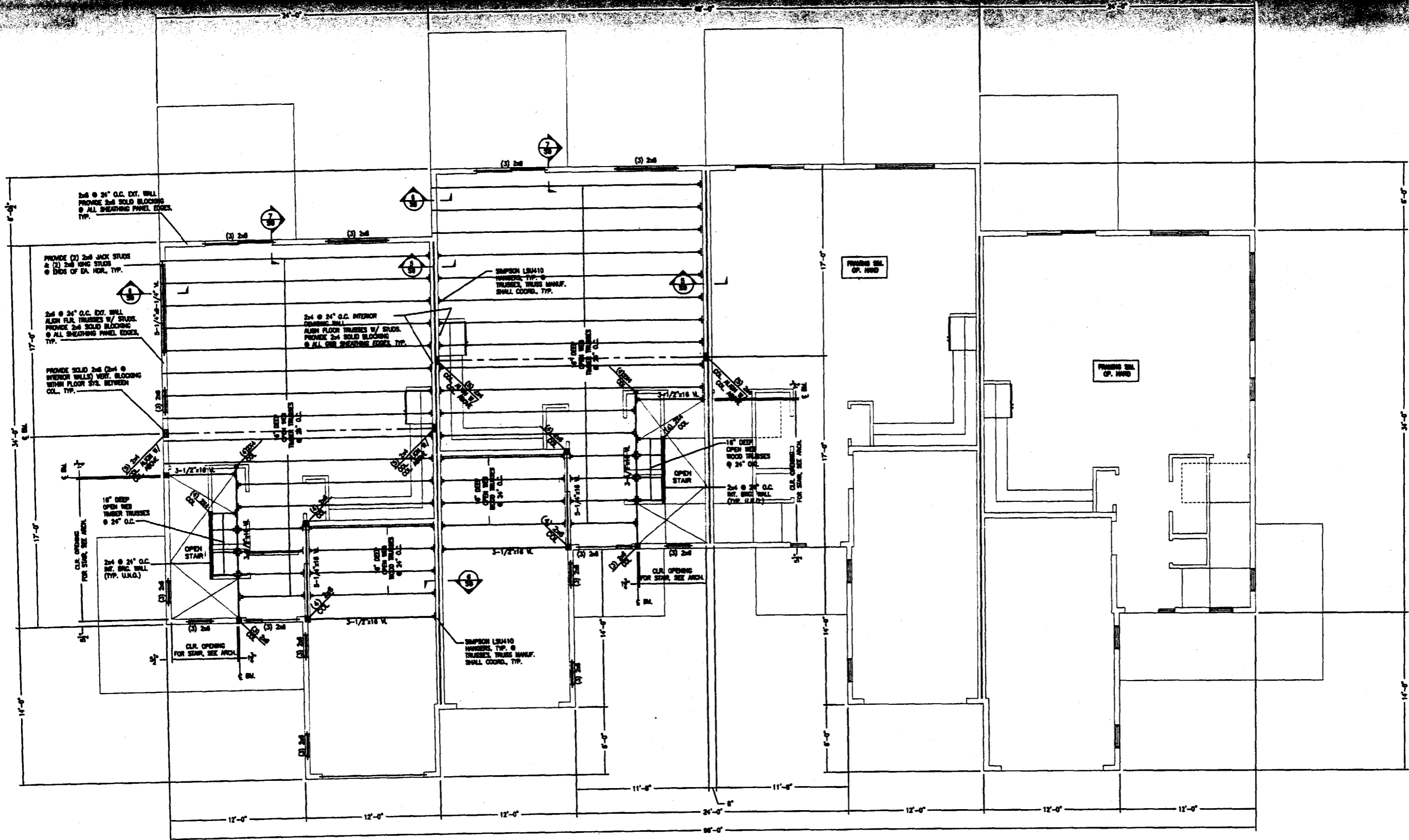


SECTION 10 TYPICAL UNIT DECKS
1/2" = 1'-0"

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OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
FOUNDATION DETAILS
UNITS 13, 14, 15, & 16

S4



SECOND FLOOR FRAMING PLAN
1/4"=1'-0"



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EMAIL: Lem@lengr.com

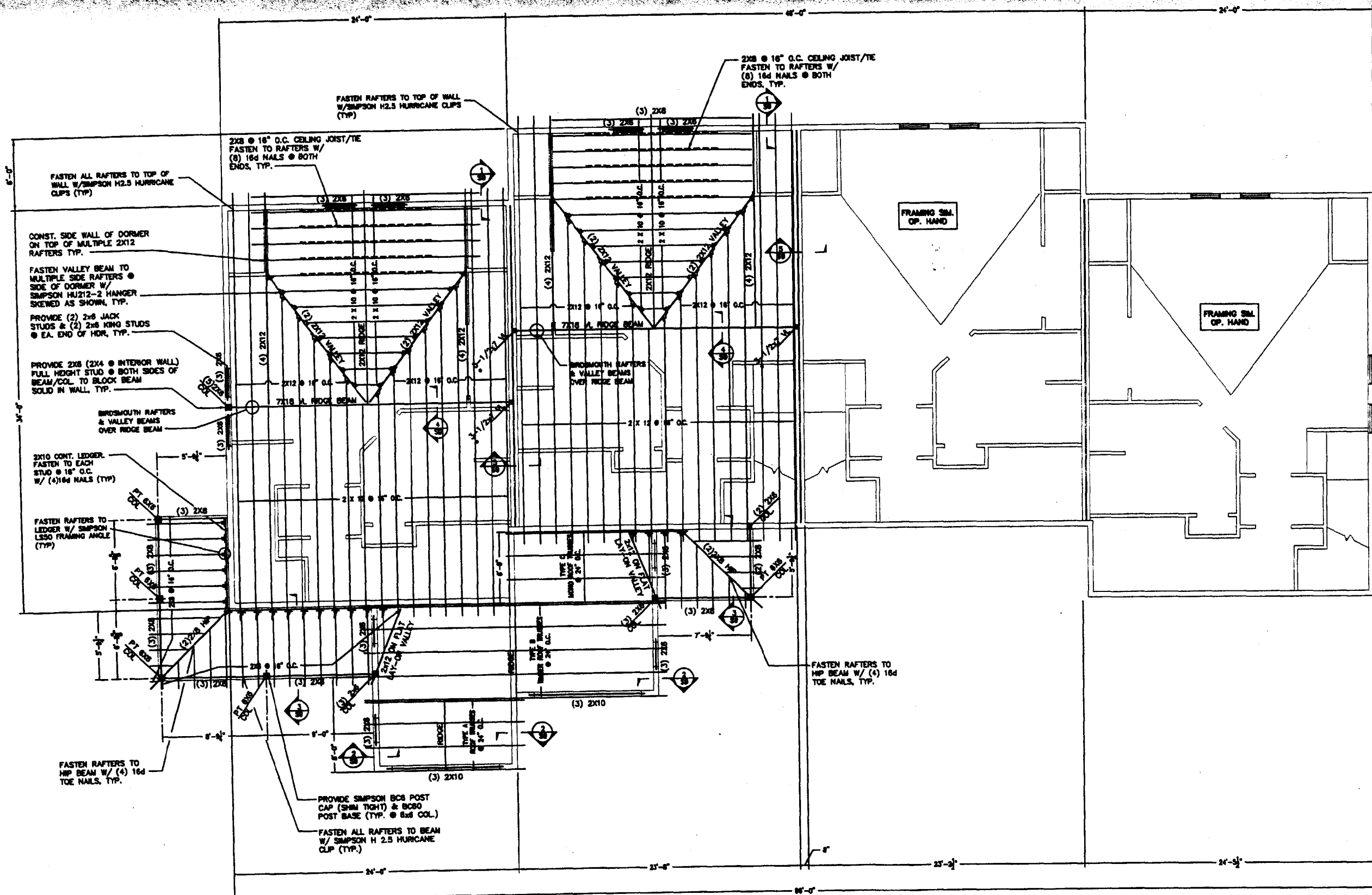
REV.	DATE	DESCRIPTION

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECOND FLOOR FRAMING PLAN
UNITS 13, 14, 15 & 16

S6

- NOTES:**
- SEE GENERAL NOTES ON S1.
 - "M" INDICATES VERBAL BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
 - PROVIDE 2x6 JACK STUDS PLUS 2x4 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS (TYP. U.L.O.)

LEGEND
BEARING WALL



ROOF FRAMING PLAN
1/4"=1'-0"

- NOTES:**
- SEE GENERAL NOTES ON S1.
 - "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
 - * INDICATES COLUMN PROPERTIES SHALL BE "VERSA-LAM BEM" 3000 Fb OF (E=2.2x10⁶ PSI AND P=3000 PSI).
 - ROOF TRUSS LOADING SHALL BE AS FOLLOWS:
 TOLL-40 PSF TOLL-40 PSF
 TOLL-10 PSF TOLL-10 PSF
 BOLL-10 PSF BOLL-10 PSF
 BCDC-10 PSF BCDC-10 PSF
 TRUSS TYPE "X" @ 24" O.C. TRUSS TYPE "W" AND "V" @ 24" O.C.

LEGEND
BEARING WALL

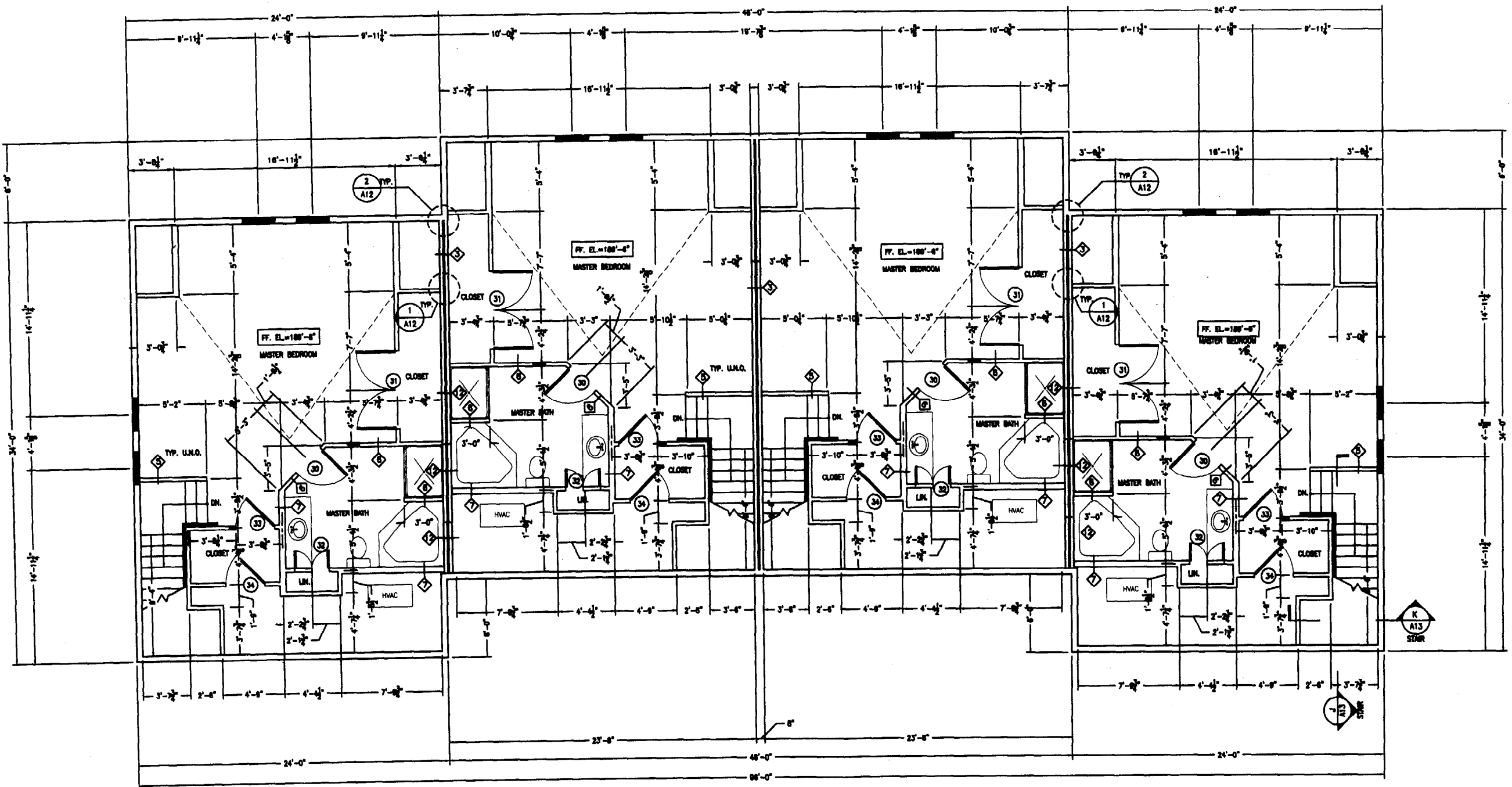


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OCEAN RIDGE CONDOMINIUMS
 852 OCEAN AVENUE
 PORTLAND, MAINE
 ROOF FRAMING PLAN
 UNITS 13, 14, 15, & 16



REVISIONS



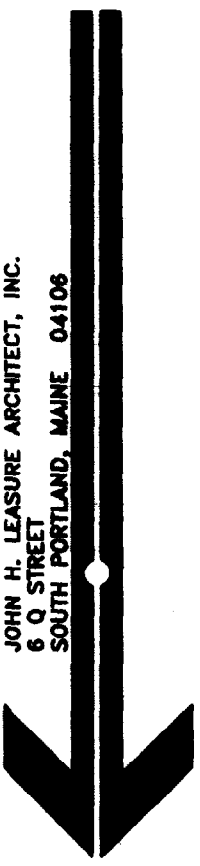
THIRD FLOOR PLAN
1/4"=1'-0"

- NOTES:
- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
 - 2) FOR WALL TYPES, SEE DRG. A6.

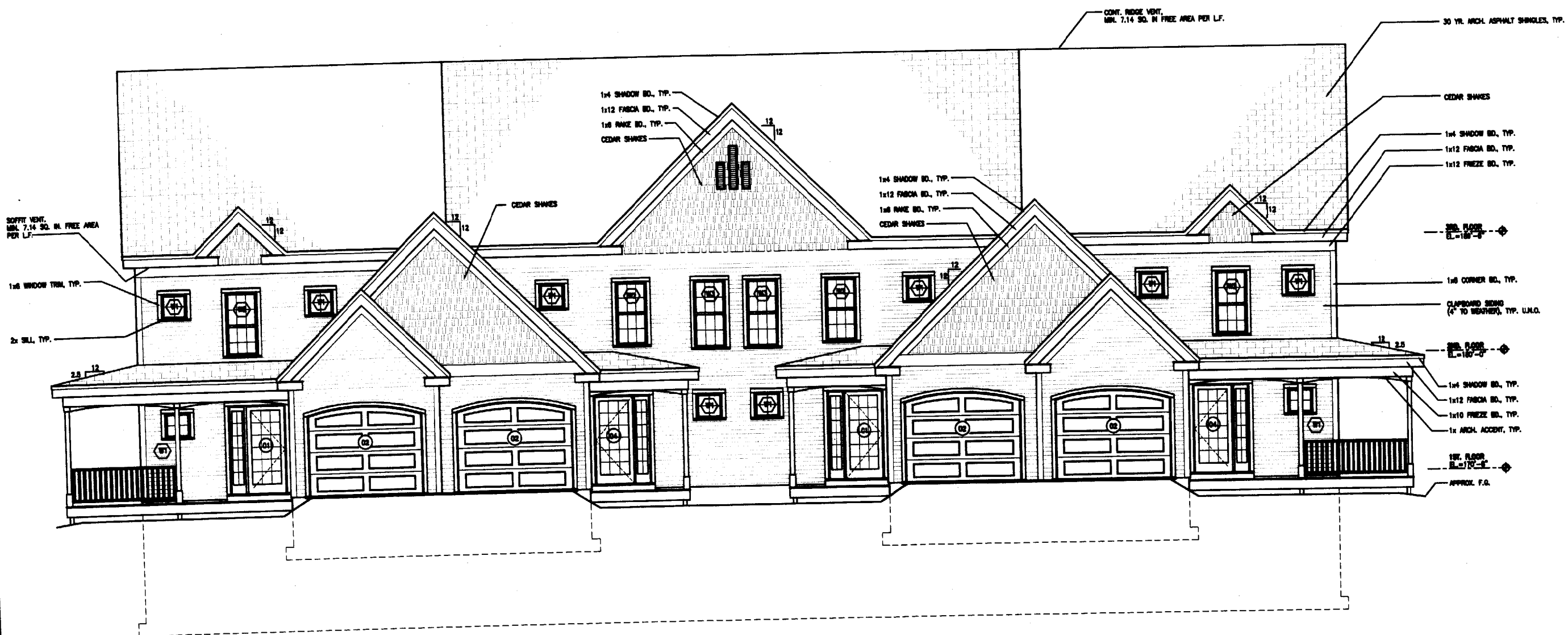
OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
THIRD FLOOR PLAN
UNITS 13, 14, 15, & 16

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS



A4



SOUTH ELEVATION 1/4"=1'-0"

ATTIC VENTILATION

MIN ROOF	REQ'D. TOTAL FREE AREA	SG. IN/L.F.
RIDGE	1.10 SF.	7.14
SOFFIT	1.10 SF.	7.14
3RD. FLOOR DORMERS (EA.)		
RIDGE	0.3 SF.	(SEE A7)
SOFFIT	0.3 SF.	(SEE A7)

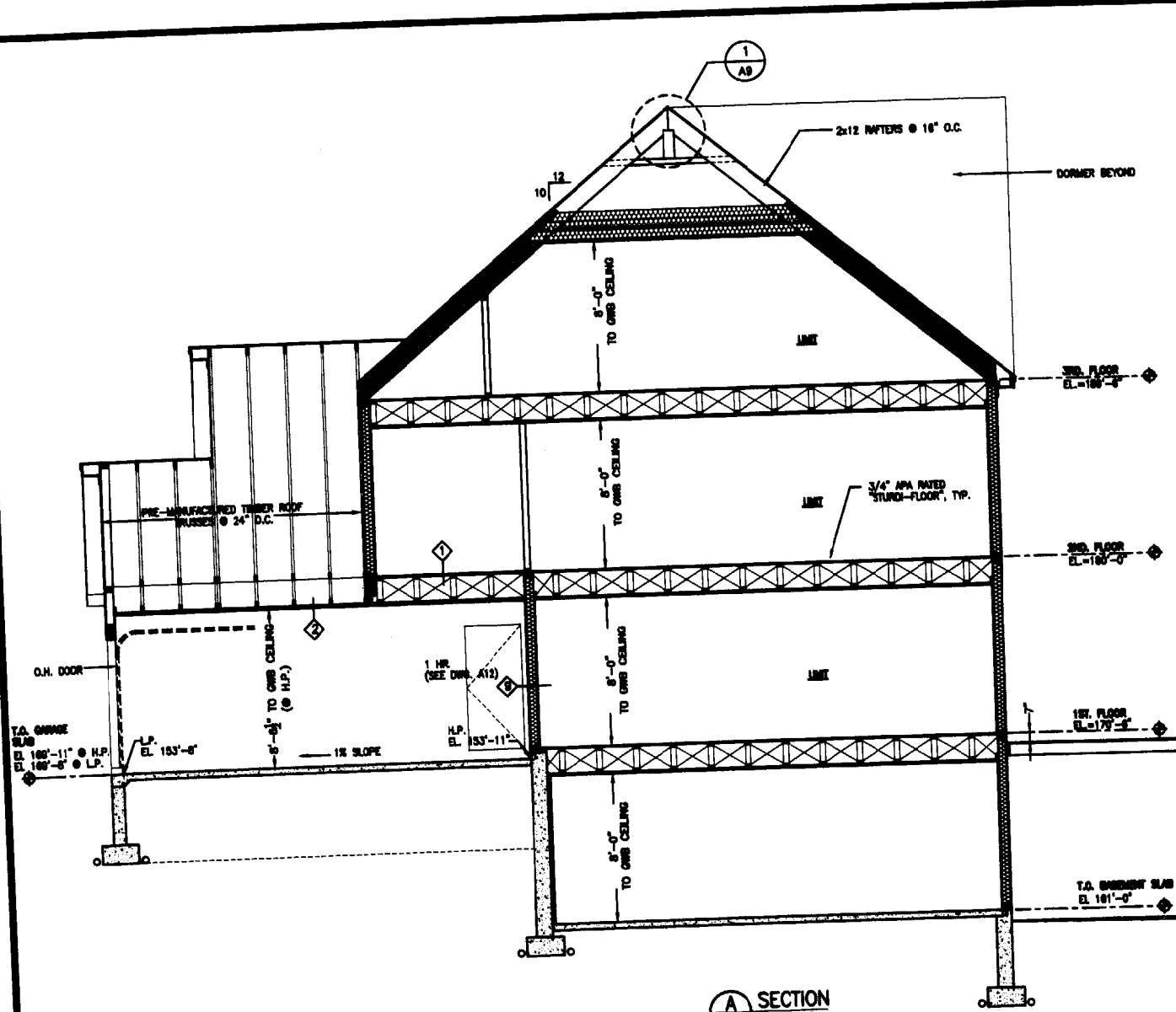
NOTE:
IF GRAVITY VENTILATION CANNOT BE ACHIEVED, ADDITIONAL GABLE END VENTS FOR UPPER REQUIRED VENTILATION OR MECHANICAL MEANS MUST BE EMPLOYED TO PROVIDE REQ'D. VENTILATION.

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

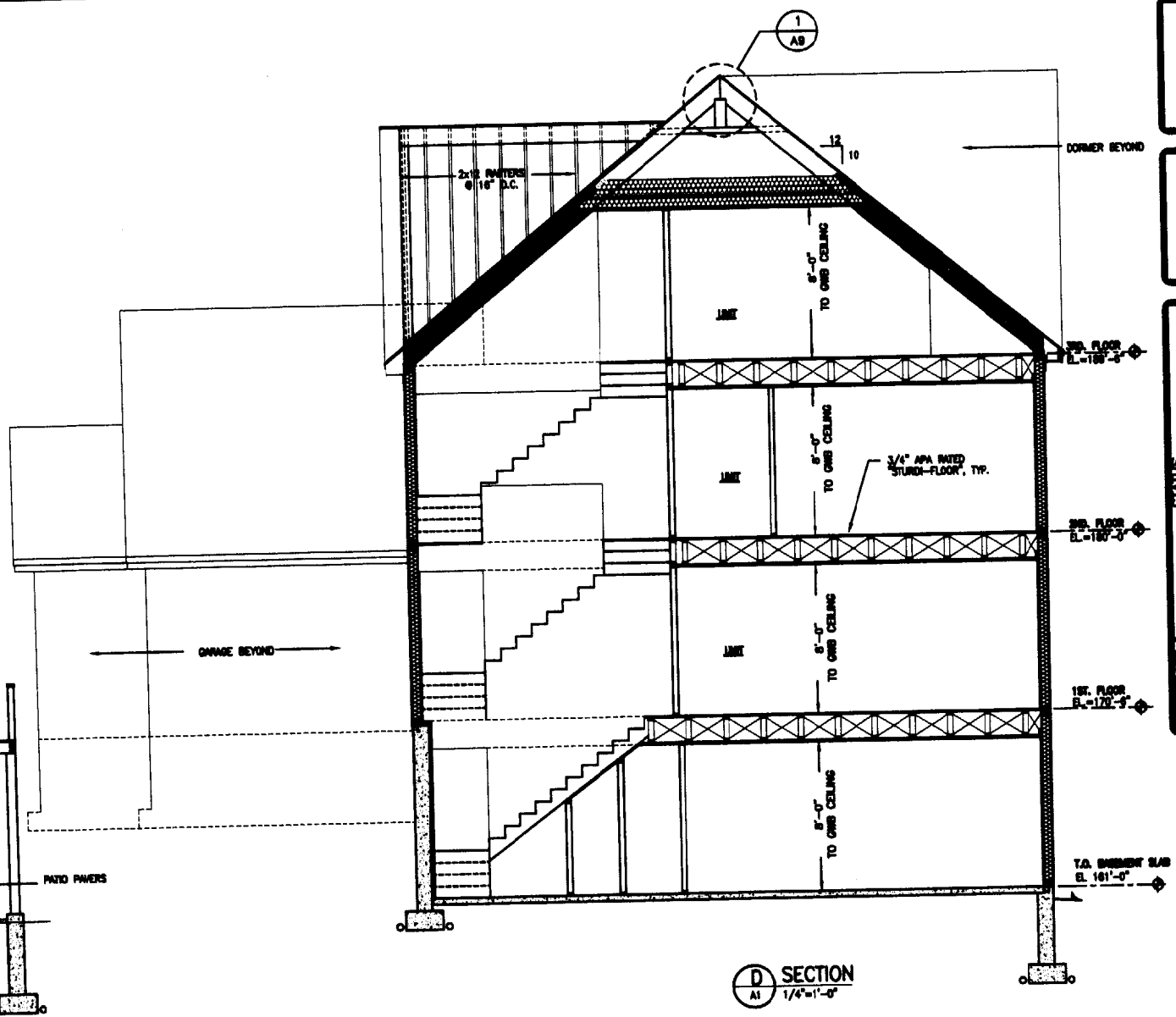
REVISIONS

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SOUTH ELEVATION
UNITS 13, 14, 15, & 16

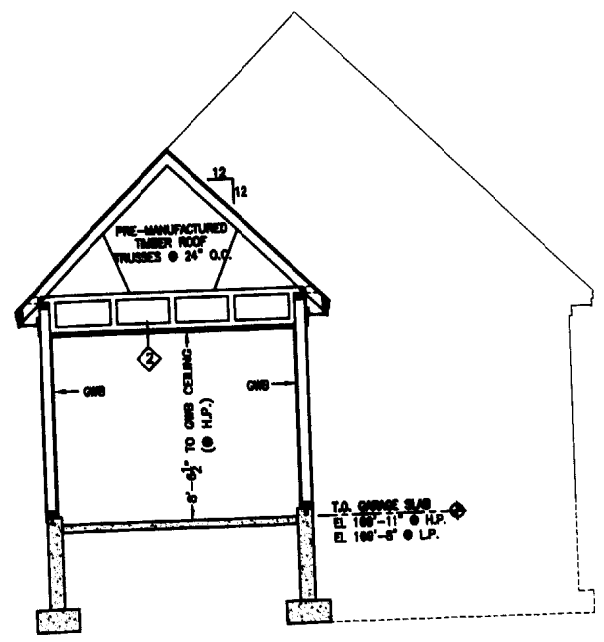
A6



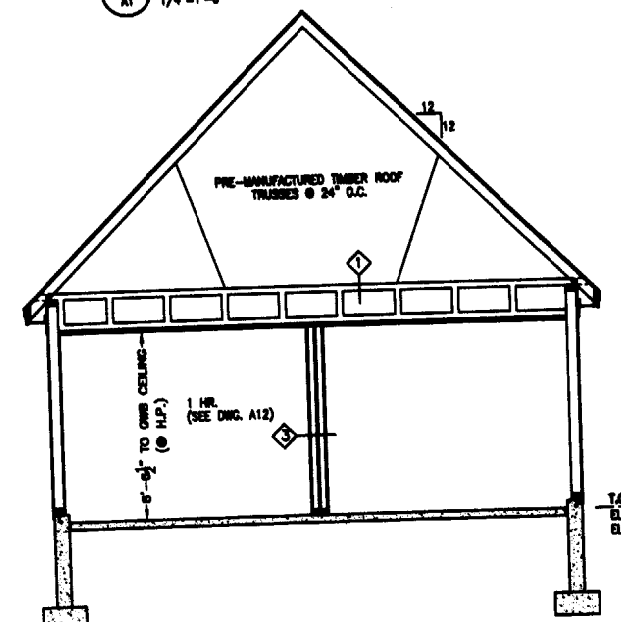
A SECTION
1/4"=1'-0"



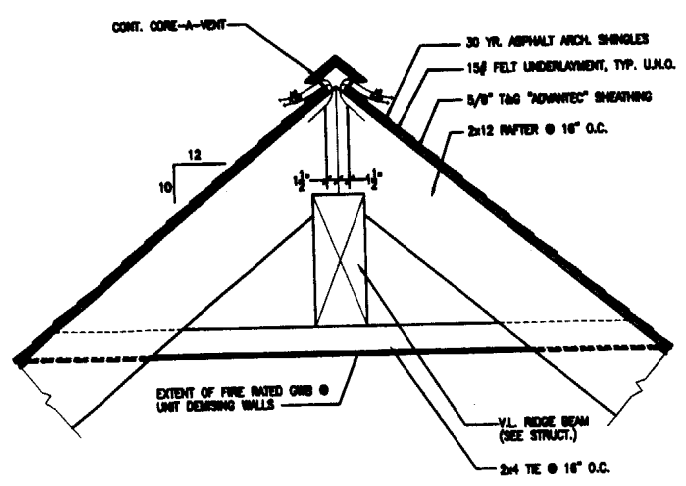
D SECTION
1/4"=1'-0"



B SECTION
1/4"=1'-0"



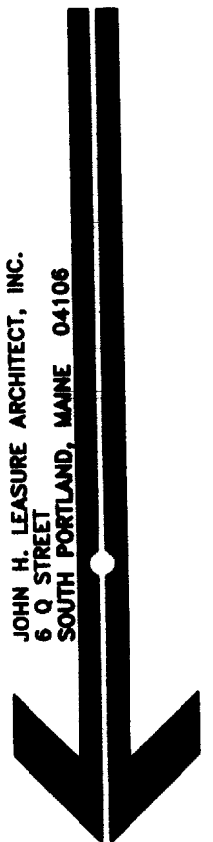
C SECTION
1/4"=1'-0"



RIDGE VENT
1"=1'-0"

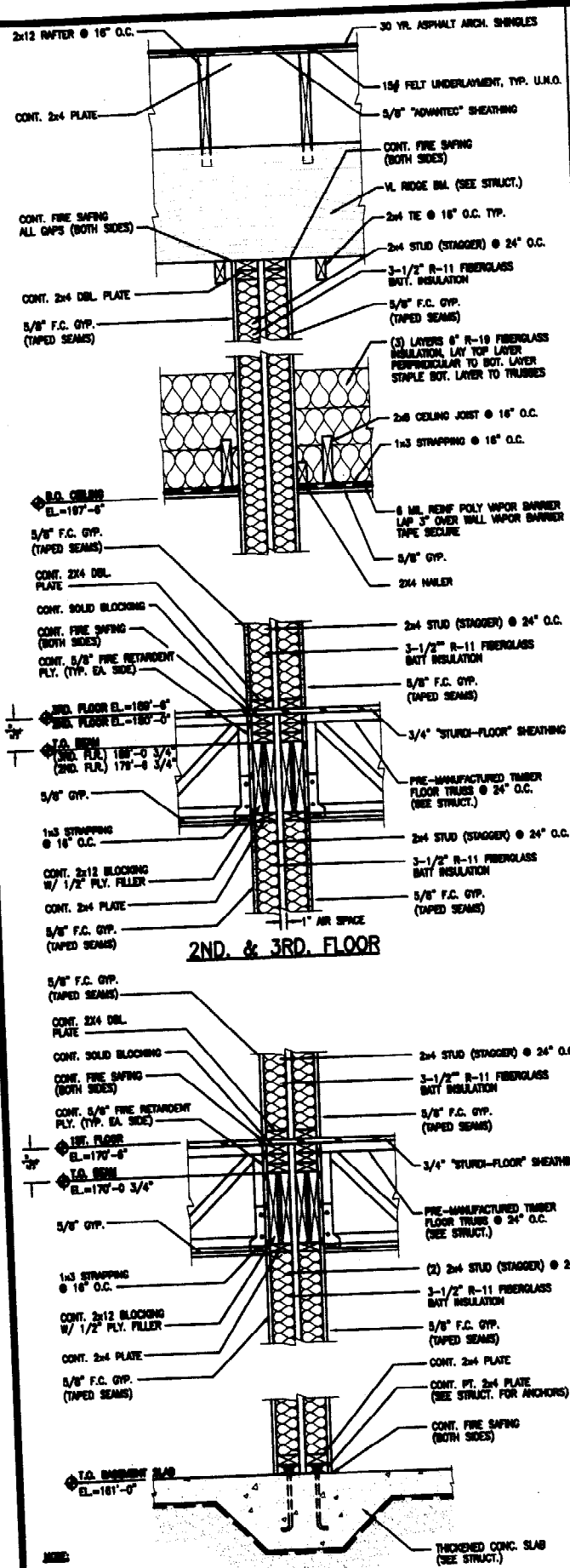
STATUS
REV. DATE

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

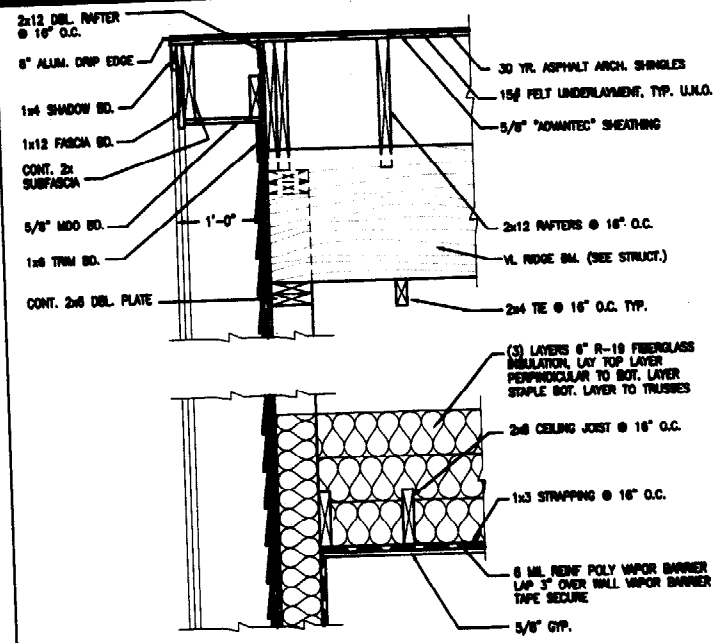


OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
BUILDING SECTIONS
UNITS 13, 14, 15, & 16

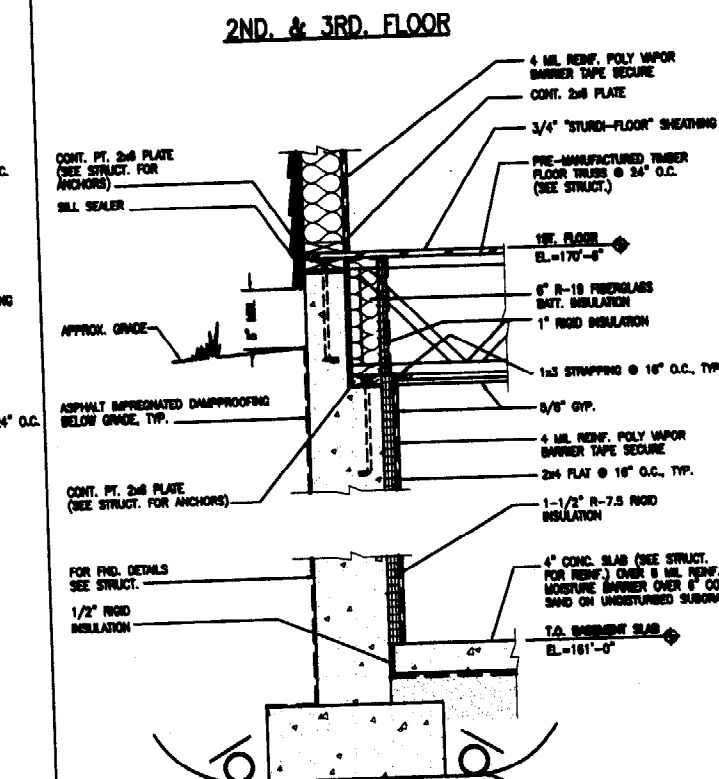
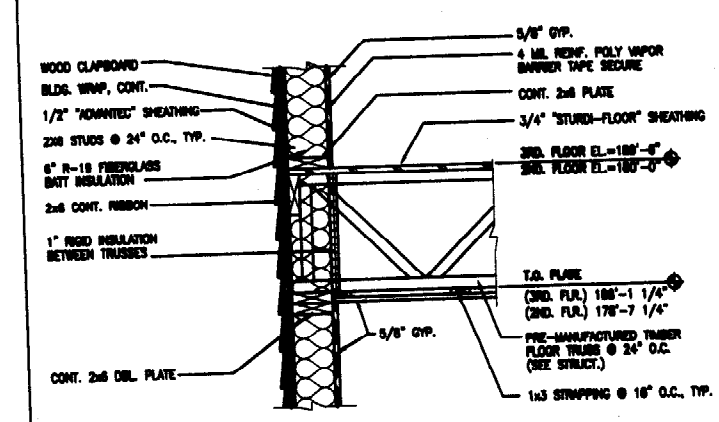
A9



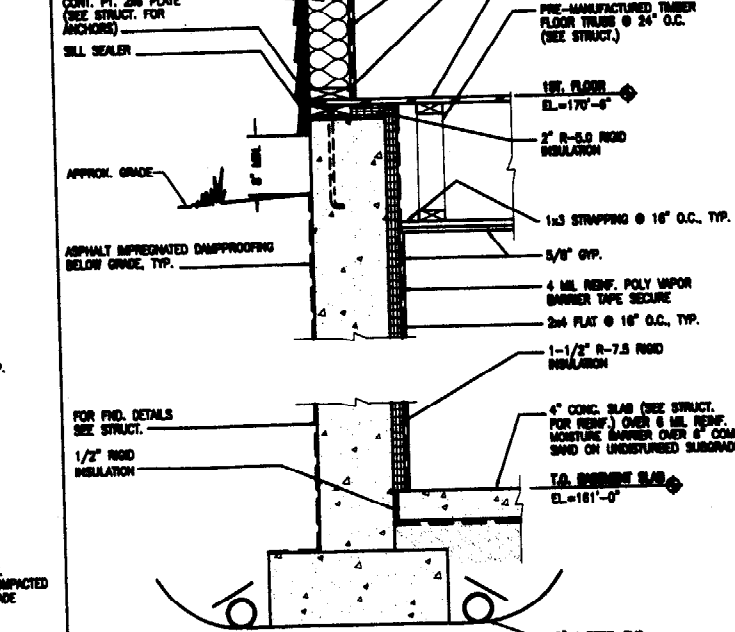
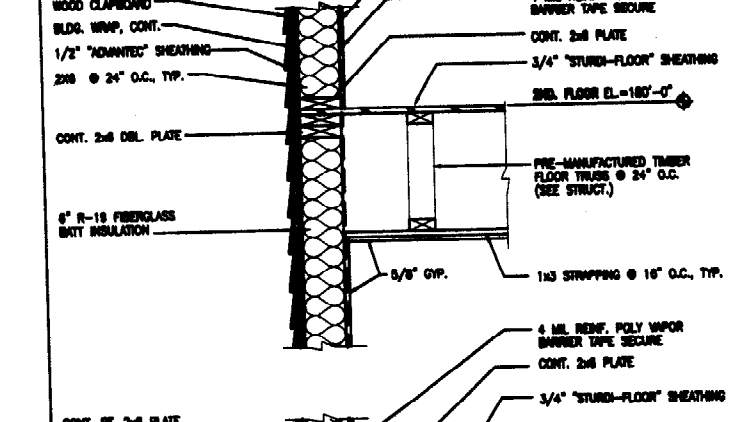
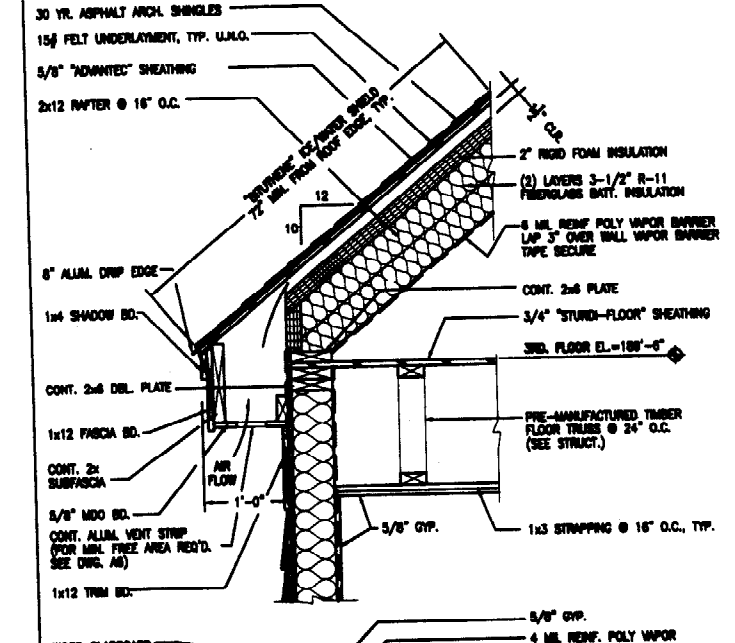
(A) 1 HR. FIRE RATED DEMISING WALL
1'-11\"/>



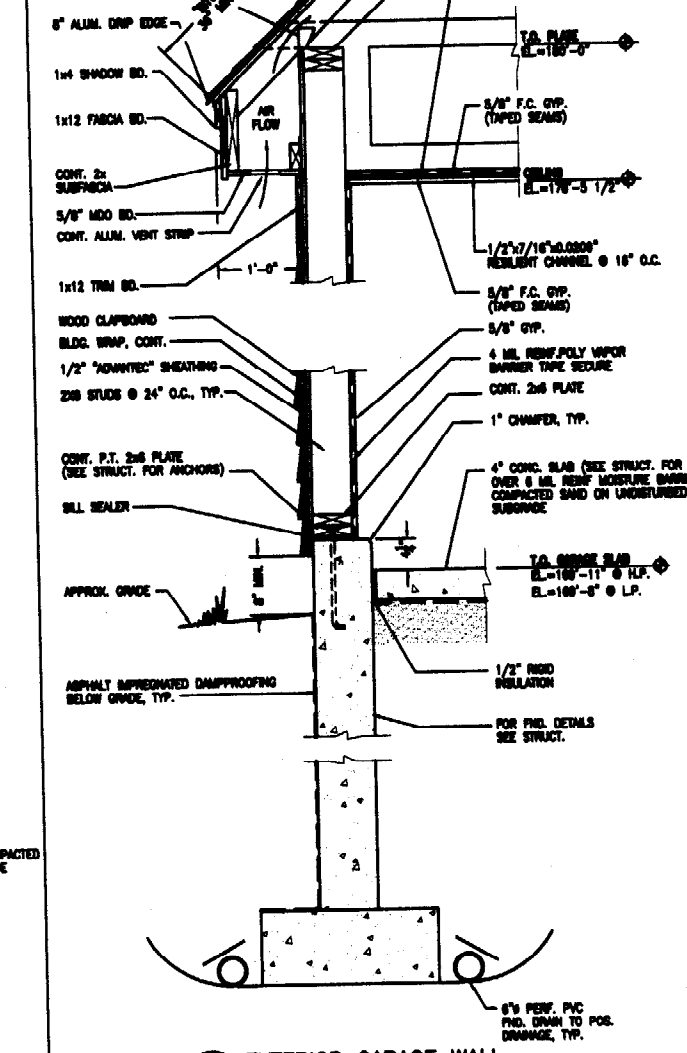
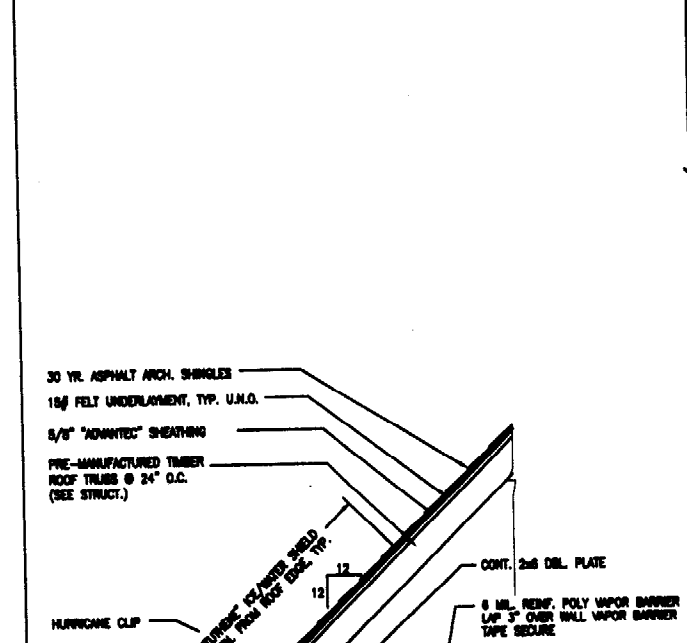
2ND. & 3RD. FLOOR



(B) EXTERIOR CABLE END WALL
1'-11\"/>



(C) EXTERIOR WALL
1'-11\"/>



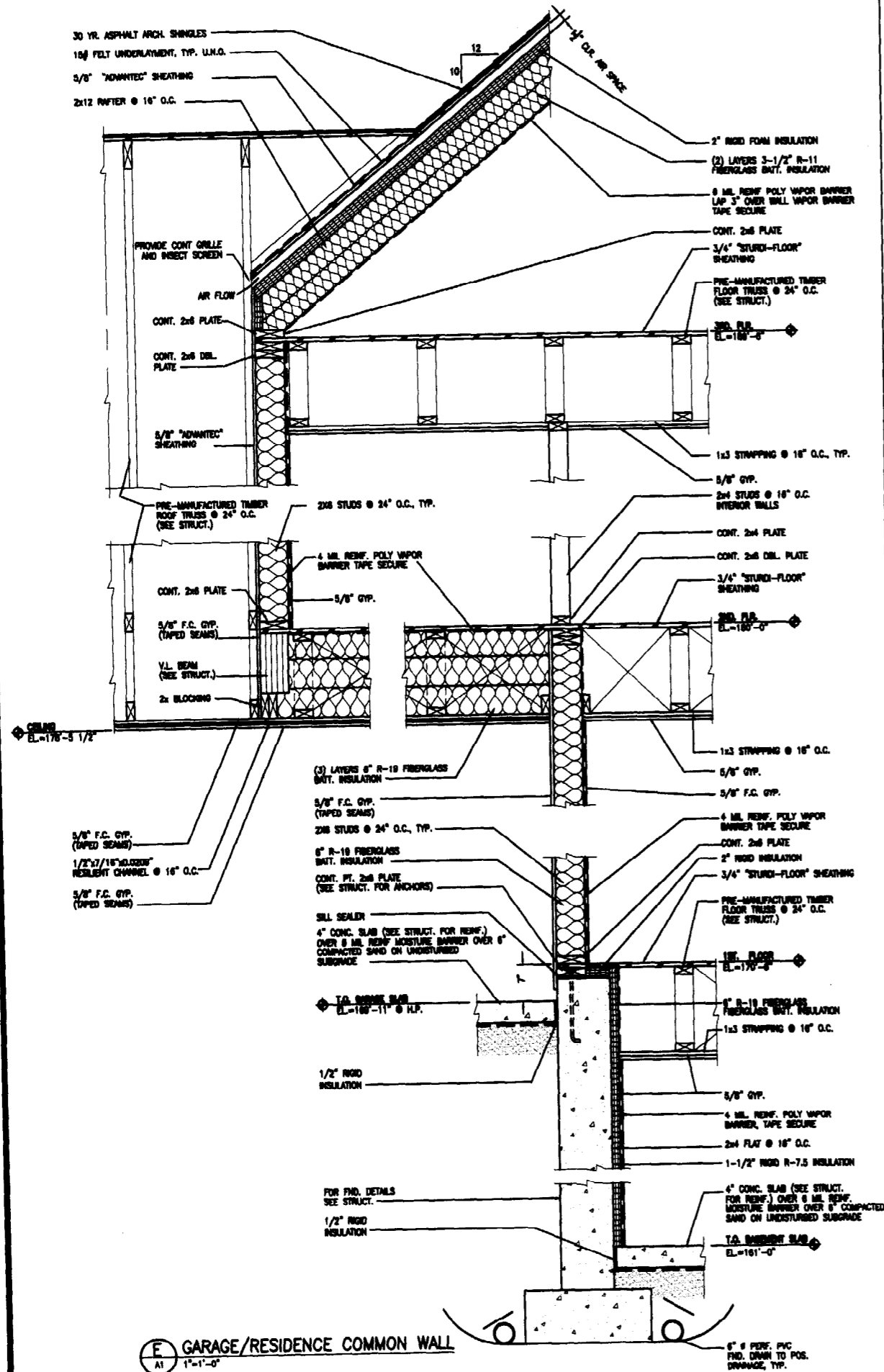
(D) EXTERIOR GARAGE WALL
1'-11\"/>

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
SECTIONS & DETAILS
UNITS 13, 14, 15, & 16

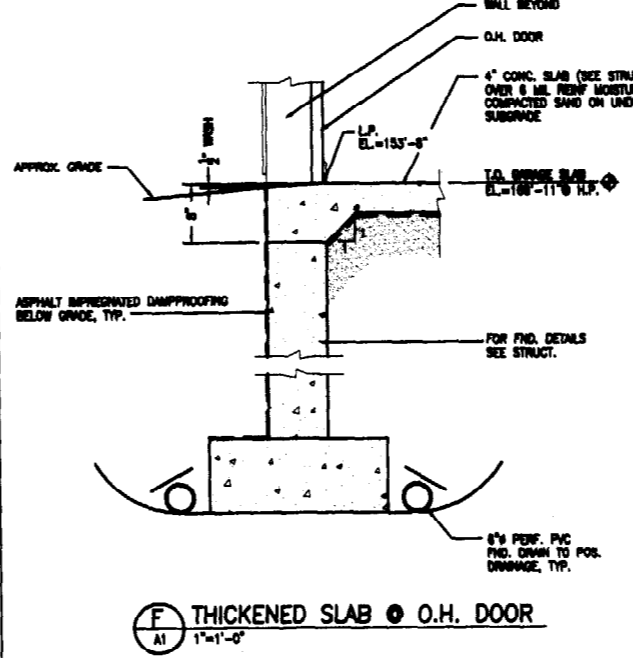
REV.	DATE	STATUS

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

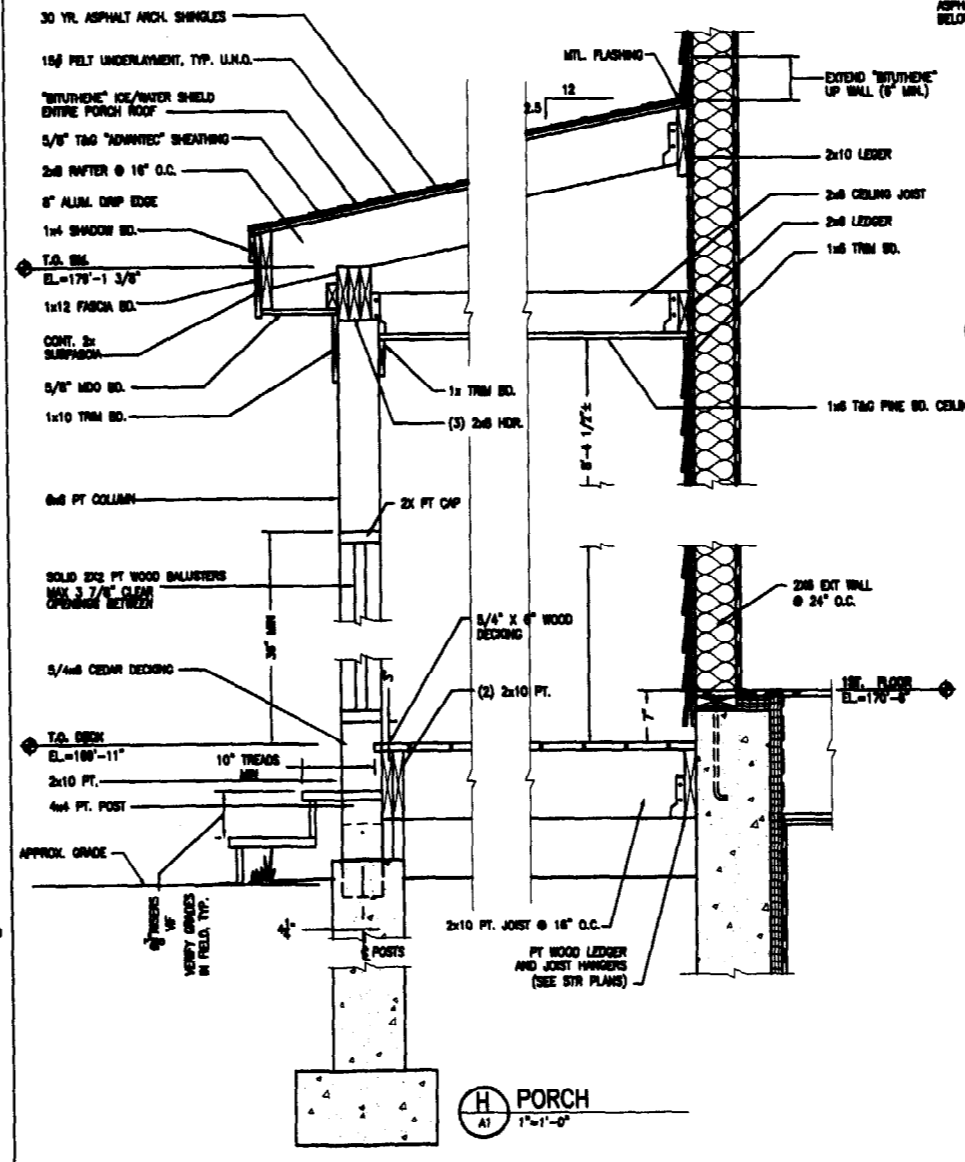
A10



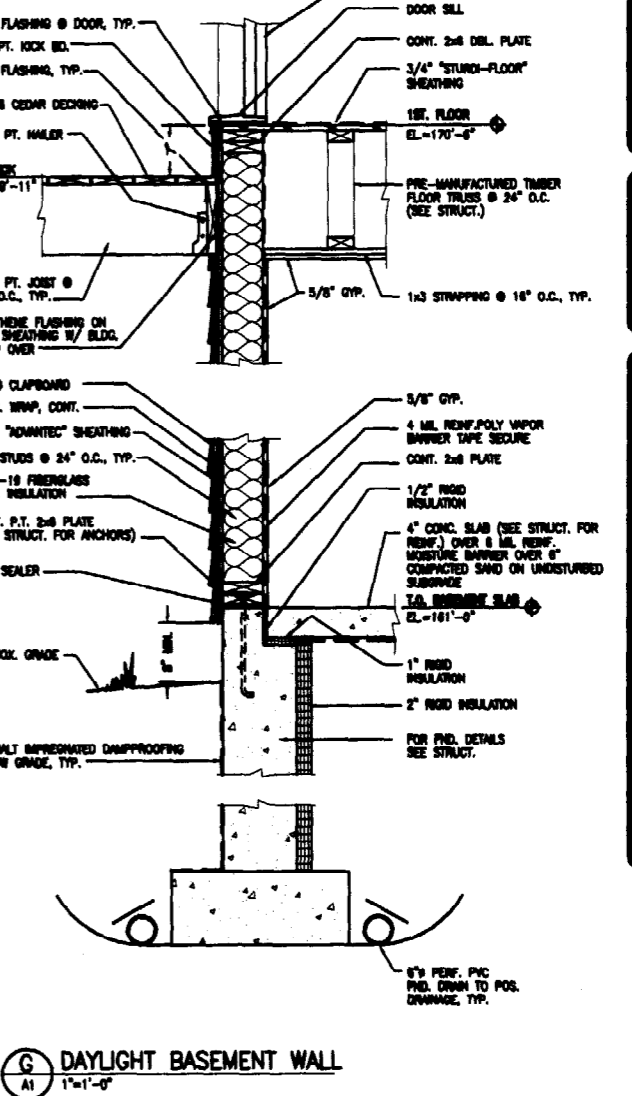
E GARAGE/RESIDENCE COMMON WALL
A1 1"=1'-0"



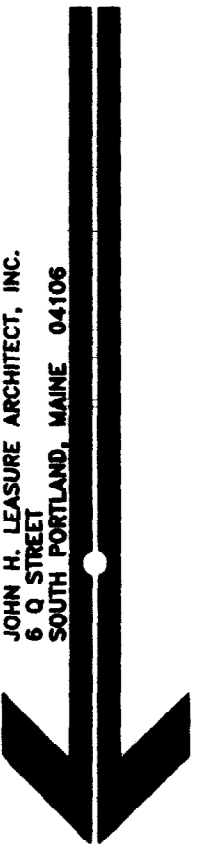
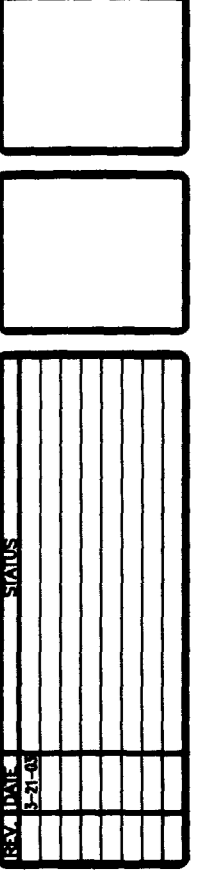
F THICKENED SLAB @ O.H. DOOR
A1 1"=1'-0"



H PORCH
A1 1"=1'-0"



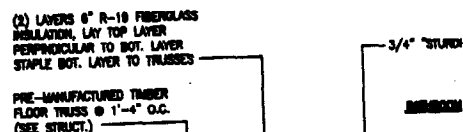
G DAYLIGHT BASEMENT WALL
A1 1"=1'-0"



OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
BASEMENT FLOOR PLAN
UNITS 13, 14, 15, & 16

A11

CEILING TYPES



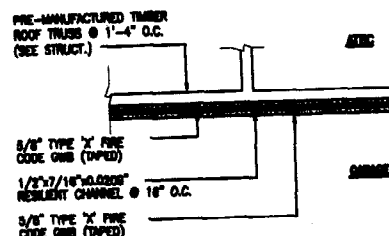
FIRE RESISTIVE CEILING

BASE LAYER 5/8" TYPE 'X' GIB APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 6d NAILS 2-1/2" LONG, 0.113" SPACED, 18/64" HEAD, 7" O.C. ALL SEAMS TAPED.

RESISTANT FURNING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 6d NAIL, 2-1/2" LONG, 0.113" SPACED, 18/64" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.

FACE LAYER 5/8" TYPE 'X' GIB APPLIED AT RIGHT ANGLES TO RESISTANT FURNING CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

1 CEILING
(1 HR. FIRE RATED)

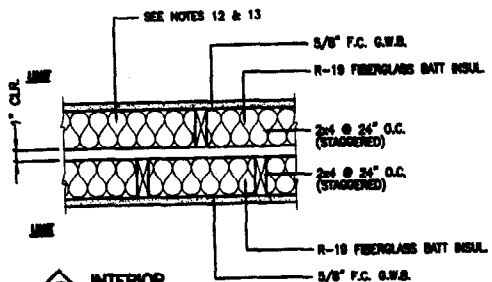


2 CEILING
(1 HR. FIRE RATED)

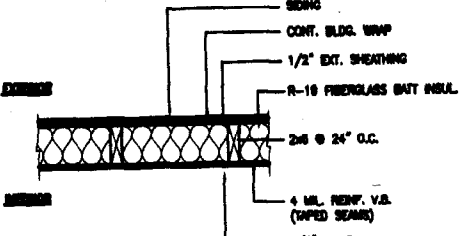
GENERAL NOTES

- 1 - ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS AND VERIFY PROPOSED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- 2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EXISTING CONDITIONS AND REQUIREMENTS TO MAINTAIN THE SAFETY OF THE BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION. THIS INCLUDES THE ASSIGNMENT OF RESPONSIBILITY FOR PROTECTING EXISTING TEMPORARY BRACING, SHUTS OR SHORING. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- 3 - ALL WORK SHALL BE IN ACCORDANCE WITH AISC, BOCA 1990/94 NFPA 101, AND ALL LOCAL, STATE & FEDERAL REQUIREMENTS.
- 4 - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- 5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
- 6 - MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL STANDARDS.
- 7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MINIMUM 7 3/4" RISER AND A MINIMUM 10" DEEP TREAD.
- 8 - FINISHERS SHALL BE DRYWALL, TAPED, SANDED AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS.
- 9 - COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/O.C. PRIOR TO PROCEEDING WITH WORK.
- 10 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.
- 11 - FIRE DOOR ASSEMBLY, INCLUDING THE DOORWAY, FRAME, DOOR AND NECESSARY HARDWARE SHALL CONFORM TO NFPA-101 SECTION 5-1.
- 12 - ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SLEEVED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE SAVING MATERIAL IF NEEDED.
- 13 - VERTICAL OUTLETS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED AT THE MIDPOINT BETWEEN STUDS. NO OUTLETS SHALL BE LOCATED BEHIND JOIST BEARINGS.

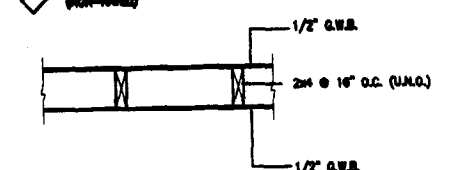
WALL TYPES



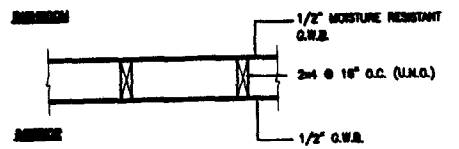
3 INTERIOR
(1 HR. FIRE RATED)



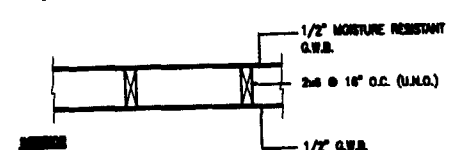
4 EXTERIOR
(NON-RATED)



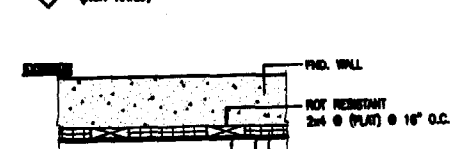
5 INTERIOR
(NON-RATED)



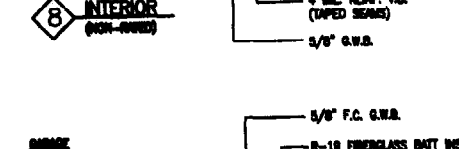
6 INTERIOR
(NON-RATED)



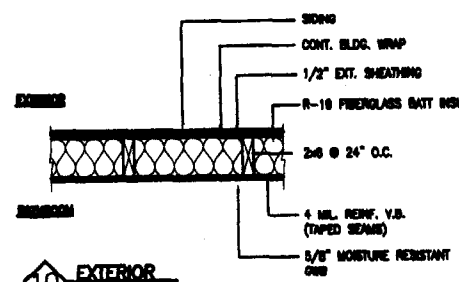
7 INTERIOR
(NON-RATED)



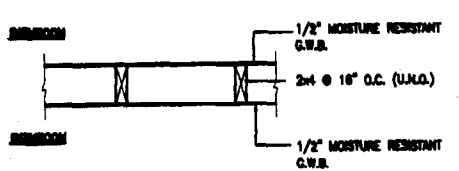
8 INTERIOR
(NON-RATED)



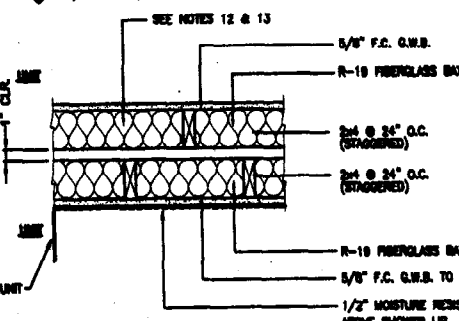
9 INTERIOR
(1 HR. FIRE RATED)



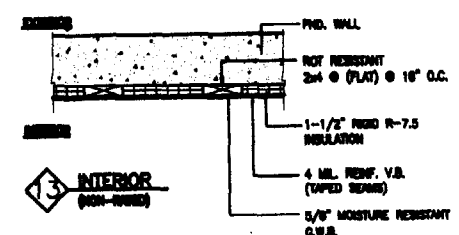
10 EXTERIOR
(NON-RATED)



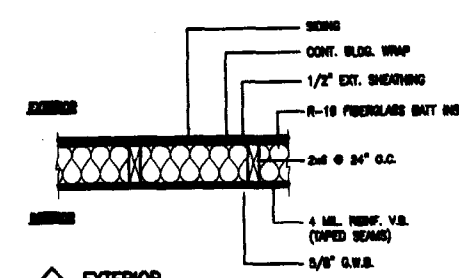
11 INTERIOR
(NON-RATED)



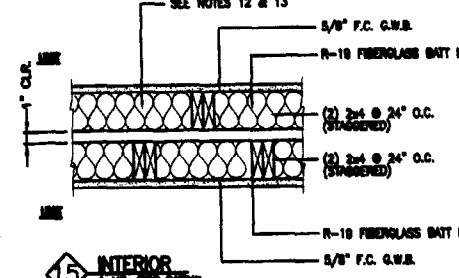
12 INTERIOR
(1 HR. FIRE RATED)



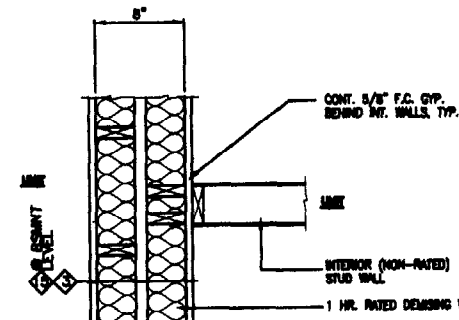
13 INTERIOR
(NON-RATED)



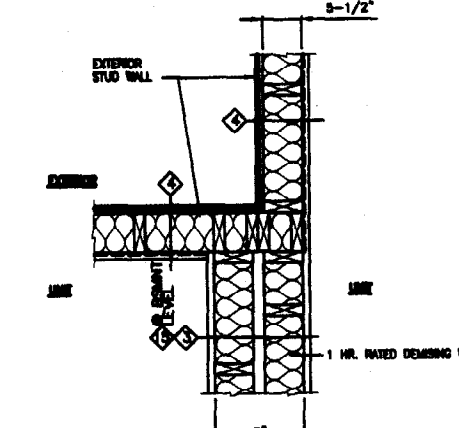
14 EXTERIOR
(NON-RATED)



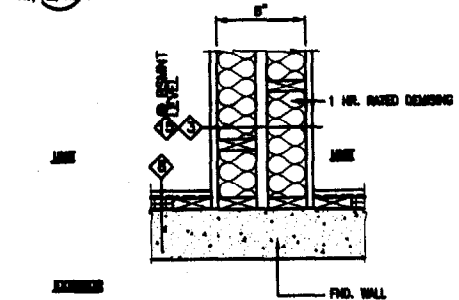
15 INTERIOR
(1 HR. FIRE RATED)



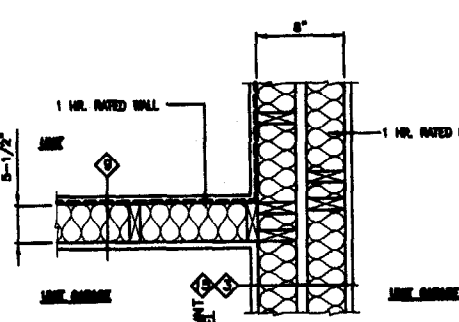
1 DEMISING WALL/INTERIOR WALL
A1, A2, A3, A4 N.T.S.



2 DEMISING WALL/EXTERIOR WALL
A1, A2, A3, A4 N.T.S.



3 DEMISING WALL/FOUNDATION WALL
A3 N.T.S.



4 GARAGE/UNIT DEMISING WALL
A2 N.T.S.

OCEAN RIDGE CONDOMINIUMS
852 OCEAN AVENUE
PORTLAND, MAINE
WALL TYPES & DETAILS
UNITS 13, 14, 15, & 16

JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106

A12

DOOR SCHEDULE

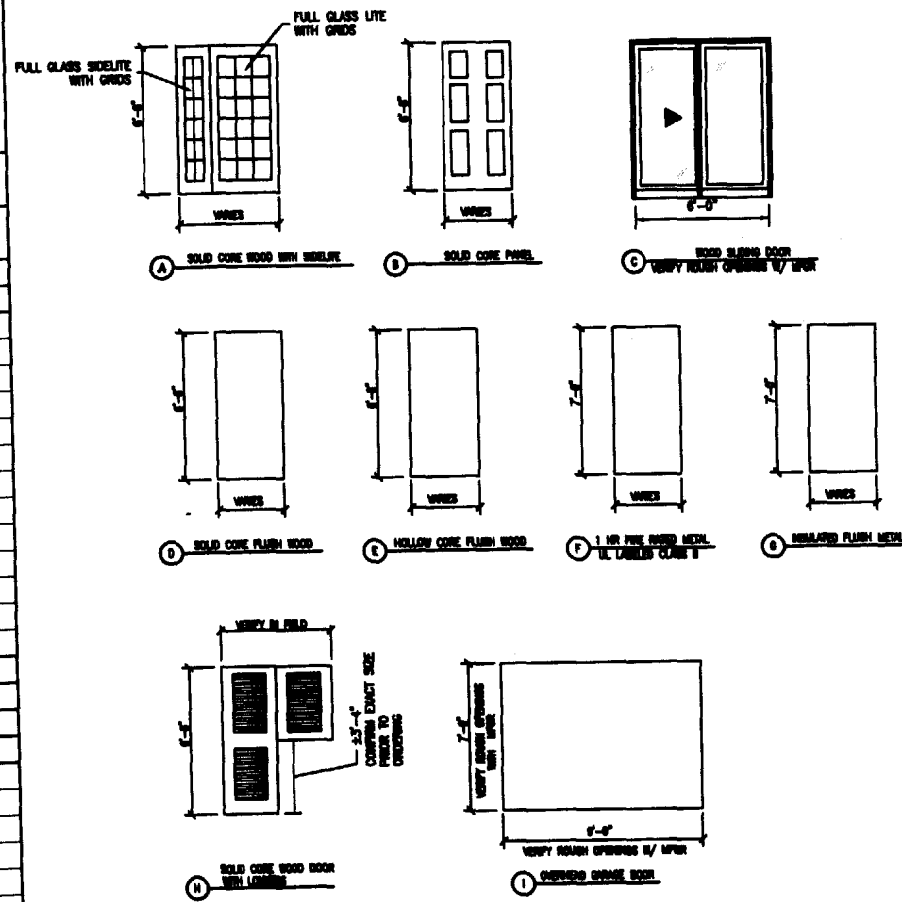
DOOR SCHEDULE ABBREVIATIONS

C.O. CLOSER	HWK HARDWARE	S. STEEL
D.K. DOOR KNOCKER	HM HOLLOW METAL	S.C. SOLID CORE HARDBOARD
D.S. DOOR SWEEP	INS INSULATED	S.H. SPRING HINGE
EHO ELECTRIC HOLD OPENER	K KNOCKPLATE (PUSH SIDE)	S.L. SPLIT LAMB (WOOD)
ES ELECTRIC STRIKE	KL KEY LOCK	TEMP TEMPERED
F.A.P. FINGER JOINTED PRIMED	MTL METAL	THK THICKNESS
FR FIRE RATED	NO NUMBER	WD WOOD (SOLID)
HA HANDICAP ACCESSIBLE	P.H. PANIC HARDWARE	WG WIRE GLASS
HC HOLLOW CORE HARDBOARD	P.P. PUSH/PULL	V VENEER

FIRST FLOOR

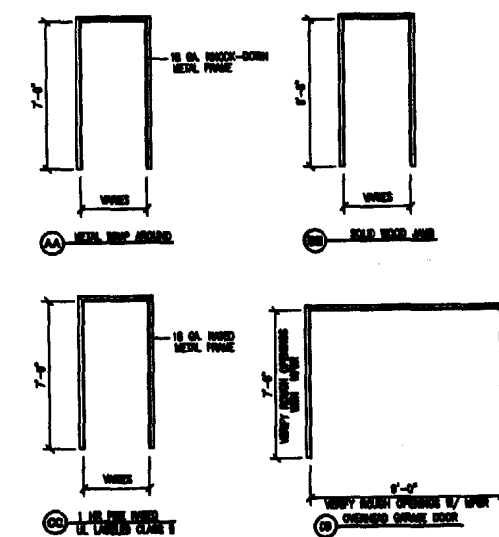
NO.	TYPE	SIZE	THK.	F.R.	HDWE SET	MAT.	GLASS		REMARKS	FRAME TYPES			THRESHOLD		
							SIZE	TYPE		TYPE	MAT.	F.R.	DETAILS	MAT.	DETAIL
										HEAD	JAMB	SILL	HT.		
01	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
02	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	PASSAGE SET	BB	WOOD	-	-	-	-
03	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
04	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
05	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	LOCKSET	BB	WOOD	-	-	-	-
06	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	PASSAGE SET	BB	WOOD	-	-	-	-
07	A	3'-0" x 6'-6"	1 3/8"	-	KNOB	WOOD	-	-	INS. KL. V. TEMP. DS. DK	BB	WOOD	-	-	-	-
08	I	6'-0" x 7'-0"	-	-	INSUL	WOOD	-	-	INSUL. G.H. GARAGE DOOR	BD	WOOD	-	-	-	-
09	C	6'-0" x 6'-6"	-	-	MFR	WOOD	-	-	INS. TEMP	BB	WOOD	-	-	-	-
10	F	3'-0" x 7'-0"	1 3/4"	1 HR.	KNOB	NSGA MTL	-	-	INS. SH. OS	CC	MTL	-	-	-	-
11	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
12	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
13	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
14	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
15	F	3'-0" x 7'-0"	1 3/4"	1 HR.	KNOB	NSGA MTL	-	-	INS. SH. OS	BB	WD	-	-	-	-
16	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
17	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
18	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
19	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
20	B	PR 3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
21	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
22	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
23	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
24	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
25	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
26	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
27	B	2'-6" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
28	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
29	B	PR 1'-4" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
30	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
31	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
32	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
33	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-
34	B	3'-0" x 6'-6"	1 3/8"	-	KNOB	WD	-	-	LOCKSET	BB	WD	-	-	-	-

DOOR TYPES

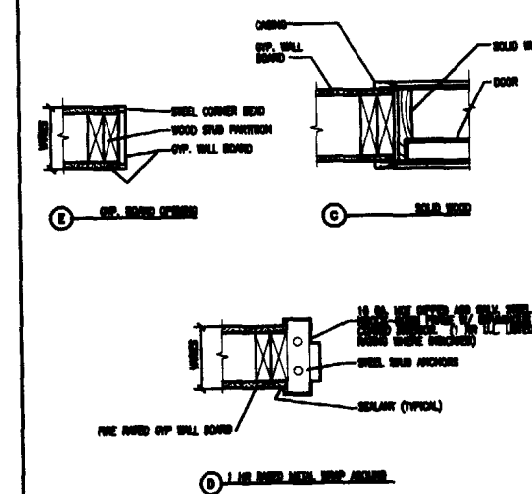


NOTE: 1) - WINDOW AND DOOR QUANTITIES SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

FRAME TYPES



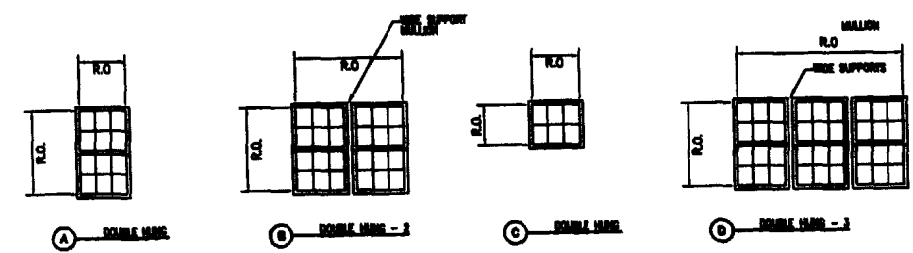
JAMB TYPES



WINDOW SCHEDULE

NO.	TYPE	MANUF	CAT NO.	UNIT DIMENSION	ROUGH OPENING	REMARKS	DETAILS	
							HEAD	JAMB
W1	C	ANDERSEN	DHT2011	2'-1 5/8" x 2'-1 5/16"	2'-2 1/8" x 2'-1 7/8"	LOW E GLASS, GRILLES (COLOR BY OWNER)	-	-
W2	A	ANDERSEN	TW24410	2'-5 5/8" x 5'-0 7/8"	2'-6 1/8" x 5'-1 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-
W3	A	ANDERSEN	TW2452	2'-5 5/8" x 5'-4 7/8"	2'-6 1/8" x 5'-5 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-
W4	D	ANDERSEN	TW2452-3	7'-5" x 5'-4 7/8"	7'-5 1/2" x 5'-5 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-
W5	B	ANDERSEN	TW2452-2	4'-11 5/16" x 5'-4 7/8"	4'-11 13/16" x 5'-5 1/4"	LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER)	-	-

WINDOWS



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DOOR AND WINDOW SCHEDULE
UNITS 13, 14, 15, & 16

A14