

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Permit Number: 030251

Please Read  
Application And  
Notes, if Any,  
Attached

This is to certify that Ocean Ridge Realty Llc /n/a  
has permission to New Condominiums / Unit # 2, 3, and  
AT 840 Ocean Ave 416A A003001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be given and when permission procured before this building or part thereof is started or otherwise exposed-in-4  
YOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |             |                      |
|-----------------------|-------------|----------------------|
| Permit No:<br>03-0251 | Issue Date: | CBL:<br>416A A003001 |
|-----------------------|-------------|----------------------|

|   |  |   |   |
|---|--|---|---|
| Location of Construction:<br>840 Ocean Ave                                | Owner Name:<br>Ocean Ridge Realty Llc  | Owner Address:<br>91 Ocean Ave  | Phone:<br>207-650-3965  |
| Business Name:<br>n/a   | Contractor Name:<br>n/a  | Contractor Address:<br>n/a Portland   | Phone:  |
| Lessee/Buyer's Name<br>n/a  | Phone:<br>n/a  | Permit Type:<br>Multi Family  | Zone:<br>R3/FH<br>PRQ   |
| Past Use:<br>Vacant   | Proposed Use:<br>New 6100 sq. Ft. Condominium<br>Units / Unit # 1, 2, 3, and 4 | Permit Fee:<br>\$3,648.00   | Cost of Work:<br>\$475,000.00   |
| Proposed Project Description:<br>New Condominiums / Unit #1, 2, 3, and 4. |  | FIRE DEPT: <input checked="" type="checkbox"/> Approved<br><input type="checkbox"/> Denied  | INSPECTION:<br>Use Group: R3 Type: SB<br>5/8/03<br>Signature: [Signature] |
|   |  | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)<br>Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied<br>Signature: [Signature] Date: |   |

|                        |                                 |                        |
|------------------------|---------------------------------|------------------------|
| Permit Taken By:<br>gg | Date Applied For:<br>03/25/2003 | <b>Zoning Approval</b> |
|------------------------|---------------------------------|------------------------|

|   |  |   |  |
|---|--|---|--|
| <ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol> | <b>Special Zone or Reviews</b><br><input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone<br><input checked="" type="checkbox"/> Subdivision<br><input checked="" type="checkbox"/> Site Plan<br>2003-0056<br>Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br>Date: 4/25/03 | <b>Zoning Appeal</b><br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: | <b>Historic Preservation</b><br><input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br>Date: |
|---|--|---|--|

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                              |  |                             |
|------------------------------|--|-----------------------------|
| <b>Permit No:</b><br>03-0251 | <b>Date Applied For:</b><br>03/25/2003 | <b>CBL:</b><br>416A A003001 |
|------------------------------|--|-----------------------------|

|   |  |  |                               |
|---|--|--|-------------------------------|
| <b>Location of Construction:</b><br>840 Ocean Ave | <b>Owner Name:</b><br>Ocean Ridge Realty Llc | <b>Owner Address:</b><br>91 Ocean Ave      | <b>Phone:</b><br>207-650-3965 |
| <b>Business Name:</b><br>n/a                      | <b>Contractor Name:</b><br>n/a               | <b>Contractor Address:</b><br>n/a Portland | <b>Phone:</b>                 |
| <b>Lessee/Buyer's Name:</b><br>n/a                | <b>Phone:</b><br>n/a                         | <b>Permit Type:</b><br>Multi Family        |                               |

|  |  |
|--|--|
| <b>Proposed Use:</b><br>New 6100 sq. Ft. Condominium Units / Unit # 1, 2, 3, and 4 | <b>Proposed Project Description:</b><br>New Condominiums / Unit #1, 2, 3, and 4. |
|--|--|

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 04/25/2003

**Note:** 04/25/03 received the stamped approved plan from planning      **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Pending      **Reviewer:**      **Approval Date:**

**Note:**      **Ok to Issue:**

**Comments:**

03/28/2003-kwd: 03/28/2003: applicant has submitted a revised plan to Planning; see plan application 2003-0056 for information.

04/22/2003-kwd: 04/22/2003: Planning letter sent 4/2/03 requesting mylar of revised plan; not received yet, so still on hold in Planning. Kandi Talbot is planner for this project.

04/25/2003-kwd: Final site plan revisions approved, received in Inspection 4/25/03. Re-sent to Zoning for review.

New owner  
Applicant: Ocean Ridge Realty, LLC  
Address: 840-846 Ocean Ave  
Ocean Ridge Dev.

Date: 3/31/03  
C-B-L: 46A-1-3

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Revival of Marjem Mortgage Corp in 2001

Zone Location - R-3 Zone PRUD Development

Interior or corner lot -

Proposed Use/Work - 46 unit PRUD Development with attached garages

Sevage Disposal - City

Lot Street Frontage - 50'

Front Yard - ① min building setback from external subdivision property lines 25' for 3 or fewer D.U. in a bldg

Rear Yard - 35' for 4 or more D.U. in a bldg } both shown

Side Yard - ② min distance between detached PRUD dwelling units 16' - 16' exactly in a few places

Width of Lot - ③ Recreation Areas shall be located at least 25' from dwelling units - OK

Height -

Lot Area - PRUDS min 3 gross acres - 10.08 acres given (439,085 #)

Lot Coverage/ Impervious Surface - ④ MAXIMUM Number of units in a bldg of average shall be 5  
A) A PRUD 5 acres or more = 6 units

Area per Family - B) A PRUD 5 acres or less = 2 units

Off-street Parking - ⑤ MAXIMUM length of a PRUD Bldg. no garage 100' with garage 140' - 140' length shown

Loading Bays - ⑥ min Recreation area = 300 #/DU with a min of 300 x 46 = 13800 - full outlined given as 6,000 # and 5,000 #

Site Plan - # 2003-0056  
Shoreland Zoning/ Stream Protection - ~~min land area~~ minimum area per D.U. 6,500 - using Net Area 46 DU. Just on the 46 DU.

Flood Plains -

min area parking 2/D.U. is 1 for every 6 DU. ⑥) 46 + 2 = 48  
these units have 1 garage & 1 extra physical garage needed 11 extra shown

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

**2003-0056**

Application I. D. Number

**03/25/2003**

Application Date

**Amendment to Plan - Ocean Ridge**

Project Name/Description

**Ocean Ridge Realty LLC**

Applicant

**91 Old Ocean House Road, Cape Elizabeth, ME 04107**

Applicant's Mailing Address

Consultant/Agent

**Applicant Ph: (207) 650-3969 Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**840 - 840 Ocean Ave, Portland, Maine**

Address of Proposed Site

**416A A001001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_

**R-3**  
Zoning

**Check Review Required:**

- |  |  |  |  |
|--|--|--|--|
| <input type="checkbox"/> Site Plan (major/minor)         | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                    | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance             | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date \_\_\_\_\_

**DRC Approval Status:**

Reviewer **Sebago Technic**

- Approved  **Approved w/Conditions See Attached**  Denied

Approval Date **04/02/2003** Approval Expiration **04/02/2004** Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Kandi Talbot** **04/25/2003**  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2003-0056**

Application I. D. Number

**03/25/2003**

Application Date

**Amendment to Plan - Ocean Ridge**

Project Name/Description

**Ocean Ridge Realty LLC**

Applicant

**91 Old Ocean House Road, Cape Elizabeth, ME 04107**

Applicant's Mailing Address

Consultant/Agent

**Applicant Ph: (207) 650-3969      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**840 - 840 Ocean Ave, Portland, Maine**

Address of Proposed Site

**416A A001001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

- 1 Building complex 5-8 meet the required setback of 35 feet for a building with 4 or more dwelling units within a building. The plans also show "open terraces". These shall only be of a patio nature and not a constructed deck. If this terrace is a constructed element of the structure such as a deck, then that deck would also need to meet the required 35 ft. To the exterior subdivision line. The plans would need to be revised to reflect a constructed deck that meets the 35-foot setback.
- 2 A mylar of the revised subdivision plan shall be submitted for signature by the Director of the Planning Division. The revised subdivision plan shall then be recorded in the Registry of Deeds and a mylar copy, along with seven (7) paper copies of the recorded subdivision plan shall be submitted to the City.

**Approval Conditions of DRC**

- 1 see planning conditions

030249<sup>51</sup>

~~030239~~

UNITS 1, 2, 3, 4  
MAN

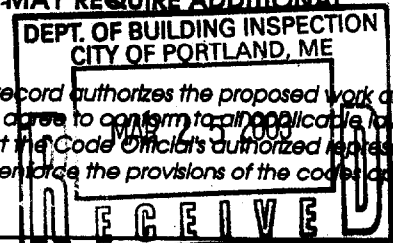
# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|  |   |   |
|--|---|---|
| Location/Address of Construction: <u>OCEAN RIDGE CONDOMINIUMS 840 OCEAN AVE</u>  |   |   |
| Total Square Footage of Proposed Structure<br><u>6100 ±</u>  | Square Footage of Lot<br><u>10 ± ALREADY TOTAL</u>  |   |
| Tax Assessor's Chart, Block & Lot<br>Chart# <u>416A</u> Block# <u>A</u> Lot# <u>003</u>  | Owner:<br><u>OCEAN RIDGE REALTY LLC</u>   | Telephone:<br><u>(207) 650-3965</u>   |
| Lessee/Buyer's Name (if Applicable)  | Applicant name, address & telephone:<br><u>PATRICK TINSMAN</u><br><u>91 OLD OCEAN HOUSE RD</u><br><u>CAPE ELIZABETH, ME</u> | Cost Of Work: \$ <u>475,000</u><br>Fee: \$ <u>3348 permit</u><br><u>300 Copo(4)</u> |
| Current use: <u>WOODS RAW LAND</u>   | <u>650-3965</u>   | <u>\$3648</u>   |
| If the location is currently vacant, what was prior use: _____   |   |   |
| Approximately how long has it been vacant: _____   |   |   |
| Proposed use: <u>CONDO'S: 4 OF 46 UNITS <del>FOR PHASE I</del></u>   |   |   |
| Project description:   |   |   |
| Contractor's name, address & telephone:  |   |   |
| Who should we contact when the permit is ready: <u>PATRICK TINSMAN</u>   |   |   |
| Mailing address: <u>91 OLD OCEAN HOUSE RD</u><br><u>CAPE ELIZABETH, MAINE 04107</u> <u>650-3965</u>  |   |   |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: |   |   |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to comply with all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the code applicable to this permit.



Signature of applicant: Pat Tinsman Date: 3-25-03

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



State of Maine  
Department of Public Safety  
Construction Permit



Not  
Reviewed  
for Barrier  
Free

# 13047

Sprinkled  
Sprinkler Supervised

OCEAN RIDGE CONDOMINIUMS

Located at: <sup>840</sup> 852 OCEAN AVE.

PORTLAND

Occupancy/Use: 1 & 2 FAMILY/OTHER

Permission is hereby given to:

OCEAN RIDGE REALTY

91 OLD OCEAN HOUSE ROAD  
CAPE ELIZABETH, ME 04107

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved.  
no departure from application form/plans shall be madewithout prior approval in writing. This permit is issued under the provisions  
of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or  
other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 01 th of Septemb 2003*

Dated the 01 th day of March A.D. 2003

Commissioner

Copy-2 Architect

Comments:

JOHN H. LEASURE

SIX Q STREET  
SOUTH PORTLAND, ME 04106



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

**Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

**Re-Bar Schedule Inspection:** Prior to pouring concrete

**Foundation Inspection:** Prior to placing ANY backfill


**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

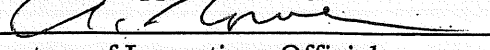
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

  
\_\_\_\_\_  
Signature of applicant/designee

5/9/03  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

5/9/03  
\_\_\_\_\_  
Date

CBL: 416AA003 Building Permit #: 030251

UNITS ~~1-16~~  
1-4



# CITY OF PORTLAND MAINE

389 Congress St., Rm 315  
Portland, ME 04101  
Tel. - 207-874-8704  
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE - ARCHITECT, INC.  
L & L STRUCTURAL ENGINEERING SERVICES INC.

DATE: MAY 5 2003 (REVISED)

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 852 OCEAN AVE

### THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year: BOCA 1999 Use Group Classification(s): R3  
Type of Construction: 5B Bldg. Height: 32'-8" Bldg. Sq. Footage: 2888 SF HABITABLE  
1132 SF GARAGES  
Seismic Zone: Z/A<sub>v</sub> = 0.10 Group Class: CATEGORY II  
Roof Snow Load Per Sq. Ft.: 42 PSF Dead Load Per Sq. Ft.: 15 PSF  
Basic Wind Speed (mph): 85 MPH Effective Velocity Pressure Per Sq. Ft.: 28 PSF  
Floor Live Load Per Sq. Ft.: 40 PSF

Structure has full sprinkler system? Yes  No  Alarm System? Yes  No   
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes  No

If mixed use, what subsection of 313 is being considered \_\_\_\_\_

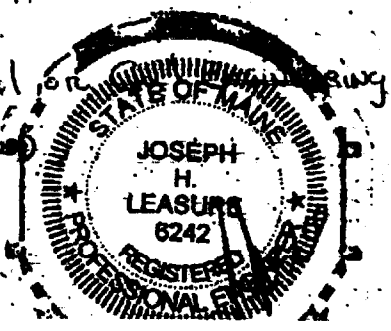
List Occupant loading for each room or space, designed into this Project.

We ASSUME NO LOADS FOR MECHANICAL, ELECTRICAL OR \_\_\_\_\_

PSH 607/TK



(Designers Stamp & Signature)



# LOAD DATA

**OUTSIDE DIAMETER 3.5"**  
**11.5 LBS./FT.**

**OUTSIDE DIAMETER 4.0"**  
**14.25 LBS./FT.**

|                           |              |
|---------------------------|--------------|
| <b>OUTSIDE DIAMETER</b>   | <b>3.5</b>   |
| <b>GAUGE</b>              | <b>16</b>    |
| <b>WALL THICKNESS</b>     | <b>.065</b>  |
| <b>INSIDE DIAMETER</b>    | <b>3.370</b> |
| <b>AREA OF STEEL</b>      | <b>.701</b>  |
| <b>AREA OF CONCRETE</b>   | <b>8.920</b> |
| <b>R.O.G. OF STEEL</b>    | <b>1.215</b> |
| <b>R.O.G. OF CONCRETE</b> | <b>.843</b>  |

|                           |               |
|---------------------------|---------------|
| <b>OUTSIDE DIAMETER</b>   | <b>4.0</b>    |
| <b>GAUGE</b>              | <b>16</b>     |
| <b>WALL THICKNESS</b>     | <b>.065</b>   |
| <b>INSIDE DIAMETER</b>    | <b>3.870</b>  |
| <b>AREA OF STEEL</b>      | <b>.804</b>   |
| <b>AREA OF CONCRETE</b>   | <b>11.789</b> |
| <b>R.O.G. OF STEEL</b>    | <b>1.391</b>  |
| <b>R.O.G. OF CONCRETE</b> | <b>.968</b>   |

| <b>COLUMN LENGTH<br/>IN FEET</b> | <b>SAFE LOAD<br/>IN POUNDS</b> | <b>SLENDERNESS<br/>RATIO</b> |
|----------------------------------|--------------------------------|------------------------------|
| 5.0                              | 18680                          | 49                           |
| 5.5                              | 18470                          | 54                           |
| 6.0                              | 18020                          | 59                           |
| 6.5                              | 17530                          | 64                           |
| 7.0                              | 17000                          | 69                           |
| 7.5                              | 16430                          | 74                           |
| 8.0                              | 15820                          | 79                           |
| 8.5                              | 15180                          | 84                           |
| 9.0                              | 14490                          | 89                           |
| 9.5                              | 13760                          | 94                           |
| 10.0                             | 13000                          | 98                           |
| 10.5                             | 12200                          | 104                          |
| 11.0                             | 11380                          | 109                          |
| 11.5                             | 10470                          | 114                          |
| 12.0                             | 9530                           | 119                          |
| 12.5                             | 8580                           | 123                          |
| 13.0                             | 7590                           | 128                          |
| 13.5                             | 6580                           | 133                          |

| <b>COLUMN LENGTH<br/>IN FEET</b> | <b>SAFE LOAD<br/>IN POUNDS</b> | <b>SLENDERNESS<br/>RATIO</b> |
|----------------------------------|--------------------------------|------------------------------|
| 5.0                              | 23570                          | 43                           |
| 5.5                              | 23180                          | 47                           |
| 6.0                              | 22750                          | 52                           |
| 6.5                              | 22290                          | 56                           |
| 7.0                              | 21790                          | 60                           |
| 7.5                              | 21250                          | 65                           |
| 8.0                              | 20670                          | 69                           |
| 8.5                              | 20050                          | 73                           |
| 9.0                              | 19410                          | 78                           |
| 9.5                              | 18720                          | 82                           |
| 10.0                             | 18000                          | 86                           |
| 10.5                             | 17240                          | 91                           |
| 11.0                             | 16440                          | 95                           |
| 11.5                             | 15610                          | 99                           |
| 12.0                             | 14730                          | 103                          |
| 12.5                             | 13830                          | 108                          |
| 13.0                             | 12880                          | 112                          |
| 13.5                             | 11900                          | 116                          |
| 14.0                             | 10870                          | 121                          |

389 Congress St. Rm 315  
Portland, ME 04101  
Phone: (207)874-8700  
Fax: (207)874-8716

**To:** John & Joseph Leasure                      **From:** Mike Nugent  
**Fax:** 799-5432                                      **Date:** May 1, 2003  
**Phone:** 767-4830                                 **Pages:** 1  
**Re:** Ocean Ridge units 1,2,3 & 4

Urgent       For Review       Please Comment       Please Reply       Please Recycle



- I have my completed the initial review and have the following questions/comments:
- 1) What is the spacing of the anchor bolts from corners?
  - 2) What column type?
  - 3) What type of Fire suppression system will be used?
  - 4) The "04" shown on page A2 is not on the door schedule, tempered glass?
  - 5) ~~require separate permits and technical info about fireplaces and heating equipment.~~
  - 6) The space between the third floor ceiling joists and rafters exceeds 30 inches and no attic access is shown.
  - 7) The roof system must have a one-hour fire rating in 5A buildings.
  - 8) It appears that the floor ceiling assemblies need fire blocking as the space exceeds 500 Sq.ft.
  - 9) Does the wall system extend to the underside of the roof sheathing?
  - 10) What is the STC of the wall assemblies?
  - 11) Page S9 Figure 5, using the FTW product, does the fire rated assembly include the GWB on the underside of the floor? (see section 711.4)
  - 12) For the purposes of this permit, is the entire structure enveloped in rated GWB (see table 602 for type 5A construction)



389 Congress St.Rm 315  
Portland, ME 04101  
Phone: (207)874-8700  
Fax: (207)874-8716

To: John & Joseph Leasure

From: Mike Nugent

Fax: 799-5432

Date: May 6, 2003

Phone: 767-4830

Pages: 1

Re: Ocean Ridge units 1,2,3 & 4

Urgent

For Review

Please Comment

Please Reply

Please Recycle

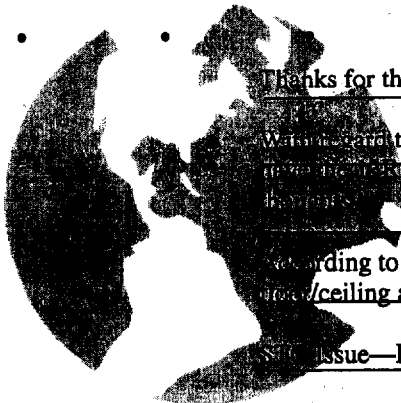
Thanks for the quick response.

With regard to the type of construction (5A or B), if you opt for the 5B designation, you'll have to install a Sprinkler System monitored in compliance with Section 924.1 Method 1. Any

According to Lt. McDougall, NFPA 13R systems do not have heads in enclosed spaces such as ceiling assemblies, if this is the case draft stopping will be required, can you address this?

Issue—Do all of the tenant separation assemblies have an STC of 45 or greater?

Thanks again!



SIX Q STREET SOUTH PORTLAND, ME 04106

**JOHN H. LEASURE  
ARCHITECT, INC.****Fax**

**To:** Mr Mike Nugent (City of Portland Code Enforcement) **From:** JOHN LEASURE

**Fax:** 874-8716 **Pages:** 5 including this one

**Phone:** **Date:** 5/5/2003

**Re:** OCEAN RIDGE CONDOMINIUMS **CC:** PAT TINSMAN, FILE

Urgent  For Review  Please Comment  Please Reply  Please Recycle

• **Comments:**

Mr Nugent:

We have received your 12 comments by fax.

Please find specific reply to each comment below.

- 1) Anchor bolts are spaced 12" from corners and from ends of sill plates (typ). Otherwise as shown on plans.
- 2) Lally Column type is indicated on attached sheet from L & L Structural Engineering Services.
- 3) Fire suppression will be in accordance with NFPA 13R for Sprinkler systems as indicated on the Architectural plans A1 – A5. Sprinkler Plans and Calculations will be submitted by the Sprinkler Contractor to the Maine State Fire Marshal's Office and all State & Municipal permits obtained before any installation begins.
- 4) Door 04 is similar to door 01 and will be added to the door schedule. The glazing in the door and in the sidelites will be tempered glass.
- 5) Owner be advised that separate permits are required for the fireplaces and the heating equipment. We are not contracted to design the fireplaces or heating equipment.

May 5, 2003

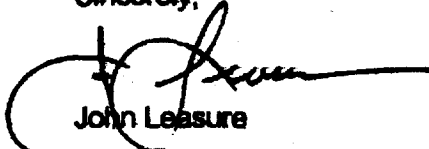
## Comments, cont.

- 6) Will provide minimum 22" x 30" opening access into the attic space. One in each dwelling unit third floor level. (BOCA 1999 Sec. 1211.2) See Dwg A4.
- 7) The Construction Type 5A on the application was written incorrectly. The Building Construction Type is 5B and does not require a rated roof system. (Enclosed corrected application sheet for your file)
- 8) Draftstopping is not required in this floor/ceiling space for Type 5B Construction with automatic sprinkler system as long as the sprinklers are also installed in this combustible concealed space as required by NFPA 13R. depth. (BOCA 1999 Sec. 721.7.1.2 exception)
- 9) The Fire Rated Wall systems extends to the underside of the exterior roof sheathing typically as shown on Details1 /A9 & Detail A/A10.
- 10) The STC of the Rated Fire Wall as shown on drawing A10 is 50-55. The other walls are between 30-35 depending on insulation and sheathing materials. If you need specific wall STC documentation, please contact this office.
- 11) The 1 Hour Fire Rated dwelling Unit demising walls extend continuous (including the fire retardant plywood) up to the underside of roof sheathing/ridge beam as indicated on drawings A9 & A10. The 5/8" gyp board on the ceilings between floors of the same dwelling unit is not part of the wall fire rated wall system. (Refer to Construction Permit # 13047 by State Fire Marshal's Office.)
- 12) The buildings are Type 5B Construction (error on application) and are not required to have rated GWB envelope. However we are providing 5/8" non-rated GWB on all exterior walls.

All of these items will be incorporated into the construction drawings.

If you have additional comments or requests, please call 207-450-0555 or fax to 207-767-9771.

Sincerely,



John Leasure

John H. Leasure - Architect Inc.

Encl: Revised application sheets  
Lally column data sheet



# CITY OF PORTLAND MAINE

389 Congress St., Rm 315  
Portland, ME 04101  
Tel. - 207-874-8704  
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: JOHN H. LEASURE-ARCHITECT, INC.  
L & L STRUCTURAL ENGINEERING SERVICES INC

DATE: MAY 5, 2003 (REVISED)

Job Name: OCEAN RIDGE CONDOMINIUMS

Address of Construction: 852 OCEAN AVE

### THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) R3  
Type of Construction 5B Bldg. Height 32'-8" Bldg. Sq. Footage 2888 SF HABITABLE  
1132 SF GARAGES.  
Seismic Zone Z/A<sub>v</sub> = 0.10 Group Class CATEGORY II  
Roof Snow Load Per Sq. Ft. 42 PSF Dead Load Per Sq. Ft. 15 PSF  
Basic Wind Speed (mph) 85 MPH Effective Velocity Pressure Per Sq. Ft. 28 PSF  
Floor Live Load Per Sq. Ft. 40 PSF

Structure has full sprinkler system? Yes  No  Alarm System? Yes  No   
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes  No

If mixed use, what subsection of 313 is being considered \_\_\_\_\_

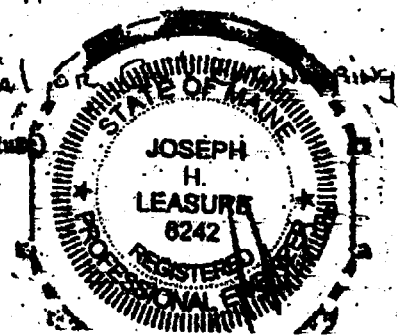
List Occupant loading for each room or space, designed into this Project.

WE ASSUME NO LIMITS ON MECHANICAL, ELECTRICAL OR PLUMBING

PSR 6/07/K



(Designers Stamp & Signature)





# Fax

**To:** Mr Mike Nugent (City of Portland Code Enforcement) **From:** JOHN LEASURE

**Fax:** 874-8716 **Pages:** 1 including this one

**Phone:** **Date:** 5/7/2003

**Re:** OCEAN RIDGE CONDOMINIUMS **CC:** PAT TINSMAN, FILE

Urgent     For Review     Please Comment     Please Reply     Please Recycle

• **Comments:**

**Mr Mike Nugent:**

We have received your comments by fax.

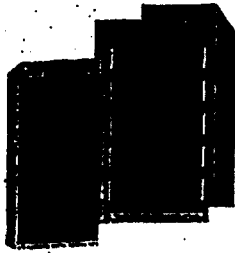
Please find specific reply to each comment below.

- 1) We will be opting for the Type 5B Construction and the Sprinkler System shall be supervised by Method 1. System Service shall actuate an audible alarm at a constantly attended location in accordance with NFPA 72 & BOCA 1999 Sec. 924.1. Owner will choose service and notify City before occupancy of units.
- 2) We will be using an NFPA 13R system and Lt. McDougall is correct regarding the absence of heads in this concealed floor/ceiling space. We will provide draftstopping as required by BOCA 1999 Sec 721.0 using 1/2" min Gyp Bd or 3/8" min plywood on one side of one floor truss on each floor down to top of gyp bd ceiling to divide space into 2 areas, each less than 500 sq ft. Detail and delineation of draftstop on each floor will be added to the drawings for each building. Unit Attic areas and garage attics are less than 500 s.f. and will not require draftstopping.
- 3) An STC of 50-55 will apply for all the unit demising walls (refer Section A/A10)

Thank you,

John Leasure

John H. Leasure – Architect Inc.



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE**  
389 Congress St., Rm 315  
Portland, ME 04101

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** JOHN H. LEASURE ARCHITECT INC.

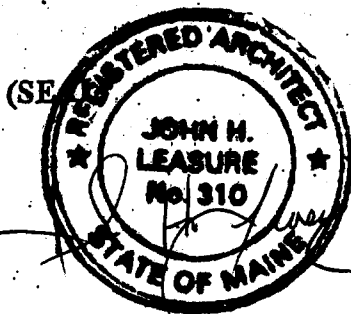
**RE:** Certificate of Design

**DATE:** MAR 24, 2003

These plans and/or specifications covering construction work on:

OCEAN RIDGE CONDOMINIUMS (UNITS 1-4)  
852 OCEAN AVE.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]  
Title PRESIDENT  
Firm JOHN H. LEASURE ARCHIT. INC.  
Address SIX Q ST. S.P. ME  
04106

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6202K

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL, OR CIVIL ENGINEERING

|   |                 |  |  |
|---|-----------------|--|--|
| Attic or additional Floor Joist Species<br>Dimensions and Spacing (Table 802.4.2 or<br>503.3.1(1) & Table 503.3.2(1)) |                 |  |  |
| Roof Rafter: Pitch, Span, Spacing &<br>Dimension (Table 802.3.2(7))   | VL R1D<br>W 2x4 | 12' SPAN - TABLE 802.5.1<br>12' SPAN     |  |
| Sheathing; Floor, Wall and roof<br>(Table 503.2.1(1))   |                 | FLOOR 3/4" PLY<br>ROOF 5/8" PLY          | 1/2" PLY WOOD<br>PLY WOOD<br>W/ GYPSUM |
| Fastener Schedule<br>(Table 602.3(1) & (2))   |                 |  |  |
| <b>Private Garage</b><br>Section 309 and Section 407 1999 BOCA)<br>Living Space?<br>(Above or beside)                 |                 | 5/8" FIRE CODE<br>GWB<br>W/ MUST CEILING |  |
| Fire separation   |                 | 1 HR DOOR                                |  |
| Fire rating of doors to living space<br>Door Sill elevation (407.5 BOCA)  |                 |  |  |
| Egress Windows (Section 310)  |                 | FULLY SPRINKLED                          |  |
| Roof Covering<br>(Chapter 9)  |                 | 30 YEAR ASPHALT                          |  |
| Safety Glazing (Section 308)  |                 | ON AP<br>BY NOT SHOWN ON SHEETS          | DOOR TEMPERED                          |
| Attic Access (BOCA 1211.1)  |                 | ATTIC AREA OVER 30'                      | NOT STAIRS                             |
| Draft Stopping around chimney   |                 | NOT STAIRS                               |  |

NEED STAIR & FIRE RACK  
W/ P

|  |                              |   |
|--|------------------------------|---|
|  |                              | Soil type/Presumptive Load Value (Table 401.4.1) 2000 PSF   |
|  |                              | <b>STRUCTURAL</b><br>Footing Dimensions/Depth<br>(Table 403.1.1 & 403.1.1(1),<br>Section 403.1.2) |
|  | 24" x 10 w/ #4 @ 400mm.      | Foundation Drainage Dampproofing<br>(Section 406)   |
|  | WALKOUT BRACKETS             | Ventilation (Section 409.1)<br>Crawls Space ONLY  |
|  | 5/8" x 12 Bolt 36"           | Anchor Bolts/Straps (Section 403.1.4)   |
|  | NEED                         | Lally Column Type,<br>Spacing and footing sizes (Table 502.3.4(2))                                |
|  | Full Span Truss              | Built-Up Wood Center Girder<br>Dimension/Type   |
|  | 2x6 PTSC                     | Sill/Band Joist Type & Dimensions   |
|  | 16" OPEN WEB JOISTS          | First Floor Joist Species<br>Dimensions and Spacing<br>(Table 503.3.1(1) & Table 503.3.2(1))      |
|  | 24" O.C.<br>40 lbs per sq ft | Second Floor Joist Species<br>Dimensions and Spacing<br>(Table 503.3.1(1) &<br>Table 503.3.2(1))  |

2545-67C

See Chimney Summary Checklist

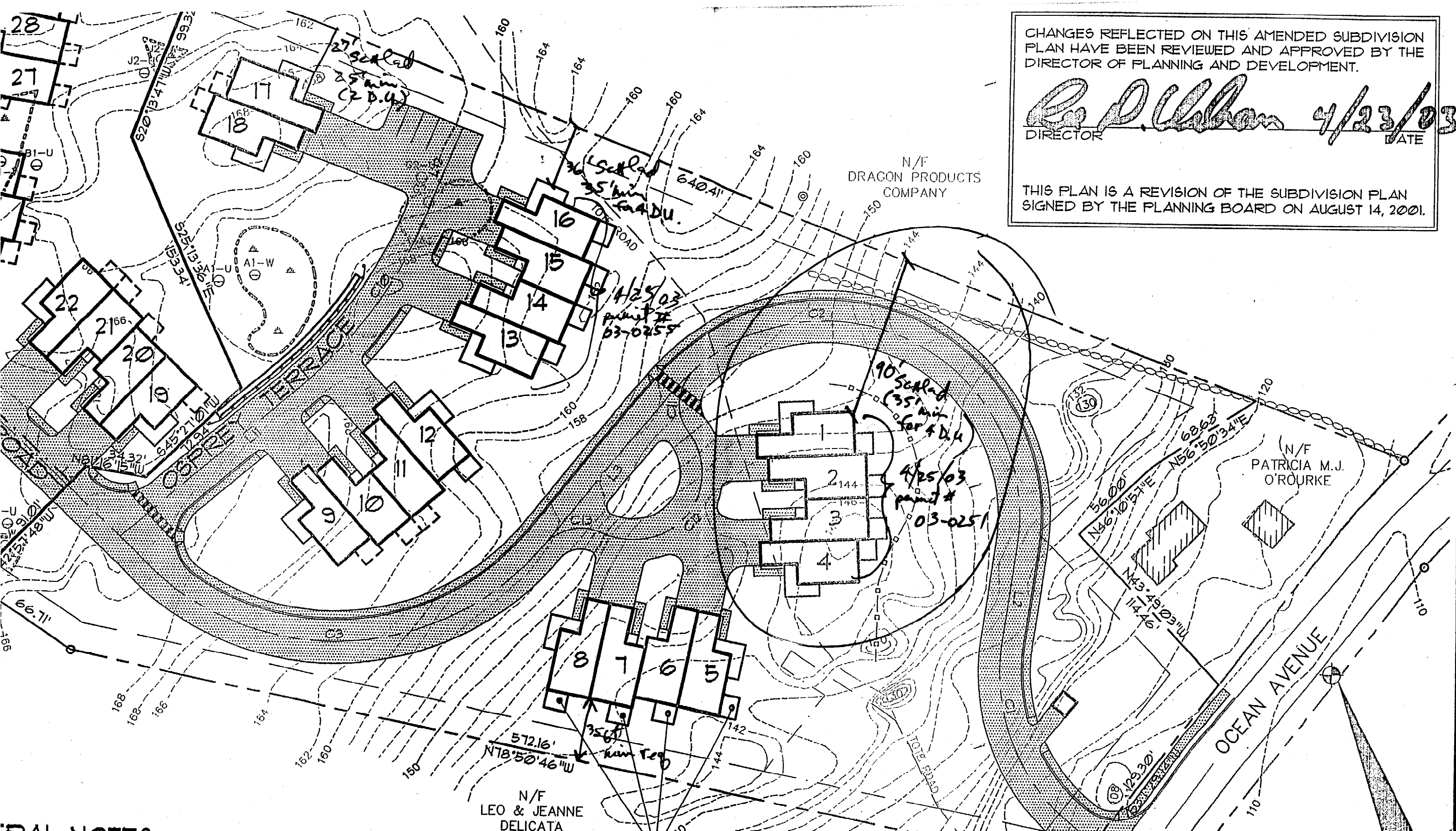
| Header Schedule   | ON PLAN                               |  |
|---|---------------------------------------|--|
|   | NOT STAIRS                            | Type of Heating System   |
|   | 3 1/2" UNITS<br>7 5/8" RISE 10" TREAD | Stairs<br>Number of Stairways<br>Interior<br>Exterior  |
| INTERIOR FINISHED WALLS<br>w/ 3/4" HANDRAILS<br>NEED EXTERIOR<br>CORNER DETAILS |                                       | Treads and Risers (Section 314)<br>Width 3'1"<br>Headroom 6'8" CLEAR<br>Guardrails and Handrails (Section 315) |
|   |                                       | Smoke Detectors<br>Location and type/Interconnected  |
|   |                                       | Plan Reviewer Signature  |

3.5 x 12" units 6' headroom

CHANGES REFLECTED ON THIS AMENDED SUBDIVISION PLAN HAVE BEEN REVIEWED AND APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT.

*R. P. Urban* 4/23/03  
 DIRECTOR DATE

THIS PLAN IS A REVISION OF THE SUBDIVISION PLAN SIGNED BY THE PLANNING BOARD ON AUGUST 14, 2001.



**GENERAL NOTES (CONT.)**

STREET GRADES AT AN INTERSECTION SHALL NOT BE MORE THAN 3% FOR A DISTANCE OF NOT LESS THAN 100 FEET FROM THE CENTER OF THE INTERSECTION OF THE INTERSECTING STREET, TO ALLOW A DISTANCE OF 15 FEET.

APPROVED AUGUST 14, 2001. PORTLAND PLANNING BOARD

**CITY OF PORTLAND APPROVED SITE PLAN**

Subject to Dept. Conditions

Date of Approval: APR 02 2003

**APPROVED**

*No constructed Decks - patios only*

SITE BENCHMARK:  
 HORIZ. RR SPIKE IN  
 CMP-103, ELEV.=111.89.

WASTE REMOVAL SHALL BE CURB SIDE PICK-UP BY PRIVATE CONTRACTOR

**OCEAN RIDGE CONDOMINIUMS**  
840 ~~852~~ **OCEAN AVENUE**  
**PORTLAND, MAINE**

UNITS 1, 2, 3, & 4

ARCHITECT:

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: 767-4600  
FAX: 767-4600

CIVIL ENGINEER:

SEBAGO TECHNICS  
ONE CHABOT STREET  
WESTBROOK, MAINE 04098  
PHONE: 856-0277

STRUCTURAL ENGINEER:

L & L STRUCTURAL ENGINEERING SERVICES, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: 767-4830  
FAX: 799-5432

LIST OF DRAWINGS:

- 1 - GRADING PLAN SHEET 1
- 2 - GRADING PLAN SHEET 2
  
- S1 - GENERAL NOTES
- S2 - FOUNDATION PLAN
- S3 - FOUNDATION SECTIONS AND DETAILS
- S4 - FOUNDATION SECTIONS AND DETAILS
- S5 - FIRST FLOOR FRAMING PLAN
- S6 - SECOND FLOOR FRAMING PLAN
- S7 - THIRD FLOOR FRAMING PLAN
- S8 - ROOF FRAMING PLAN
- S9 - FRAMING SECTIONS AND DETAILS
- S10 - FRAMING SECTIONS AND DETAILS
  
- A1 - BASEMENT FLOOR PLAN
- A2 - FIRST FLOOR PLAN
- A3 - SECOND FLOOR PLAN
- A4 - THIRD FLOOR PLAN
- A5 - ROOF PLAN
- A6 - EXTERIOR ELEVATIONS
- A7 - EXTERIOR ELEVATIONS
- A8 - EXTERIOR ELEVATIONS
- A9 - BUILDING SECTIONS
- A10 - WALL SECTIONS
- A11 - SECTIONS AND DETAILS
- A12 - WALL TYPES AND DETAILS
- A13 - STAIR SECTIONS
- A14 - DOOR AND WINDOW SCHEDULES

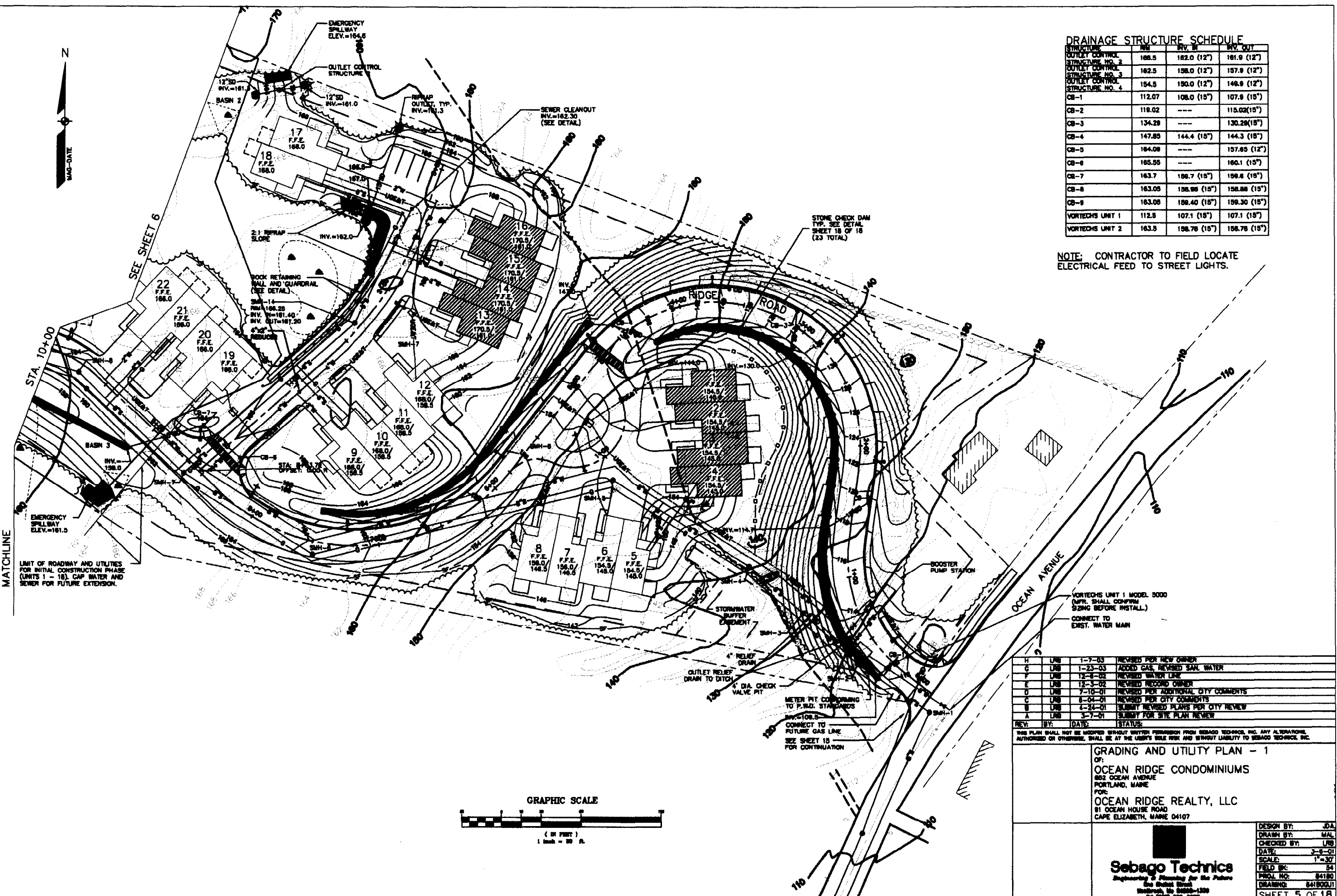
MARCH 21, 2003



**DRAINAGE STRUCTURE SCHEDULE**

| STRUCTURE                      | MM     | INV. IN      | INV. OUT     |
|--------------------------------|--------|--------------|--------------|
| OUTLET CONTROL STRUCTURE NO. 2 | 188.5  | 182.0 (12")  | 181.9 (12")  |
| OUTLET CONTROL STRUCTURE NO. 3 | 182.5  | 158.0 (12")  | 157.9 (12")  |
| OUTLET CONTROL STRUCTURE NO. 4 | 154.5  | 150.0 (12")  | 148.9 (12")  |
| CB-1                           | 112.07 | 108.0 (15")  | 107.9 (15")  |
| CB-2                           | 119.02 | ---          | 115.02(15")  |
| CB-3                           | 134.29 | ---          | 130.29(15")  |
| CB-4                           | 147.85 | 144.4 (15")  | 144.3 (15")  |
| CB-5                           | 184.08 | ---          | 157.85 (12") |
| CB-6                           | 185.55 | ---          | 160.1 (15")  |
| CB-7                           | 183.7  | 188.7 (15")  | 188.6 (15")  |
| CB-8                           | 183.05 | 158.98 (15") | 158.88 (15") |
| CB-9                           | 183.08 | 188.40 (15") | 188.30 (15") |
| VORTECHS UNIT 1                | 112.5  | 107.1 (15")  | 107.1 (15")  |
| VORTECHS UNIT 2                | 183.5  | 158.78 (15") | 158.78 (15") |

NOTE: CONTRACTOR TO FIELD LOCATE ELECTRICAL FEED TO STREET LIGHTS.



| REV. | BY  | DATE    | STATUS                               |
|------|-----|---------|--------------------------------------|
| H    | LRB | 1-7-03  | REVISED PER NEW OWNER                |
| G    | LRB | 1-23-03 | ADDED GAS, REVISED SAN, WATER        |
| F    | LRB | 12-8-02 | REVISED WATER LINE                   |
| E    | LRB | 12-3-02 | REVISED RECORD OWNER                 |
| D    | LRB | 7-10-01 | REVISED PER ADDITIONAL CITY COMMENTS |
| C    | LRB | 8-04-01 | REVISED PER CITY COMMENTS            |
| B    | LRB | 4-24-01 | SUBMIT REVISED PLANS PER CITY REVIEW |
| A    | LRB | 3-7-01  | SUBMIT FOR SITE PLAN REVIEW          |

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

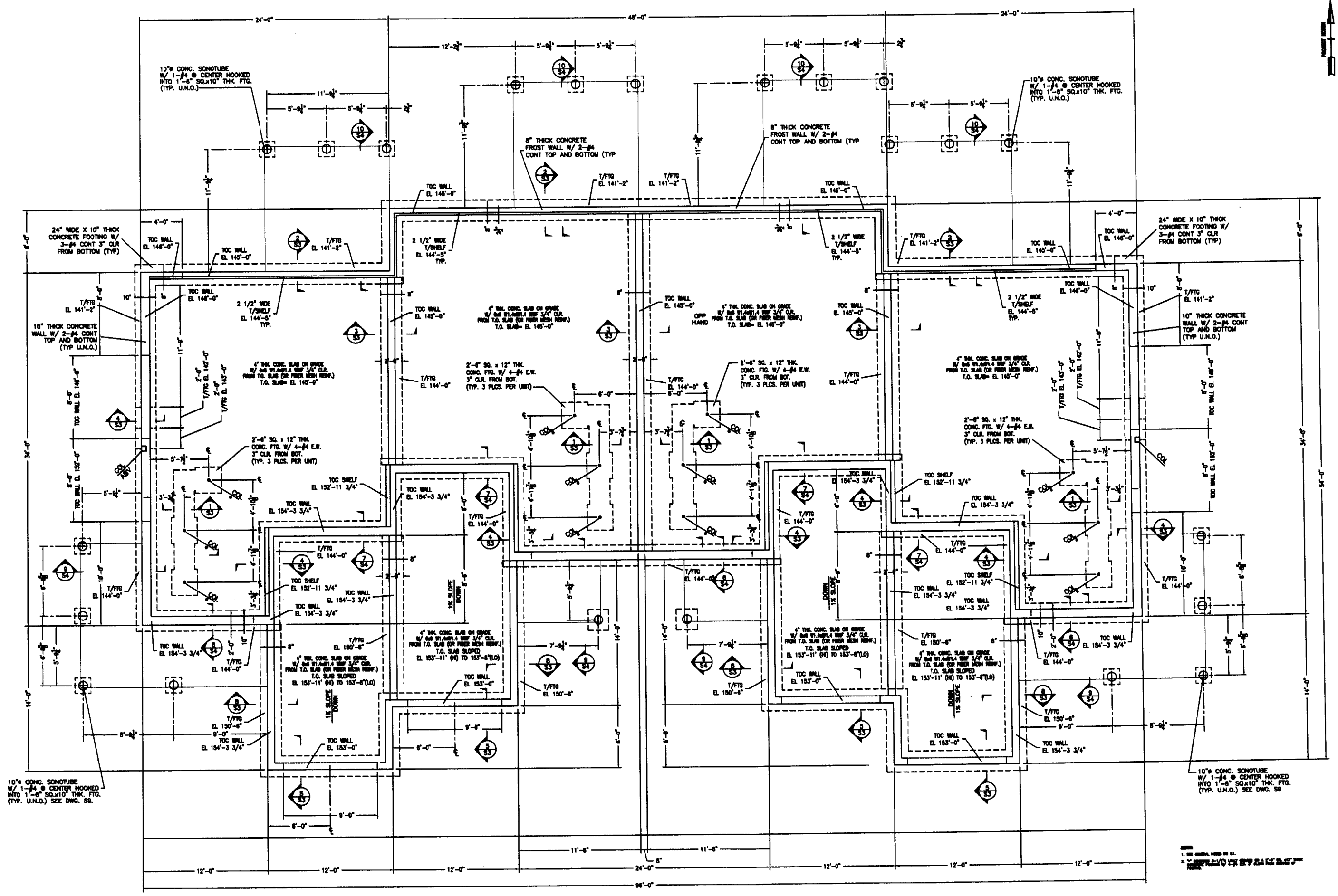
**GRADING AND UTILITY PLAN - 1**  
 OF:  
**OCEAN RIDGE CONDOMINIUMS**  
 882 OCEAN AVENUE  
 PORTLAND, MAINE  
 FOR:  
**OCEAN RIDGE REALTY, LLC**  
 81 OCEAN HOUSE ROAD  
 CAPE ELIZABETH, MAINE 04107

DESIGN BY: JDA  
 DRAWN BY: MAL  
 CHECKED BY: LRB  
 DATE: 3-9-01  
 SCALE: 1"=30'  
 FIELD BK: 84  
 PROJ. NO: 84180  
 DRAWING: 84180GJ1  
 SHEET 5 OF 18

**Sebago Technics**  
 Engineering & Planning for the Future  
 One Cabot Street  
 Westbrook, ME 04090-1300  
 Tel (207) 882-8877







FOUNDATION PLAN  
1/4"=1'-0"



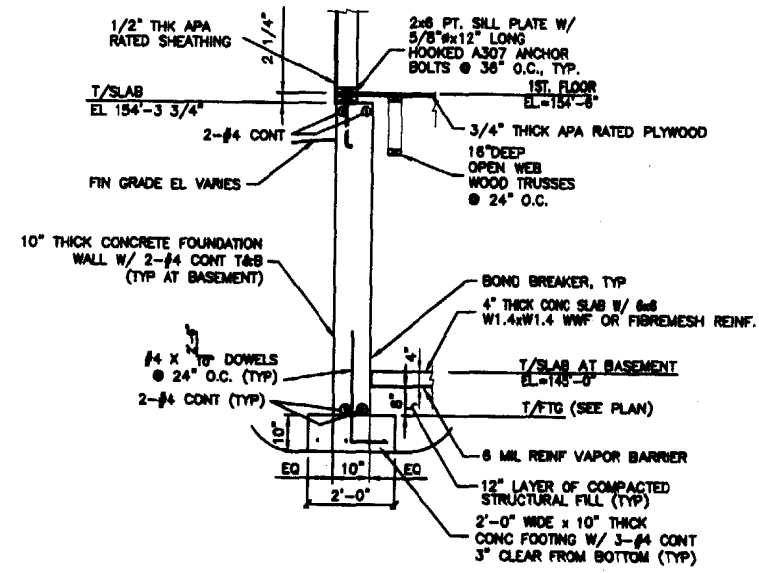
**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.  
SIX Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
FAX: (207) 799-5432  
EMAIL: llengineering@verizon.net

| NO. | DESCRIPTION        | DATE | BY |
|-----|--------------------|------|----|
| 1   | DESIGNED BY JFL    |      |    |
| 2   | DRAWN BY JFL       |      |    |
| 3   | CHECKED BY JFL     |      |    |
| 4   | DATE MAR. 21, 2003 |      |    |
| 5   | SCALE              |      |    |
| 6   | PROJECT # 23003    |      |    |

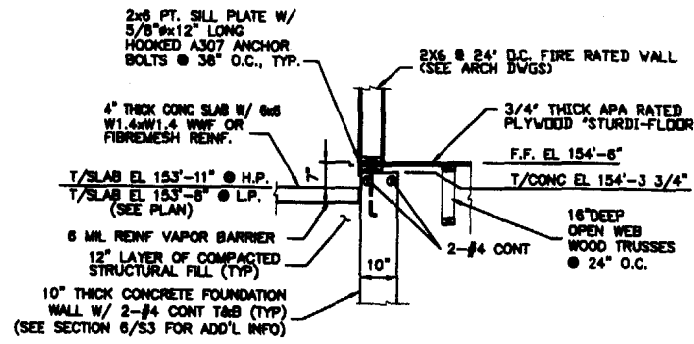
**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
FOUNDATION PLAN  
UNITS 1, 2, 3 & 4



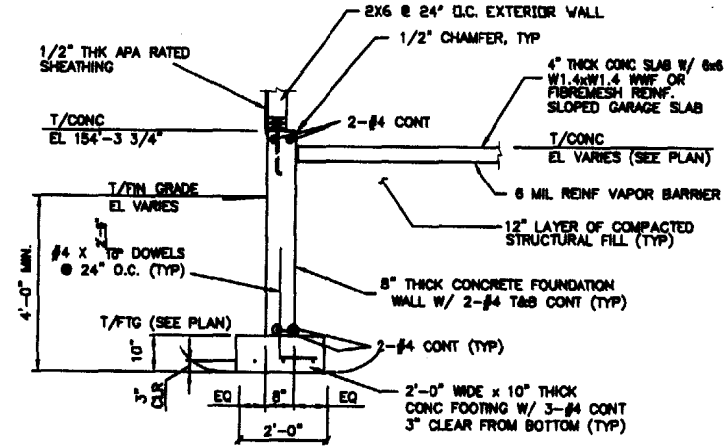




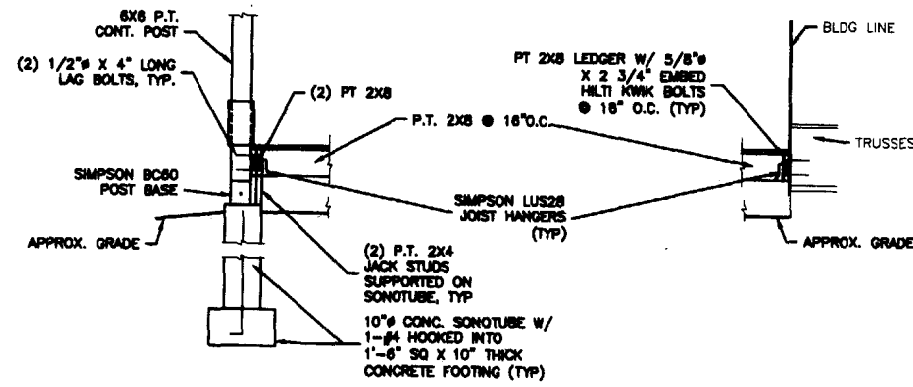
SECTION 6 TYPICAL BASEMENT WALL PARALLEL TO FLOOR TRUSSES  
1/2" = 1'-0" S2



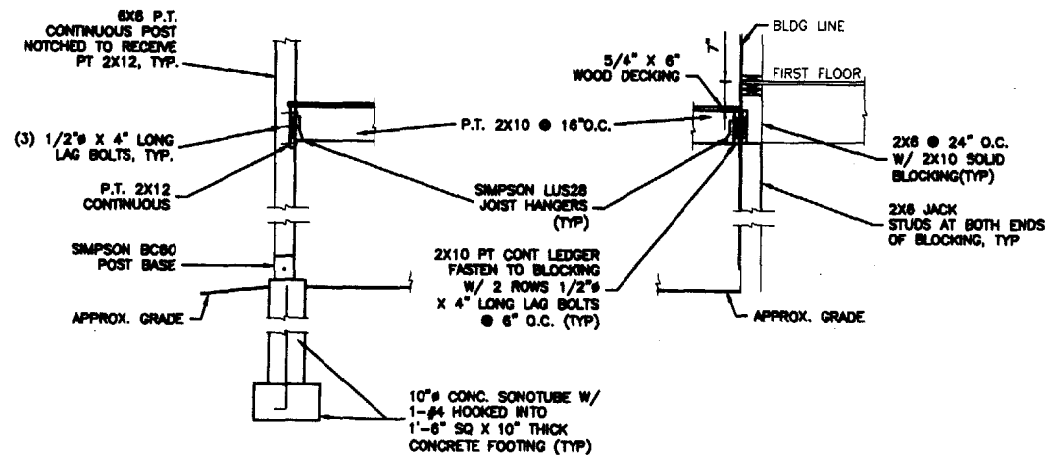
SECTION 7 TYPICAL BASEMENT WALL ADJACENT TO GARAGE  
1/2" = 1'-0" S2



SECTION 8 TYPICAL GARAGE SIDE WALLS  
1/2" = 1'-0" S2



SECTION 9 TYPICAL ENTRY PORCHES  
1/2" = 1'-0" S2

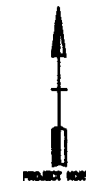


SECTION 10 TYPICAL UNIT DECKS  
1/2" = 1'-0" S2

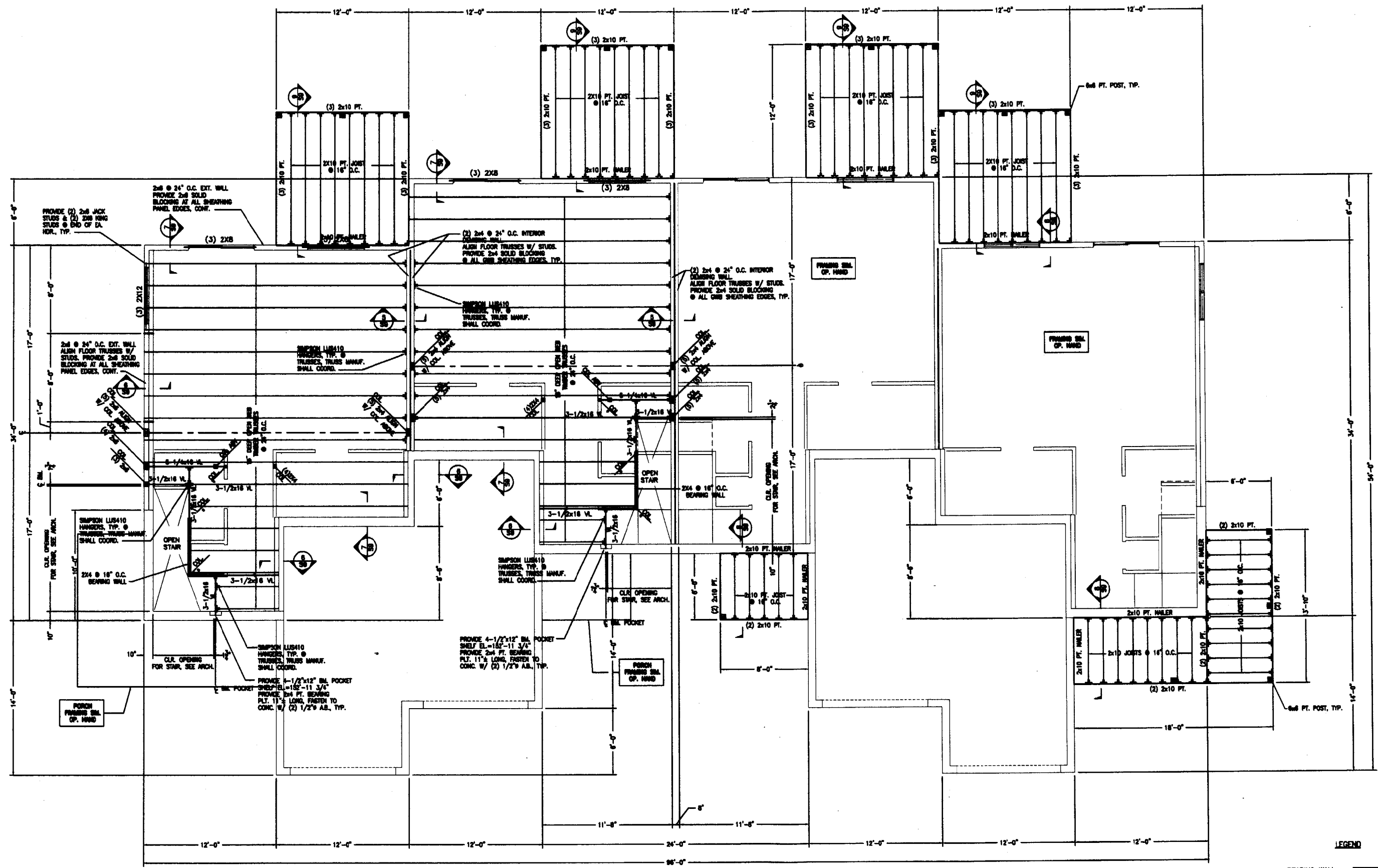
L & L STRUCTURAL  
ENGINEERING SERVICES, INC. 04108  
SIX O STREET  
SOUTH PORTLAND, MAINE  
PHONE: (207) 767-4850  
FAX: (207) 798-5432  
EMAIL: llstructural@earthlink.net

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
FOUNDATION DETAILS  
UNITS 1, 2, 3, & 4

S4



**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
SIX Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
FAX: (207) 769-5432  
EMAIL: l.l.engineering@verizon.net



**FIRST FLOOR FRAMING PLAN**  
1/4"=1'-0"

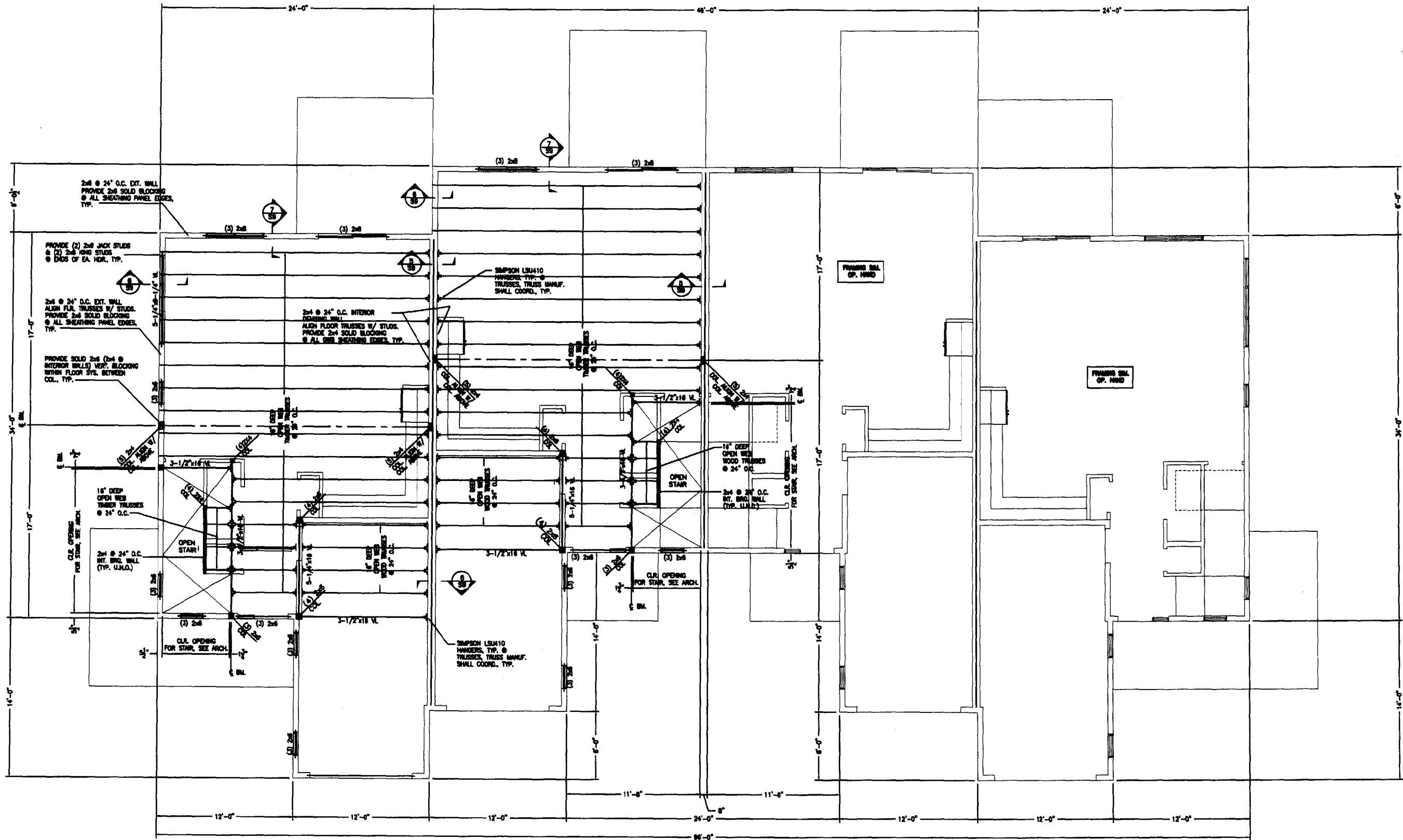
- NOTES:**
1. SEE GENERAL NOTES ON S1.
  2. "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOICE CHICKADEE CORP. OR APPROVED EQUAL.
  3. PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMBS AT BOTH ENDS OF HEADERS. (TYP. U.L.G.)
  4. "C" INDICATES 3-1/2" LALLY COLUMN ON A 2'-6" SQ. #12 THICK CONCRETE FOOTING W/ 4-#4 E.W. 3" CLEAR FROM BOTTOM OF FOOTING.

**LEGEND**  
BEARING WALL

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
FIRST FLOOR FRAMING PLAN  
UNITS 1, 2, 3 & 4



|                     |                  |
|---------------------|------------------|
| Designed by: JLL    | Checked by: JLL  |
| Drawn by: JLL       | Scale: AS SHOWN  |
| Date: MAR. 21, 2003 | Project #: 23005 |



SECOND FLOOR FRAMING PLAN  
1/4"=1'-0"

- NOTES**
- SEE GENERAL NOTES ON S1.
  - "L" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
  - PROVIDE 2x6 JACK STUDS PLUS 2x6 KING STUD AT JAMB AT BOTH ENDS OF HEADERS. (TYP. U.N.O.)

**LEGEND**  
BEARING WALL

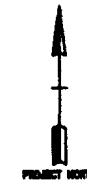
**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
SIX Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 787-4830  
FAX: (207) 799-5432  
EMAIL: l.l.engineering@verizon.net

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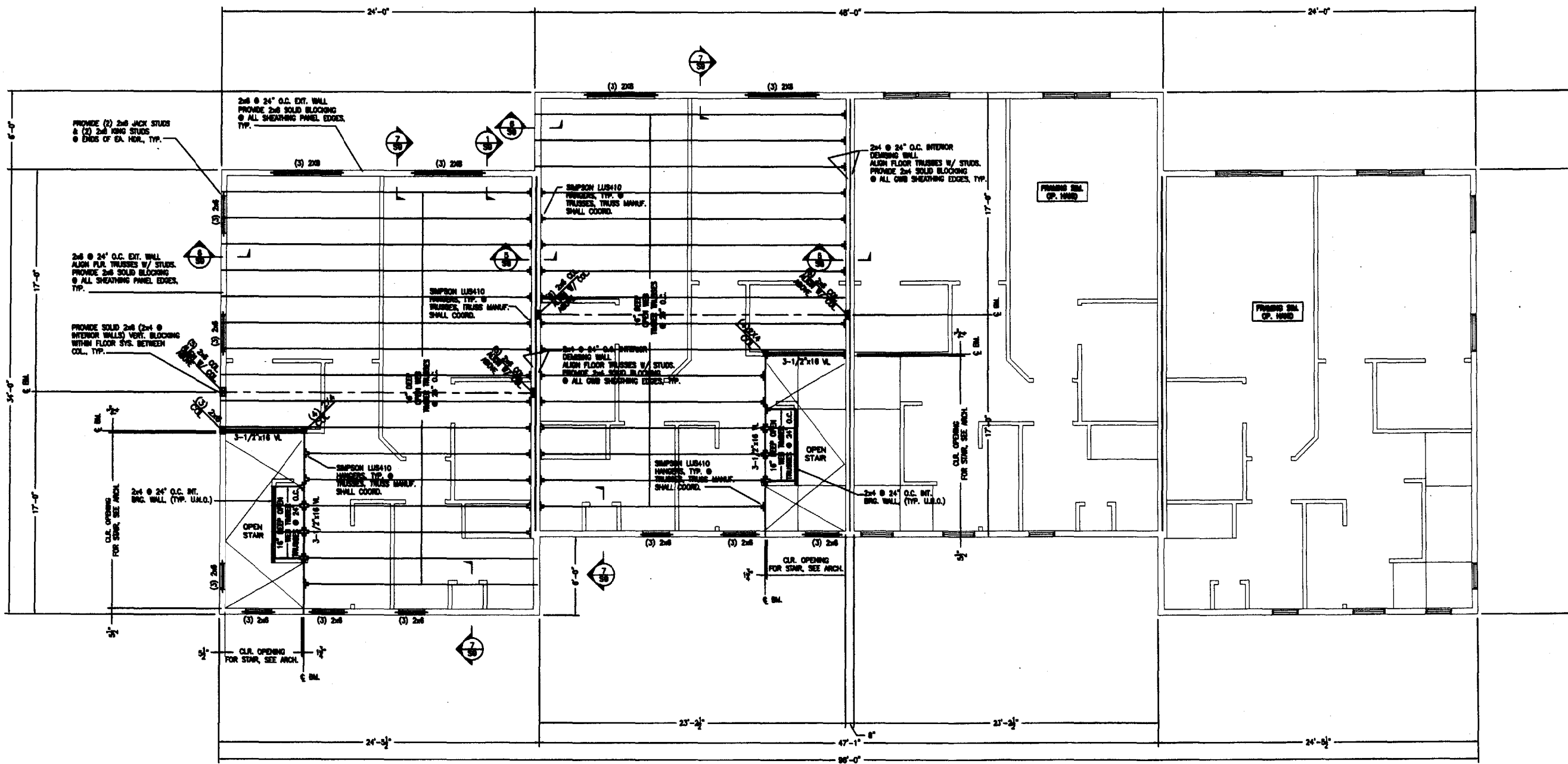
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| Designed by: JLL   | Checked by: JLL     |
| Drawn by: JLL      | Scale: 1/4" = 1'-0" |
| Date: MAR 21, 2003 | Plot date: -        |
| Project #: 23838   |                     |

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
SECOND FLOOR FRAMING PLAN  
UNITS 1, 2, 3 & 4

**S6**



**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
SIX Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 797-4830  
FAX: (207) 799-5432  
EMAIL: l.l.engineering@verizon.net



**THIRD FLOOR FRAMING PLAN**  
1/4"=1'-0"

LEGEND

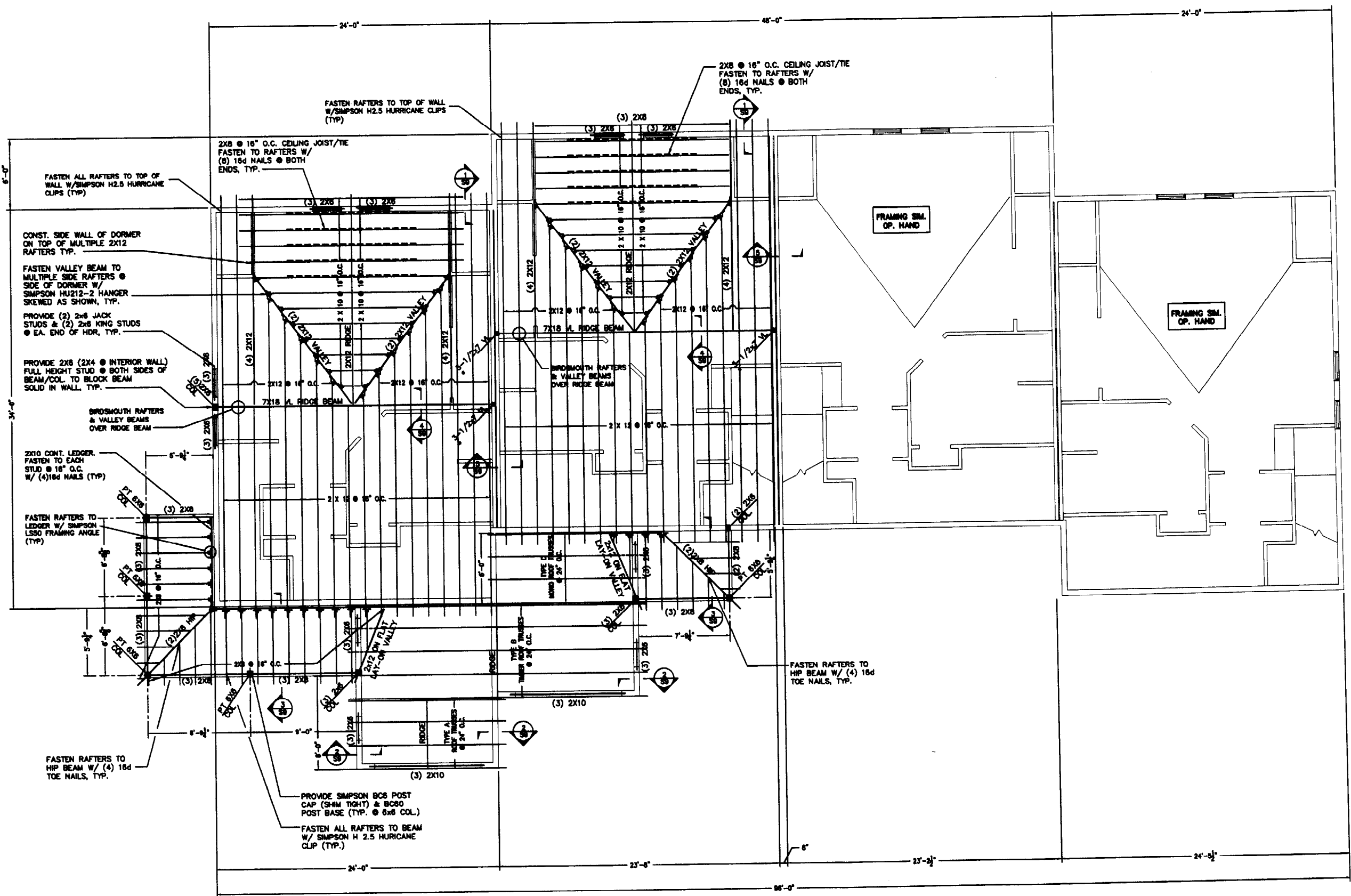
BEARING WALL

- SEE GENERAL NOTES ON S1.
- "V." INDICATES VERSPLAN BEAM MANUFACTURED BY BONE CASCHIES COMP. OR APPROVED EQUAL.
- PROVIDE 2x6 JACK STUDS PLUS 2x6 HNG STUD AT JAMS AT BOTH ENDS OF HEADERS. (TYP. U.L.D.)

|                    |                  |
|--------------------|------------------|
| DESIGNED BY: J.L.  | DATE: 03/21/2003 |
| CHECKED BY: J.L.   | DATE: 03/21/2003 |
| PROJECT NO.: 23035 |                  |

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
THIRD FLOOR FRAMING PLAN  
UNITS 1, 2, 3, & 4

**S7**



ROOF FRAMING PLAN  
1/4"=1'-0"

- NOTES:**
- SEE GENERAL NOTES ON S1.
  - "VL" INDICATES VERSALAM BEAM MANUFACTURED BY BOISE CASCADES CORP. OR APPROVED EQUAL.
  - \* INDICATES COLUMN PROPERTIES SHALL BE "VERSA-LAM BMEV" 3080 LB DF (E=2.0x10<sup>6</sup> PSI AND Fb=3080 PSI).
  - ROOF TRUSS LOADING SHALL BE AS FOLLOWS:
- |                           |                                   |
|---------------------------|-----------------------------------|
| TOLL=40 PSF               | TOLL=90 PSF                       |
| TCDL=10 PSF               | TCDL=10 PSF                       |
| BCLL=0 PSF                | BCLL=0 PSF                        |
| BCDC=10 PSF               | BCDC=10 PSF                       |
| TRUSS TYPE 'A' @ 24" O.C. | TRUSS TYPE 'B' AND 'C' @ 24" O.C. |

LEGEND  
BEARING WALL

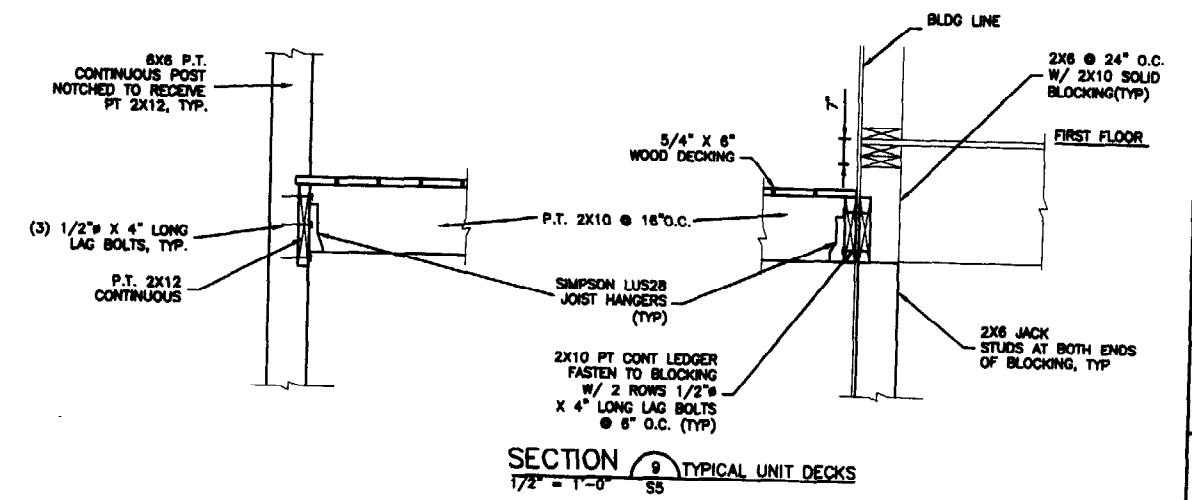
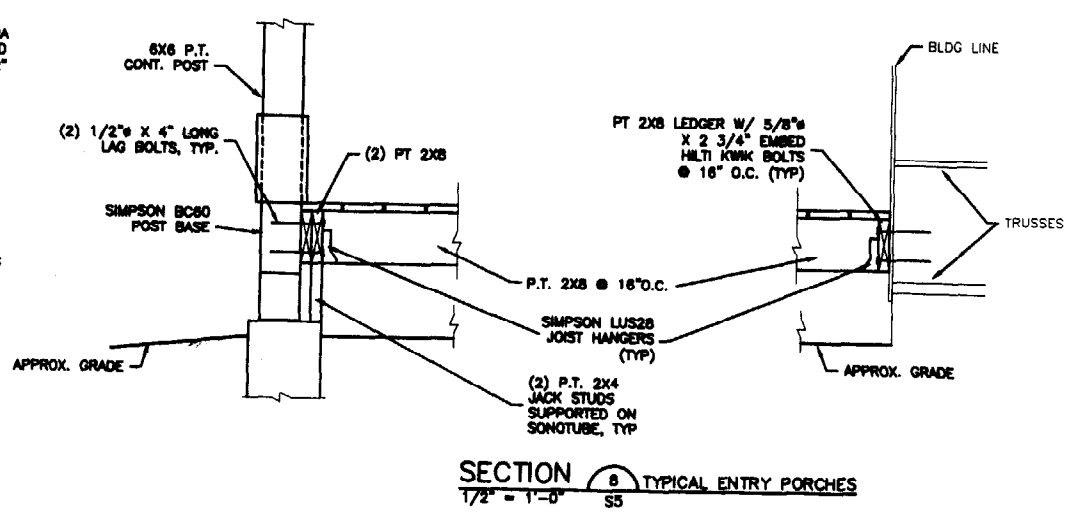
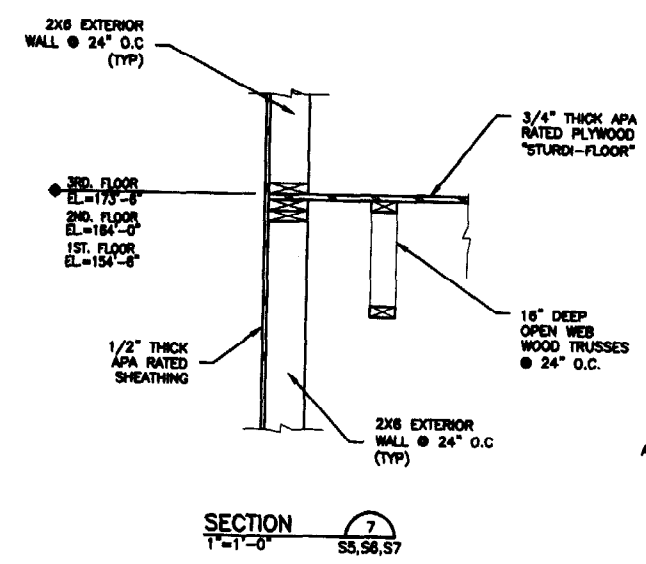
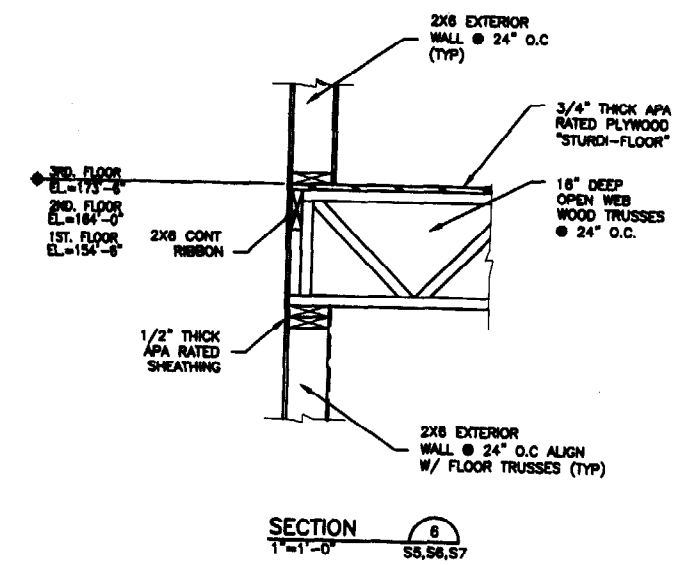
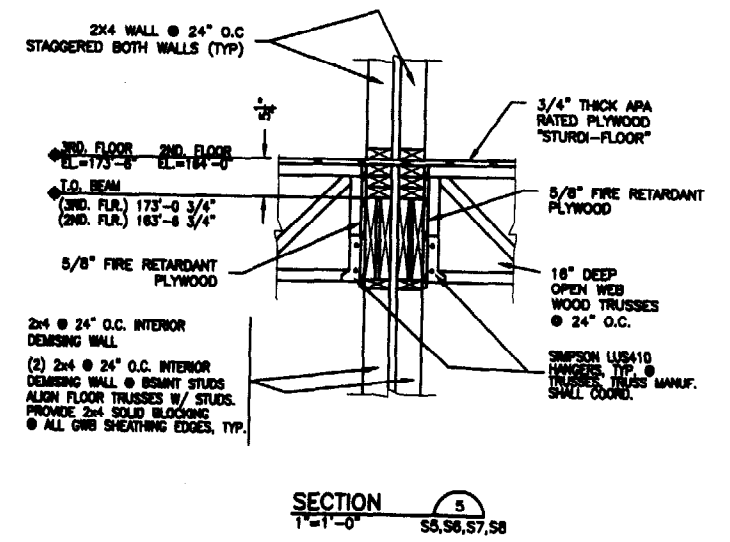
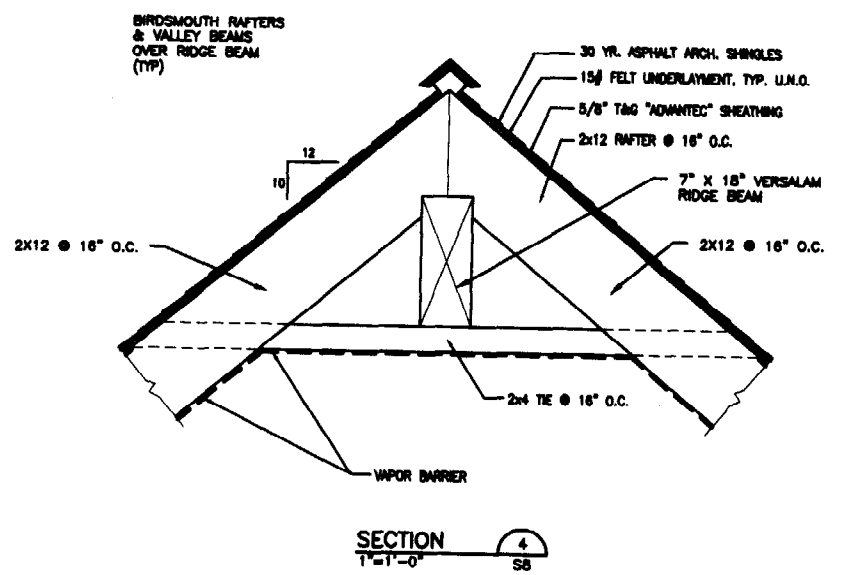
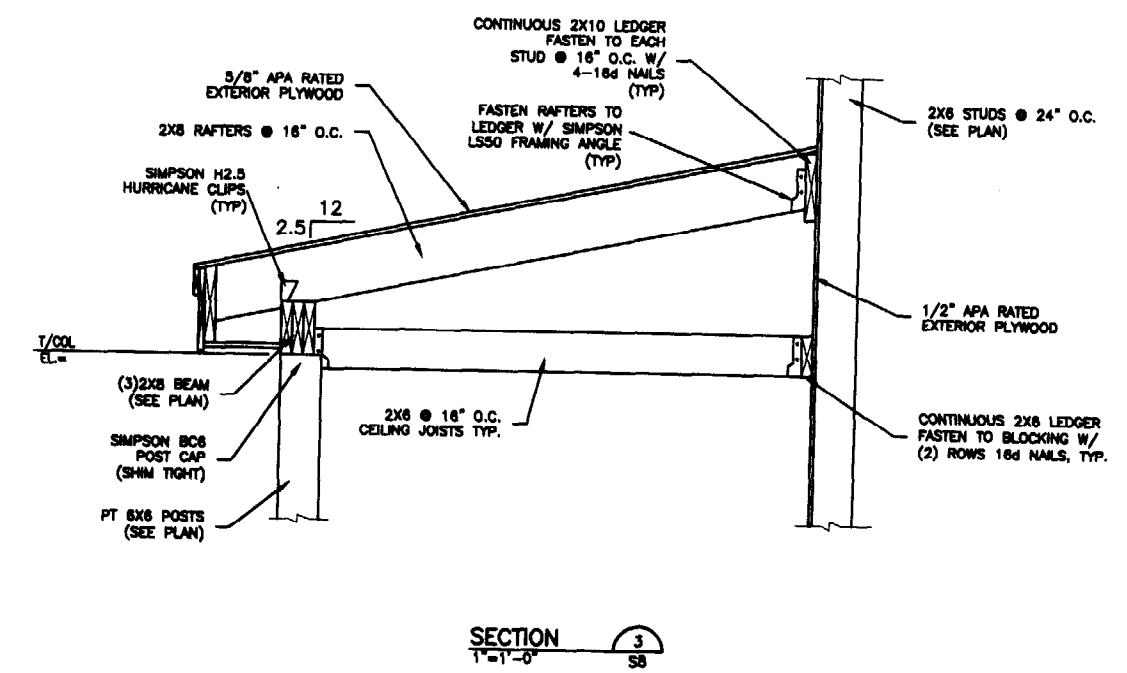
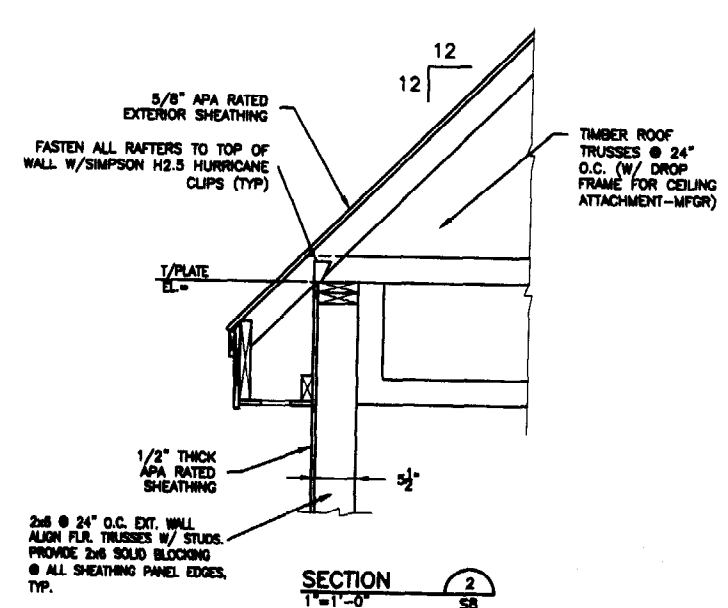
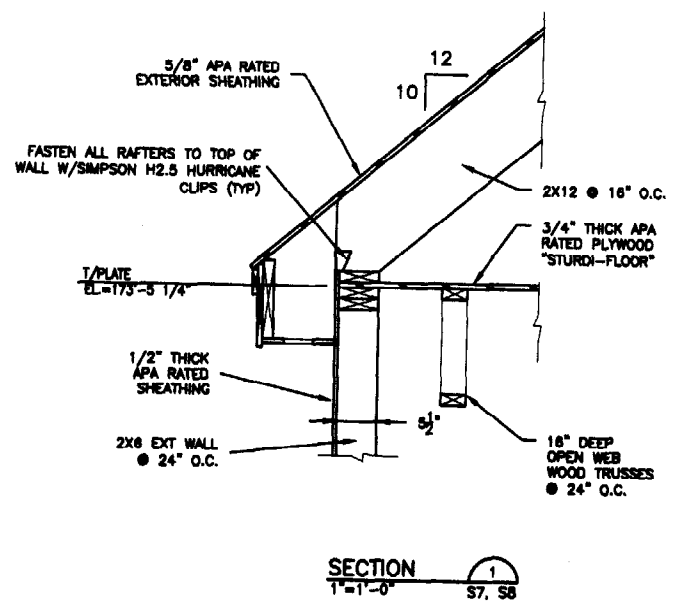


**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
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SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4530  
FAX: (207) 799-5432  
EMAIL: Lengineering@earthlink.net

OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
ROOF FRAMING PLAN  
UNITS 1, 2, 3, & 4

**S8**





**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
SIX Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
FAX: (207) 789-5432  
EMAIL: [lengineering@comcast.net](mailto:lengineering@comcast.net)

**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
FRAMING SECTIONS AND DETAILS  
UNITS 1, 2, 3, & 4

**S9**

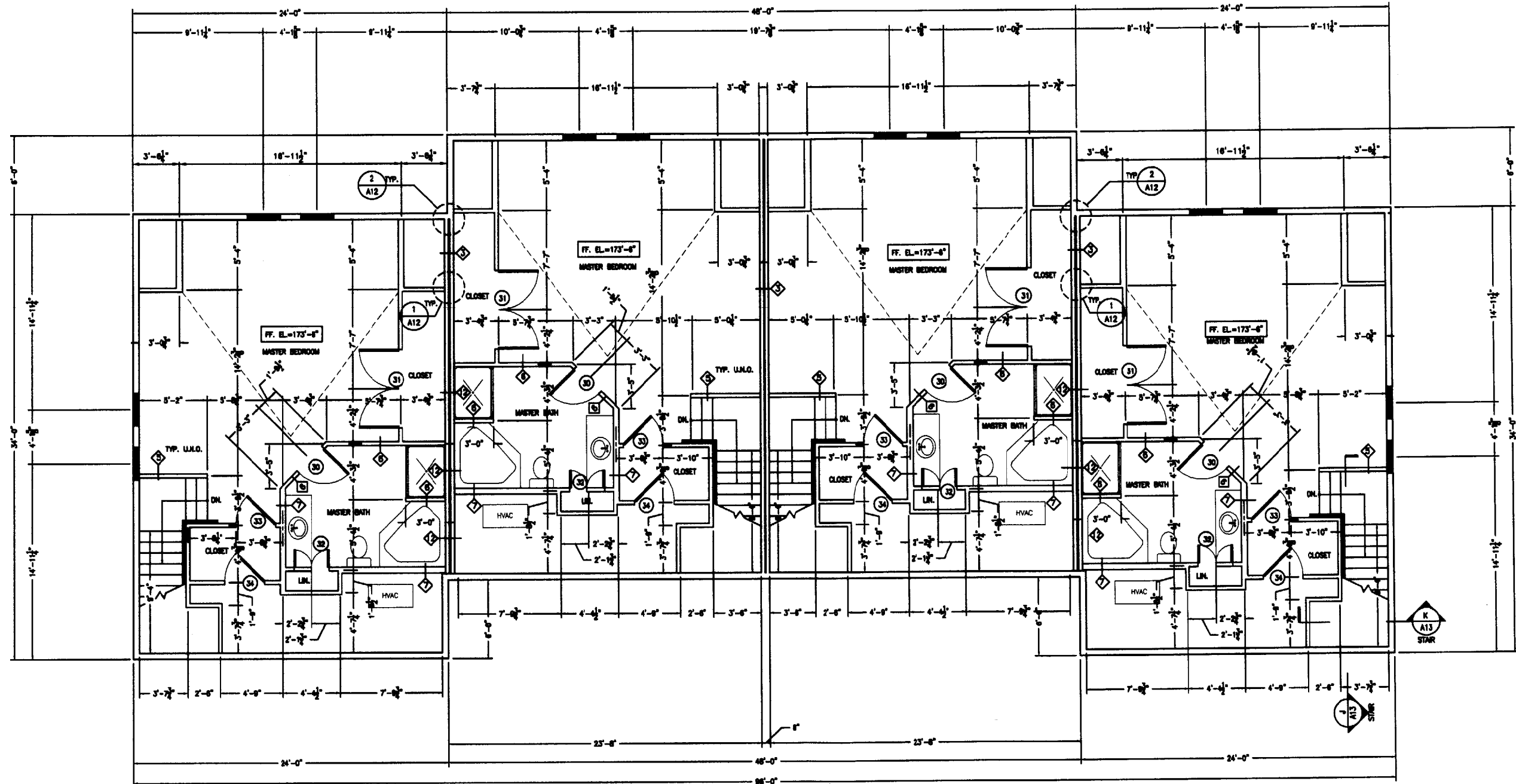








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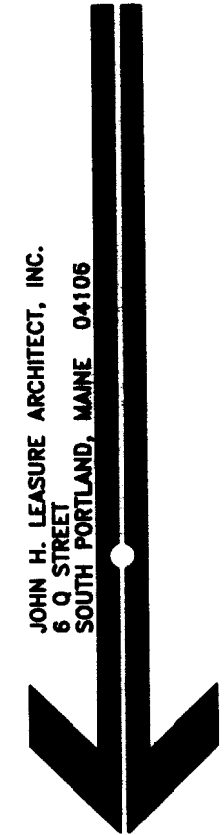
THIRD FLOOR PLAN  
1/4" = 1'-0"

NOTES:

- 1) ENTIRE BUILDING SHALL BE SPRINKLERED PER NFPA 13R
- 2) FOR WALL TYPES, SEE OMC. A9.

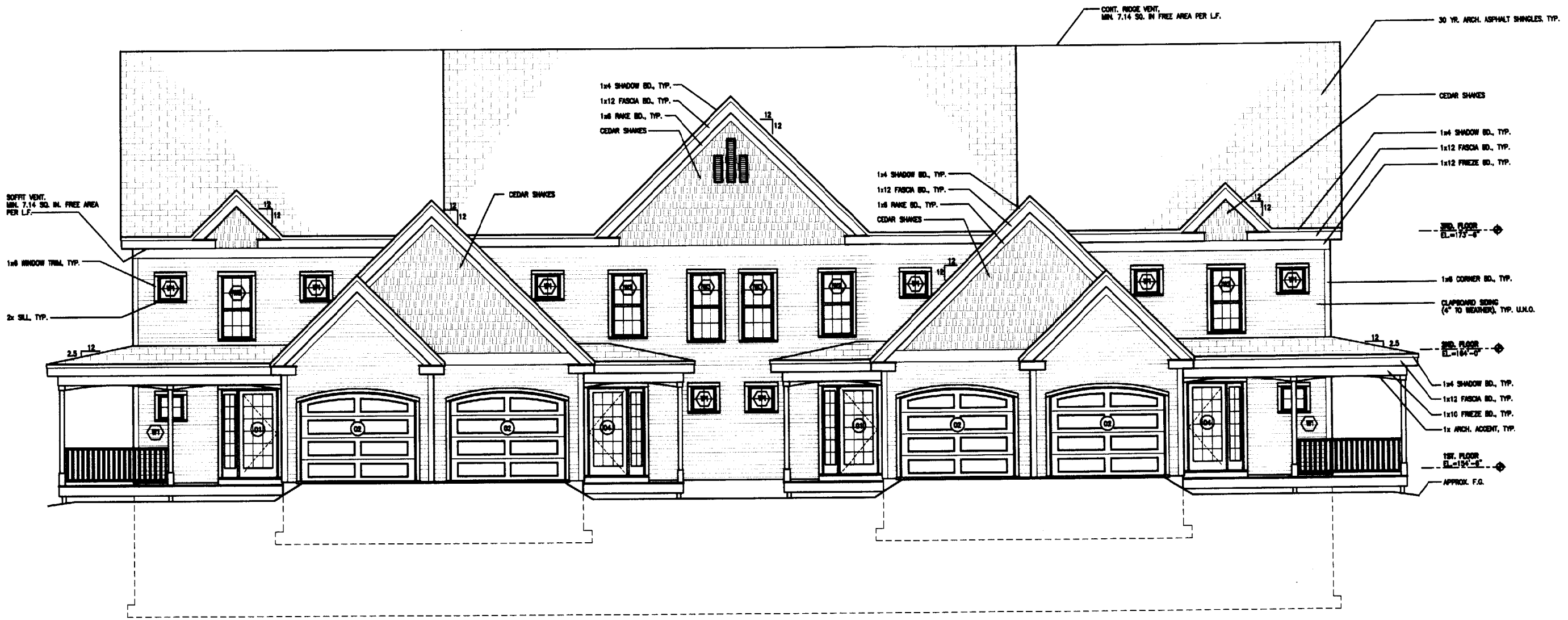
**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
THIRD FLOOR PLAN  
UNITS 1, 2, 3, & 4

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106



**A4**





SOUTH ELEVATION  
1/4"=1'-0"

ATTIC VENTILATION

| MAIN ROOF                | REQ'D. TOTAL FREE AREA | SG. IN/L.F. |
|--------------------------|------------------------|-------------|
| RIDGE                    | 1.19 SF.               | 7.14        |
| SOFFIT                   | 1.19 SF.               | 7.14        |
| 3RD. FLOOR DORMERS (EA.) |                        |             |
| RIDGE                    | 0.3 SF.                | (SEE A7)    |
| SOFFIT                   | 0.3 SF.                | (SEE A7)    |

NOTE:  
IF GRAVITY VENTILATION CANNOT BE ACHIEVED, ADDITIONAL GABLE END VENTS FOR UPPER REQUIRED VENTILATION OR MECHANICAL MEANS MUST BE EMPLOYED TO PROVIDE REQ'D. VENTILATION.

JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106

REV. DATE

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**OCEAN RIDGE CONDOMINIUMS**  
852 OCEAN AVENUE  
PORTLAND, MAINE  
SOUTH ELEVATION  
UNITS 1, 2, 3, & 4

**A6**



SOFFIT VENT.  
4.32 SQ. IN. FREE AREA  
PER L.F., TYP. @ CORNERS

CONT. RIDGE VENTS, TYP. @ DORMERS  
2.4 SQ. IN. FREE AREA  
PER L.F. MIN.

CONT. RIDGE VENTS  
SEE DWG. AS FOR VENTILATION  
REQUIREMENTS

30 YR. ARCH. SHINGLES,  
TYP.

1x4 SHADOW BD., TYP.

1x12 FASCIA BD., TYP.

1x6 RAKE BD., TYP.

1x4 WINDOW TRIM, TYP.

2x SILL BD., TYP.

2ND FLOOR  
EL=173'-0"

1x4 SHADOW BD., TYP.

1x12 FASCIA BD., TYP.

1x2 FRIEZE BD.

1x6 CORNER BD., TYP.

3RD FLOOR  
EL=184'-0"

2x8 CAP (DIME EDGES), TYP.

1ST FLOOR  
EL=145'-0"

CLAPBOARD SIDING  
(4" TO WEATHER) TYP.

APPROX. F.G.  
I.O. ELEVATION SLAB  
EL=145'-0"

PATIO FINISH, TYP.

1x6 WRM. BD.  
2x8, TYP.

1x6 CORNER BD., TYP.

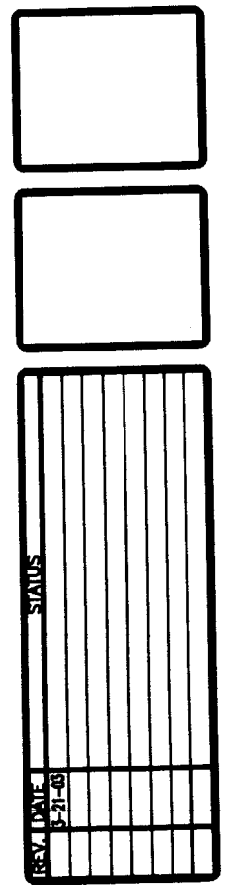
2x10 P.T.

4x4 P.T. POST, TYP.

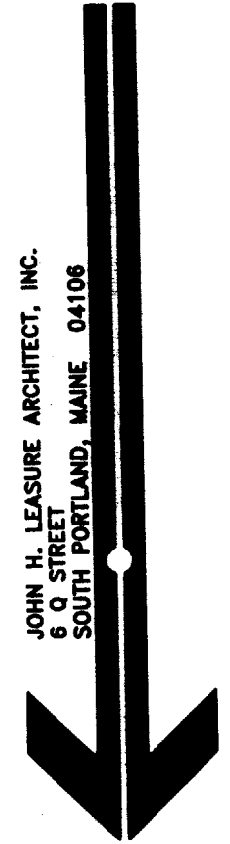
1x ARCH. ACCENT, TYP.

NORTH ELEVATION  
1/4"=1'-0"

NOTE:  
SEE DWG. AS FOR VENTILATION DATA & NOTES.



JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106



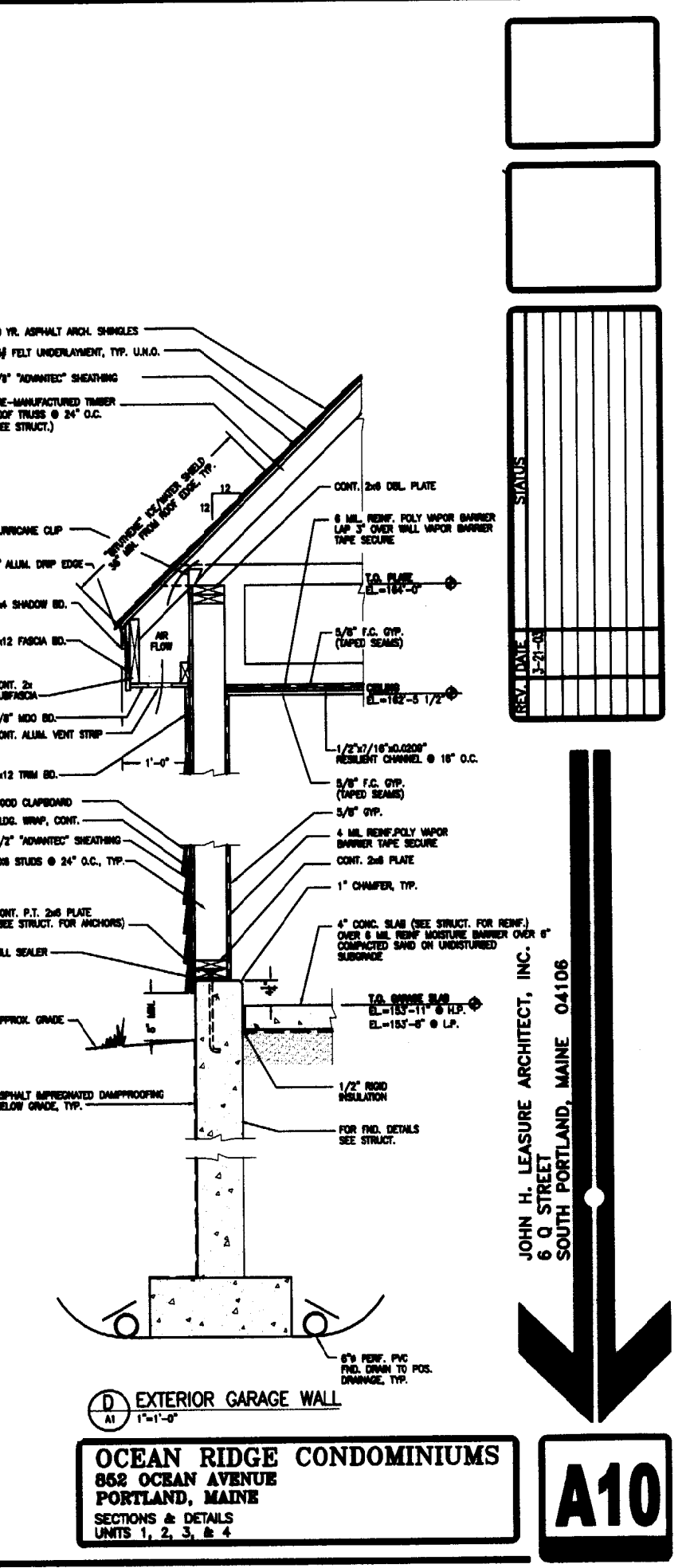
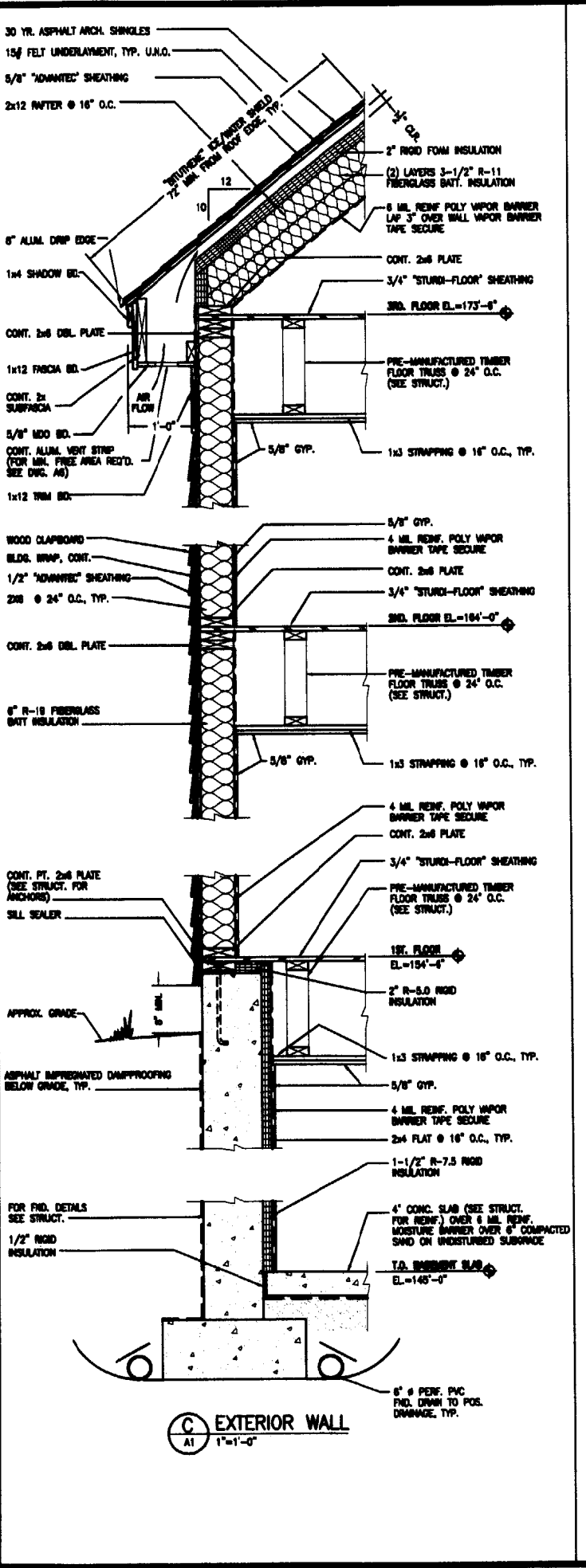
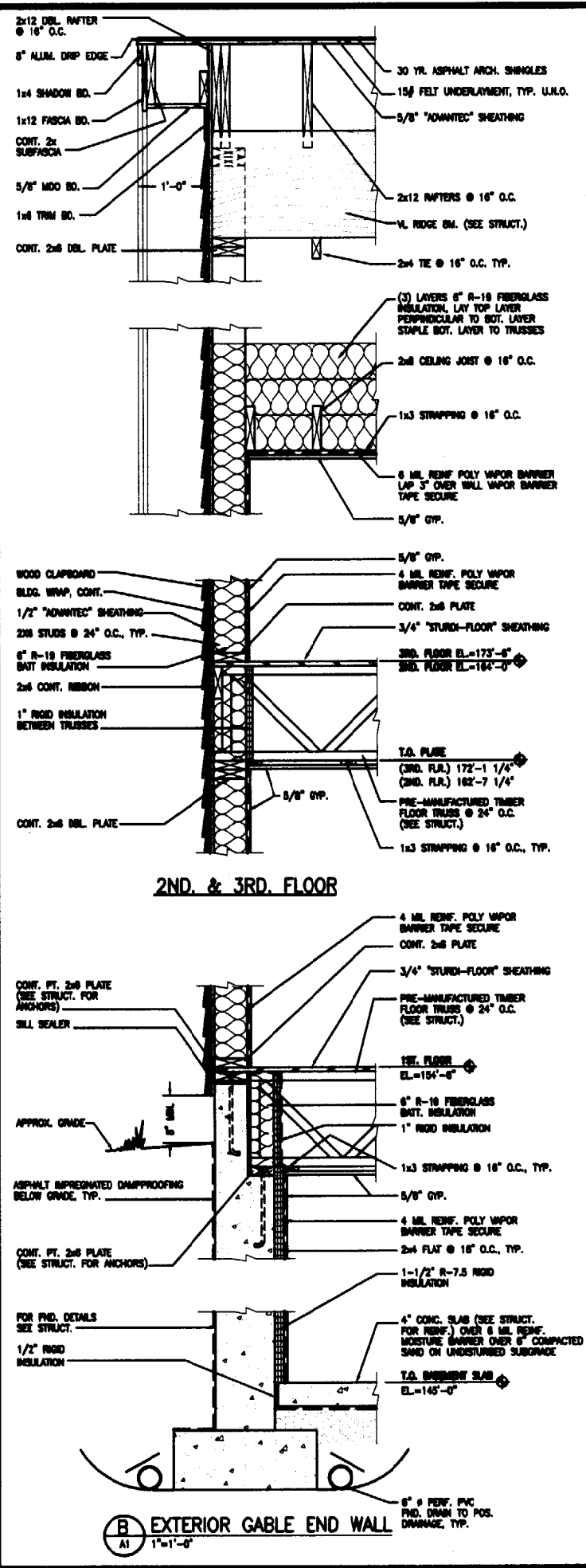
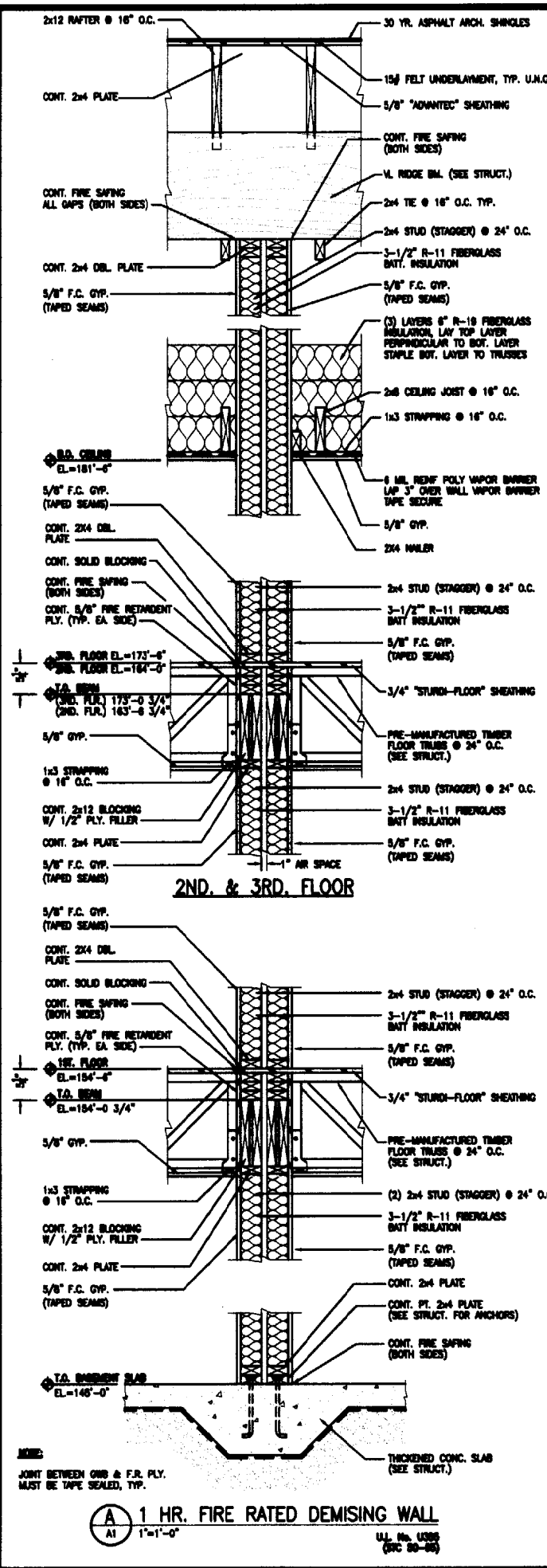
OCEAN RIDGE CONDOMINIUMS  
852 OCEAN AVENUE  
PORTLAND, MAINE  
NORTH ELEVATION  
UNITS 1, 2, 3, & 4

**A7**







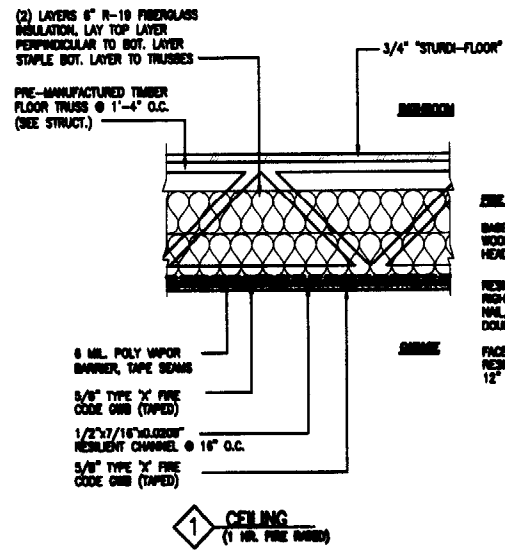


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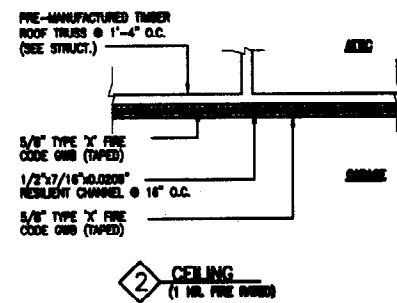
JOHN H. LEASURE ARCHITECT, INC.  
6 Q STREET  
SOUTH PORTLAND, MAINE 04106



**CEILING TYPES**



**FIRE RESISTANT CEILING**  
 BASE LAYER 5/8" TYPE "X" GWS APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG, 0.113" SHANK, 18/84" HEAD, 7" O.C. ALL SEAMS TAPED.  
 RESILIENT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL, 2-1/2" LONG, 0.113" SHANK, 18/84" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.  
 FACE LAYER 5/8" TYPE "X" GWS APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS WITH 1" TYPE "S" DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

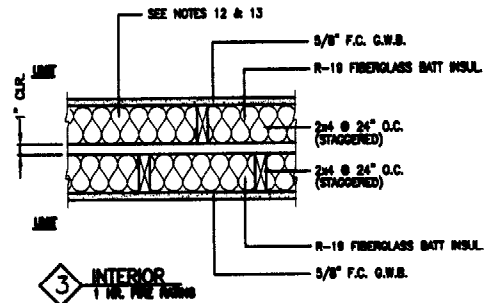


**FIRE RESISTANT CEILING**  
 BASE LAYER 5/8" TYPE "X" GWS APPLIED AT RIGHT ANGLES TO WOOD JOISTS WITH 8d NAILS 2-1/2" LONG, 0.113" SHANK, 18/84" HEAD, 7" O.C. ALL SEAMS TAPED.  
 RESILIENT FURRING CHANNELS SPACED 24" O.C. AND NAILED AT RIGHT ANGLES TO JOISTS AND THROUGH BASE LAYER WITH ONE 8d NAIL, 2-1/2" LONG, 0.113" SHANK, 18/84" HEAD, AT EACH JOIST DOUBLE CHANNEL INSTALLED AT BUTT ENDS OF FACE LAYER.  
 FACE LAYER 5/8" TYPE "X" GWS APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS WITH 1" TYPE "S" DRYWALL SCREWS 12" O.C. ALL SEAMS TAPED.

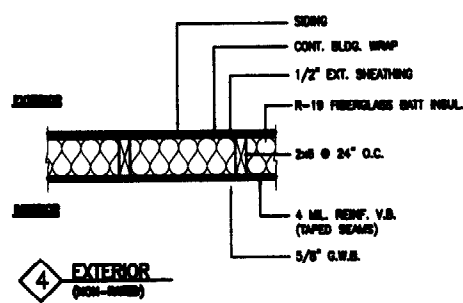
**GENERAL NOTES**

- 1 - ALL CONTRACTORS SHALL VISIT SITE AND OBSERVE EXISTING CONDITIONS AND VERIFY PROPOSED REVISIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- 2 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EXISTING CONDITIONS AND REQUIREMENTS TO MAINTAIN THE SAFETY OF THE BUILDING AND ITS OCCUPANTS. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, BRACING, TEMPORARY BRACING, SUITS OR TO-CORRER. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- 3 - ALL WORK SHALL BE IN ACCORDANCE WITH ANSI, BOCA 1996/IEC NFPA 101, AND ALL LOCAL, STATE, & FEDERAL REQUIREMENTS.
- 4 - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- 5 - ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
- 6 - MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN & INSTALLATION BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STATE AND FEDERAL STANDARDS.
- 7 - ALL NEW STAIRS SHALL BE CONSTRUCTED WITH A MAXIMUM 7 3/4" RISER AND A MINIMUM 10" DEEP TREAD.
- 8 - FINISHES SHALL BE DRYWALL, TAPED, SANDED AND PAINTED. CONSULT OWNER FOR SPECIFIC REQUIREMENTS.
- 9 - COORDINATE ALL WORK AND/OR CONSTRUCTION CHANGES WITH OWNER/O.C. PRIOR TO PROCEEDING WITH WORK.
- 10 - SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.
- 11 - FIRE DOOR ASSEMBLY, INCLUDING THE DOORWAY FRAME, DOOR AND NECESSARY HARDWARE SHALL CONFORM TO NFPA-101 SECTION 5-1.
- 12 - ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SLEEVED AND/OR COMPLETELY SEALED WITH NO HOLES OR GAPS. PROVIDE FIRE APPROVED FIRE SAVING MATERIAL IF NEEDED.
- 13 - VERTICAL CUTOUTS THROUGH BEAMS IN UNIT DEMISING WALLS SHALL BE LOCATED AT THE MIDPOINT BETWEEN STUDS. NO CUTOUTS SHALL BE LOCATED BEHIND JOIST BEARINGS.

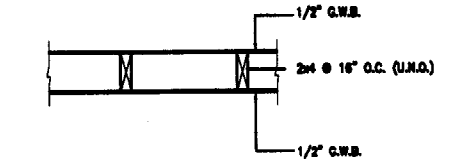
**WALL TYPES**



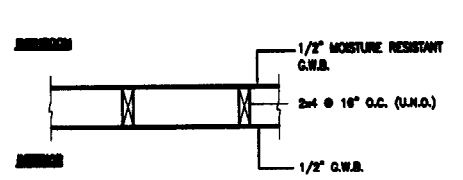
3 INTERIOR (1 HR. FIRE RATED)



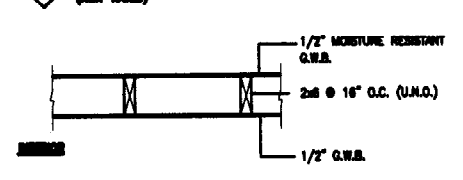
4 EXTERIOR (NON-FIRED)



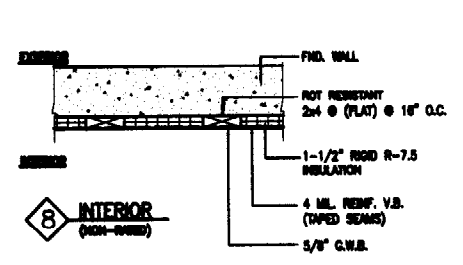
5 INTERIOR (NON-FIRED)



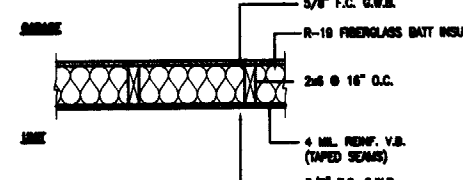
6 INTERIOR (NON-FIRED)



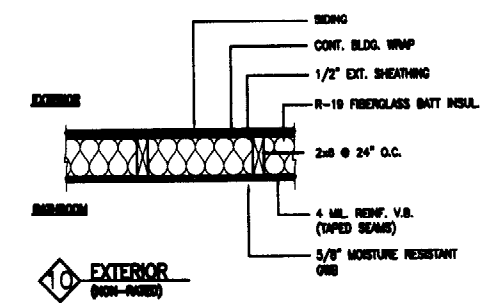
7 INTERIOR (NON-FIRED)



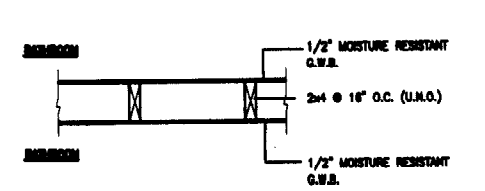
8 INTERIOR (NON-FIRED)



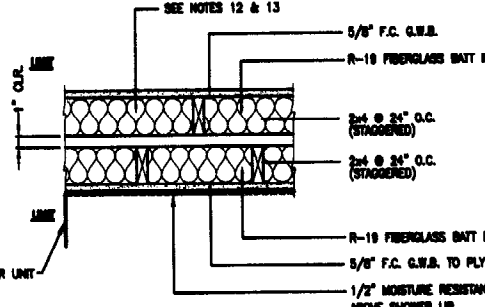
9 INTERIOR (1 HR. FIRE RATED)



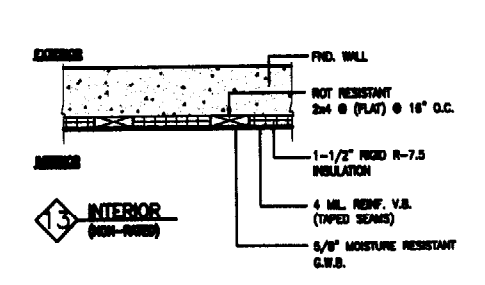
10 EXTERIOR (NON-FIRED)



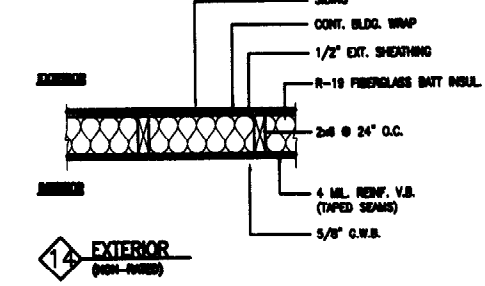
11 INTERIOR (NON-FIRED)



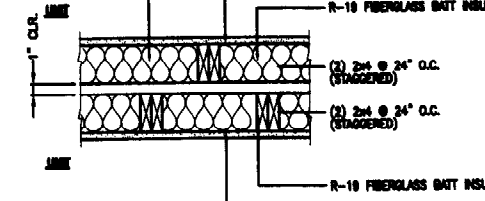
12 INTERIOR (1 HR. FIRE RATED)



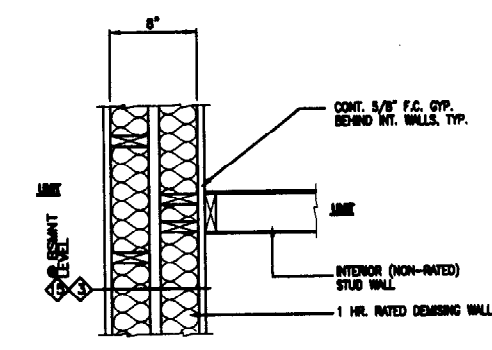
13 INTERIOR (NON-FIRED)



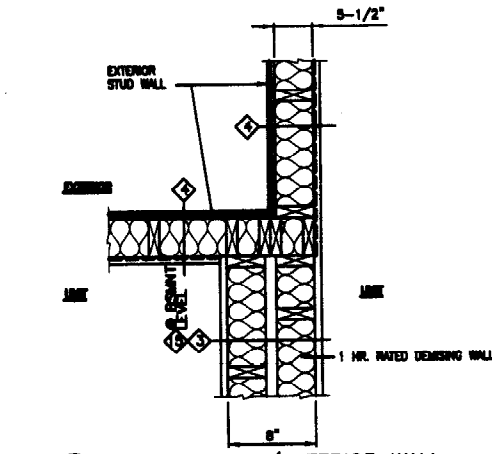
14 EXTERIOR (NON-FIRED)



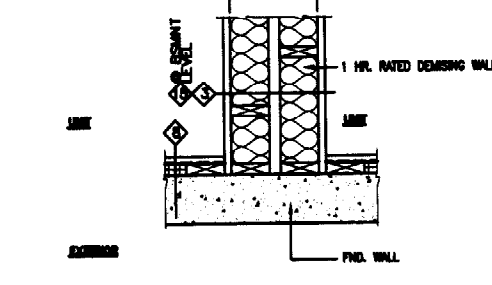
15 INTERIOR (1 HR. FIRE RATED)



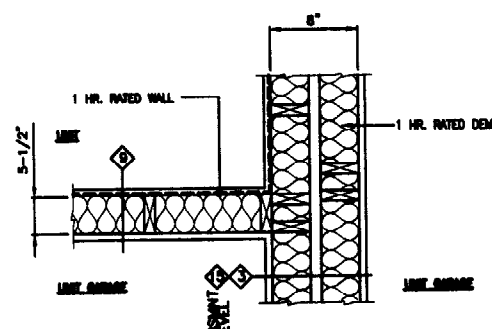
1 DEMISING WALL/INTERIOR WALL N.T.S.



2 DEMISING WALL/EXTERIOR WALL N.T.S.

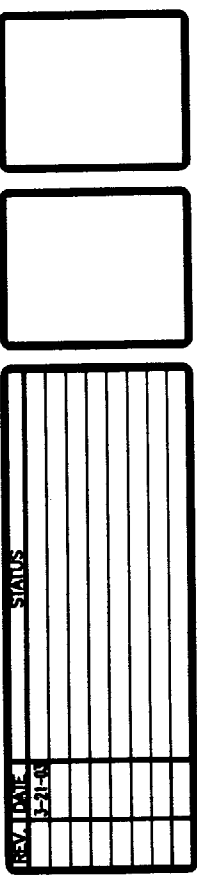


3 DEMISING WALL/FOUNDATION WALL N.T.S.



4 GARAGE/UNIT DEMISING WALL N.T.S.

**OCEAN RIDGE CONDOMINIUMS**  
 862 OCEAN AVENUE  
 PORTLAND, MAINE  
 WALL TYPES & DETAILS  
 UNITS 1, 2, 3, & 4



JOHN H. LEASURE ARCHITECT, INC.  
 60 STREET  
 SOUTH PORTLAND, MAINE 04106

**A12**



# DOOR SCHEDULE

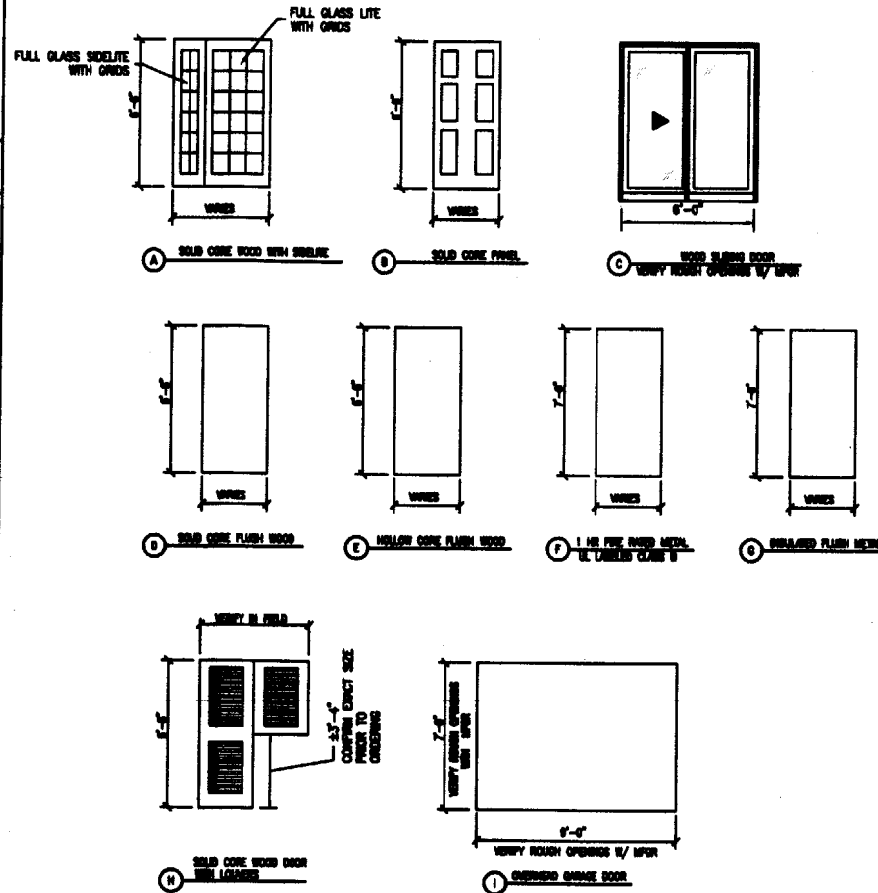
## DOOR SCHEDULE ABBREVIATIONS

|                              |                    |                           |
|------------------------------|--------------------|---------------------------|
| C.L. CLOSER                  | H.M.E. HARDWARE    | S. STEEL                  |
| D.K. DOOR KNOCKER            | H.M. HOLLOW METAL  | S.C. SOLID CORE HARDBOARD |
| D.S. DOOR SWEEP              | I.M.S. INSULATED   | S.H. SPRING HINGE         |
| E.H.O. ELECTRO. HOLD OPENER  | K. KEY LOCK        | S.L. SPLIT JAMB (WOOD)    |
| E.S. ELECTRIC STRIKE         | M.L. METAL         | T.E.M.P. TEMPERED         |
| F.J.P. FINNER JOINTED PRIMED | N.O. NUMBER        | T.K. THICKNESS            |
| F.R. FIRE RATED              | P.H. PANE HARDWARE | W.D. WOOD (SOLID)         |
| H.A. HANDICAP ACCESSIBLE     | P.P. PUSH/PULL     | W.G. WIRE GLASS           |
| H.C. HOLLOW CORE HARDBOARD   | P. PULL            | Y. YENER                  |

### FIRST FLOOR

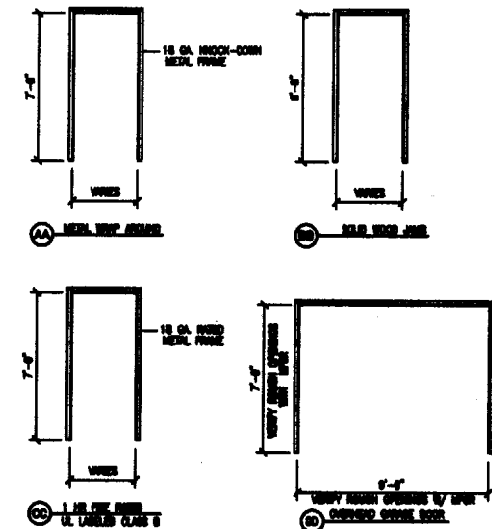
| NO. | TYPE | SIZE             | THK.   | F.R.  | HDWE SET | MAT.    | GLASS |      | REMARKS                  | FRAME TYPES |      |         |      | THRESHOLD |        |      |     |
|-----|------|------------------|--------|-------|----------|---------|-------|------|--------------------------|-------------|------|---------|------|-----------|--------|------|-----|
|     |      |                  |        |       |          |         | SIZE  | TYPE |                          | TYPE        | MAT. | DETAILS |      | MAT.      | DETAIL |      |     |
|     |      |                  |        |       |          |         |       |      |                          |             |      | HEAD    | JAMB |           |        | SILL | HT. |
| 01  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 02  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | PASSAGE SET              | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 03  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 04  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 05  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 06  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | PASSAGE SET              | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 07  | A    | 3'-0" x 7'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | INS. GL. V. TEMP. DS. DK | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 08  | I    | 6'-0" x 7'-0"    | -      | -     | HW08     | WOOD    | -     | -    | INSUL. O.H. GARAGE DOOR  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 09  | C    | 6'-0" x 6'-0"    | -      | -     | HW08     | WOOD    | -     | -    | INS. TEMP                | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 10  | F    | 3'-0" x 7'-0"    | 1 3/8" | 1 HR. | HW08     | NSA MTL | -     | -    | INS. SH. DS              | 08          | MTL  | -       | -    | L         | -      | -    | -   |
| 11  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 12  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 13  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 14  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 15  | F    | 3'-0" x 7'-0"    | 1 3/8" | 1 HR. | HW08     | NSA MTL | -     | -    | INS. SH. DS              | 08          | WOOD | -       | -    | L         | WOOD   | -    | -   |
| 16  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 17  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 18  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 19  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 20  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 21  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 22  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 23  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 24  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 25  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 26  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 27  | B    | 2'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 28  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 29  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 30  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 31  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 32  | B    | PR 1'-4" x 6'-0" | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 33  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |
| 34  | B    | 3'-0" x 6'-0"    | 1 3/8" | -     | HW08     | WOOD    | -     | -    | LOCKSET                  | 08          | WOOD | -       | -    | K         | WOOD   | -    | -   |

## DOOR TYPES

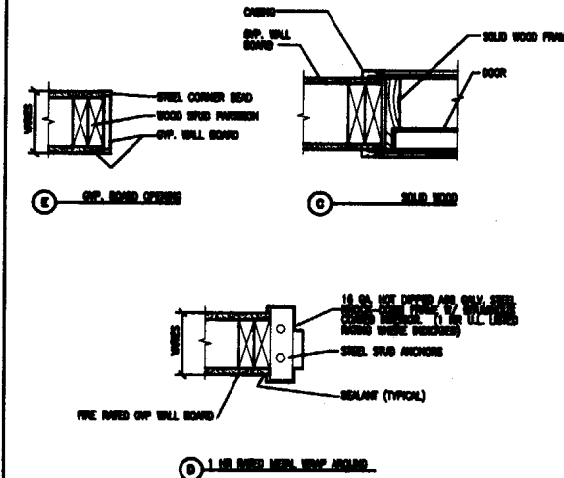


NOTES  
1) - WINDOW AND DOOR DIMENSIONS SHALL BE CALCULATED FROM THE FLOOR PLANS AND ELEVATIONS

## FRAME TYPES



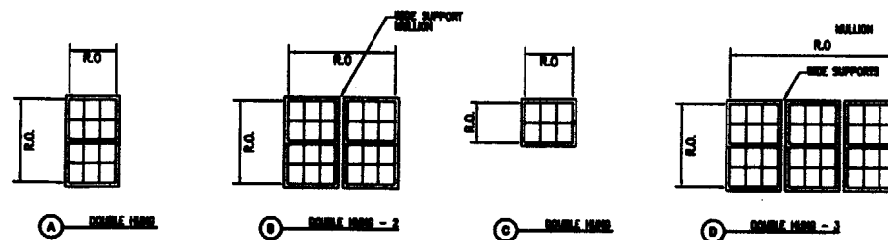
## JAMB TYPES



# WINDOW SCHEDULE

| NO. | TYPE | MANUF    | CAT NO.  | UNIT DIMENSION          | ROUGH OPENING            | REMARKS                                       | DETAILS |      |
|-----|------|----------|----------|-------------------------|--------------------------|---|---------|------|
|     |      |          |          |                         |                          |   | HEAD    | JAMB |
| W1  | C    | ANDERSEN | DHT2011  | 2'-1 5/8" X 2'-1 5/16"  | 2'-2 1/8" X 2'-1 7/8"    | LOW E GLASS, GRILLES (COLOR BY OWNER)         | -       | -    |
| W2  | A    | ANDERSEN | TW24410  | 2'-5 5/8" X 5'-0 7/8"   | 2'-8 1/8" X 5'-1 1/4"    | LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER) | -       | -    |
| W3  | A    | ANDERSEN | TW2452   | 2'-5 5/8" X 5'-4 7/8"   | 2'-8 1/8" X 5'-5 1/4"    | LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER) | -       | -    |
| W4  | D    | ANDERSEN | TW2452-3 | 7'-5" X 5'-4 7/8"       | 7'-5 1/2" X 5'-5 1/4"    | LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER) | -       | -    |
| W5  | B    | ANDERSEN | TW2452-2 | 4'-11 5/16" X 5'-4 7/8" | 4'-11 13/16" X 5'-5 1/4" | LOW E GLASS, SCREEN, GRILLES (COLOR BY OWNER) | -       | -    |

## WINDOWS



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