

Listed below are key characters (in bold) for searching within this file.

Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and select enter for a list of documents containing the search word you entered.

APL – all documents behind this target sheet pertain to the original application submitted by the Applicant.

REVIEW – all documents behind this target sheet pertain to those documents submitted to and from staff as part of the project review.

PBM1 – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

PBR1 - all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

CC1 - all documents behind this target sheet are any City Council memos/reports that went to the City Council.

DRC1 - all documents behind this target sheet are those pertaining to the post review of the project by the Development Review Coordinator.

MISC1 - all documents behind this target sheet are those that may not be included in any of the categories above.

APL

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2008-0107
Application I. D. Number
7/9/2008
Application Date
503-525 Presumpscot Street
Project Name/Description

Gribizis William
Applicant
285 Clifton St , Portland, ME 04103
Applicant's Mailing Address

-756-1830
wgribizis@maine.rr.com

503 - 525 Presumpscot St, Portland, Maine
Address of Proposed Site
415 B006001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Proposed Total Disturbed Area of the Site 0 Zoning IM

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$500.00 Subdivision _____ Engineer Review _____ Date 7/9/2008

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

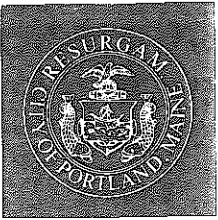
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

March 19, 2010

William Gribizis
285 Clifton Street
Portland, Maine 04103

Steve Blais, PE
Blais Civil Engineers
780 Broadway
South Portland, Maine 04106

Project Name: Warehouse Development

Address: 503-525 Presumpscot St

Project ID: 2008-0107

Applicant: William Gribizis

CBL: 415-B-6

Planner: Molly Casto

Dear Mr. Gribizis and Mr. Blais,

On March 18, 2010, the Portland Planning Authority approved a minor site plan for the proposed warehouse development at 503-525 Presumpscot Street as submitted by William Gribizis and shown on the approved plan prepared by Steve Blais, P.E of Blais Civil Engineers and dated February 23, 2010 with the following conditions:

1. The use of the proposed new structure is currently labeled "multi-unit storage". In order to provide greater clarity concerning permitted uses in the IM Industrial Zone, please revise this label to "warehousing".

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

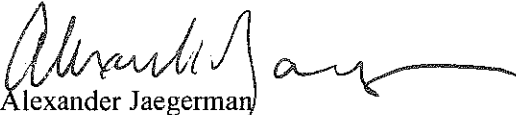
1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Molly Casto, Senior Planner at 874-8901.

Sincerely,



Alexander Jaegerman
Planning Division Director

Attachments:

1. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development

Alexander Jaegerman, Planning Division Director

Barbara Barhydt, Development Review Services Manager

Molly Casto, Senior Planner

Philip DiPierro, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Tammy Munson, Inspections Division Director

Lisa Danforth, Administrative Assistant

Michael Bobinsky, Public Services Director

Kathi Earley, Public Services

Bill Clark, Public Services

David Margolis-Pineo, Deputy City Engineer

Jane Ward, Public Services

Keith Gautreau, Fire

Jeff Tarling, City Arborist

Tom Errico, Wilbur Smith Consulting Engineers

Dan Goyette, Woodard & Curran

Assessor's Office

Approval Letter File

Hard Copy: Project File

2008-0107

*

William Gribizis

- just filling - ok w/ zoning
- parking - more specific - a gen parking lot is not allowed -
- parking lot -
 - see whole project
 -

Ocean Park Land Surveying LLC

July 8, 2008

Phil DiPierro
Development Review Coordinator

City of Portland

389 Congress Street

Portland, Maine 04101

Subject: Proposed Site Plan for 503-525 Presumpscot Street Portland, Maine

Dear Phil,

I am writing today to explain the attached plans for the above address. Recently, your office received plans from the D.E.P. in regard to the proposed fill and rip-rap of a mostly vacant lot at the above address. I talked to you about the project and your thoughts were taken into consideration.

We would still like to start filling this property as shown without building any buildings at this time. Given the economy and the price of fuel, my client is not sure what can be built on the property until the land is filled and graded. The buildings shown on the plans will be the maximum size planned for any building. It is our desire to come back to the planning staff with building plans when we are ready to build.

We do plan to build the new entrance, parking lot, catch basins and outfalls, plantings and rip-rap.

Please allow us to start filling the property and installing the rip-rap so we may take advantage of the fill being offered in the area.

The current owner is:

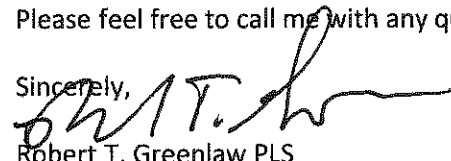
William Gribizis

285 Clifton Street

Portland, Maine 04103

Please feel free to call me with any questions or comments you may have.

Sincerely,



Robert T. Greenlaw PLS

Maine Professional Land Surveyor #2303

P.O Box 7265
Ocean Park, Maine 04063
207-749-9471
Oceanparkllc@gwi.net



Development Review Application Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Address of Proposed Development: 503-525 PRESUMPSCOT STREET		
Zone: IM INDUSTRIAL MODERATE IMPACT		
Project Name: 503-525 PRESUMPSCOT STREET		
Existing Building Size: 0 sq. ft.	Proposed Building Size: 11520^{-LATER} sq. ft.	
Existing Acreage of Site: 130817.7 sq. ft.	Proposed Acreage of Site: SAME sq. ft.	
Proposed Total Disturbed Area of the Site: 30924 sq. ft. *		
* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).		
Tax Assessor's Chart, Block & Lot: Chart # 415 Block # C Lot # 6	Property Owners Name/ Mailing address: WILLIAM G. GRIBIZIS 285 CLIFTON ST PORTLAND, ME	Telephone #: Cell Phone #:
Consultant/Agent Name, Mailing Address, Telephone #, Fax # and Cell Phone #: OCEAN PARK LAND SURVEYING P.O. BOX 7265 OCEAN PARK, ME 04063 Bob GREENLAW 749-9471	Applicant's Name/ Mailing Address: N/A	Telephone #: Cell Phone #:
Fee for Service Deposit (all applications) <u> X </u> (\$200.00)		
Proposed Development (check all that apply)		
<input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input checked="" type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Storm water Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
~ Please see next page ~		

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)

WILLIAM G. GRIBIZIS
285 CLIFTON ST.
PORTLAND, ME 04103

Submittals shall include **seven (7) folded packets** containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant:



Date:



REVIEW

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0107

Date: 9/10/2008

This property is located within an I-M Zone. The submittal is very weak. There is no cover letter explaining the use and other aspects of the submittal. I am not sure what a "multi-unit storage" use is intended to be. Are these self-storage units or are they intended to be storage for building contractors? The units appear to large. Do they have storage areas and accessory offices? No floor plans were submitted and no building elevations were submitted. The applicant must supply this needed information before I can make a final decision on use, setbacks and height.

The site plan does not have a scale on it. A 30 scale does not accurately work for the 160' length of building. The plans should be accurately scaleable with a common scale.

The site plans also give several lot sizes - 130,817.7 sq ft and 130,680 sq ft. The information given for the lot size should be able to be much more accurate than rounding off to a couple hundred square feet.

Because I am not sure of the use, I can not determine required parking.

There is a new septic system being proposed. I am assuming that plumbing will be put into these buildings. Again, another reason why floor plans are need for this review.

Marge Schmuckal
Zoning Administrator

Molly Casto - Gribizis Warehouse

From: "Errico, Thomas A" <TERRICO@wilbursmith.com>
To: "Molly Casto" <MPC@portlandmaine.gov>
Date: 9/26/2008 3:21 PM
Subject: Gribizis Warehouse
CC: "James Carmody" <JPC@portlandmaine.gov>, "Katherine Earley" <KAS@portlandmaine.gov>

Molly –

I conducted a field investigation of the proposed access opportunities for the proposed project. Based upon the current layout, as depicted on the September 5, 2008 plan prepared by Cad=de=Tech, the proposed driveway does not meet City standards for driveway spacing with the driveway on the abutting property to the north. It is my suggestion that the applicant consider combining access with the northerly abutter. Sight distance from that location may require some minor tree/bush trimming, but would be acceptable.

If you have any questions or comments, please contact me.

Best regards,

Thomas A. Errico, P.E.
Senior Transportation Engineer
Wilbur Smith Associates
59 Middle Street
Portland, Maine 04101
w: 207.871.1785 f: 207.871.5825
TErrico@WilburSmith.com
www.WilburSmith.com

12/4 - review notes. Prelim. plans - 11x17 .pdf files.

Grabizis - John Ossie email

prelim review of plans:

- IM zone: min. pavement setback of 10 FT from lot boundaries.

* what about building setback? → pavement & building both appear to be on property line.

property boundaries not clearly identified on plan?
proposing to Merge the parcels? Can he do this?

He shouldn't have proposed parking on existing conditions plan. - confusing. (also - snow storage

- bike racks proposed at 2 locations - appears that 1 sign @ front is mislabeled?

- What is "conservation" label? Easement? Doesn't directly correspond to 75' setback. A simple note on the plan citing the restrictions would be more appropriate.

Bldg. height - 17.5' (~) = 18' required setback

- Honey Locust - mimosa
- yellow locust
- black locust
- Chinaberry tree

May 15, 2008

PLANNING Dept
City of Portland
309 CONGRESS ST

SUBJECT: FILL PERMIT FOR 503-525 Presumpscott

WE HAVE DECIDED TO ASK FOR A FILL PERMIT
FOR THE SUBJECT PARCEL.

NO TENDANT OR USE HAS BEEN IDENTIFIED
AS YET. GIVEN THE CONSTRUCTION IN THE
AREA WE WOULD LIKE TO START FILLING
NOW.

WE WILL SUBMIT A SITE PLAN APPLICATION
ONCE WE HAVE FILLED THE AREA.

THANK YOU,

ROBERT T. GREENLAW, PLS

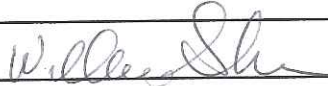


Fill Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Fill Area: 503-525 PRESUMPSCOT ST		
Total Cubic Yardage of Proposed Fill 10,500 cu.yds +-	Square Footage of Lot 130817.7 OR 3.00 ACRES	
Tax Assessor's Chart, Block & Lot Chart# 416 Block# C Lot# 006	Owner: WILLIAM GRIBIZIS	Telephone:
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: 285 CLIFTON ST PORTLAND, ME 04103	500cy-less \$50.00 500cy-more \$100.00 Fee: \$ 100.00

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 5/15/08
---	----------------------

This is not a permit. You may not commence ANY work until the permit is issued.

FILL PERMIT SUBMISSION

- * • **Your submission must include 4 copies of the site plan on 11" x 17" paper or greater.**
- **A site plan shall include:** The shape and dimension of the lot, area and limits of the proposed fill area, and the distance from the actual property lines. **Any site plan not drawn to scale will not be accepted.**
- **The following items are guidelines to help applicant(s) prepare a site plan for approval of land areas being filled. It is the applicant's responsibility to locate and assess all impacts as a result of the proposed filling and to acquire all applicable permits outside of the City of Portland review. Site plans shall contain the information suggested in the following guidelines:**
 1. Fill elevations shall match and conform in height with the elevation of an existing road shoulder, an existing driveway or land abutting your property line. Embankments and sloped areas created by fill construction shall not exceed a 3:1 side slope or 33% grade. Areas steeper than 3:1 shall be stabilized using stone riprap, erosion control blankets, or an engineered retaining structure or system.
 2. The filled area shall be graded such as to provide positive gravity drainage from a roadside, driveway, and buildings to a ditch line, culvert, wetlands, or a common drainage system located within or adjacent to the applicant's lot.
 3. Fill shall not be placed near, within, or block the flow path of an existing drainage course. Any filling or

→ alteration of a wetland, shoreland, or floodplain must be reviewed as a site plan application and may require additional permitting from the Maine Department of Environmental Protection.

A Site plan application includes, but is not limited to, the submission of a stamped boundary survey, a stamped professional engineered plan, stormwater management calculations, channel sizing, and associated details.

4. Siltation fence shall be installed and maintained at all times. The siltation fence shall be located along the entire downstream limits of the filled area or around the perimeter of the filled area to protect the disturbed area from siltation and possible erosion. Installation shall be initially reviewed by the Development Review Coordinator (DRC) prior to filling and must be in accordance with the Best Management Practices for Construction Erosion and Sediment Control. Silt fence may not be removed until the lawn area or disturbed area is 80% re-vegetated or is approved by the DRC.

5. The applicant shall disclose the amount, a description of type, and the origin of the proposed fill material. Fill material shall consist of non-contaminated soils free of large debris. Only under special exceptions shall sources of inert construction debris (asphalt, concrete, brick, mortar, ceramics, etc.) be utilized for fill. Special exceptions for fill material shall be reviewed by the Development Review Coordinator prior to actual placement for approval.

6. The fill material shall not remain exposed without a temporary erosion and sedimentation control or seeding application for more than 14 days. Temporary erosion control such as hay mulching must also occur on stock piled material if the time of exposure is to be greater than 14 days.

7. The filled area must be covered with 3-4" layer of loam material, free of clay, stone, roots, or wood debris. Loamed areas shall be seeded within 7 days following final grading or be covered with hay mulch until the area is ready for final seeding. If the area fails to grow grass within 14 days, the area shall be re-seeded.

8. The applicant shall complete all construction, grading, and seeding activities by September 1, or a date agreed to by the Development Review Coordinator. Failure to complete will require the applicant to apply for a permit extension.

9. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. Also, a stamped boundary survey may be required depending on the location of fill areas.

Please take notice that these are only guidelines and that the review of each application is different and is dependent on field conditions and topography. Conditions or requirements requested may exceed these guidelines in certain circumstances.

ABSOLUTELY NO SITE WORK MAY BE DONE UNTIL THE PERMIT HAS BEEN ISSUED.

THIS INCLUDES THE FOLLOWING:

BLASTING

TREE CLEARING

HAULING IN FILL TO THE SITE

ANY TYPE OF GRADING OR EARTHWORK

FILL PERMITS ARE VALID FOR ONE (1) YEAR FROM THE APPROVAL DATE. A ONE YEAR EXTENSION MAY BE GRANTED BY THIS DEPARTMENT IF REQUESTED BY THE APPLICANT IN WRITING PRIOR TO THE EXPIRATION DATE OF THE FILL PERMIT.



STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION

JOHN ELIAS BALDACCI
GOVERNOR

DAVID P. LITTELL
COMMISSIONER

SOUTHERN MAINE REGIONAL OFFICE

FAX TRANSMITTAL INSTRUCTIONS

DATE: 10/1/08

DELIVER TO: Molly Casto

COMPANY NAME: Portland Planning

FAX NUMBER: 756-8258

SENT BY: John MacLaine
Of Maine Department of Environmental Protection

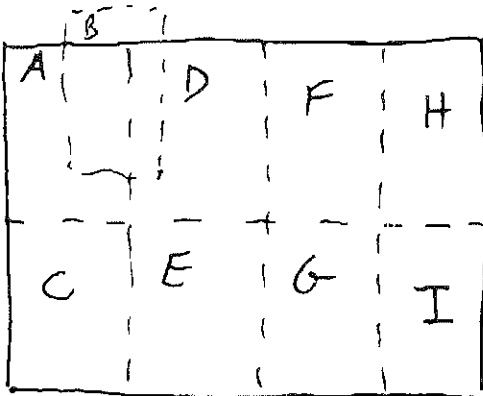
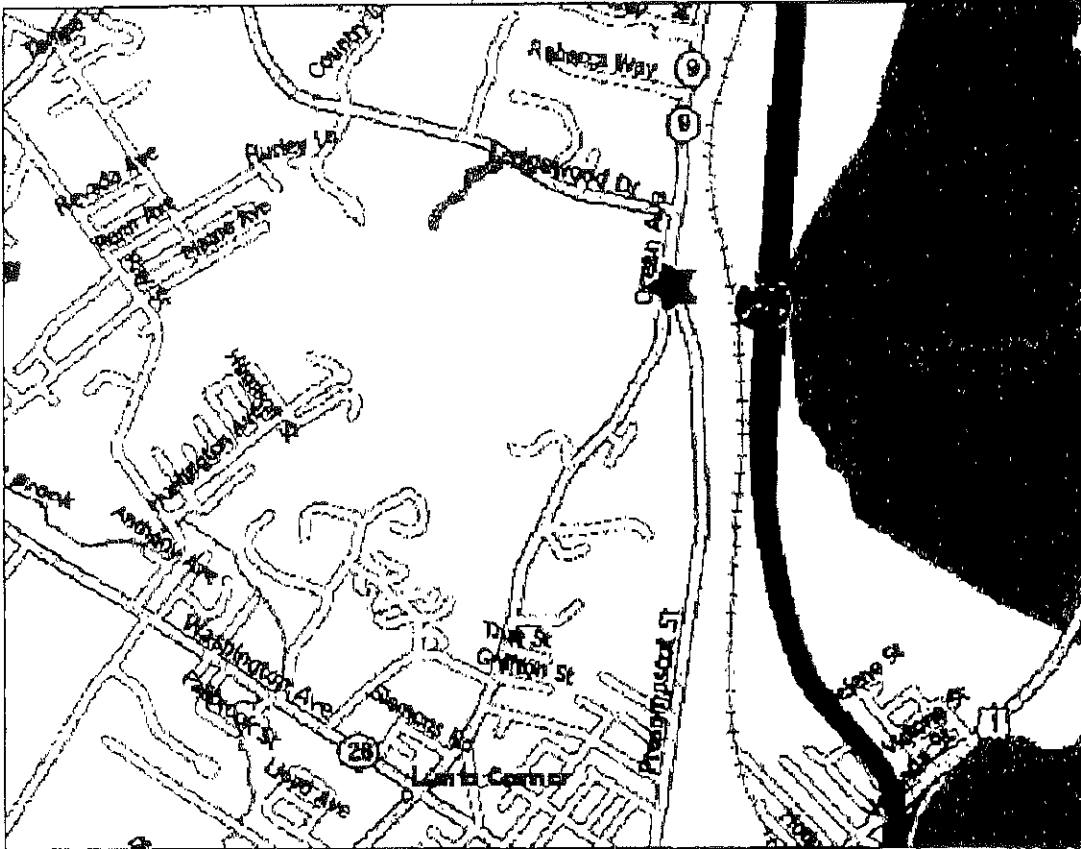
NUMBER OF PAGES (Including Cover): 10
Copy of plans for PBR # 45887

The plans are in large format so if you can't make out the plans or patch them together, I can let you borrow the original. My questions, just give me a call @ 822-6351

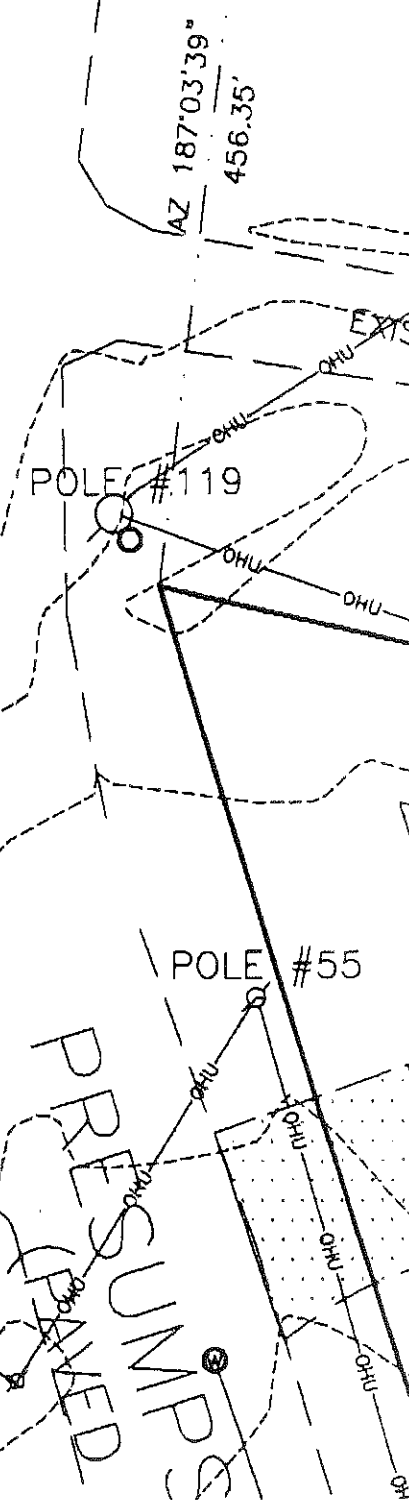
Serving Maine People & Protecting Their Environment

AUGUSTA STATE HOUSE STATION AUGUSTA, MAINE 04333-0017 (7) 287-7688 EX BLDG., HOSPITAL ST.	BANGOR 108 HOGAN ROAD BANGOR, MAINE 04401 (207) 941-4570 FAX: (207) 941-4584	PORTLAND 312 CANCO ROAD PORTLAND, MAINE 04103 (207) 822-6300 FAX: (207) 822-6305	PRESQUE ISLE 1235 CENTRAL DRIVE, SKYWAY PARK PRESQUE ISLE, MAINE 04769-2094 (207) 764-0477 FAX: (207) 764-1507
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SITE LOCATION MAP:

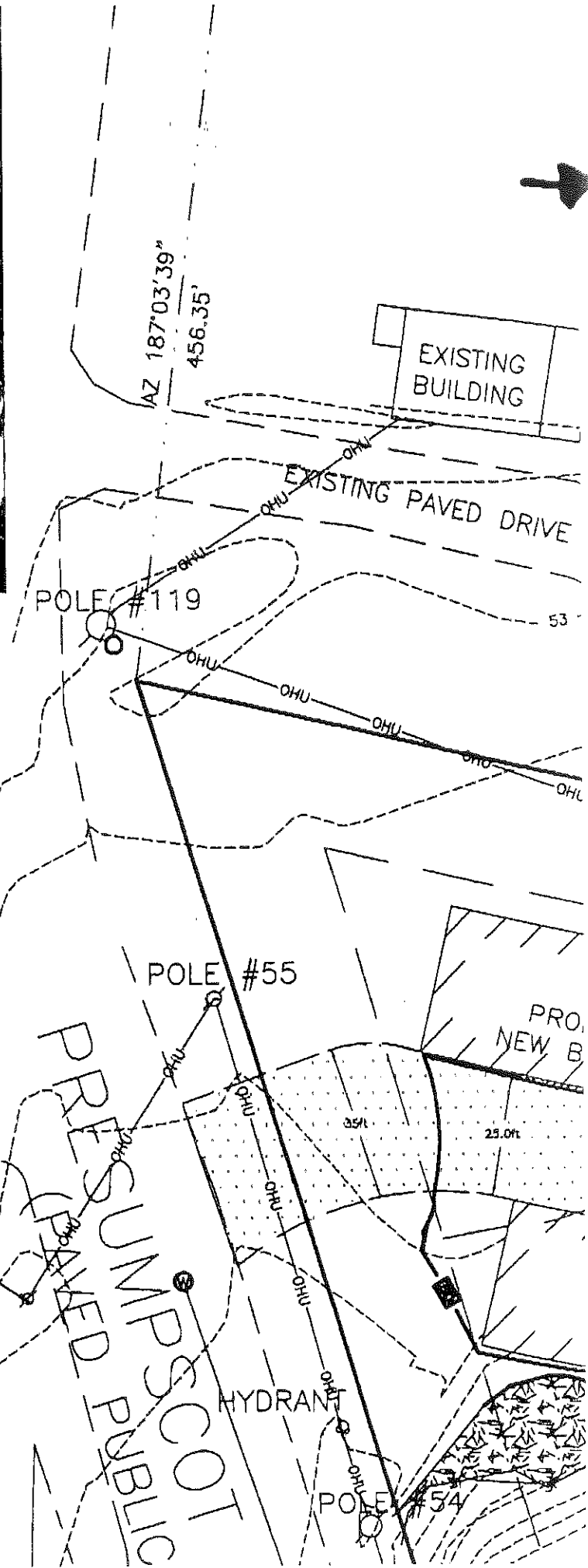
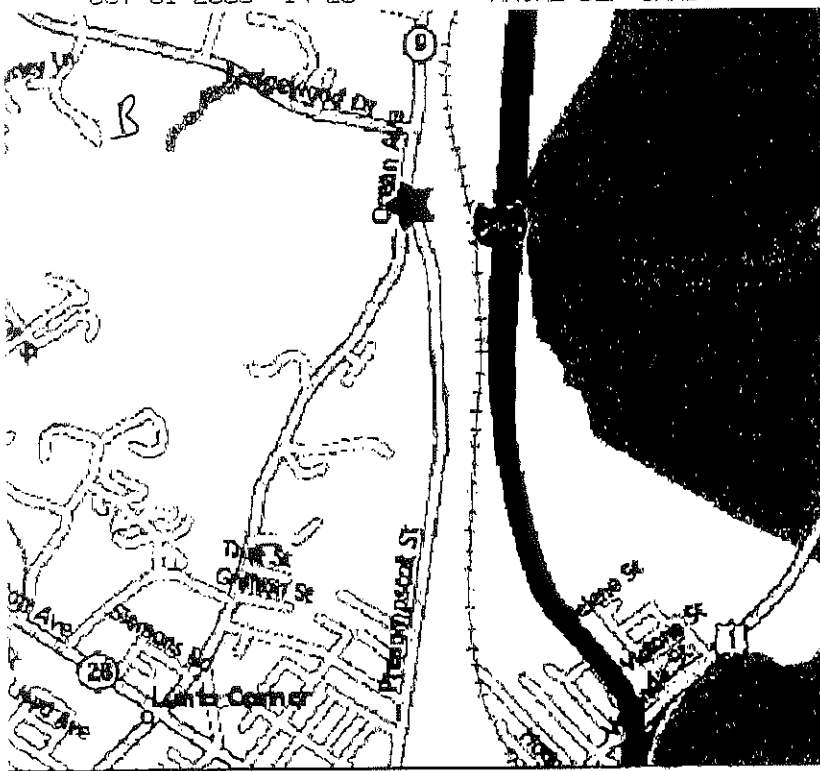


0-1



SITE BENCHMARK
 PK IN POLE #118
 ELEV: 51.62'

PRESUMED
 (P) (O) (R)



SITE BENCHMARK
PK IN POLE #118
ELEV: 51.62'

OCEAN
(PAVED, F

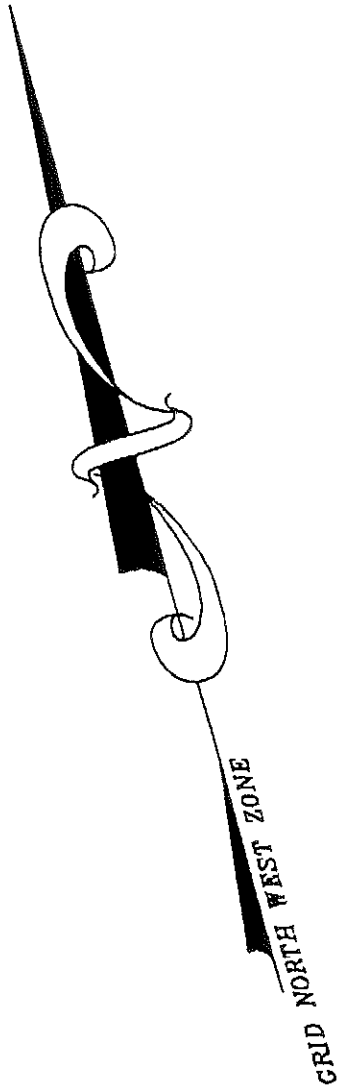
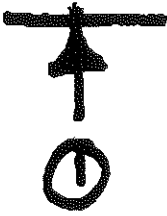
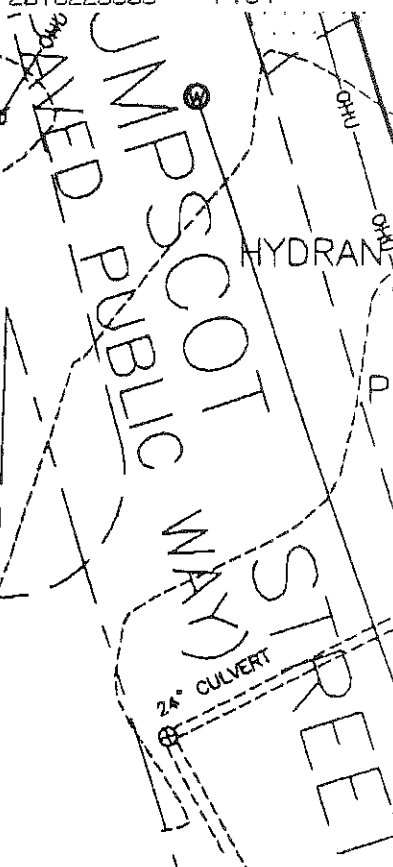
PRE-SUMPTED PUBLIC
ROAD
SCOT

HYDRANT

PROJ
NEW B

ELEV: 51.62'

OCEAN AVENUE
(PAVED PUBLIC WAY)



C

3

D



TING
DING

D DRIVE

EXISTING GARAGE

EXISTING PAVED PARKING AREA

N/F
WILLIAM G. GRIBIZIS
8880/121
TAX MAP 415-B-0
TAX MAP 419-A-01

POLE #119.1

S 60°41'10" E
375.95'

PROPOSED ACCES

PROPOSED
NEW BUILDING

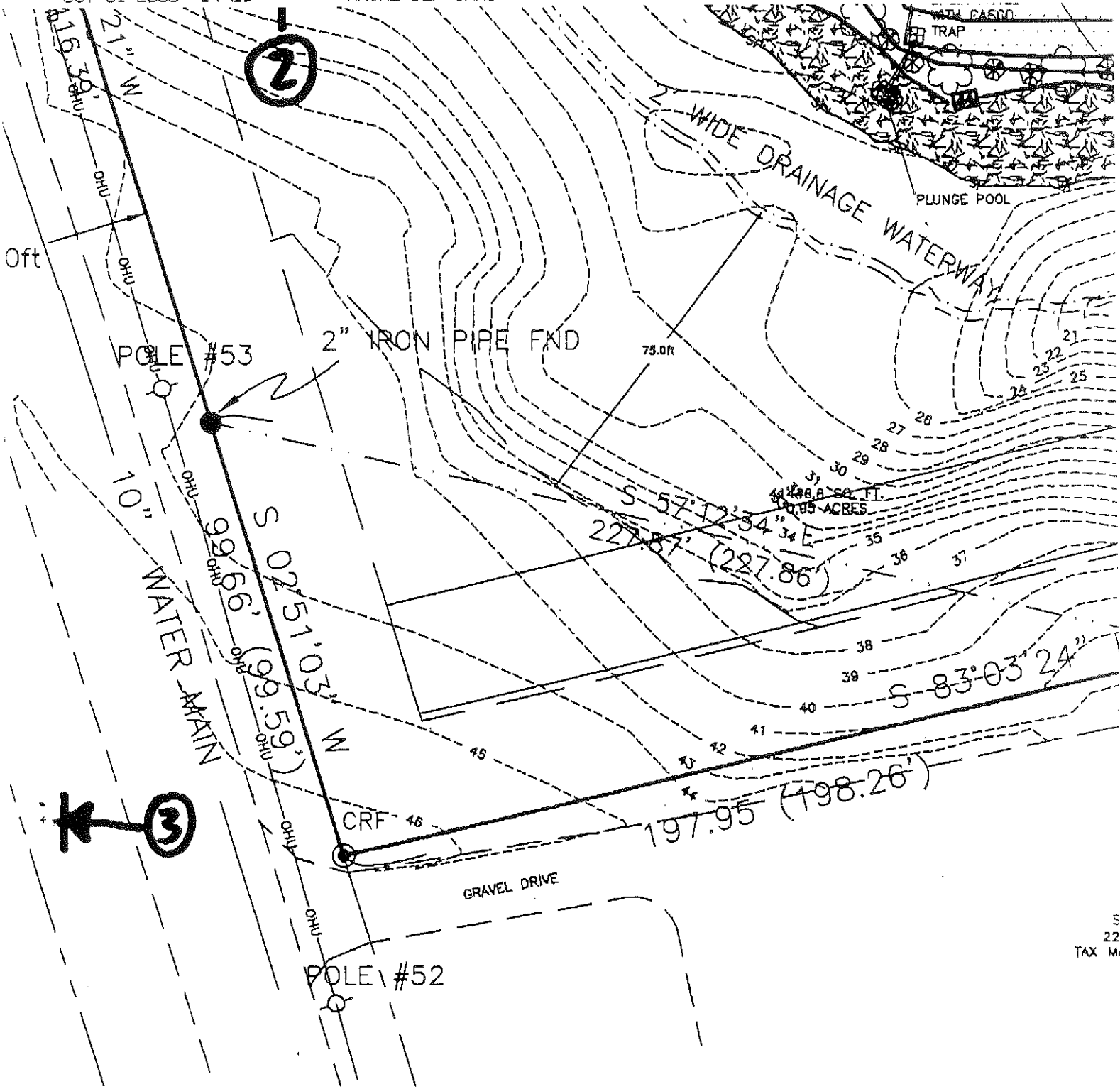
PROPOSED ONE STORY
METAL MULTI UNIT STORAGE
192.0'
5760.0 SQ. FT.

PROPOSED ONE STORY
METAL MULTI UNIT STORAGE
192.0'
5760.0 SQ. FT.

PROPOSED PAVED
SURFACE



19404
TOTAL
30924



S
22
TAX M.

INE, CUMBERLAND SS
DEEDS

2008
.M. AND RECORDED IN
PAGE E

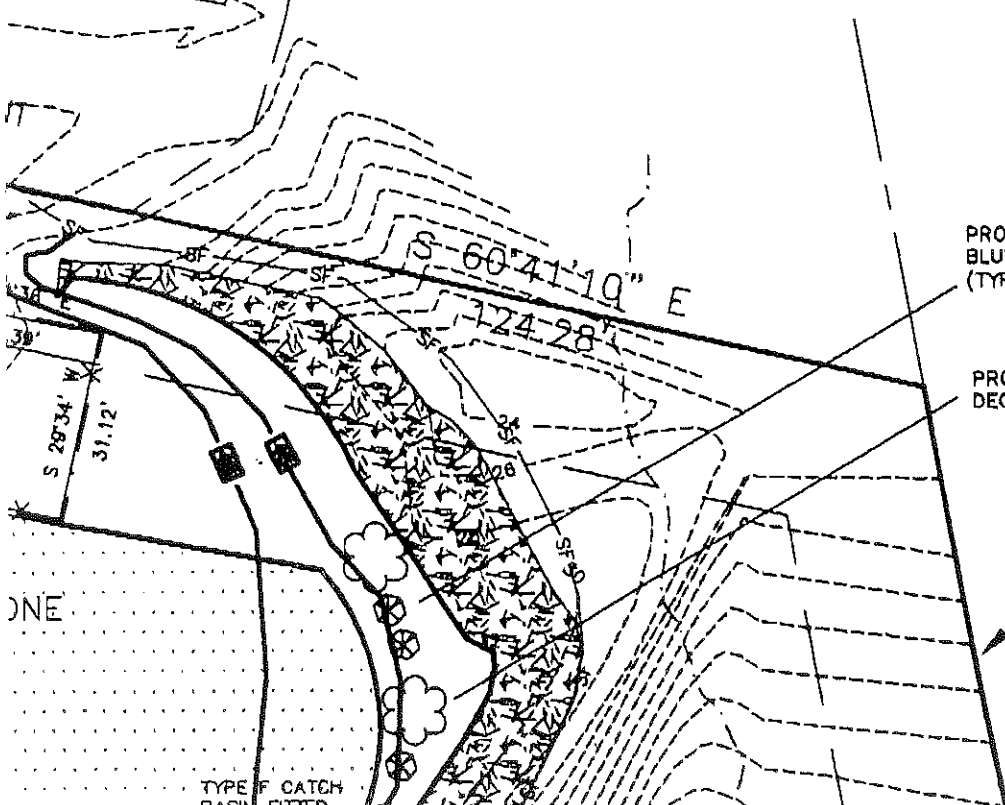
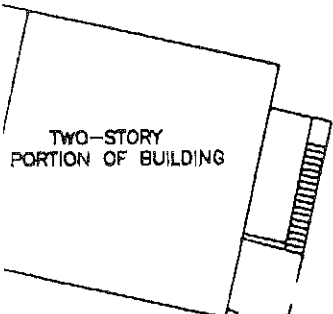


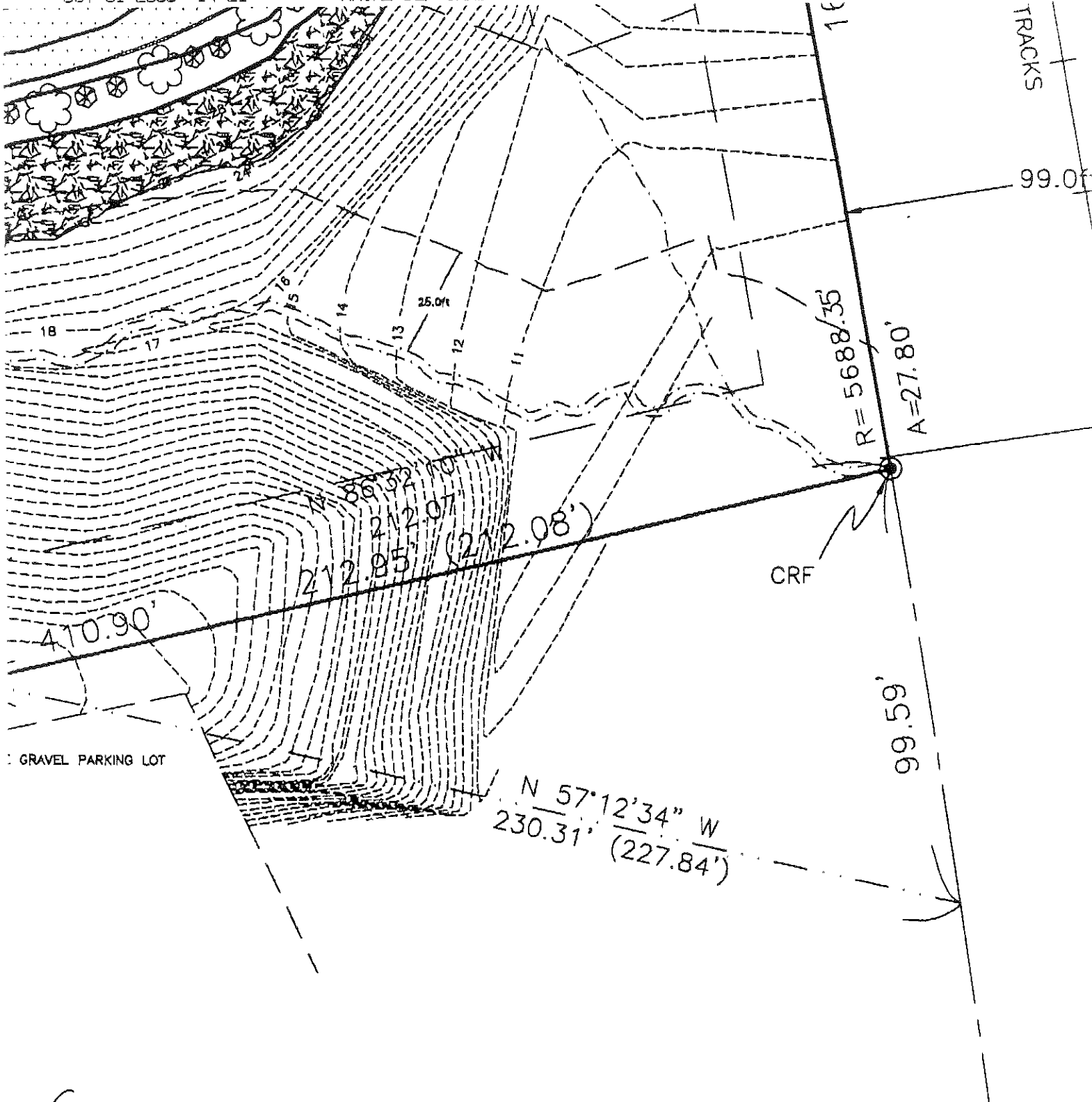
GRAPHIC SCALE

FIELD BOOK: PAGE:

QAT. IN

ASSUMED RIGHT OF WAY LINE AS DESCRIBED ON PLAN
MADE FOR JOHN J. NISSEN BY ROBERT T TITCOMB DATED JULY 74





GRAVEL PARKING LOT

CRF

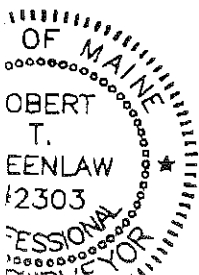
TRACKS

G

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENS FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- b) NO NEW CORNERS WERE SET



A

CORD OWNER OF PARCEL: WILLIAM G. GRIBIZIS, BOOK 25407, PAGE 332 AS
RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).

MEASUREMENTS ARE BASED UPON THE MAINE STATE GRID WEST ZONE NAD 83...
INCLUDING THE FOLLOWING EQUIPMENT:
LEICA SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR,
-HELD MAGNETIC COMPASS.

PHOTO CONTROL POINTS WERE UTILIZED FOR THIS PROJECT'S HORIZONTAL
CONTROL. A SURVEY TACK IN THE TOP OF A FENCE POST WAS FOUND AND TIED TO
THIS PLAN WITH AN AZIMUTH AND DISTANCE. THE SECOND CONTROL POINT
LOCATED WAS A P.K. NAIL FOUND IN A PAINTED AERIAL TARGET ON THE LEIGHTON
ROAD NEAR IT'S INTERSECTION WITH OCEAN AVENUE.

COORDINATES OF EACH ARE AS FOLLOWS:

POINT 1 - NORTH-316320.27, EAST-2928188.38
POINT 2 - NORTH-316540.91, EAST-2927778.67

ELEVATIONS ARE BASED UPON CITY OF PORTLAND DATUM. SAID ELEVATIONS WERE
OBTAINED FROM A DRILL HOLE IN LEDGE ON SOUTHERLY SIDELINE OF OCEAN
AVENUE 30-FEET EASTERLY HOUSE #805, ELEVATION IS 101.94'. SAID DRILL HOLE
IS REFERENCED IN CITY OF PORTLAND ENGINEERING LEVEL BOOK 237, PAGE 141.

TOTAL AREA OF SUBJECT PARCEL: 130817.7 SQ. FT. 3.00 ACRES

REFERENCE IS MADE TO THE FOLLOWING PLANS:

1.) TOWER AREA SURVEY, PRESUMPSOT STREET, PORTLAND MAINE, PREPARED FOR
GLOBAL SIGNAL ACQUISITIONS IV LLC BY OWEN HASKELL INC. DATED 12-13-2006 SAID
PLAN UNRECORDED AT THE TIME OF THIS SURVEY.

2.) PLAN OF LAND ON PRESUMPSOT STREET PORTLAND, MAINE FOR MERRILL
INDUSTRIES BY OWEN HASKELL, INC. SOUTH PORTLAND MAINE DATED 08-24-1982.
SAID PLAN UNRECORDED AT THE TIME OF THIS SURVEY.

THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR
BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY OTHER THAN
THOSE SHOWN HEREON.

THE LEASE AGREEMENT BETWEEN SAWDUST INVESTMENTS, LLC II A MAINE
LIMITED LIABILITY COMPANY AND GLOBAL SIGNAL ACQUISITIONS IV LLC A DELAWARE
LIMITED LIABILITY COMPANY DATED JANUARY 8, 2007 AND RECORDED IN THE
CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24735, PAGE 177.

EXISTING IMPERVIOUS AREA = 2795.3 SQ. FT.
PROPOSED IMPERVIOUS AREA = 19404.6 SQ. FT.
TOTAL AREA OF LOT = 130680 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA TO LOT = 15%

SETBACKS: FRONT - 25 FT
REAR - 25 FT (35 FT ABUTTING RESIDENTIAL)
SIDE - 25 FT (35 FT ABUTTING RESIDENTIAL)
PAVEMENT: 10 FT FROM BOUNDARY

I

MINIMUM LOT SIZE: NONE
MINIMUM STREET FRONTAGE: 60 FT
MAXIMUM BUILDING HEIGHT: 45 FT
MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 75%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 2C, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 8, 1990 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

CRF ● Capped 5/8" Rebar Found
GREENLAW PLS # 2303.

IPF ● Iron Pipe Found

SMH ⊗ Sewer Manhole

WG ⊗ Water Gate

CB □ Catch Basin

— — — Abutter Line

———— Property Line

— · — · — Street Line

— — — Setback Line

— · — · — Old Lot Line

----101---- Contour Line

— · — · — Easement Line

(50.00') Distance from reference
Plan or deed.

N/F Now Or Formerly

12345/99 Deed Book/Page
of Local Registry

==== Course of Drainage Waterway

— — — Edge of traveled way

— E — Overhead Utility

⊘ Utility Pole

→ Direction of Bearing

— Z — Indicates Ownership
in Common

— 101 — Proposed Contour Line

**BOUNDARY SURVEY/SITE PLAN
PROPOSED NEW BUILDING AND ACCESS**

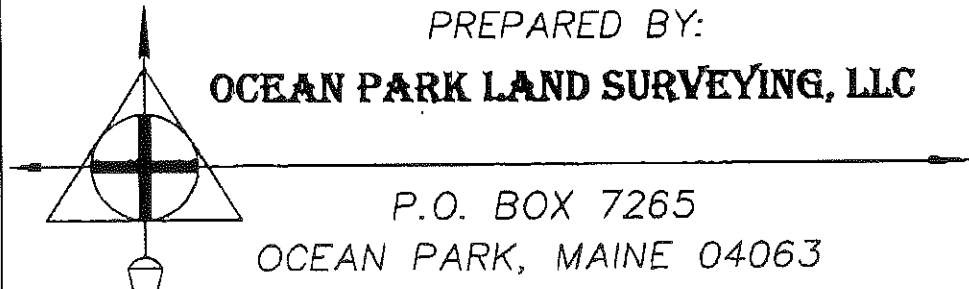
503-525 PRESUMPCOT STREET, PORTLAND, MAINE

FOR:

WILLIAM GRIBIZIS

PREPARED BY:

OCEAN PARK LAND SURVEYING, LLC



P.O. BOX 7265

OCEAN PARK, MAINE 04063

DRAWN BY: RTG / PJM

CHECKED BY:

SCALE: 1" = 30'

DATE OF SURVEY: 09/16/2007

JOB NUMBER: 2007104

SHEET: 3 OF 4

Molly Casto - RE: Grabizis - Presumpscot St.

From: David Margolis-Pineo
To: Molly Casto
Date: 10/8/2008 2:20:38 PM
Subject: RE: Grabizis - Presumpscot St.

I have a call into Jeff Kalinick 822-6325, DEP Environmental Specialist, to set up an appointment. I believe this is time sensitive correct?

>>> Molly Casto 10/08 2:01 PM >>>

Hi Dave:

How did your meeting with MDEP go yesterday? I didn't put it on this morning's agenda because I didn't have any new plans to show, etc but I look forward to hearing what you learned and your determination as to whether we are requiring the applicant to maintain the 75 ft setback.

Thank you-
Moll

Molly P. Casto, Senior Planner
Portland Planning Division
389 Congress Street
Portland, Maine 04101-3509
207-874-8901
MPC@portlandmaine.gov

>>> David Margolis-Pineo 10/03 1:13 PM >>>
Absolutely, I let you know.

>>> Molly Casto 10/03 9:41 AM >>>
darn...disregard my previous email. I'm booked until 5 on Tuesday. Let me know what you find out.
Thank you, again.
Molly

>>> David Margolis-Pineo 10/03 9:35 AM >>>
Perfect. See you on site then.

>>> "Maclaine, John" <John.Maclaine@maine.gov> 10/02 4:30 PM >>>

Dave,

I have made a few other appointments for Tuesday, but I could hold open 3:30 on Tuesday if that works for you.

John Maclaine

Field Services and Enforcement

Department of Environmental Protection

Bureau of Land and Water Quality

Division of Land Resource Regulation

From: David Margolis-Pineo [mailto:DMP@portlandmaine.gov]
Sent: Thursday, October 02, 2008 3:54 PM
To: Maclaine, John
Cc: Barbara Barhydt; Jean Fraser; Marge Schmuckal; Molly Casto; Penny Littell ; DGoyette@woodardcurran.com
Subject: Re: Grabizis - Presumpscot St.

Thanks John,

Will 2:30 on Tuesday be OK? I could meet you on site then.

Dave,

I will be in the field on Tuesday 10/7/08, so I could probably do a determination then. If you would like to meet on site, I could schedule a time to be out there. Otherwise I may just let it be a floating appointment. As of now I have time open after 1:00 Tuesday so if there is a time that works well for you, give a ring at 822-6351.

Thanks

John Maclaine

Field Services and Enforcement

Department of Environmental Protection

Bureau of Land and Water Quality

Division of Land Resource Regulation

David Margolis-Pineo
Deputy City Engineer
Portland Public Works
55 Portland St.
Portland, ME 04101
Office 207-874-8850
Fax 207-874-8852
Cell 207-400-6695
dmp@portlandmaine.gov

>>> Molly Casto 10/02 12:27 PM >>>

Thanks David:

I appreciate you also following up with John Maclaine at MDEP. I met with Bob Greenlaw this morning to discuss the possibility of a combined access through the abutting site to the north (same owner and similar use) in the place of the proposed driveway on the plans. They're amenable to that. It seems that if they reduced

the proposal to one 5760 s.f. warehouse structure instead of two, they would be able to fit a structure, turnaround and parking without encroaching into the 75 ft stream setback. I'm not sure they'll be as amenable to that, however, it may be their reality to deal with. My question is, our stream protection ordinance (Division 26.7) requires a 75 ft setback for significant streams (as defined by 38 MSRA Section 148-A(1)) and Shoreland Zoning (Division 26) also requires a 75 ft setback from streams. For this project, I don't have any documentation (e.g.- a DEP stream determination) at this point defining that drainage course as a stream. It's not shown on our zoning map and is not within a stream protection zone. A stream is defined by the DEP as follows:

9. River, stream or brook. "River, stream or brook" means a channel between defined banks. A channel is created by the action of surface water and has 2 or more of the following characteristics.

A. It is depicted as a solid or broken blue line on the most recent edition of the U.S. Geological Survey 7.5-minute series topographic map or, if that is not available, a 15-minute series topographic map. [1995, c. 92, §2 (NEW).]

B. It contains or is known to contain flowing water continuously for a period of at least 6 months of the year in most years. [2001, c. 618, §1 (AMD).]

C. The channel bed is primarily composed of mineral material such as sand and gravel, parent material or bedrock that has been deposited or scoured by water. [1995, c. 92, §2 (NEW).]

D. The channel contains aquatic animals such as fish, aquatic insects or mollusks in the water or, if no surface water is present, within the stream bed. [1995, c. 92, §2 (NEW).]

E. The channel contains aquatic vegetation and is essentially devoid of upland vegetation. [1995, c. 92, §2 (NEW).]

"River, stream or brook" does not mean a ditch or other drainage way constructed, or constructed and maintained, solely for the purpose of draining storm water or a grassy swale.

Given the way our ordinance is written, I think we need to have confirmation that this watercourse is, in fact, a stream and not just a ditch or drainage way if we are going to require the applicant to adhere strictly to the 75 ft setback. What do others think? To get a field determination, we can call the Portland DEP regional office and arrange it through the "on call" person in Land and Water. Do we have record of this being a stream already on hand?

Thanks!
Molly

Molly P. Casto, Senior Planner
Portland Planning Division
389 Congress Street
Portland, Maine 04101-3509
207-874-8901
MPC@portlandmaine.gov

>>> David Margolis-Pineo 10/02 12:07 PM >>>

October 2, 2008

Memo to: Molly Casto - Senior Planner
From: David Margolis-Pineo - Department of Public Services
Re: Grabizis - Presumpscot Street

It is my understanding that the applicant requested and received a Permit By Rule for the Maine DEP to reduce the stream setback requirements on this lot from 75' to 25'. The City may supercede DEP approval if the City's requirements are more stringent.

In this case, due to the extensive amount of fill and bank stabilization required, it is my recommendation

supercede DEP approved Permit By Rule for this lot and stay with the 75' setback requirement to protect the stream running through the lot.

Molly Casto - Re: Engineering review comments- 503-525 Presumpscot St

From: David Margolis-Pineo
To: Molly Casto
Date: 10/14/2008 12:51:53 PM
Subject: Re: Engineering review comments- 503-525 Presumpscot St

Very nicely put Molly. Please let Penny know what we have done here. This is just the beginning.

Thanks

>>> Molly Casto 10/14 12:46 PM >>>

Dear Bill:

Please see the attached review comments from David Pineo, Deputy City Engineer for the Department of Public Services. Your site plans identify a 75' natural resources protection setback from the existing drainage course on the site at 503-525 Presumpscot Street. While you did obtain a Permit by Rule from MDEP, which waived state stream setback requirements for your proposed filling and construction activities, the City may supercede DEP approval if state and local rules are in conflict and the City's requirements are more stringent. In this case, Section XI of the City's Technical and Design Standards, which lists City standards for developments adjacent to wetlands and streams, requires that a minimum 100 ft buffer strip be maintained on either side of perennial streams. David Pineo and I met with John McClaine of the MDEP at the site today and John determined that the drainage course is indeed classified as a stream by the Natural Resources Protection Act (NRPA). He will be issuing a written stream determination stating this. In order to preserve the ecological and stormwater management functions of this watercourse, Public Services is willing to reduce the setback from 100 ft to 75 ft but is requiring that a 75 ft undisturbed buffer be maintained. This undisturbed buffer must be placed in deed restrictions. While this does not prevent development of the site altogether, it does limit the developable area and appears to limit your development to a single structure rather than the two, as proposed. I have attached Section XI for your review.

I will follow up with a phone call today to see if you have any questions concerning these or any other issues that have been identified during the site plan review process.

Sincerely,

Molly Casto

Molly P. Casto, Senior Planner
Portland Planning Division
389 Congress Street
Portland, Maine 04101-3509
207-874-8901
MPC@portlandmaine.gov

Molly Casto - Re: Engineering review comments- 503-525 Presumpscot St

From: David Margolis-Pineo
To: Molly Casto
Date: 10/14/2008 4:05:44 PM
Subject: Re: Engineering review comments- 503-525 Presumpscot St

Thanks Molly. I think it is important that Penny realizes that we are starting to put this policy.

>>> Molly Casto 10/14 2:07 PM >>>
Penny:

Dave Pineo and I just wanted to keep you in the loop on this one as it provides a good example of City policy for projects that impact drainage courses that lie outside shoreland and stream protection zones and have received a Permit by Rule:

Dave Pineo and I met with MDEP at 503-525 Presumpscot St today. The applicant had received a Permit by Rule waiving the 75 ft natural resources setback requirement from a stream. The proposal was for two warehouses, a septic system and parking 25 ft from the stream, involved over 10,000 yards of fill and significant rip-rapping of the slope leading to the watercourse. In reviewing City standards and talking with MDEP, Planning and Public Services have determined that the City may supercede DEP approval if state and local rules are in conflict. In this case, Section XI of the City's Technical and Design Standards, which lists City standards for developments adjacent to wetlands and streams, requires that a minimum 100 ft buffer strip be maintained on either side of perennial streams, unless otherwise determined by DPS. MDEP has done a stream determination and the drainage course is indeed classified as a stream by the Natural Resources Protection Act (NRPA). Public Services is requiring that a 75 ft undisturbed buffer be maintained in this case. Please let me know if you have any questions.

Molly

Molly P. Casto, Senior Planner
Portland Planning Division
389 Congress Street
Portland, Maine 04101-3509
207-874-8901
MPC@portlandmaine.gov

>>> David Margolis-Pineo 10/14 12:51 PM >>>
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Thanks

>>> Molly Casto 10/14 12:46 PM >>>
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I will follow up with a phone call today to see if you have any questions concerning these or any other issues that have been identified during the site plan review process.

Sincerely,

Molly Casto

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Molly Casto - Grabizis - Presumpscot St.

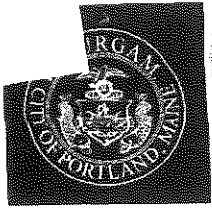
From: David Margolis-Pineo
To: Molly Casto
Date: 10/2/2008 12:07:18 PM
Subject: Grabizis - Presumpscot St.
CC: Barbara Barhydt; Dan Goyette; Jean Fraser; Marge Schmuckal; Penny Littell

October 2, 2008

Memo to: Molly Casto - Senior Planner
From: David Margolis-Pineo - Department of Public Services
Re: Grabizis - Presumpscot Street

It is my understanding that the applicant requested and received a Permit By Rule for the Maine DEP to reduce the stream setback requirements on this lot from 75' to 25'. The City may supercede DEP approval if the City's requirement are more stringent.

In this case, due to the extensive amount of fill and bank stabilization required, it is my recommendation supercede DEP approved Permit By Rule for this lot and stay with the 75' setback requirement to protect the stream running through the lot.



Strengthening a Remarkable City. Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

February 4, 2009

William Gribizis
285 Clifton Street
Portland, Maine 04103

RE: 503-525 Presumpscot Street
Minor Site Plan Review
Application #: 2008-0107
CBL: 415-B-6

Dear Mr. Gribizis:

Thank you for submitting plan revisions for your proposed development at 503-525 Presumpscot Street. Your revisions are currently under review for conformance with applicable zoning requirements and the standards for minor site plan (Article V) of the Portland City Code.

Application Materials Reviewed:

1. Site Plan Application Supplementary Materials including deeds, letter of credit, and Ability to Serve letter from the Portland Water District.
2. Architectural plan sheets A1 and A2 prepared by Cad-de-Tech dated November 7, 2008.
3. Boundary Survey / Site Plan and Photometric Plan sheets, prepared by Ocean Park Land Surveying, LLC, dated October 28, 2008.

Pursuant to Section 14-525 of the Site Plan Regulations the City has conducted a review of the application and have identified the following questions or requests for additional information necessary to complete our review:

General Review Comments:

The submitted boundary survey/site plan is difficult to review due to the quantity of information contained on a single plan sheet. Separate existing conditions and proposed conditions plan sheets should be submitted when you submit your revisions. Additionally, as part of the proposal includes the merging of two abutting parcels into a single parcel, these plans should include the entire parcel along with accurate dimensional information in the general notes.

The draft deed language for the merge of the two parcels is currently under review by Corporation Counsel. I will forward any review comments or requests for additional information as soon as it is available. Please note that any proposed merging of the two parcels will need to be executed prior to site plan approval.

The revised site plan includes proposed development near the southwest property boundary, labeled as "reserved for future development". It is unclear what is being proposed at this location. As we discussed in previous correspondence, the Planning Authority cannot approve areas reserved for future unspecified development. It should either be removed from the plans or detailed information on what exactly is being proposed must be submitted to demonstrate compliance with Article V, Site Plan and applicable provisions of the IM zone. Evidence of an access easement through the neighbor's property would also be necessary, in this case and setbacks would need to comply with zoning, as further detailed below.

Zoning:

Marge Schmuckal, Zoning Administrator has reviewed your revised plans for compliance with applicable City zoning provisions. Her complete review memorandum is attached and includes the following comments and requests for additional information:

1. The current plans show pavement as close as 8 ft to the property line along Presumpscot Street. There is a 10 ft minimum pavement setback from lot boundaries required in the IM Zone.
2. The new plan shows a new building and parking lot at the southern end of the property. The assumed pavement is also not the required 10' from property lines, only 9'. Zoning requires a use to be declared for a full review. The proposed building is also showing access from an abutting property. Nothing has been submitted showing that appropriate easements have been obtained by the applicant.
3. Please explain the area labeled "conservation" on the submitted site plan. *— need deed language **
4. Even though this lot has merged with another, the submitted plans do not reflect the change in the lot size and other information within the "General Notes". It will be necessary for the surveyor to accurately represent the new lot size and explain how it impacts a zoning analysis (impervious surface ratio etc).
5. It is also noted that it appears the applicant expects to re-grade in the Shoreland Stream Protection area. The 75' setback restricts regrading and the alteration of existing ground cover. The applicant needs to better address such issues.

Please note that the Planning Authority is unable to approve any site plan until it is demonstrated that it complies with all applicable City Zoning regulations.

Preservation of Existing Vegetation and Site Landscaping:

1. There is a significant portion of the site that is not slated for development. Areas of existing vegetation, including understory vegetation and trees to be preserved, should be identified on the site plan and should include, where applicable, details of preservation measures to be taken.
2. Please provide information concerning the soil type for the site. There is evidence of hydric soils and of the presence of wetlands at this site. Any existing wetlands must be delineated on the submitted plans. If there are no wetlands on the site, a written determination that no wetlands exist must be submitted by a competent wetlands professional.

3. The revised boundary survey/site plan does not include any proposed site landscaping. Section 14-526 (a) (26) of the City Code requires that all development in industrial zones that are located along arterial or collector streets provide front yard landscaping. In addition, landscaping is required to screen buildings parking areas and other paved areas from abutting properties. If this screening is proposed to be accomplished with existing vegetation, that vegetation must be identified on the plans along with detail drawings of preservation measures to be taken during construction.
4. A landscaped buffer is required along the downward slope of proposed paved areas to provide passive stormwater treatment. If this is proposed to be accomplished with existing vegetation, that vegetation must be identified on the plans and include details of preservation measures to be taken during construction.
5. The proposed dumpster is required to have an enclosure. Please provide dimensions for the proposed enclosure on the plans and include a detail drawing.

Photometric Plan:

Please submit a revised photometric plan, which includes the following information:

1. Professional Stamp - There is no Professional Engineer stamp or signature.
2. Missing Symbols - Utility Poles, culvert, Hydrant, Property corners and boundary lines.
3. Graphic scale.
4. Catalogue cuts for all proposed fixtures
5. The installed height of all proposed fixtures (top of fixture).

B this required

*Engineering Stamp
- Kevin McKee*

Engineering Review:

At this time, stormwater management information has not been submitted. In addition, no construction detail drawings have been included in the plan set. This information will be required for the Department of Public Services to complete their review of your proposal. Preliminary review memorandums from David Margolis-Pineo, Project Engineer and Dan Goyette, Consulting Engineer are attached and include the following comments and requests for additional information:

Site Engineering:

1. A septic tank is proposed on the plans. There is no indication of a leach field nor has an HHE-200 form been submitted for review. Please submit this information to the Planning Authority for review.
2. A fire truck turning radius is shown on the plans. Please clarify if this is an inside or outside radius. If the fire truck were to go behind the building it does not appear that there is enough room to go by the building adjacent to Presumpscot St. Please verify adequate access and circulation for emergency vehicles.
3. There appears to be a utility pole in the middle of the rear drive aisle. It is not clear what OHU or NOHU represent as they are not in the legend. If they are new and existing utility lines the plans do not indicate which lines will remain. Please clarify.
4. The plan does not indicate the surface treatments for the areas on the plan (grassed, paved, paving stone, gravel, etc). Please provide detail on all surface treatments.
5. It is not clear how the existing driveway on Presumpscot St. will be closed.

6. As discussed in the Zoning review above, there is grading proposed within the required 75 foot no disturbance setback from the stream. The 75' setback restricts regrading and the alteration of existing ground cover. The applicant needs to better address such issues. Additionally, the building and parking area at the southern end of the site labeled as "reserved for future development" are located within the 75 foot no disturbance setback from the stream. This sort of development is not permitted within the Shoreland Stream Protection area.
7. There is no information involving the sanitary demands or the stormwater impact towards the railroad culvert and 295's culvert before entering Portland Harbor.

Boundary Survey:

The Department of Public Services has reviewed the submitted boundary survey/site plan for compliance with City standards. Redlined copies of the submitted plans along with written review comments are attached. Please refer to this attached plan and review memorandum from David Margolis-Pineo for comments concerning necessary updates to the submitted plans.

Fire Department Review:

1. This information is pending. Captain Keith Gautreaux of the Portland Fire Department is reviewing the application. I will forward his review comments as soon as they are available. Please note that a Fire Department Checklist is required as part of site plan review. A blank checklist was included with your original site plan application packet from our office. The checklist can also be downloaded from the City's website at <http://www.portlandmaine.gov/planning/siteplanapp.pdf>.

- chain across existing drive.

Transportation Engineering Review:

Tom Errico, Consulting Traffic Engineer has reviewed your application. His complete review comments are attached and include the following:

1. He supports the proposed shared driveway configuration proposed by the project but asks that the applicant provide sight distance measurements from the driveway. Sight may be slightly obstructed such that some clearing may be necessary.
2. The proposed driveway width does not meet City standards. The proposed driveway width is 17 feet. It is unlikely that a waiver will be granted and therefore the driveway should be widened to a minimum of 24 ft. The new width shall not exceed 30 ft.
3. The perpendicular parking spaces in the back of the property have substandard aisle width dimensions. The existing aisle width is 16 feet and the City standard is 24 feet.
4. The applicant should provide a truck turning template that illustrates a large vehicle (particularly a fire truck) that can fully circulate the site.
5. The location of the bicycle rack will impact the effective width of the circulation roadway. The applicant shall provide a detail of this area. (*Note- there also appear to be two bicycle racks proposed on the plans. Is this accurate?).

Required Improvements within the City Right of Way:

1. There is no existing sidewalk or curbing at the site location and none proposed on the revised plans. Chapter 26, Article VI of the City Code requires all nonresidential or multifamily developments requiring site plan approval and abutting any accepted street to install a sidewalk with granite curbing along their frontage where it has not already been provided. The approved sidewalk material in this location is bituminous asphalt and curbing shall be granite. Please see the City Technical and Design Standards for details on specific requirements for sidewalk materials and installation. If you intend to request a waiver, please submit a detailed request in writing that addresses how the proposal meets the required conditions as listed in Section 14-506 (b) of the City Code:

Sec.14 –506 (b) Modifications.

(b) Where the planning board or planning authority finds that, for each of the requirements listed below, two or more of the conditions exist with respect to compliance with the requirements set forth in sections 14-498 and 14-499 pertaining to the provision and construction of curbs and/or sidewalks, it may vary the regulations so that substantial justice may be done and the public interest secured:

Sidewalk

Sidewalks-

1. *There is no reasonable expectation for pedestrian usage coming from, going to and traversing the site.*
2. *There is no sidewalk in existence or expected within 1000 feet and the construction of sidewalks does not contribute to the development of a pedestrian oriented infrastructure.*
3. *A safe alternative-walking route is reasonably available, for example, by way of a sidewalk on the other side of the street.*
4. *The reconstruction of the street is specifically identified in the first or second year of the current Capital Improvement Program.*
5. *The street has been constructed or reconstructed without sidewalks within the last 24 months.*
6. *Strict adherence to the sidewalk requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.*

Curbing-

1. *The cost to construct the curbing, including any applicable street opening fees, is in excess of 5% of the overall project cost*
2. *The street is scheduled for major reconstruction as a component of the Capital Improvement Program.*
3. *The street has been rehabilitated without curbing in the last 60 months.*
4. *Strict adherence to the curb requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.*
5. *Runoff from the development site or within the street does not require curbing for stormwater management.*

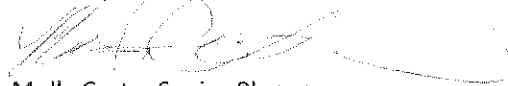
Additional Submittals:

Please submit a project narrative that includes the following information:

1. The estimated cost of the development.
2. A detailed description of what type of use(s) would be included in the storage warehouses being proposed. What type of businesses are the units marketed to? What types of business currently use these types of units in the Portland area?
3. A written summary of all existing and proposed easements or other burdens.
4. A description of type and quantity of solid waste and recycled materials likely to be generated and how this waste will be managed.
5. A narrative describing existing surface drainage and plan of erosion control measures which will be taken to control runoff.
6. A description of unusual natural areas, wildlife, fisheries or archeological areas (if applicable).

Please note that the Planning Authority may request additional information during our continued review of the proposal according to applicable laws, ordinances and regulations. If you have any questions, feel free to contact me at 874-8901 or by email at mpc@portlandmaine.gov.

Sincerely,



Molly Casto, Senior Planner

cc: Barbara Barhydt, Development Review Services Manager

Enclosures: 6

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0107

Date: 2/2/2009

I have reviewed the most recently submitted plan of Jan 21, 2009. It is understood that the previous vacant lot that we were reviewing is now merged with another lot that the applicant owns on Ocean Avenue. The site plan does not show the entire lot which is now part of the required review. The current plans show pavement as close as 8' to the property line along Presumpscot Street instead of the 10' minimum required. The new plan is also showing a new building and parking lot at the southern end of the property. The assumed pavement is not the required 10' from property lines, only 9'. Nothing received explains the use of the future proposed building. Zoning requires a use to be declared for a full review. The proposed building is also showing access from an abutting property. Nothing has been submitted showing that appropriate easements have been obtained by the applicant. There is also an area labeled "Conservation". I am not sure what that means and there has been no documentation submitted to explain it.

Even though this lot has merged with another, the submitted plans do not reflect the change in the lot size and other information within the "General Notes". It will be necessary for the surveyor to accurately represent the new lot size and explain how it impact a zoning analysis (impervious surface ratio etc).

It is also noted that it appears the applicant expects to re-grade in the Shoreland Stream Protection area. The 75' setback restricts regrading and the alteration of existing ground cover. The applicant needs to better address such issues.

A complete zoning analysis cannot be completed at this time because of the lack of all the required information.

Marge Schmuckal
Zoning Administrator

COMMITMENT & INTEGRITY
DRIVE RESULTS

41 Hutchins Drive
Portland, Maine 04102
www.woodardcurran.com

T 800 426.4262
T 207 774 2112
F 207 774 6935

MEMORANDUM



TO: Molly Casto
FROM: Dan Goyette, PE
DATE: January 30, 2009
RE: Grabizis Warehouse 503-525 Presumpscot Street

Woodard & Curran has reviewed the Site Plan Application for the proposed warehouse project located at 503-525 Presumpscot Street. The Applicant proposes to construct an 8,000 square foot warehouse facility and 12 associated parking spaces.

Documents Reviewed

- Site Plan Application Supplementary Materials including deeds, letter of credit, and Ability to Serve letter from the Portland Water District.
- Architectural plan sheets A1 and A2 prepared by Cad-de-Tech dated November 7, 2008.
- Boundary Survey / Site Plan and Photometric Plan sheets, prepared by Ocean Park Land Surveying, LLC, dated October 28, 2008.

Comments

- A stormwater management plan has not been submitted for review.
- No construction details have been submitted for review.
- A septic tank is shown on the plans. There is no indication of a leach field nor has an HHE-200 form been submitted for review.
- A fire truck turning radius is shown on the plans. It is not clear if this is the inside or outside radius. If the fire truck were to go behind the building it does not appear that there is enough room to go by the building adjacent to Presumpscot St.
- There appears to be a utility pole in the middle of the rear drive aisle. It is not clear what OHU or NOHU represent as they are not in the legend. If they are new and existing utility lines the plans do not indicate which lines will remain.
- A separate existing conditions and proposed conditions plan should be submitted for review.
- The plan does not indicate the surface treatments for the areas on the plan (grassed, paved, gravel). It is not clear how the existing driveway on Presumpscot St. will be closed.
- There is grading proposed within the 75 foot no disturbance setback form the stream.
- The building and parking area labeled as "reserved for future development" are located within the 75 foot no disturbance setback form the stream.

Please contact our office if you have any questions.

DRG
203939.40

January 30, 2009

Memo To: Molly Casto – Planning Department
From: David Margolis-Pineo, Todd Merkle, Harold Downs – Public Services
RE: 503 Presumpscot Street Site Design Review

General Comments

There is no information involving the sanitary demands or the stormwater impact towards the railroad culvert and 295's culvert before entering Portland Harbor.

- BE to respond to plans w/ reissued

Survey Comments - Sheet 2 of 4 - Proposed Boundary/ Site Plan

1. There is too much information placed on 1 drawing. It would be best to request separate survey and site plans for the project.
2. Professional Stamps - There is no Professional Engineer stamp or signature and no Professional Land Surveyor signature.
3. Property lines. What was held for monumentation to retrace the lines of Presumpscot St, Ocean Ave, the Rail Road, and abutters?
4. Ocean Avenue - Portion of the line of Ocean Avenue is not shown, as well as the corresponding setback line.
5. There is a line with an azimuth and distance northerly of pole #119. What is it?
6. Monumentation -
Iron Pipe Found - southeasterly of pole #53. No description listed.
Iron Pipe Found - near pole #119. No description. Is it a property corner or a ground rod?
7. Northerly Boundary Line - It is not shown. Planning may need this so as to see relationship of proposed improvements to adjacent properties and buildings.
8. Rail Road
Ownership is not stated.
Need Chord Bearing and Distance along 27.80' long curve.
Bearing along 169.81' long line?
9. Cell Phone Tower Area -
Is this an easement or lease? If so, the Cumberland County Registry Deed Book and Page needs to be shown.
The text for bearings and distances around the tower area is too small and is covered by fencing etc; suggest a line table.

10. Conservation

Is this a proposed Conservation Area or Existing One?

It needs to be defined with line work, bearings and distances, as well as markers as determined by Planning.

11. Grading - The plan shows grading within 75 feet of the brook. Is the grading within the Conservation Area? There is to be no soil disturbance within 75' of the brook. The site fence should be located at least 75' from the brook.

12. Septic

Is the tank an existing one?

Where is the existing or proposed leach field?

13. Potential New Property Line - What is this?

14. Line 45 feet +/- southwesterly of the Drainage Way - What is it?

15. Dashed line that meanders roughly in same direction as rail road - What is it?

16. S61-41-10E line through property

Not Labeled. What is it?

Text is illegible due to placement over contours and building.

17. Symbols for features such as fire hydrants are too small or inconsistent in size. Makes plan hard to examine

18. Building and assumed parking area at southwesterly area of site

Is building existing or proposed?

Is the assumed parking area existing or proposed?

Is there an easement over the adjoining property for the drive from the assumed parking area?

19. Contours

There are instances of contours ending within the property, crossing, with gaps, or indicating a crater or cliff.

20. Bike Racks

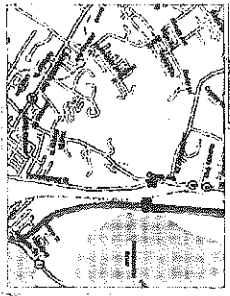
Are they in a blind spot where a car may hit them?

21. Fire Engine Access

Turning radius may not be adequate.

1. Professional Stamp - There is no Professional Engineer stamp or signature.
2. Missing Symbols - Utility Poles, culvert, Hydrant, Property corners and boundary lines are not shown.
3. Scale - Why is the plan not to scale or why is there no graphic scale.

SITE LOCATION MAP



1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND, MAINE, IN THE DISTRICT OF PORTLAND, AS SHOWN ON THE ATTACHED MAPS. THE PROPERTY IS BOUND BY PRESUMSCOTT STREET TO THE NORTH, OCEAN AVENUE TO THE WEST, AND WATER BANK TO THE SOUTH. THE PROPERTY IS SUBJECT TO THE EASEMENTS AND ENCUMBRANCES SHOWN ON THE ATTACHED MAPS.

2. THE PROPERTY IS BEING SUBMITTED FOR THE PURPOSES OF OBTAINING A ZONING VARIANCE TO PERMIT THE CONSTRUCTION OF THE PROPOSED BUILDING.

3. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE CITY OF PORTLAND, MAINE.

4. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE BUILDING CODE.

5. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE PLANNING AND ZONING ACT.

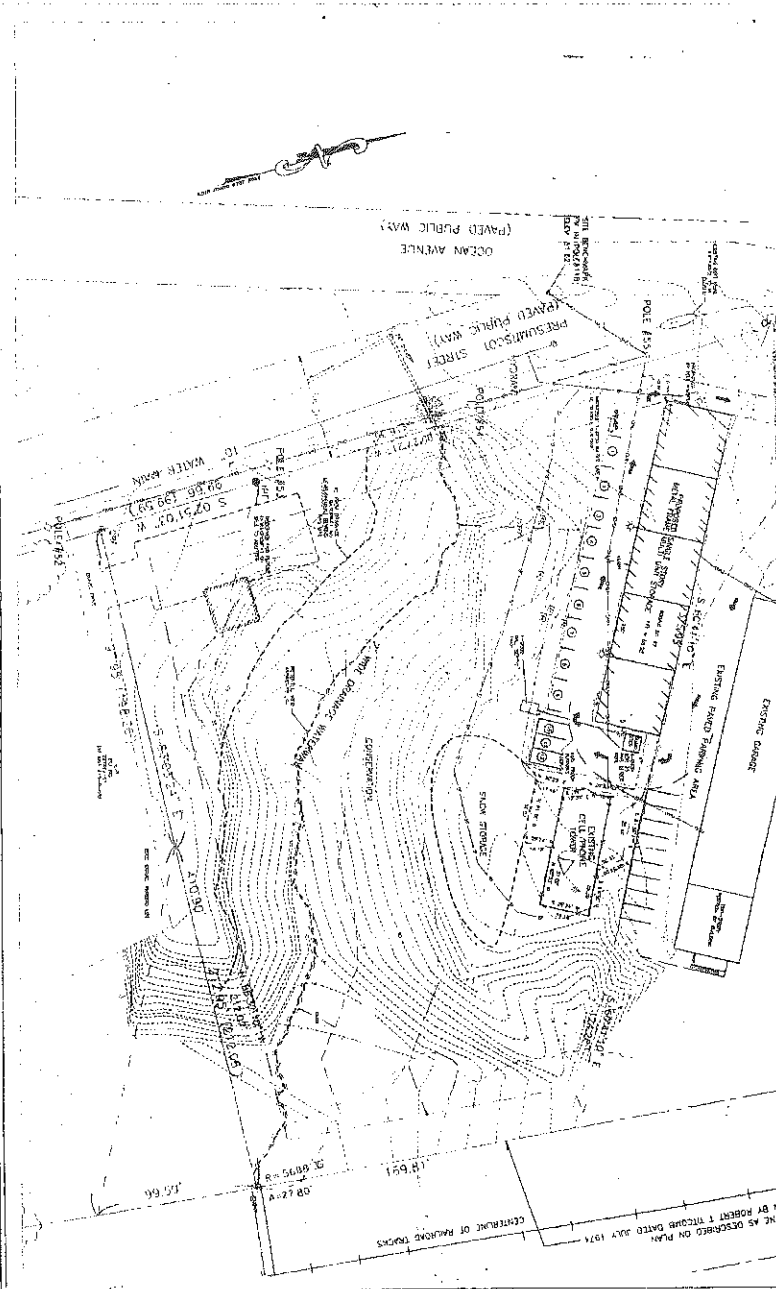
6. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE ENVIRONMENTAL PLANNING ACT.

7. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE HISTORIC PRESERVATION ACT.

8. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE ARCHITECTURAL ACT.

9. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE LAND USE ACT.

10. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE UTILITIES ACT.



REVISIONS:

NO.	DATE	DESCRIPTION
1	1/15/00	PRELIMINARY PLAN
2	1/20/00	REVISED PLAN
3	1/25/00	REVISED PLAN
4	2/01/00	REVISED PLAN
5	2/05/00	REVISED PLAN

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE OF WALLS UNLESS OTHERWISE NOTED.

2. ALL FINISHES ARE TO BE AS NOTED ON THE PLAN.

3. ALL UTILITIES ARE TO BE AS NOTED ON THE PLAN.

4. ALL EXISTING UTILITIES ARE TO BE PROTECTED AND REINSTALLED AS NOTED ON THE PLAN.

5. ALL EXISTING UTILITIES ARE TO BE REINSTALLED AS NOTED ON THE PLAN.

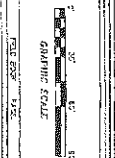
6. ALL EXISTING UTILITIES ARE TO BE REINSTALLED AS NOTED ON THE PLAN.

7. ALL EXISTING UTILITIES ARE TO BE REINSTALLED AS NOTED ON THE PLAN.

8. ALL EXISTING UTILITIES ARE TO BE REINSTALLED AS NOTED ON THE PLAN.

9. ALL EXISTING UTILITIES ARE TO BE REINSTALLED AS NOTED ON THE PLAN.

10. ALL EXISTING UTILITIES ARE TO BE REINSTALLED AS NOTED ON THE PLAN.



OWNER: OCEAN PARK LAND DEVELOPMENT, LLC
 5.0 BOB 7955
 OCEAN PARK VILLAGE 09553
 207-745-9471 OCEANPARK@GMAIL.COM

ARCHITECT: WILLIAM GRIBIZIS
 100 MAIN STREET, SUITE 200
 PORTLAND, MAINE 04101
 207-745-9471
 PROJECT: OCEAN PARK VILLAGE #11
 DATE: 1/15/00

GENERAL NOTES:

1. RECORD OWNER OF PARCEL, WILLIAM C. COLLINS, BOX 2107, ROAD 134 AS RECORDED IN THE CLERK'S OFFICE OF DEPT. OF REVENUE (CLERK).
2. THE PROPERTY IS BEING SUBMITTED FOR THE PURPOSES OF OBTAINING A ZONING VARIANCE TO PERMIT THE CONSTRUCTION OF THE PROPOSED BUILDING.
3. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE CITY OF PORTLAND, MAINE.
4. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE BUILDING CODE.
5. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE PLANNING AND ZONING ACT.
6. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE ENVIRONMENTAL PLANNING ACT.
7. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE HISTORIC PRESERVATION ACT.
8. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE ARCHITECTURAL ACT.
9. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE LAND USE ACT.
10. THE PROPOSED BUILDING IS BEING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAINE STATE UTILITIES ACT.

CONTRACT:

35% DESIGN FEE
 10% PERMITS FEE
 15% CONSTRUCTION FEE
 40% RETENTION FEE

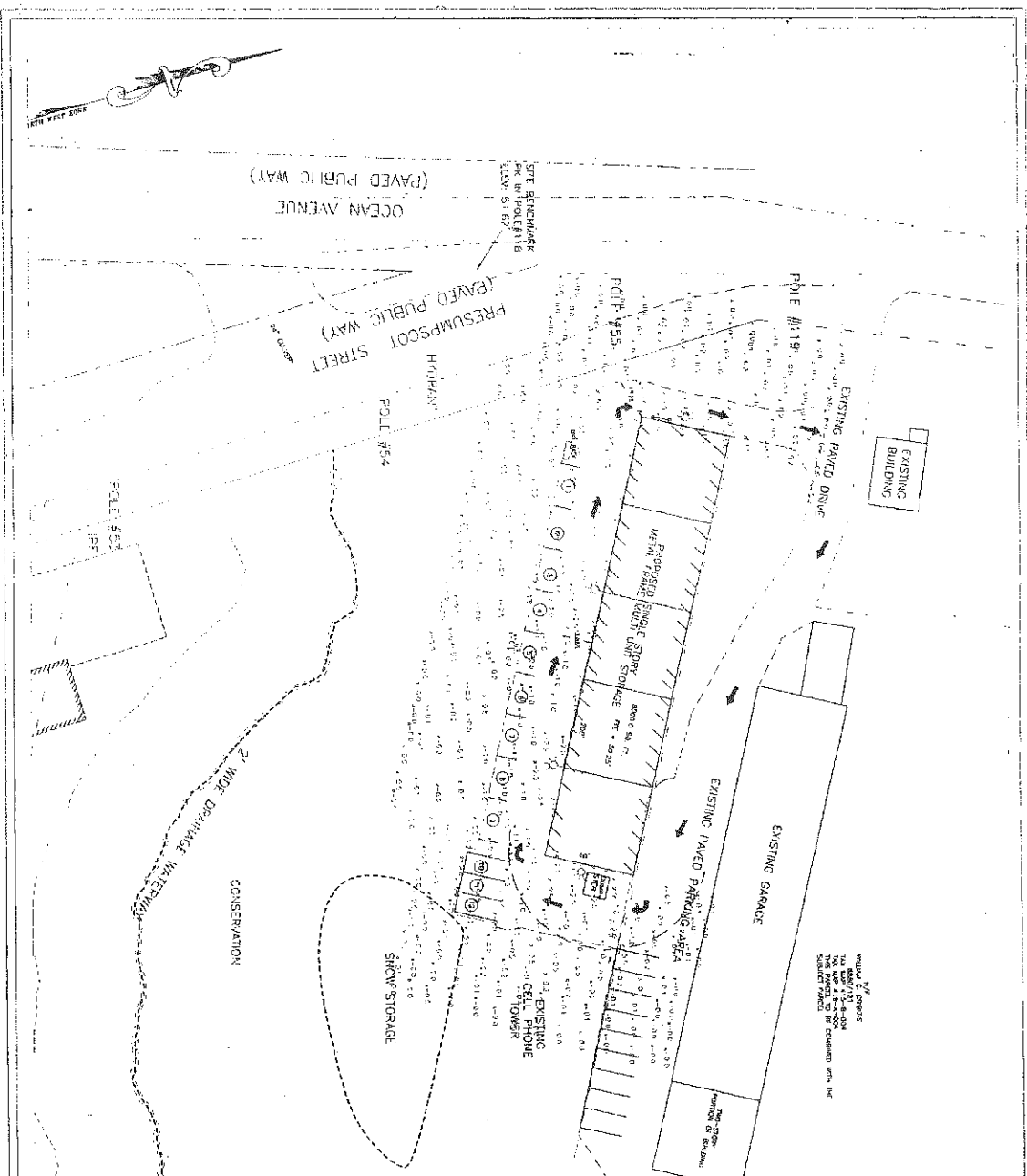
FLOOD NOTES:

THE PROPERTY IS NOT IN A FLOOD PLAIN. THE PROPERTY IS NOT SUBJECT TO ANY FLOODING RISKS.

LEGEND:

—	Centerline of Road
—	Property Line
—	Foundation Footing
—	Foundation Wall
—	Foundation Slab
—	Foundation Column
—	Foundation Beam
—	Foundation Wall
—	Foundation Slab
—	Foundation Column
—	Foundation Beam
—	Foundation Wall
—	Foundation Slab
—	Foundation Column
—	Foundation Beam

BOUNDARY SURVEY/SITE PLAN
 PROPOSED NEW BUILDING AND ACCESS
 504-585 PRESUMSCOTT STREET, PORTLAND, MAINE
 WILLIAM GRIBIZIS
 PREPARED BY:
 OCEAN PARK LAND DEVELOPMENT, LLC
 5.0 BOB 7955
 OCEAN PARK VILLAGE 09553
 207-745-9471 OCEANPARK@GMAIL.COM



2' equals
 1" = 20'

PHOTOMETRIC PLAN
 PROPOSED NEW BUILDING AND ACCESS
 509-525 PRESUMPSCOT STREET, PORTLAND, MAINE
WILLIAM CRIBBIS

PREPARED BY
OCEAN PARK LAND SURVEYING, LLC
 P.O. BOX 7295
 OCEAN PARK, MAINE 04961
 207-799-0271 OCEANPAKLANDSURVING.NET

DATE	11/11/11
SCALE	1" = 20'
CHECKED BY	W.C.
PROJECT NO.	11-001
CITY/TOWN	PORTLAND
STATE	MAINE
DRAWN BY	W.C.
DATE	11/11/11

ALL RIGHTS SHALL BE CONSIDERED RESERVED TO THE FULL EXTENT PERMITTED BY APPLICABLE LAW. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.

Molly Casto - 503 - 525 Presumpscot Street

From: "Errico, Thomas A" <TERRICO@wilbursmith.com>
To: "Molly Casto" <MPC@portlandmaine.gov>
Date: 2/4/2009 8:41 AM
Subject: 503 - 525 Presumpscot Street
CC: "Katherine Earley" <KAS@portlandmaine.gov>

Molly –

The following outlines my comments regarding the above noted project:

- I support the proposed shared driveway configuration proposed by the project. I would ask that the applicant provide sight distance measurements from the driveway. Sight may be slightly obstructed such that some clearing may be necessary.
- The proposed driveway width does not meet City standards. The proposed driveway width is 17 feet. It is unlikely that a waiver will be granted and therefore the driveway should be widened.
- The perpendicular parking spaces in the back of the property have substandard aisle width dimensions. The aisle width is 16 feet and the City standard is 24 feet.
- The applicant should provide a truck turning template that illustrates a large vehicle (particularly a fire truck) that can fully circulate the site.
- The location of the bicycle rack will impact the effective width of the circulation roadway. The applicant shall provide a detail of this area.

If you have any questions or comments, please contact me.

Best regards,

Thomas A. Errico, P.E.
Senior Transportation Engineer
Wilbur Smith Associates
59 Middle Street
Portland, Maine 04101
w: 207.871.1785 f: 207.871.5825
TErrico@WilburSmith.com
www.WilburSmith.com

November 24, 2009

BCE File.: 09114

Ms. Molly Casto
City of Portland Planning Division
389 Congress St.
Portland, ME 04101

Re: Response to City Comments
503-525 Presumpscot Street
Minor Site Plan Review
Application #: 2008-0107
CBL:415-B-6

Dear Molly:

The following responses from Blais Civil Engineers and Robert Greenlaw, Professional Land Surveyor address comments received from the City of Portland, in regards to the above-referenced project:

STAFF REVIEW COMMENTS

- 1. The submitted boundary survey/site plan is difficult to review due to the quantity of information contained on a single plan sheet. Separate existing conditions and proposed conditions plan sheets should be submitted when you submit your revisions. Additionally, as part of the proposal includes the merging of two abutting parcels into a single parcel, these plans should include the entire parcel along with accurate dimensional information in the general notes.*

The survey and site plan have been separated into two drawings. Existing conditions are now shown on the Boundary Survey/Ex. Conditions Plan, proposed conditions are shown on drawing C1 Layout & Materials Plan.

- 2. The draft deed language for the merge of the two parcels is currently under review by Corporation Counsel. I will forward any review comments or requests for additional information as soon as it is available. Please note that any proposed merging of the two parcels will need to be executed prior to site plan approval.*

Acknowledged.

→ no date of revisions.

*confirm whether Penny has reviewed merge of parcels.

3. *The revised site plan includes proposed development near the southwest property boundary, labeled as "reserved for future development". It is unclear what is being proposed at this location. As we discussed in previous correspondence, the Planning Authority cannot approve areas reserved for future unspecified development. It should either be removed from the plans or detailed information on what exactly is being proposed must be submitted to demonstrate compliance with Article V, Site Plan and applicable provisions of the IM zone. Evidence of an access easement through the neighbor's property would also be necessary, in this case and setbacks would need to comply with zoning, as further detailed below.*

✓ The future development label, lines, and references have been removed from the plan set.

ZONING

1. *The current plans show pavement as close as 8 ft to the property line along Presumpscot Street. There is a 10 ft minimum pavement setback from lot boundaries required in the IM Zone.*

The edge of the proposed pavement has been moved a minimum of 10' from the property line.

2. *The new plan shows a new building and parking lot at the southern end of the property. The assumed pavement is also not the required 10' from property lines, only 9'. Zoning requires a use to be declared for a full review. The proposed building is also showing access from an abutting property. Nothing has been submitted showing that appropriate easements have been obtained by the applicant.*

✓ The above referenced building and parking lot has been removed from the plan set.

3. *Please explain the area labeled "conservation" on the submitted site plan.*

✓ The "conservation" label has been revised to read "75' No-Disturb Stream Setback".

4. *Even though this lot has merged with another, the submitted plans do not reflect the change in the lot size and other information within the "General Notes". It will be necessary for the surveyor to accurately represent the new lot size and explain how it impacts a zoning analysis (impervious surface ratio etc).*

*- now owned by
Moody's.
Prop. line (new)
unclear on
survey.*

The Survey drawing has been updated to accurately represent the lot size and related calculations. The zoning analysis has been moved to Drawing C-1 Layout & Materials Plan.

5. *It is also noted that it appears the applicant expects to re-grade in the Shoreland Stream Protection area. The 75' setback restricts regrading and the alteration of existing ground cover. The applicant needs to better address such issues.*

The Site has been re-designed so no grading will be done within the 75' Stream Setback.

PRESERVATION OF EXISTING VEGETATION AND SITE LANDSCAPING

1. *There is a significant portion of the site that is not slated for development. Areas of existing vegetation, including understory vegetation and trees to be preserved, should be identified on the site plan and should include, where applicable, details of preservation measures to be taken*

We have added the existing and proposed tree lines as well as a note indicating no disturbance beyond the proposed tree line.

2. *Please provide information concerning the soil type for the site. There is evidence of hydric soils and of the presence of wetlands at this site. Any existing wetlands must be delineated on the submitted plans. If there are no wetlands on the site, a written determination that no wetlands exist must be submitted by a competent wetlands professional.*

Wetlands have been added to the plan set as mapped by Statewide Surveys, Inc. A wetland report is also enclosed.

Overall Site soils are shown on the Drawing D1, Overall Existing Conditions Drainage Plan.

3. *The revised boundary survey/site plan does not include any proposed site landscaping. Section 14-526 (a) (26) of the City Code requires that all development in industrial zones that are located along arterial or collector streets provide front yard landscaping. In addition, landscaping is required to screen buildings parking areas and other paved areas from abutting properties. If this screening is proposed to be accomplished with existing vegetation, that vegetation must be identified on the plans along with detail drawings of preservation measures to be taken during construction.*

Existing trees will be saved between the building and Presumpscot Street as shown on Drawing C2.

4. *A landscaped buffer is required along the downward slope of proposed paved areas to provide passive stormwater treatment. If this is proposed to be accomplished with existing vegetation, that vegetation must be identified on the plans and include details of preservation measures to be taken during construction.*

We have designed the Site to minimize paved surface. The necessary paved surfaces will enter the 75' vegetated stream buffer in sheet flow. We have designed a level spreader at the exit of the proposed stormwater sewer to eliminate any concentrated flows from proposed pavements. Vegetation will not be disturbed beyond the proposed tree line shown on Drawing C2.

5. *The proposed dumpster is required to have an enclosure. Please provide dimensions for the proposed enclosure on the plans and include a detail drawing.*

Individual users will be responsible for disposing of their own solid waste. Each unit will have a 45 gallon waste receptacle to be stored inside each unit.

PHOTOMETRIC PLAN

Please submit a revised photometric plan, which includes the following information:

1. *Professional Stamp - There is no Professional Engineer stamp or signature.*

A photometric plan is attached as Drawing C3 Photometrics Plan and sealed by the Engineer.

2. *Missing Symbols - Utility Poles, culvert, Hydrant, Property corners and boundary lines.*

We have added appropriate symbols to Drawing C3 Photometrics Plan.

3. *Graphic scale.*

A graphic scale is shown on Drawing C3 Photometrics Plan.

4. *Catalogue cuts for all proposed fixtures.*

Catalogue cuts of the proposed lighting fixtures are enclosed.

5. *The installed height of all proposed fixtures (top of fixture).*

The installed height of the proposed fixtures is [shown/noted] on Drawing C3 Photometrics Plan.

ENGINEERING REVIEW

1. *At this time, stormwater management information has not been submitted. In addition, no construction detail drawings have been included in the plan set. This information will be required for the Department of Public Services to complete their review of your proposal. Preliminary review memorandums from David Margolis-Pineo, Project Engineer and Dan Goyette, Consulting Engineer are attached and include the following comments and requests for additional information:*

A Stormwater management report is enclosed. Site construction details and erosion and sedimentation control details have are included in the enclosed plan set.

SITE ENGINEERING

1. *A septic tank is proposed on the plans. There is no indication of a leach field nor has an HHE200 form been submitted for review. Please submit this information to the Planning Authority for review.*

The Site has been re-designed to show a new location for the septic tank and the associated leach field. A HHE200 form is included with the submission materials for this project.

2. *A fire truck turning radius is shown on the plans. Please clarify if this is an inside or outside radius. If the fire truck were to go behind the building it does not appear that there is enough room to go by the building adjacent to Presumpscot St. Please verify adequate access and circulation for emergency vehicles.*

We have performed a new turning analysis, which shows the inside and outside turning radius. We shared this turning concept at a meeting with Captain Keith Gautreau of the Fire Department. Captain Gautreau found this concept acceptable. These turning movements are shown on Drawing C1.

3. *There appears to be a utility pole in the middle of the rear drive aisle. It is not clear what OHU or NOHU represent as they are not in the legend. If they are new and existing utility lines the plans do not indicate which lines will remain. Please clarify.*

Existing and proposed conditions have been separated. The utility pole in question is existing and will represent an existing condition on the proposed Layout & Materials Plan. The plans have been updated to represent existing and proposed utilities with the correct labeling in the legends.

4. *The plan does not indicate the surface treatments for the areas on the plan (grassed, paved, paving stone, gravel, etc). Please provide detail on all surface treatments.*

Drawing C2 shows proposed surface treatments, which are detailed on the detail drawings.

5. *It is not clear how the existing driveway on Presumpscot St. will be closed.*

The existing driveway will be closed with the addition of a proposed curbing as shown on drawing C2-Layout and Materials Plan.

6. *As discussed in the Zoning review above, there is grading proposed within the required 75 foot no disturbance setback from the stream. The 75' setback restricts regrading and the alteration of existing ground cover. The applicant needs to better address such issues. Additionally, the building and parking area at the southern end of the site labeled as "reserved for future development" are located within the 75 foot no disturbance setback from the stream. This sort of development is not permitted within the Shore land Stream Protection area.*

The Site has been redesigned so no grading will take place within the 75' no disturbance setback from the stream.

The building and parking area at the southern end of the site has been removed from the design and plan set.

7. *There is no information involving the sanitary demands or the stormwater impact towards the railroad culvert and 295's culvert before entering Portland Harbor.*

The enclosed HHE-200 Subsurface Waste Disposal Application complete by Albert Frick Associates describes the sanitary demands of the project. We are also providing a stormwater management report, which quantifies stormwater runoff from the Site.

BOUNDARY SURVEY

1. *The Department of Public Services has reviewed the submitted boundary survey/site plan for compliance with City standards. Redlined copies of the submitted plans along with written review comments are attached. Please refer to this attached plan*

and review memorandum from David Margolis-Pineo for comments concerning necessary updates to the submitted plans.

We are enclosing an updated survey plan addressing these comments. As requested, proposed site plan information has been removed from this plan.

FIRE DEPARTMENT REVIEW

- 1. This information is pending. Captain Keith Gautreaux of the Portland Fire Department is reviewing the application. I will forward his review comments as soon as they are available. Please note that a Fire Department Checklist is required as part of site plan review. A blank checklist was included with your original site plan application packet from our office. The checklist can also be downloaded from the City's website at <http://www.portlandmaine.gov/planning/siteplanapp.pdf>.*

The Fire Department Check list is included with the associated documents submitted along with this letter.

TRANSPORTATION ENGINEERING REVIEW

- 1. He supports the proposed shared driveway configuration proposed by the project but asks that the applicant provide sight distance measurements from the driveway. Sight may be slightly obstructed such that some clearing may be necessary.*

Sight distance are shown on drawing C1 Layout & Materials Plan.

- 2. The proposed driveway width does not meet City standards. The proposed driveway width is 17 feet. It is unlikely that a waiver will be granted and therefore the driveway should be widened to a minimum of 24 ft. The new width shall not exceed 30 ft.*

We have widened the proposed driveway to 24 feet.

- 3. The perpendicular parking spaces in the back of the property have substandard aisle width dimensions. The existing aisle width is 16 feet and the City standard is 24 feet.*

We have revised the layout so that all proposed aisle widths are 24 feet wide.

- 4. The applicant should provide a truck turning template that illustrates a large vehicle (particularly a fire truck) that can fully circulate the site.*

We have added truck turning movements on Drawing C1.

5. *The location of the bicycle rack will impact the effective width of the circulation roadway. The applicant shall provide a detail of this area. (*Note- there also appear to be two bicycle racks proposed on the plans. Is this accurate?).*

The revised plan shows one bike rack on the north side of the proposed structure.

ADDITIONAL SUBMITTALS

Please submit a project narrative that includes the following information:

1. *The estimated cost of the development*
2. *A detailed description of what type of use(s) would be included in the storage warehouses being proposed. What type of businesses are the units marketed to? What types of business currently use these types of units in the Portland area?*
3. *A written summary of all existing and proposed easements or other burdens.*
4. *A description of type and quantity of solid waste and recycled materials likely to be generated and how this waste will be managed.*
5. *A narrative describing existing surface drainage and plan of erosion control measures which will be taken to control runoff.*
6. *A description of unusual natural areas, wildlife, fisheries or archeological areas (if applicable).*

Please refer to the enclosed project narrative for the above referenced questions.

DEPARTMENT OF PUBLIC SERVICES JANUARY 30, 2009

GENERAL COMMENTS

1. *There is no information involving the sanitary demands or the stormwater impact towards the railroad culvert and 295's culvert before entering Portland Harbor.*

The enclosed HHE-200 Subsurface Waste Disposal Application complete by Albert Frick Associates describes the sanitary demands of the project. We are also providing a stormwater management report, which quantifies stormwater runoff from the Site.

SURVEY COMMENTS - SHEET 2 OF 4 - PROPOSED BOUNDARY/ SITE PLAN

1. *There is too much information placed on 1 drawing. It would be best to request separate survey and site plans for the project.*

All proposed site information has been removed from the survey plan. Proposed improvements are shown on Drawings C1 & C2.

2. *Professional Stamps - There is no Professional Engineer stamp or signature and no Professional Land Surveyor signature.*

The Engineering and Surveyor's Stamp and Signature have been added to the appropriate drawings.

3. *Property lines. What was held for monumentation to retrace the lines of Presumpscot St, Ocean Ave, the Rail Road, and abutters?*

This information has been included in the Survey Drawing.

4. *Ocean Avenue - Portion of the line of Ocean Avenue is not shown, as well as the corresponding setback line.*

The missing portion of the Ocean Avenue edge of pavement line has been added as well as the corresponding setback line.

5. *There is a line with an azimuth and distance northerly of pole #119. What is it?*

This line has been revised to show as a property line.

6. *Monumentation -*

- a. *Iron Pipe Found - southeasterly of pole #53. No description listed.*

This information has been updated on the Survey Drawing.

- b. *Iron Pipe Found - near pole #119. No description. Is it a property corner or a ground rod?*

This information has been updated on the Survey Drawing.

7. *Northerly Boundary Line - It is not shown. Planning may need this so as to see relationship of proposed improvements to adjacent properties and buildings.*

The Northerly Boundary Line has been added to the Survey Drawing.

8. *Rail Road*

- a. *Ownership is not stated.*

We have added the above referenced ownership to the survey drawing.

- b. *Need Chord Bearing and Distance along 27.80' long curve. Bearing along 169.81' long line'?*

This above information has been added to the Survey Drawing.

9. *Cell Phone Tower Area -*

- a. *Is this an easement or lease? If so, the Cumberland County Registry Deed Book and Page needs to be shown.*

This is a lease and is stated in number #5 of the General Notes in the Survey drawing.

- a. *The text for bearings and distances around the tower area is too small and is covered by fencing etc; suggest a line table.*

The bearing and distance text size has been increased to ease readability.

10. *Conservation*

- a. *Is this a proposed Conservation Area or Existing One?*

This area is a 75' no-disturb stream buffer. We have revised the notation accordingly.

- b. *It needs to be defined with line work, bearings and distances, as well as markers as determined by Planning.*

We believe this comment is no longer applicable as there is no longer a conservation area.

11. *Grading - The plan shows grading within 75 feet of the brook. Is the grading within the Conservation Area? There is to be no soil disturbance within 75' of the brook. The site fence should be located at least 75' from the brook.*

The Site has been redesigned to have no grading within the 75' stream setback.

12. *Septic:*

- a. *Is the tank an existing one?*

The proposed tank location has been redesigned and the location has been moved. See C1 Layout and Materials Plan as well as the enclosed HHE-200 from by Albert Frick Associates.

- b. *Where is the existing or proposed leach field?*

The proposed leach bed will be south west of the cell phone tower as shown on Drawing C1.

13. *Potential New Property Line - What is this*

The above referenced note has been removed.

14. *Line 45 feet +/- southwesterly of the Drainage Way - What is it?*

The above referenced line and note has been removed.

15. *Dashed line that meanders roughly in same direction as rail road - What is it?*

The above mentioned line has been identified in the survey legend.

16. *S61-41-10E line through property*

- a. *Not Labeled. What is it?*

The above mentioned line has been removed from the survey plan.

- b. *Text is illegible due to placement over contours and building.*

The above mentioned text has been removed from the plan set.

17. *Symbols for features such as fire hydrants are too small or inconsistent in size. Makes plan hard to examine.*

We have modified the plan (on a whole) to make it more readable.

18. *Building and assumed parking area at southwesterly area of site*

a. *Is building existing or proposed?*

This building and assumed parking area have been removed from the plan set.

b. *Is the assumed parking area existing or proposed?*

The assumed parking has been removed from the plan set.

c. *Is there an easement over the adjoining property for the drive from the assumed parking area?*

The assumed parking has been removed from the plan set.

19. *Contours: There are instances of contours ending within the property, crossing, with gaps, or indicating a crater or cliff.*

These contours have been corrected on the survey drawing.

20. *Bike Racks: Are they in a blind spot where a car may hit them?*

The proposed bike rack is now shown on the northern side of the proposed building.

21. *Fire Engine Access: Turning radius may not be adequate.*

Fire truck turning movements are shown on Drawing C1.

SHEET 3 OF 4 - PHOTOMETRIC PLAN

1. *Professional Stamp - There is no Professional Engineer stamp or signature.*

We have added professional engineers stamp and signature to Drawing set.

2. *Missing Symbols - Utility Poles, culvert, Hydrant, Property corners and boundary lines are not shown.*

Items related to the lighting are show and labeled on Drawing C3 Photometrics Plan.

3. *Scale - Why is the plan not to scale or why is there no graphic scale.*

Drawing C3 Photometrics Plan is plotted to the scale indicated on the graphic scale.

We trust we have addressed the City's concerns adequately. Please call me if you have an questions or require further information.

Sincerely,

BLAIS CIVIL ENGINEERS



Steve Blais, PE

Enclosures:

Cc:

Project Narrative

503-525 Presumpscot Street

Minor Site Plan Review

Application # 2008-0107; CBL:415-B-6

November 24, 2009

ESTIMATED COST OF THE DEVELOPMENT

This development is expected to cost roughly \$220,000 to construct.

PROPOSED USE(S)

The proposed uses of the storage structures will be in conformance with the Industrial Moderate Impact (IM) zone. The use is expected to be similar to existing uses in the existing storage building on-Site. These uses include document storage for a local law firm, storage for a trophy supply company, equipment storage for a small general contractor, and vehicle storage.

EXISTING AND PROPOSED EASEMENTS OR OTHER BURDENS.

There is an existing access easement for the use and access of the existing cell phone tower area labeled on the pad at the back of the property. This easement is recorded in the Cumberland County Registry of Deeds Plan Book 24735 Page 177 and is noted in General Note 4 of the Boundary Survey/Existing Conditions Plan.

SOLID WASTE

Tenants will have 45 gallon waste receptacles inside the units. We suspect that on average, each unit will produce roughly 45 gallons of solid waste every two weeks. Recycling will be performed by tenants.

EXISTING SURFACE DRAINAGE AND EROSION CONTROL MEASURES

The enclosed stormwater management report describes existing surface drainage and erosion control measures which will be taken to control runoff.

UNUSUAL NATURAL AREAS, WILDLIFE, FISHERIES OR ARCHEOLOGICAL AREAS

There are no know unusual natural areas, deer wintering yards, trout fisheries, or archeological areas within the proposed Site development.

Fire Department Checklist
503-525 Presumpscot Street
Minor Site Plan Review
Application # 2008-0107; CBL:415-B-6
November 24, 2009

1. NAME , ADDRESS, TELEPHONE NUMBER OF APPLICANT.

William Gribizis
285 Clifton Street
Portland, ME 04103
207-756-1830

2. NAME ADDRESS, TELEPHONE NUMBER OR ARCHITECT.

John Ossie
CAD-de-tech LLC
235 Riverside Industrial Parkway
Portland, ME 04103

3. PROPOSED USES OF ANY STRUCTURES [NFPA AND IBC CLASSIFICATIONS].

IBC Classification is Factory F-1

4. SQUARE FOOTAGE OF ALL STRUCTURES [TOTAL AND PER STORY].

Entire building is 8,000 sf. Each tenant space is 1,600 sf.

5. ELEVATOIN OF ALL STRUCTURES.

Elevations were submitted with the previous submittal.

6. PROPOSED FIRE PROTECTION OF ALL STRUCTURES.

IBC 2003 Code Summary
Per IBC 2003

- Sections 306.2: Use Group classification is F-1
- Table 503.0: Allowable height for Type Vb construction is single story, 40' and 8,500 sf.

- Section 602.5: Construction type is Vb
- Table 602.0: No fire resistance required between structures greater than 30' apart.
- Section 903.2.3: No automatic sprinkler system required for F-1 less than 12,000 sf, and less than 3 stories.
- Table 1004.1.2: Occupancy load is 100 gross, total 80 occupants or 16 occupants per tenant space.
- Table 1005.1 0.2 inches per occupant, total 16 occupants per tenant space, 3.2 inches required, 36 inches provided.
- Section 1013.3 Common egress does not exceed 75'.
- Table 1014.1 Only on egress required where occupant load is less than 50.
- Section 907.2.4 Group F, manual alarm not required is occupant load less than 500.
 - Each exit shall be designated with an illuminated EXIT sign.
 - Each bathroom shall be equipped with a horn stove.
 - Each tenant space shall be equipped with an emergency light pack which illuminates the path of egress.
 - Each tenant space shall be equipped with smoke detectors.

7. HYDRANT LOCATIONS.

Shown on drawing C1 Plan & Profile.

8. WATER MAIN[S] SIZE AND LOCATION.

Shown on drawing C1 Plan & Profile.

9. ACCESS TO ANY FIRE DEPARTMENT CONNECTIONS.

Shown on drawing C1 Plan & Profile.

10. ACCESS TO ALL STRUCTURES [MIN. 2 SIDES].

Shown on drawing C1 Plan & Profile.

11. A CODE SUMMARY SHALL BE INCLUDED REFERENCING NFPA 1 AND ALL FIRE DEPARTMENT. TECHNICAL STANDARDS.

- Section 6.1.12: Industrial
- Table 7.3.1.2: Occupant Load Factor, Industrial use Group, 100 gross
- Table 7.3.3.1: Capacity Factors, 0.2 inches per occupant, 3.2 inches per tenant space, 36 inches provided.
- Section 7.7.4: Means of egress components shall be clearly identified.
- Section 40.2.4.1.2: A single means of egress is allowed
- Table 40.2.5: Unprotected distance permitted is 50' or less
- Section 40.3.4.1: No fire alarm system required for total occupant load less than 100.
- Section 40.3.5: No extinguishment requirements.
- Section 9.6.2.9.1: Smoke alarms shall be required in each tenant space.
- Section 40.2.10: All means of egress shall be marked
- Section 40.2.9: Emergency lighting shall be provided in accordance with section 7.9

12. ELEVATORS SHALL BE SIZED TO FIT AN 81" X 23" STRETCHER AND TWO PERSONNEL.

No elevators.

13. SOME STRUCTURES MAY REQUIRE FIRE FLOWS USING ANNEX H OR NFPA 1.

Not applicable.

* The above information provided by John Ossie, CAD-de-tech LLC.

STORMWATER MANAGEMENT REPORT
503-525 PRESUMPCOT STREET
PORTLAND, MAINE
November 25, 2009

INTRODUCTION

The subject property (Site) owned by William Gribizis is located at 503-525 Presumpscot Street in Portland, Maine. Stormwater runoff from this project discharges to a stream on the south side of the property.

The Site currently hosts an existing garage, house, cell phone tower, gravel access road, and paved roadway and parking area. The Owner plans to remove the gravel access road to the cell phone tower and add a 8,000 sf single story metal frame multi-unit storage building.

This report discusses the Site's hydrological conditions and quantifies the stormwater runoff generated in the existing and proposed conditions. Low impact practices are used throughout the design.

DATA COLLECTION AND ASSUMPTIONS

Site Data was gathered from field observations, Aerial photography from the Maine GIS website, and AutoCAD files and drawings provided by Back Bay Boundary, Inc. This data was used to create a HydroCAD stormwater model, which is based on the United States Department of Agriculture's (USDA) Technical Release 20 (TR-20) and Technical Release 55 (TR-55) hydraulic programs.

Curve numbers (CNs) assigned to differing land cover and soil types were taken from tables within the HydroCAD software, which are from the SCS TR-55 manual, revised 1986. 24-hour rainfall depths were taken from the City of Portland Ordinances. Time of concentrations for the Site were entered via direct entry and were assumed to be 5 minutes.

Existing and proposed watershed subcatchments are shown on the attached Drawing D1 entitled "Existing & Proposed Conditions Drainage Plan".

Modeling assumptions made for both conditions are summarized in the attached HydroCAD output.

EXISTING SITE CONDITIONS

The Site currently hosts a gravel access road, cell phone tower, paved road, paved parking lot, building, and garage. Topography generally slopes towards the south end of the property. Slopes are generally moderate near the existing development and are somewhat steep near the stream.

A majority of the Site's drainage sheet flows off the existing roof, driveway and parking areas and flows across the existing gravel driveway to the tower pad. All of the Site's runoff enters the existing stream, which enters the large culvert under the railway at the southeastern corner of the Site and ultimately discharges to the Atlantic Ocean.

According to the United States Department of Agriculture and Soil Conservation Service Issued August 1974, on-Site soils include Buxton Silt Loam, which have a "C" Hydrological Soil Grouping (HSG) classification, Suffield Silt Loam, which have a "C" Hydrological Soil Grouping (HSG) classification, and Scantic Silt Loam, which have a "D" Hydrological Soil Grouping (HSG) classification.

This project is not in a watershed of a lake most at risk of development or an urban impaired stream as defined in Chapter 502 of the Maine Department of Environmental Protection (DEP) Rules revised December 27, 2006.

PROPOSED SITE CONDITIONS

Proposed improvements include adding an 8,000 sf single story, multi-unit storage building and associated parking, driveways and utilities. The existing gravel access road will be replaced by landscaped area, building, and pavement. Land cover changes include converting gravel areas to landscaped areas, building areas, and paved areas, and converting wooded areas into paved areas and grassed areas. The proposed Site will have 49,280 ± square feet of impervious area, a net increase of approximately 16,735 ± square feet.

Stormwater runoff from this project will continue to flow into stream at the southern end of the property.

LOW IMPACT DEVELOPMENT & EROSION CONTROL

Many low impact development practices are used in the proposed design. As an example, the driveway wrapping around the proposed building has been eliminated from the site plan to reduce impervious areas. The existing gravel driveway to the cellular tower will be replaced with a shared driveway accessing all of the buildings, further reducing impervious areas. The drainage from the impervious areas will be somewhat disconnected.

We have carefully designed the Site grading and drainage to minimize tree clearing and disturbed areas while mimicking the pre-development drainage patterns. The Site drainage system is mostly de-centralized with a single catch basin and pipe. This catch basin is designed with a 3-foot sump and casco bay trap to capture sediment and debris. The associated pipe will outfall to a level lip spreader in order to return its runoff to sheet flow before entering the stream buffer.

All flow entering the city-mandated 75-foot, vegetated stream buffer will be in the form of sheet flow to maximize treatment of the runoff before it reaches the stream. This sheet flow will slow the runoff to help maintain longer time of concentrations.

Erosion controls include avoiding disturbance to steep slopes, sediment barriers, inlet and outlet protection and a level lip spreader.

WATER QUANTITY

The proposed renovations to the Site will minimally increase overall stormwater runoff. This is due to converting a portion of the tree and lawn area to parking and building area. The table below compares peak flows leaving the Site for the 2, 10, and 25 year storm events. The increase would not be measurable at the railroad culvert at Point of Analysis (POA) shown on Drawing D2.

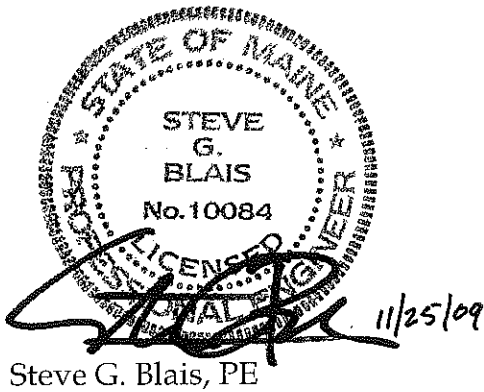
**Table Comparing Peak Flows
503-525 Presumpscot Street - November 24, 2009**

Storm Event	Existing Conditions Peak Flow (cfs)	Proposed Condition Peak Flow (cfs), Total	Difference (%)
2-year	46.14	46.19	0.11 %
10-year	112.87	112.94	0.06 %
25-year	146.09	146.17	0.05 %

CONCLUSIONS

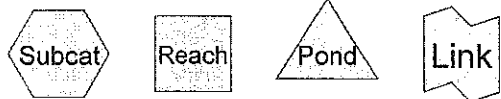
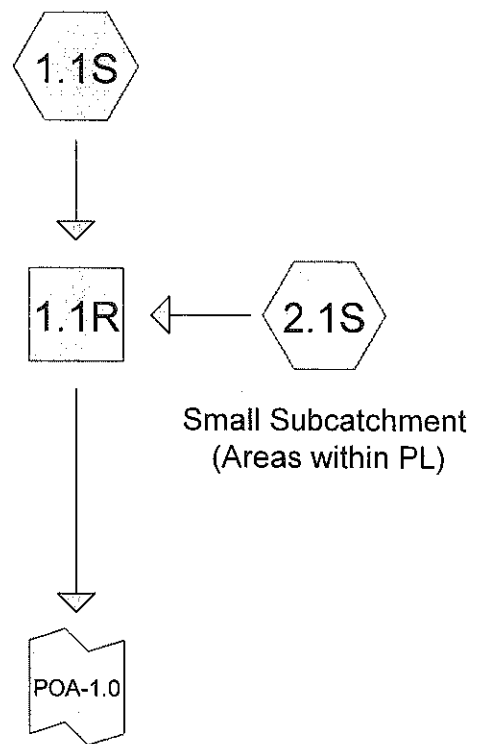
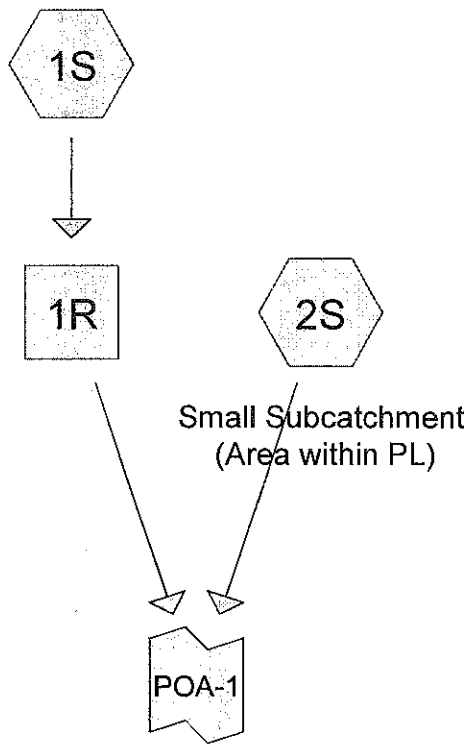
This project will use long-term and short-term erosion control measures and LID design elements that will mitigate environmental impacts from stormwater. There will be a very minimal, immeasurable increase in stormwater runoff as a result of the renovations described in this report and shown on the attached Drawing D2. This project will have no significant adverse impacts on downstream properties as a result of stormwater.

BLAIS CIVIL ENGINEERS



Steve G. Blais, PE

Enclosures



Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1.1S:

Runoff Area=3,778,436 sf 15.85% Impervious Runoff Depth>1.02"
Flow Length=2,400' Tc=57.4 min CN=83 Runoff=45.73 cfs 7.400 af

Subcatchment 1S:

Runoff Area=3,778,436 sf 15.85% Impervious Runoff Depth>1.02"
Flow Length=2,400' Tc=57.4 min CN=83 Runoff=45.73 cfs 7.400 af

Subcatchment 2.1S: Small Subcatchment

Runoff Area=158,193 sf 31.15% Impervious Runoff Depth>0.99"
Tc=0.0 min CN=82 Runoff=5.17 cfs 0.300 af

Subcatchment 2S: Small Subcatchment

Runoff Area=158,193 sf 20.57% Impervious Runoff Depth>0.88"
Tc=0.0 min CN=80 Runoff=4.55 cfs 0.267 af

Reach 1.1R:

Avg. Depth=1.13' Max Vel=7.54 fps Inflow=46.28 cfs 7.699 af
n=0.035 L=350.0' S=0.0540 ' Capacity=440.44 cfs Outflow=46.19 cfs 7.690 af

Reach 1R:

Avg. Depth=1.13' Max Vel=7.52 fps Inflow=45.73 cfs 7.400 af
n=0.035 L=350.0' S=0.0540 ' Capacity=440.44 cfs Outflow=45.64 cfs 7.391 af

Link POA-1:

Inflow=46.14 cfs 7.658 af
Primary=46.14 cfs 7.658 af

Link POA-1.0:

Inflow=46.19 cfs 7.690 af
Primary=46.19 cfs 7.690 af

Total Runoff Area = 180.745 ac Runoff Volume = 15.365 af Average Runoff Depth = 1.02"
83.75% Pervious = 151.376 ac 16.25% Impervious = 29.369 ac

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1.1S: Runoff Area=3,778,436 sf 15.85% Impervious Runoff Depth>2.51"
Flow Length=2,400' Tc=57.4 min CN=83 Runoff=111.86 cfs 18.123 af

Subcatchment 1S: Runoff Area=3,778,436 sf 15.85% Impervious Runoff Depth>2.51"
Flow Length=2,400' Tc=57.4 min CN=83 Runoff=111.86 cfs 18.123 af

Subcatchment 2.1S: Small Subcatchment Runoff Area=158,193 sf 31.15% Impervious Runoff Depth>2.47"
Tc=0.0 min CN=82 Runoff=12.89 cfs 0.747 af

Subcatchment 2S: Small Subcatchment Runoff Area=158,193 sf 20.57% Impervious Runoff Depth>2.30"
Tc=0.0 min CN=80 Runoff=12.05 cfs 0.696 af

Reach 1.1R: Avg. Depth=1.69' Max Vel=9.47 fps Inflow=113.11 cfs 18.870 af
n=0.035 L=350.0' S=0.0540 ' Capacity=440.44 cfs Outflow=112.94 cfs 18.856 af

Reach 1R: Avg. Depth=1.68' Max Vel=9.45 fps Inflow=111.86 cfs 18.123 af
n=0.035 L=350.0' S=0.0540 ' Capacity=440.44 cfs Outflow=111.69 cfs 18.109 af

Link POA-1: Inflow=112.87 cfs 18.805 af
Primary=112.87 cfs 18.805 af

Link POA-1.0: Inflow=112.94 cfs 18.856 af
Primary=112.94 cfs 18.856 af

Total Runoff Area = 180.745 ac Runoff Volume = 37.688 af Average Runoff Depth = 2.50"
83.75% Pervious = 151.376 ac 16.25% Impervious = 29.369 ac

Summary for Subcatchment 1.1S:

Runoff = 111.86 cfs @ 12.78 hrs, Volume= 18.123 af, Depth> 2.51"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-YR Rainfall=4.50"

Area (sf)	CN	Description
* 656,738	74	Woods, Good, HSG C/D
504,964	77	Woods, Good, HSG D
* 531,119	82	1 acre lots, 20% imp, HSG C/D
17,999	79	1 acre lots, 20% imp, HSG C
* 430,203	77	>75% Grass cover, Good, HSG C/D
185,412	80	>75% Grass cover, Good, HSG D
* 789,000	90	Gravel roads (Quarry), HSG C/D
* 41,261	98	Water Surface (Tidal Marsh)
257,144	93	Urban industrial, 72% imp, HSG D
185,537	91	Urban industrial, 72% imp, HSG C
* 179,059	92	Urban industrial, 72% imp, HSG C/D
3,778,436	83	Weighted Average
3,179,699		Pervious Area
598,737		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Sheet Flow, A-B
13.7	100	0.0670	0.12		Woods: Light underbrush n= 0.400 P2= 3.00"
12.3	420	0.0130	0.57		Shallow Concentrated Flow, B-C Woodland Kv= 5.0 fps
7.7	420	0.0330	0.91		Shallow Concentrated Flow, C-D Woodland Kv= 5.0 fps
13.2	280	0.0050	0.35		Shallow Concentrated Flow, D-E Woodland Kv= 5.0 fps
4.0	480	0.0175	1.98		Shallow Concentrated Flow, E-F Grassed Waterway Kv= 15.0 fps
0.3	100	0.0100	5.11	36.13	Circular Channel (pipe), F-G Diam= 36.0" Area= 7.1 sf Perim= 9.4' r= 0.75' n= 0.024
0.6	250	0.0240	6.98	111.61	Trap/Vee/Rect Channel Flow, G-H6 Bot.W=2.00' D=2.00' Z= 3.0 ' Top.W=14.00' n= 0.035
0.6	350	0.0510	10.17	162.70	Trap/Vee/Rect Channel Flow, H-I Bot.W=2.00' D=2.00' Z= 3.0 ' Top.W=14.00' n= 0.035
57.4	2,400	Total			

Summary for Subcatchment 1S:

Runoff = 111.86 cfs @ 12.78 hrs, Volume= 18.123 af, Depth> 2.51"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-YR Rainfall=4.50"

09114-Gribizis

Type III 24-hr 10-YR Rainfall=4.50"

Prepared by LAND CONSULTING ENGINEERS, PA

Printed 11/25/2009

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Page 5

Area (sf)	CN	Description
* 656,738	74	Woods, Good, HSG C/D
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* 430,203	77	>75% Grass cover, Good, HSG C/D
185,412	80	>75% Grass cover, Good, HSG D
* 789,000	90	Gravel roads (Quarry), HSG C/D
* 41,261	98	Water Surface (Tidal Marsh)
257,144	93	Urban industrial, 72% imp, HSG D
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* 179,059	92	Urban industrial, 72% imp, HSG C/D
3,778,436	83	Weighted Average
3,179,699		Pervious Area
598,737		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,
13.7	100	0.0670	0.12		Sheet Flow, A-B Woods: Light underbrush n= 0.400 P2= 3.00"
12.3	420	0.0130	0.57		Shallow Concentrated Flow, B-C Woodland Kv= 5.0 fps
7.7	420	0.0330	0.91		Shallow Concentrated Flow, C-D Woodland Kv= 5.0 fps
13.2	280	0.0050	0.35		Shallow Concentrated Flow, D-E Woodland Kv= 5.0 fps
4.0	480	0.0175	1.98		Shallow Concentrated Flow, E-F Grassed Waterway Kv= 15.0 fps
0.3	100	0.0100	5.11	36.13	Circular Channel (pipe), F-G Diam= 36.0" Area= 7.1 sf Perim= 9.4' r= 0.75' n= 0.024
0.6	250	0.0240	6.98	111.61	Trap/Vee/Rect Channel Flow, G-H6 Bot.W=2.00' D=2.00' Z= 3.0 ' / ' Top.W=14.00' n= 0.035
0.6	350	0.0510	10.17	162.70	Trap/Vee/Rect Channel Flow, H-I Bot.W=2.00' D=2.00' Z= 3.0 ' / ' Top.W=14.00' n= 0.035
57.4	2,400	Total			

Summary for Subcatchment 2.1S: Small Subcatchment (Areas within PL)

Runoff = 12.89 cfs @ 12.00 hrs, Volume= 0.747 af, Depth> 2.47"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-YR Rainfall=4.50"

Area (sf)	CN	Description
41,744	70	Woods, Good, HSG C
34,191	80	>75% Grass cover, Good, HSG D
32,978	77	Woods, Good, HSG D
49,280	98	Paved parking & roofs
158,193	82	Weighted Average
108,913		Pervious Area
49,280		Impervious Area

Summary for Subcatchment 2S: Small Subcatchment (Area within PL)

Runoff = 12.05 cfs @ 12.00 hrs, Volume= 0.696 af, Depth> 2.30"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr 10-YR Rainfall=4.50"

Area (sf)	CN	Description
41,735	70	Woods, Good, HSG C
46,775	80	>75% Grass cover, Good, HSG D
37,138	77	Woods, Good, HSG D
32,545	98	Paved parking & roofs
158,193	80	Weighted Average
125,648		Pervious Area
32,545		Impervious Area

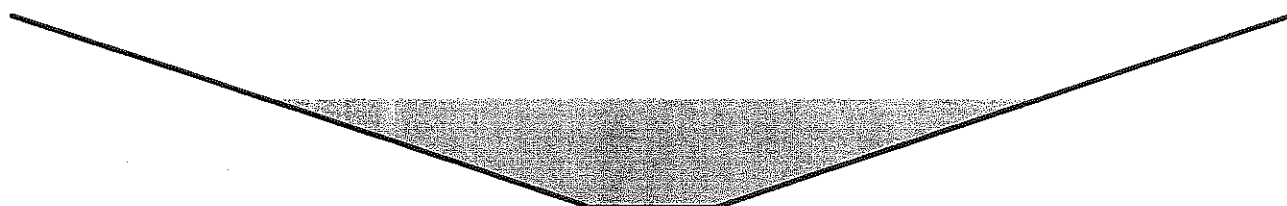
Summary for Reach 1.1R:

Inflow Area = 90.373 ac, 16.46% Impervious, Inflow Depth > 2.51" for 10-YR event
 Inflow = 113.11 cfs @ 12.78 hrs, Volume= 18.870 af
 Outflow = 112.94 cfs @ 12.79 hrs, Volume= 18.856 af, Atten= 0%, Lag= 0.9 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 9.47 fps, Min. Travel Time= 0.6 min
 Avg. Velocity = 4.91 fps, Avg. Travel Time= 1.2 min

Peak Storage= 4,176 cf @ 12.78 hrs, Average Depth at Peak Storage= 1.69'
 Bank-Full Depth= 3.00', Capacity at Bank-Full= 440.44 cfs

2.00' x 3.00' deep channel, n= 0.035
 Side Slope Z-value= 3.0 '/' Top Width= 20.00'
 Length= 350.0' Slope= 0.0540 '/'
 Inlet Invert= 0.00', Outlet Invert= -18.90'



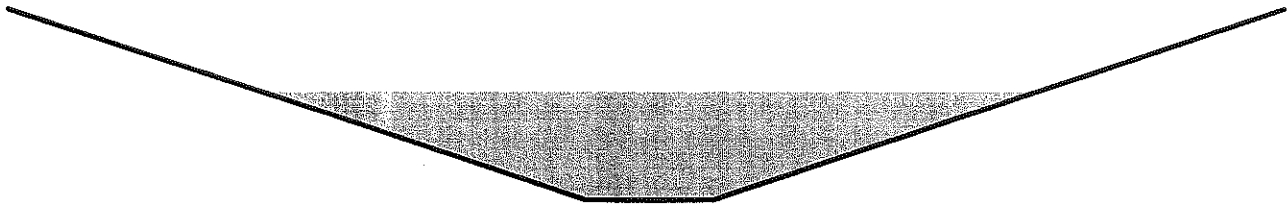
Summary for Reach 1R:

Inflow Area = 86.741 ac, 15.85% Impervious, Inflow Depth > 2.51" for 10-YR event
 Inflow = 111.86 cfs @ 12.78 hrs, Volume= 18.123 af
 Outflow = 111.69 cfs @ 12.80 hrs, Volume= 18.109 af, Atten= 0%, Lag= 0.9 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 9.45 fps, Min. Travel Time= 0.6 min
 Avg. Velocity = 4.84 fps, Avg. Travel Time= 1.2 min

Peak Storage= 4,142 cf @ 12.79 hrs, Average Depth at Peak Storage= 1.68'
 Bank-Full Depth= 3.00', Capacity at Bank-Full= 440.44 cfs

2.00' x 3.00' deep channel, n= 0.035
 Side Slope Z-value= 3.0 '/' Top Width= 20.00'
 Length= 350.0' Slope= 0.0540 '/'
 Inlet Invert= 0.00', Outlet Invert= -18.90'

**Summary for Link POA-1:**

Inflow Area = 90.373 ac, 16.04% Impervious, Inflow Depth > 2.50" for 10-YR event
 Inflow = 112.87 cfs @ 12.79 hrs, Volume= 18.805 af
 Primary = 112.87 cfs @ 12.79 hrs, Volume= 18.805 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Summary for Link POA-1.0:

Inflow Area = 90.373 ac, 16.46% Impervious, Inflow Depth > 2.50" for 10-YR event
 Inflow = 112.94 cfs @ 12.79 hrs, Volume= 18.856 af
 Primary = 112.94 cfs @ 12.79 hrs, Volume= 18.856 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1.1S: Runoff Area=3,778,436 sf 15.85% Impervious Runoff Depth>3.27"
Flow Length=2,400' Tc=57.4 min CN=83 Runoff=144.69 cfs 23.622 af

Subcatchment 1S: Runoff Area=3,778,436 sf 15.85% Impervious Runoff Depth>3.27"
Flow Length=2,400' Tc=57.4 min CN=83 Runoff=144.69 cfs 23.622 af

Subcatchment 2.1S: Small Subcatchment Runoff Area=158,193 sf 31.15% Impervious Runoff Depth>3.23"
Tc=0.0 min CN=82 Runoff=16.73 cfs 0.978 af

Subcatchment 2S: Small Subcatchment Runoff Area=158,193 sf 20.57% Impervious Runoff Depth>3.04"
Tc=0.0 min CN=80 Runoff=15.85 cfs 0.920 af

Reach 1.1R: Avg. Depth=1.89' Max Vel=10.11 fps Inflow=146.27 cfs 24.600 af
n=0.035 L=350.0' S=0.0540 '/' Capacity=440.44 cfs Outflow=146.17 cfs 24.583 af

Reach 1R: Avg. Depth=1.88' Max Vel=10.08 fps Inflow=144.69 cfs 23.622 af
n=0.035 L=350.0' S=0.0540 '/' Capacity=440.44 cfs Outflow=144.58 cfs 23.606 af

Link POA-1: Inflow=146.09 cfs 24.526 af
Primary=146.09 cfs 24.526 af

Link POA-1.0: Inflow=146.17 cfs 24.583 af
Primary=146.17 cfs 24.583 af

Total Runoff Area = 180.745 ac Runoff Volume = 49.142 af Average Runoff Depth = 3.26"
83.75% Pervious = 151.376 ac 16.25% Impervious = 29.369 ac

QUITCLAIM DEED WITH COVENANT
(Maine statutory short form)

KNOW ALL BY THESE PRESENTS that WILLIAM G. GRIBIZIS of Portland, Maine, for valuable consideration, grants to Real Estate Holdings, LLC with a mailing address of 200 Narragansett Street, Gorham Maine 04038, with Quitclaim Covenants, the following described real property situated in Portland, Cumberland County, Maine:

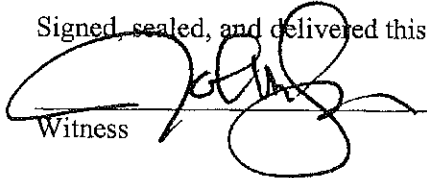
A certain lot or parcel of land situated on the Easterly side of Presumpscot Street in the City of Portland, County of Cumberland and State of Maine bounded and described as follows:

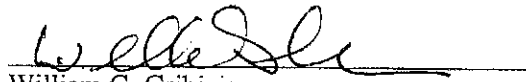
Beginning at a point which is at the center of a certain outfall of a 24" wide culvert on the Easterly sideline of said Presumpscot Street, which culvert is located approximately ten (10) feet southerly of Pole #54; thence, Easterly along the center or thread of the stream flowing from said culvert to a point in the westerly sideline of land now or formerly of Canadian National Railroad; thence, Southerly along the said boundary of said Canadian National Railroad to other land of the Grantee; thence, Westerly along the said adjacent land of the Grantee to Presumpscot Street, being a distance of 410.9 feet more or less; thence, Northwesterly along the easterly sideline of said Presumpscot Street two hundred (200) feet more or less to the point of beginning.

Being a portion of the same premises conveyed to the Grantor by Deed from Sawdust Investments, LLC II dated August 8, 2007 and recorded in the Cumberland County Registry of Deeds in Book 25407 Page 333.

MAINE REAL ESTATE TAX PAID

Signed, sealed, and delivered this 22 day of May 2009.

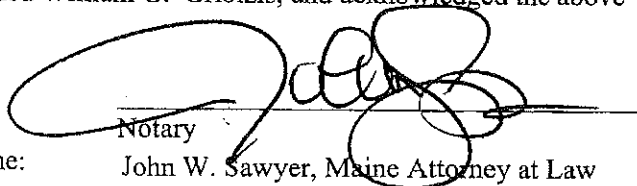

Witness


William G. Gribizis

State of Maine
County of Cumberland

May 22, 2009

Personally appeared the above named William G. Gribizis, and acknowledged the above instrument to be his free act and deed.


Notary

Printed Name: John W. Sawyer, Maine Attorney at Law
Maine Bar # 2806

Received
Recorded Register of Deeds
May 27, 2009 08:52:38A
Cumberland County
Pamela E. Lovley

COOPER LIGHTING - LUMARK®

DESCRIPTION

The IMPACT Trapezoid cutoff wall luminaire makes an ideal complement to site design. U.L. and CUL Listed for wet locations in down mount applications and damp locations in up mounted applications.

Rugged construction and full cutoff classified optics provide facade and security lighting for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Housing

The housing is a two-piece design of die-cast aluminum for precise control of tolerances and repeatability.

B ... Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-Box or wall with "Hook-N-Lock" mechanism for quick installation. Secured with two (2) captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom.

C ... Optical Modules

All optical modules utilize high performance 95% reflective sheet. Type II optical module is standard.

D ... Ballast

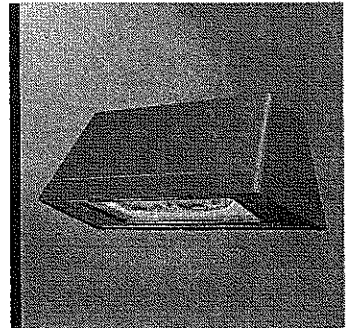
HID luminaires supplied with high power factor ballast with Class H insulation. Minimum starting temperatures are -40°C (-40°F) for HPS and -30°C (-22°F) for MP. Compact Fluorescent luminaires feature electronic universal 120-277V high efficient 50/60Hz ballast with -18°C (0°F) minimum starting.

E ... Door

Die-cast door features, 1/8" heat-and impact-resistant clear tempered glass lens mounted with internal plated steel clips and sealed with EPDM gasketing. Hinged door secured in place via two (2) captive fasteners.

F ... Finish

Durable polyester powder coat finish. Standard color is Bronze. Optional premium colors include: White, Black, Gray, Graphite Metallic, and Dark Platinum. Other finish colors available. Consult your Cooper Lighting Representative concerning special color requirements.



IP IMPACT TRAPEZOID

50 - 175W

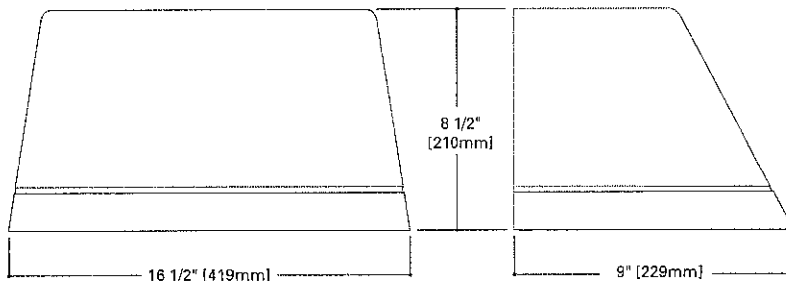
High Pressure Sodium
Pulse Start Metal Halide

Metal Halide

26 - 84W

Compact Fluorescent

FULL CUTOFF
WALL MOUNT LUMINAIRE



TECHNICAL DATA

UL1598 Listed, CUL Listed
25°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum
Down Mounted—Wet Location
Up Mounted—Damp Location

ENERGY DATA

High Reactance Ballast Input Watts

50W HPS HPF (66 Watts)
50W MP HPF (72 Watts)
70W HPS HPF (91 Watts)
70W MP HPF (90 Watts)
100W HPS HPF (130 Watts)
100W MP HPF (129 Watts)
150W HPS HPF (190 Watts)
150W MP HPF (185 Watts)

Electronic Ballast Input Watts

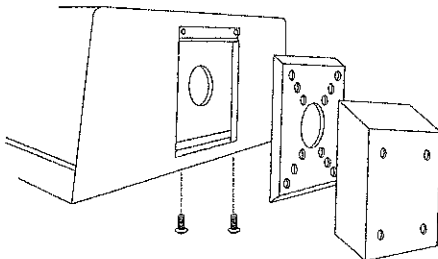
26W CF HPF (29 Watts)
32W CF HPF (36 Watts)
42W CF HPF (46 Watts)
52W CF HPF (55 Watts)

SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)

HOOK-N-LOCK MOUNTING

(Mounting attachment included. J-Box not included.)



IMPACT™

DARK SKY FCO
COMPLIANT Full Cutoff

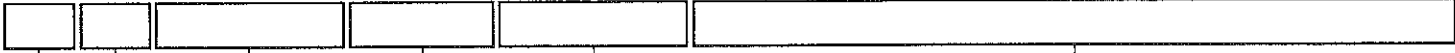
In downlight applications only.

Specifications and Dimensions subject to change without notice.

Consult your representative for additional options and finishes.

ORDERING INFORMATION

Sample Number: MPIP-T-150-MT-LL



Lamp Type ¹

- MP:** Pulse Start Metal Halide
- MH:** Metal Halide¹
- HP:** High Pressure Sodium
- CF:** Compact Fluorescent

Fixture Type

IP: Impact

Fixture Shape

T: Trapezoid

Lamp Wattage ¹

- MP**
- 50:** 50W
- 70:** 70W
- 100:** 100W
- 150:** 150W
- MH**
- 175:** 175W¹
- HP**
- 50:** 50W
- 70:** 70W
- 100:** 100W
- 150:** 150W
- Compact Fluorescent**
- 28:** (1) 26W
- 32:** (1) 32W
- 42:** (1) 42W
- 52:** (2) 26W
- 84:** (2) 32W
- 84:** (2) 42W

Voltage ²

- 120V:** 120V
- 208V:** 208V
- 240V:** 240V
- 277V:** 277V
- 347V:** 347V
- 480V:** 480V
- DT:** Dual-Tap
- MT:** Multi-Tap, wired 277V
- TT:** Triple-Tap, wired 347V
- E:** Electronic (120-277V) ³

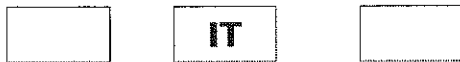
Options

- F1:** Single Fuse, Specify Voltage (120, 277, or 347V)
- F2:** Double Fuse, Specify Voltage (208 or 240V)
- PE:** Button Photocontrol (Specify Voltage)⁴
- BK:** Black
- WH:** White
- AP:** Grey
- GM:** Graphite Metallic
- DP:** Dark Platinum
- LL:** Lamp Included (Must Specify Wattage on CF)
- TR:** Tamper Resistant Hardware (2 Door Screws)
- UP10:** 10% Uplight
- HS:** House-side Shield Glass⁵
- PL:** Polycarbonate Lens⁶
- Q:** Quartz Restrike (1) T4 Lamp⁶
- EM:** Emergency Quartz Restrike (1) T4 Lamp with Time⁸ Delay Relay
- EM/SC:** Emergency Separate Circuit (1) T4 Lamp^{8, 7}
- QMR:** Quartz Restrike (1) MR16 Lamp^{8, 9}
- 2QMR:** Quartz Restrike (2) MR16 Lamps^{8, 9}
- 2QMR/SC:** Quartz Restrike (1) MR16 Lamp and (1) ^{8, 7, 9} Emergency Separate Circuit MR16 Lamp
- EMMR:** Emergency Quartz Restrike (1) MR16 Lamp with ^{8, 9} Time Delay Relay
- 2EMMR:** Emergency Quartz Restrike (2) MR16 Lamps^{8, 9} with Time Delay Relay
- EM/SC/MR:** Emergency Separate Circuit (1) MR16^{7, 9, 10} Lamp
- 2EM/SC/MR:** Emergency Separate Circuit (2) MR16^{7, 9, 10} Lamps
- 2EMMR/SC:** Emergency Quartz Restrike with Time^{8, 7, 9} Delay Relay (1) MR16 and (1) MR16 Emergency Separate Circuit Lamp
- EM/SC/12V:** Emergency Separate Circuit 12V Low^{7, 11} Voltage (1) MR16 Lamp
- 2EM/SC/12V:** Emergency Separate Circuit 12V Low^{7, 11} Voltage (2) MR16 Lamps
- EMI40:** Emergency Cold Temperature (UL924 Listed) ¹² Power Pack -18 degrees C/0 degrees F, (1) CF Lamp, (Specify Voltage Below)
- CF-EM:** Emergency CF Power Pack (UL924 Listed) (1) CF¹³ Lamp, 0 degrees C/32 degrees F, (Specify Voltage Below)

- Notes:**
- 1 Lamp type not available in all wattages - see wattage table. HID lamps are medium base, 480V not available in 50W or 70W. 175W MH is available for non-U.S. markets only.
 - 2 Products also available in non-US voltages and 60HZ for international markets. Consult your Cooper Representative for availability and ordering information.
 - 3 Available with CF Option only. In cold temperatures, compact fluorescent lamps produce lower illumination levels.
 - 4 PE not available with 480V.
 - 5 Down lighting position only.
 - 6 (1) 120V Lamp, 100W maximum quartz lamp. Utility power may need to cycle to allow HID lamp to cool in warm climates. Not available with CF Option. Lamp supplied by others.
 - 7 Leads out of the back of the unit for auxiliary power.
 - 8 Not available with CF lamps.
 - 9 (1) or (2) 120V Lamps. GU10 base, 50W maximum each. Lamps supplied by others.
 - 10 Not Available with 52, 84, 84 CF wattages.
 - 11 (1) or (2) 12V bi-pin lamp, socket GU5.3 base, 35W maximum. Power supplied by low voltage DC source (supplied by others). Lamps supplied by others.
 - 12 Specify 120 or 277V, (-18°C) minimum temperature. Not available with UP10.
 - 13 Specify 120 or 277V, (0°C) minimum temperature. Not available with UP10.

STOCK SAMPLE NUMBER (Lamp Included)

SAMPLE NUMBER: MPIP-T15



Lamp Type

- MP:** Pulse Start Metal Halide
- HP:** High Pressure Sodium

Fixture Type¹

IT=IMPACT Trapezoid

Lamp Wattage¹

**10=100W
15=150W**

NOTES:

Standard multi-tap and bronze. Refer to In-Stock Guide for availability. Options not available with stock products. Refer to standard order information to add options.

LAMP TYPE	WATTAGE	DISTRIBUTION
Pulse Start Metal Halide (MP)	50, 70, 100, 150W	TYPE II
Metal Halide (MH)	175W	TYPE II
High Pressure Sodium (HP)	50, 70, 100, 150W	TYPE II
Compact Fluorescent (CF)	(1) 26, (1) 32, (1) 42, (2) 26, (2) 32, (2) 42W	TYPE II

VOLTAGE CHART

DT=Dual-Tap	120/277 (wired 277V)
MT=Multi-Tap	120/208/240/277 (wired 277V)
TT=Triple-Tap	120/277/347 (wired 347V)
E=Electronic Ballast (CF only)	120-277V (wired 277V) (50/60 HZ)

STATEWIDE SURVEYS, INC
SOIL SCIENTISTS & LAND SURVEYORS
35 Eastman Road, Cape Elizabeth, ME
Phone/Fax: 207 767 4200

January 28, 2008.

Mr. William Gribizis
285 Clifton Street
Portland, ME 04103

Wetland Delineation
Presumpscot Street
Portland, ME

William,

As requested, Statewide Surveys, Inc (SWS) has completed a wetland delineation at your property in Portland, Maine. We visited the site on October 1, 2007 to review the site for streams and jurisdictional wetlands. We again went to the site on October 28, 2007 to delineate jurisdictional wetlands and "tie" into your project boundaries. The property is depicted as Lot 4 on Maps 415 and 419A of the Portland Tax Maps. The ± 3 acres is undeveloped with the exception of a fenced cellular tower, small building and its access drive. Open areas around the cellular tower are open and in the early stages of successional regrowth of small shrubs and saplings. The remaining property generally consists of mixed trees, saplings, shrubs and herbaceous areas along the streams and low-lying areas.

The site is located on the easterly side of Presumpscot Street near its intersection with Ocean Avenue in Portland, Maine. The subject property has existing office and apartment buildings to the north, Canadian National Railroad (CNR) tracks/right of way to the east, a vacant borrow/fill area (former dumpsite) to the south and Presumpscot Street along the westerly property limits. We used a Boundary Survey prepared by Back Bay Boundary for site orientation, stream locations and the base map to register the wetland boundaries with. Additionally, we have prepared the following summary with the understanding the information may be useful for future planning of the lot.

The wetland delineation generally followed the parameters found in the 1987 *Corps of Engineers Wetlands Delineation Manual* by the U.S. Army Corps of

Engineers (USACE). As defined, three parameters are needed for jurisdictional state and federal wetlands, specifically the presence of hydric soils¹, prevalence of hydrophytic vegetation², and the presence of or indicators of wetland hydrology³. The wetlands identified at the site were determined to be jurisdictional using these parameters and further described below.

One wetland area was delineated at the site and designated as formerly Wetland "A". Blue flagging was "tied" to existing vegetation found along the wetland and upland boundaries. The flagging has the corresponding wetland and flag number designations written on them ranging from A1 to A68. We used a Pathfinder (*sub-meter*) Trimble® Pro-XRS GPS to locate the wetland flagging in the field. The wetland boundaries were merged to the property survey using GPS locations of common boundary monuments recovered in the field. It should be noted that GPS positions could vary from conventional survey locations. Therefore, survey locating the wetland flagging and registering their positions to the boundary perimeter is recommended.

We have also reviewed other reference data to support our determinations including: the *River, Stream or Brook* definition by the Maine Department of Environmental Protection (MDEP), the *Soil Survey of Cumberland County* by the USDA Soil Conservation Service, (SCS); the *National Wetlands Inventory Map*, (NWI); the City of Portland's *Tax Map, Zoning Map and Zoning Ordinances*; the *Flood Insurance Rate Maps (FIRM)* prepared the National Flood Insurance Program, Maine Aerial Photography Maps (GIS), *The Identification and Management of Significant Fish and Wildlife Resources in Southern Coastal Maine*, by the Maine Department of Inland Fisheries and Wildlife (MDIF&W) and said Property Survey by Back Bay Boundary (BBB). Some of these reference materials are attached to this report.

1.0 Wetland Characteristics

Wetland "A"

One wetland area was identified at the site and designated as Wetland "A". The "freshwater" (*palustrine*) wetlands (\pm 32,386 ft²) generally drain easterly and southeasterly toward the CNR right of way via two intermittent stream channels labeled as "A" and "B" on the plans provided. Jurisdictional wetlands are located along the "fringe" of these drainage ways. The two channels join near the southeasterly property corner prior to draining through a large concrete culvert underlying the MCR tracks. A thriving stand of the invasive common reed (*phragmites australis*) is located in this low-lying area around the culvert. The culvert appears to impede or restrict the natural surface flow during spring runoff or storm events thus promoting conditions favorable for the species. The delineated wetland boundary ended with flag A-68 near the culvert also representing the southeasterly property corner.

- Wetland "A" was identified with "hydric" soil conditions as described in the federal manual. The SCS soil maps have the poorly drained Scantic soils and the moderately well drained Buxton soils underlying the site. We observed Scantic-like soils and hydric conditions (VI) represented by a depleted or gleyed matrix within 10" of the top of the mineral soil and directly underlying an A or Ap horizon.
- Wetland "A" has a predominance of vegetation considered "Facultative Wetland"⁴ with intermixed "Facultative"⁵ or "Obligate"⁶ species. Dominant wetland species occurring were red maple (*Acer rubrum*), green ash and black ash (*Fraxinus pennsylvanica* and *Fraxinus nigra*) trees and saplings with speckled alder (*Alnus incana*), northern arrowwood (*Viburnum dentatum*) and red-osier dogwood (*Cornus stolonifera*) shrub species and sensitive fern (*Onoclea sensibilis*), jewelweed (*Impatiens capensis*) tearthumb (*Polygonum sagittatum*) narrow-leaved goldenrod (*Euthamia graminifolia*), goldenrods (*Solidago spp*), asters (*Aster spp*), white turtlehead (*Chelone glabra*) and the invasive species purple loosestrife (*Lythrum salicaria*) in the herbaceous layer.
- The hydrology observed during our visits included the presence of "running" open water, saturated soil conditions and drainage patterns.

1. Hydric soils formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part (NEIWPCC).

2. Hydrophytic vegetation are plants growing in wetlands that have adapted in one way or another to life in permanently or periodically inundated or saturated soils (USACE).

3. Hydrology is permanent or periodic inundation, or soil saturation to the surface, at least seasonally is the driving forces behind wetland formation (USACE).

4. Facultative Wetland plants usually occur in wetlands 67 to 99% estimated probability.

5. Facultative plants usually occur in wetlands are equally likely to occur in wetlands or non-wetlands 34 to 66% estimated probability.

6. Obligate plants almost always occur in wetlands >99% estimated probability.

Generally, Wetland "A" is considered palustrine forested (PFO), scrub-shrub (PSS) with some herbaceous areas (PEM) that are inundated or saturated to the soil surface. The hydrology may fluctuate with storm events or seasonal timing with or without water at the surface during "drier" portions of the year. We found the drainages to meet in part the following MDEP definition for *River, Stream or Brook*: meaning "a channel between defined banks". According to the definition a channel is created by the action of surface water and has two or more of the following characteristics:

- A. It is depicted as a solid or broken blue line on the most recent edition of the US Geological Survey 7.5 Minute series topographic map or if that is not available a 15 Minute series topographic map.
- B. It contains or is known to contain flowing water continuously for a period of at least 3 months of the year in most years.
- C. The channel bed is primarily composed of mineral material such as sand and gravel, parent material or bedrock that has been scoured by water.

- D. The channel contains aquatic animals such as fish, aquatic insects or mollusks in the water or, if no surface water is present, within the streambed.
- E. The channel contains aquatic vegetation and is essentially devoid of any upland vegetation.

Based on field observations Stream "A" has characteristics "B", "C" and "D". Stream "B" appears more intermittent, however it may contain water for more than three months of the year. Therefore it may also meet characteristics "B" and "C". We did not observe any aquatic insects or other features during the visits, however the timing was later in the year. We understand the MDEP may have been to the site previously for the tower site or the buildings on the adjacent lot to the north. We recommend an on-site visit by the MDEP staff for a final stream determination. The 75' setbacks from the streams were not changed as shown on the survey plan by BBB. Permits will likely be required to work within this area unless it is determined streams are not present. Of note, a lot of trash, concrete debris, glass and metal objects were observed in and along the streams mainly along the southerly property line.

2.0 Considerations and Recommendations

The wetland areas at the site are regulated at the local, state and federal levels. We understand based on field surveys and interpretations of the current regulations/ordinances the wetlands at the site are regulated by the MDEP under the provisions of the Natural Resources Protection Act (NRPA- 38 M.R.S.A. § 480 A-Y) and the associated Wetland Protection Rules (*Chapter 310*). Permitting with the MDEP may be required dependent on the type and size of any proposed wetland impacts. Specifically, portions of Wetlands "A" would be considered "*Wetlands of Special Significance*" being contiguous or part of a river, stream or brook. Permits would be required to alter areas within 75 feet (75') of a "*Wetlands of Special Significance*". These areas would require a full Individual Permit to alter within twenty-five feet (25') of a river, stream or brook. The MDEP also has jurisdiction over the upland or wetland areas within 75 feet (75') of "*Wetlands of Special Significance*" and considered under the Tier Review process.

Wetlands are also regulated by the USACE under the provisions of Section 404 of the *Clean Water Act*. The USACE regulates activities within the waters of the United States including the navigable waters, tributaries or wetlands. The USACE would review the project under the Programmatic General Permit process should permitting be required resulting from wetland impacts or losses. Generally, permits would not be required for impacts less than 4,300 ft² to wetlands not being "*Wetlands of Special Significance*". USACE Permits would be required to alter 4,300 ft² to 15,000 ft² of wetlands and qualify for the Tier 1 permit. Wetland alterations between 15,000 ft² and 43,560 ft² qualify for Tier 2

permit process with alterations exceeding 43,560 ft² and wetlands of "Wetlands of Special Significance" requiring a Tier 3 permit.

The USACE and the MDEP regulate impacts to wetlands resulting from the placement of fill and permanent wetland loss. The type of permit required would be dependent upon the size (ft²) of impact and wetland type. Should proposed fill quantities exceed 15,000 ft² offsetting mitigation (i.e. wetland creation, restoration or enhancement) at a 1 to 1 ratio may be required. Additionally, a "Functional Assessment" study of the wetland may be required to complete a mitigation plan should one be needed. Additionally, Impacts to "Wetlands of Special Significance" will require responses from the MDIF&W relating to known rare, endangered, threatened (RTE) species or features at the site. Therefore we recommend contacting the MDIF&W and the Maine Natural Areas Program for a survey of their database should impacts be proposed to these areas. Additional information could also be required as determined on a case-by-case basis. Please review the *Department of the Army Programmatic General Permit for the State of Maine, and the Natural Resources Protection Act (NRPA)* for additional regulations and permitting information.

We did not identify any RTE species during our field visits. The field survey was not completed during the timeframe which "significant" vernal pool determinations are generally made, however typical vernal pool habitats were not observed during our visits. A few common green frogs were observed in the small pool created by the culvert outflow along Presumpscot Street. We also observed sign from a few common animal and avian species while on site including gray squirrels (*Sciurus carolinens*) and songbirds with raccoon (*Procyon lotor*) tracks observed along the streambeds.

STATEWIDE SURVEYS, INC would be pleased to assist you with any wetland permits, agency contacts or soil mapping that may be required for your development plans. In the event you need further assistance with permitting or design analysis please contact us at your earliest convenience. We trust this wetland report will aid in the site design and wish the best for the project.

Respectfully submitted,

STATEWIDE SURVEYS, INC

Dale A. Brewer
07017W

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10 SHS
(207) 287-5672 FAX (207) 287-4172

PROPERTY LOCATION		>> Caution: Permit Required - Attach In Space Below <<	
City, Town, or Plantation	PORTLAND	The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached HERE by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Street or Road	1017-1023 OCEAN AVENUE / PRESUMSCOT ST		
Subdivision, Lot #			
OWNER/APPLICANT INFORMATION		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Name (last, first, MI)	GRIBIZIS WILLIAM		
Mailing Address of	205 CLIFTON STREET		
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	PORTLAND, ME 04103		
Daytime Tel. #	756-1930	Municipal Tax Map * <u>145-B / 419-A</u> Lot * <u>4</u>	
Owner or Applicant Statement		Caution: Inspections Required	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
_____ Signature of Owner / Applicant		_____ Local Plumbing Inspector Signature	
_____ Date		_____ (1st) Date Approved	
_____ Date		_____ (2nd) Date Approved	

PERMIT INFORMATION			
TYPE OF APPLICATION 1. <input checked="" type="checkbox"/> First Time System 2. <input type="checkbox"/> Replacement System Type Replaced: _____ Year Installed: _____ 3. <input type="checkbox"/> Expanded System a. <input type="checkbox"/> Minor Expansion b. <input type="checkbox"/> Major Expansion 4. <input type="checkbox"/> Experimental System 5. <input type="checkbox"/> Seasonal Conversion	THIS APPLICATION REQUIRES 1. <input checked="" type="checkbox"/> No Rule Variance 2. <input type="checkbox"/> First Time System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 3. Replacement System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 4. <input type="checkbox"/> Minimum Lot Size Variance 5. <input type="checkbox"/> Seasonal Conversion Approval	DISPOSAL SYSTEM COMPONENTS 1. <input checked="" type="checkbox"/> Complete Non-Engineered System 2. <input type="checkbox"/> Primitive System (graywater & alt toilet) 3. <input type="checkbox"/> Alternative Toilet, specify: _____ 4. <input type="checkbox"/> Non-Engineered Treatment Tank (only) 5. <input type="checkbox"/> Holding Tank, _____ Gallons 6. <input type="checkbox"/> Non-Engineered Disposal Field (only) 7. <input type="checkbox"/> Separated Laundry System 8. <input type="checkbox"/> Complete Engineered System (2000 gpd) 9. <input type="checkbox"/> Engineered Treatment Tank (only) 10. <input type="checkbox"/> Engineered Disposal Field (only) 11. <input type="checkbox"/> Pre-treatment, specify: _____ 12. <input type="checkbox"/> Miscellaneous components	
SIZE OF PROPERTY 4. <u>12</u> <input type="checkbox"/> sq. ft. <input checked="" type="checkbox"/> acres	DISPOSAL SYSTEM TO SERVE 1. <input type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: _____ 2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____ 3. <input checked="" type="checkbox"/> Other: <u>COMMERCIAL UNITS</u> SPECIFY _____ Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped		
SHORELAND ZONING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	TYPE OF WATER SUPPLY 1. <input type="checkbox"/> Drilled Well 2. <input type="checkbox"/> Dug Well 3. <input type="checkbox"/> Private 4. <input checked="" type="checkbox"/> Public 5. <input type="checkbox"/> Other: _____		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK 1. <input checked="" type="checkbox"/> Concrete a. <input checked="" type="checkbox"/> Regular b. <input type="checkbox"/> Low Profile 2. <input type="checkbox"/> Plastic 3. <input type="checkbox"/> Other: _____ CAPACITY <u>1000</u> gallons	DISPOSAL FIELD TYPE & SIZE 1. <input type="checkbox"/> Stone Bed 2. Stone Trench 3. <input checked="" type="checkbox"/> Proprietary Device a. <input type="checkbox"/> Cluster array c. <input checked="" type="checkbox"/> Linear b. <input checked="" type="checkbox"/> Regular d. <input type="checkbox"/> H-20 loaded 4. <input type="checkbox"/> Other: _____ SIZE <u>1152</u> <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft. <u>24 ELJEN IN-DRAIN UNITS</u>	GARBAGE DISPOSAL UNIT 1. <input checked="" type="checkbox"/> No 3. <input type="checkbox"/> Maybe 2. <input type="checkbox"/> Yes >> Specify one below: a. <input type="checkbox"/> Multi-compartment tank b. <input type="checkbox"/> _____ tanks in series c. <input type="checkbox"/> Increase in tank capacity d. <input checked="" type="checkbox"/> Filter on tank outlet RECOMMENDED	DESIGN FLOW <u>150</u> gallons per day BASED ON: 1. <input checked="" type="checkbox"/> Table 501.1 (dwelling unit(s)) 2. <input type="checkbox"/> Table 501.2 (other facilities) SHOW CALCULATIONS for other facilities - 5 COMMERCIAL UNITS WITH 2 EMPLOYEES EACH @ 15 GALLONS PER DAY EACH EMPLOYEE 5 x 306PD = 150 3. <input type="checkbox"/> Section 503.0 (meter readings) ATTACH WATER-METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. <u>N43</u> d <u>41</u> m <u>60</u> s Lon. <u>W70</u> d <u>15</u> m <u>33</u> s If g.p.s., state margin of error.
SOIL DATA & DESIGN CLASS PROFILE <u>9</u> / CONDITION <u>D</u> / DESIGN <u>3</u> AT Observation Hole * <u>TP 1</u> Depth <u>12</u> " OF MOST LIMITING SOIL FACTOR	DISPOSAL FIELD SIZING 1. <input type="checkbox"/> Small - 2.0 sq.ft./gpd 2. <input type="checkbox"/> Medium - 2.6 sq.ft./gpd 3. <input type="checkbox"/> Medium-Large - 3.3 sq.ft./gpd 4. <input type="checkbox"/> Large - 4.1 sq.ft./gpd 5. <input checked="" type="checkbox"/> Extra-Large - 5.0 sq.ft./gpd		EFFLUENT/EJECTOR PUMP 1. <input type="checkbox"/> Not required 2. <input type="checkbox"/> May be required 3. <input checked="" type="checkbox"/> Required Specify only for engineered systems: DOSE: _____ Gallons

SITE EVALUATOR STATEMENT		
I certify that on <u>4/13/09</u> (date) I completed a site evaluation on this property and state that the data reported is accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules (10-144A CMR 241).		
_____ Site Evaluator Signature	_____ 163 SE #	_____ 4/17/2009 Date
ALBERT FRICK Site Evaluator Name Printed	(207) 839-5563 Telephone Number	AFA@MAINERR.COM E-mail Address
ALBERT FRICK ASSOCIATES - 95A COUNTY ROAD ROAD GORHAM, MAINE 04038 - (207) 839-5563 Note: Changes to or deviations from the design should be confirmed with the Site Evaluator		

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
 Division of Health Engineering, Station 10 SHS
 (207) 287-5672 FAX (207) 287-4172

Town, City, Plantation
PORTLAND

Street, Road Subdivision
107-1023 OCEAN AVENUE / PRESUMSCOT ST

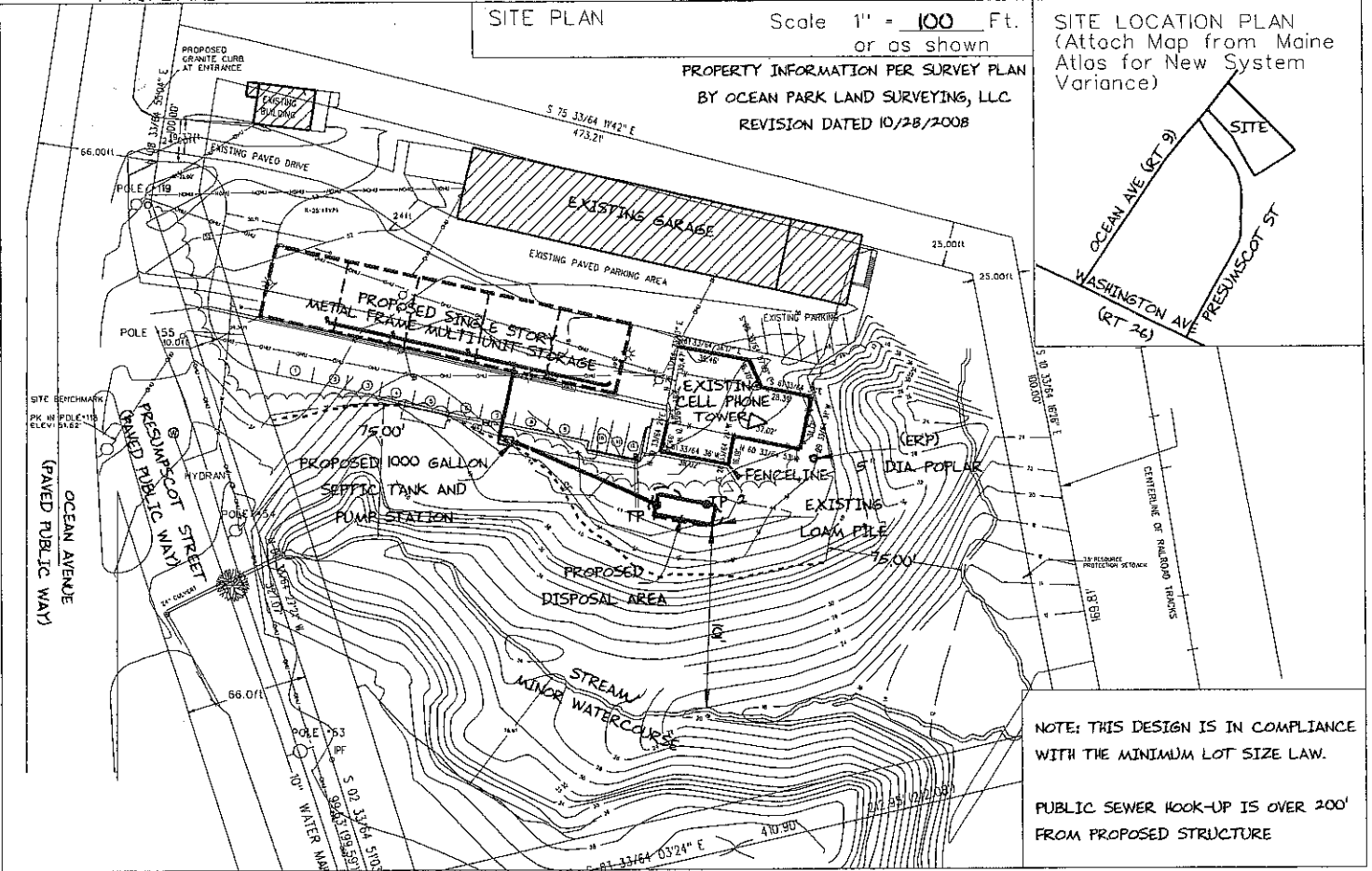
Owner's Name
WILLIAM GRIBIZIS

SITE PLAN

Scale 1" = 100 Ft.
 or as shown

SITE LOCATION PLAN
 (Attach Map from Maine Atlas for New System Variance)

PROPERTY INFORMATION PER SURVEY PLAN
 BY OCEAN PARK LAND SURVEYING, LLC
 REVISION DATED 10/28/2008



NOTE: THIS DESIGN IS IN COMPLIANCE WITH THE MINIMUM LOT SIZE LAW.

PUBLIC SEWER HOOK-UP IS OVER 200' FROM PROPOSED STRUCTURE

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP 1 Test Pit Boring
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0			BROWN	
10	SILT LOAM	FRIABLE	DARK BROWN	
20	SILTY CLAY LOAM	FIRM	OLIVE	COMMON, DISTINCT
30				
40				
50				

Soil Classification: **LOAMY FILL OVER 9 D**
 Profile: 9 Condition: D Slope: 0-3% Limiting Factor: 12"
 Ground Water Restrictive Layer Bedrock Pit Depth

Observation Hole TP 2 Test Pit Boring
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0			BROWN	
10	SILT LOAM	FRIABLE	DARK BROWN	
20	SILTY CLAY LOAM	FIRM	OLIVE BROWN	COMMON, DISTINCT
30				
40				
50				

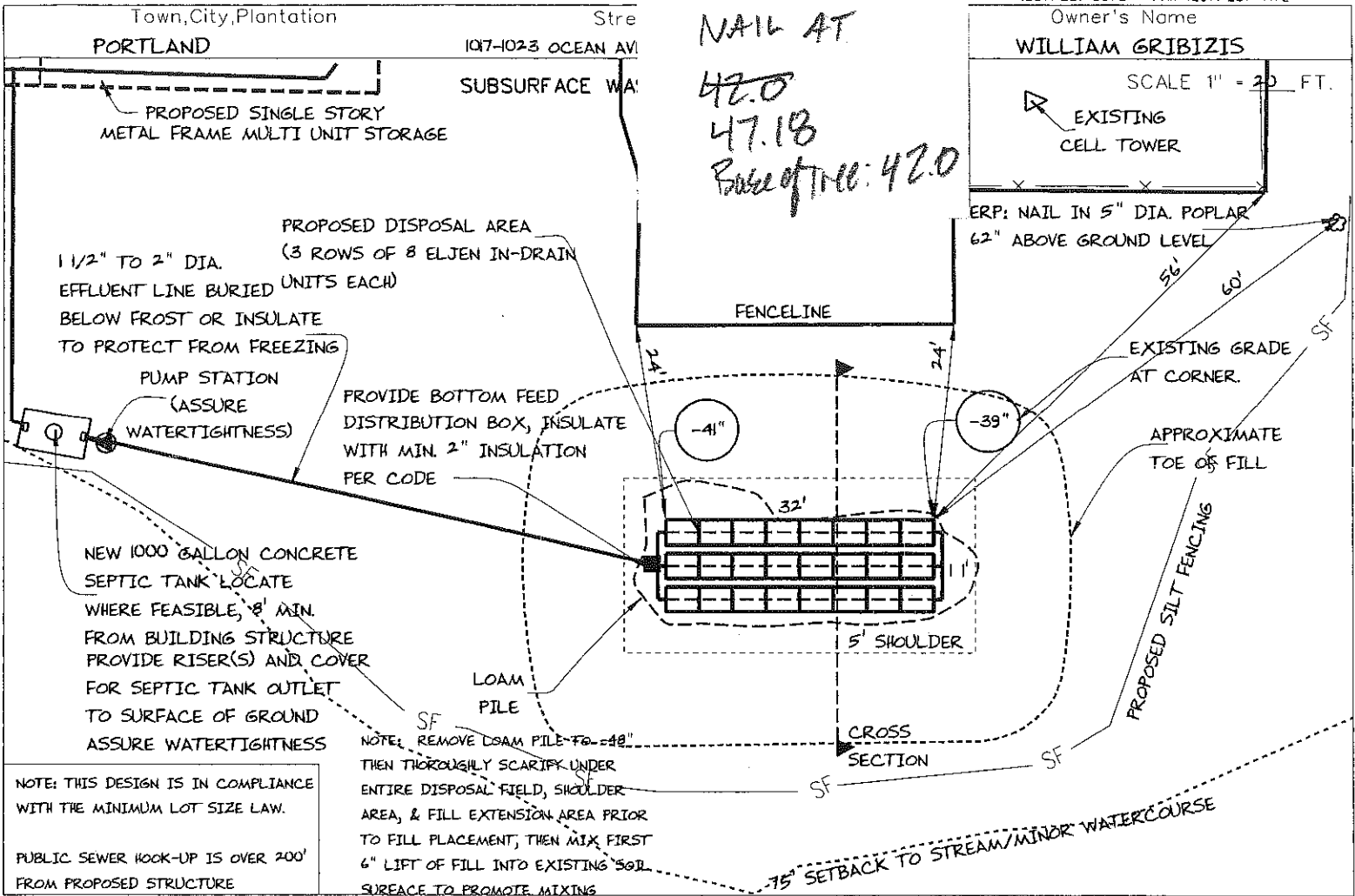
Soil Classification: **LOAMY FILL OVER 9 D**
 Profile: 9 Condition: D Slope: 0-3% Limiting Factor: 12"
 Ground Water Restrictive Layer Bedrock Pit Depth

Albert Frick
 Site Evaluator Signature

163
 SE *

4/17/2009
 Date

SUBSURFACE WASTEWATER DISPOSAL S



NOTE: THIS DESIGN IS IN COMPLIANCE WITH THE MINIMUM LOT SIZE LAW.

PUBLIC SEWER HOOK-UP IS OVER 200' FROM PROPOSED STRUCTURE

FILL REQUIREMENTS

Depth of Fill (Upslope) : 32" - 34"
 Depth of Fill (Downslope) : 32" - 34"
 DEPTHS AT CROSS-SECTION (shown below)

CONSTRUCTION ELEVATIONS

Finished Grade Elevation
 Top of Distribution Pipe or Proprietary Device
 Bottom of Disposal Area

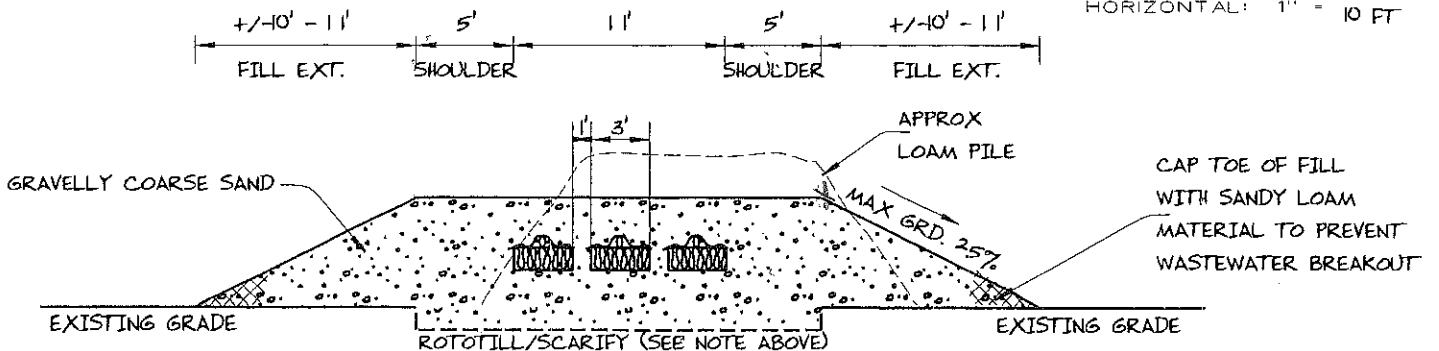
SEE
 DETAIL
 BELOW

ELEVATION REFERENCE POINT

Location & Description 5" DIA. POPLAR NAIL 62" ABOVE BASE
 Reference Elevation is: 0.0" or -----

SCALE:
 VERTICAL: 1" = 5 FT
 HORIZONTAL: 1" = 10 FT

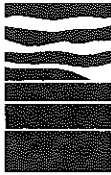
DISPOSAL AREA CROSS SECTION



Albert Frick
 Site Evaluator Signature

163
 SE *

4/17/2009
 Date



Albert Frick Associates, Inc.
Soil Scientists & Site Evaluators
95A County Road Gorham, Maine 04038
(207) 839-5565

PORTLAND

1017-1023 OCEAN AVENUE

WILLIAM GRIBIZIS

TOWN

LOCATION

APPLICANT'S NAME

- 1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.
- 2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations. Prior to the commencement of construction/installation, the local plumbing inspector or Code Enforcement Officer shall inform the owner/applicant and Albert Frick Associates, Inc of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.
- 3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information. Well locations on abutting properties but not readily visible above grade should be confirmed by the owner/applicant prior to system installation to assure minimum setbacks.
- 4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter shall be connected in series to the proposed septic tank. Risers and covers should be installed over the septic tank outlet to allow for easy maintenance.
- 5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment units) and controlled or hazardous substances shall not be disposed of in this system. Additives such as yeast or enzymes are discouraged, since they have not been proven to extend system life.
- 6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than every three years. All septic tanks, pump stations and additional treatment tanks shall be installed to prevent ground water and surface water infiltration. Risers and covers should be properly installed to provide access while preventing surface water intrusion.

ATTACHMENT TO SUBSURFACE WASTEWATER DISPOSAL APPLICATION

PORTLAND	107-1023 OCEAN AVENUE	WILLIAM GRIBIZIS
TOWN	LOCATION	APPLICANT'S NAME

7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption [water usage (cu. ft.) x 7.48 cu. ft. (gallons per cu. ft.) ÷ (# of days in period) = gals per day].

8) The general minimum setbacks between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.

9) When a gravity system is proposed: BEFORE CONSTRUCTION/INSTALLATION BEGINS, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirement. In gravity systems, the invert of the septic tank(s) outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area.

10) When an effluent pump is required: Provisions shall be made to make certain that surface and ground water does not enter the septic tank or pump station, by sealing/grouting all seams and connections, and by placement of a riser and lid at or above grade. An alarm device warning of a pump failure shall be installed. Also, when pumping is required of a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.

11) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling or scarifying with teeth of backhoe to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage or differential setting). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off proprietary devices. Divert the surface water away from the disposal area by ditching or shallow landscape swales.

12) Unless noted otherwise, fill shall be gravelly coarse sand which contains no more than 5% fines (silt and clay). Crushed stone shall be clean and free of any rock dust from the crushing process.

13) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.

14) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion. Alternatively, bark or permanent landscape mulch may be used to cover system. Woody trees or shrubs are not permitted on the disposal area or fill extensions.

15) If an advanced wastewater treatment unit is part of the design, the system shall be operated and maintained per manufacturer's specifications.



Albert Frick Associates, Inc.
Soil Scientists & Site Evaluators

95A County Road Gorham, Maine 04038
(907) 970-5557

S O I L S U R V E Y

**Cumberland
County, Maine**

UNITED STATES DEPARTMENT OF AGRICULTURE
Soil Conservation Service
In cooperation with
MAINE AGRICULTURAL EXPERIMENT STATION
Issued August 1974

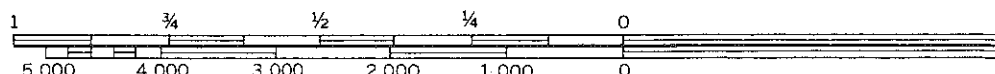
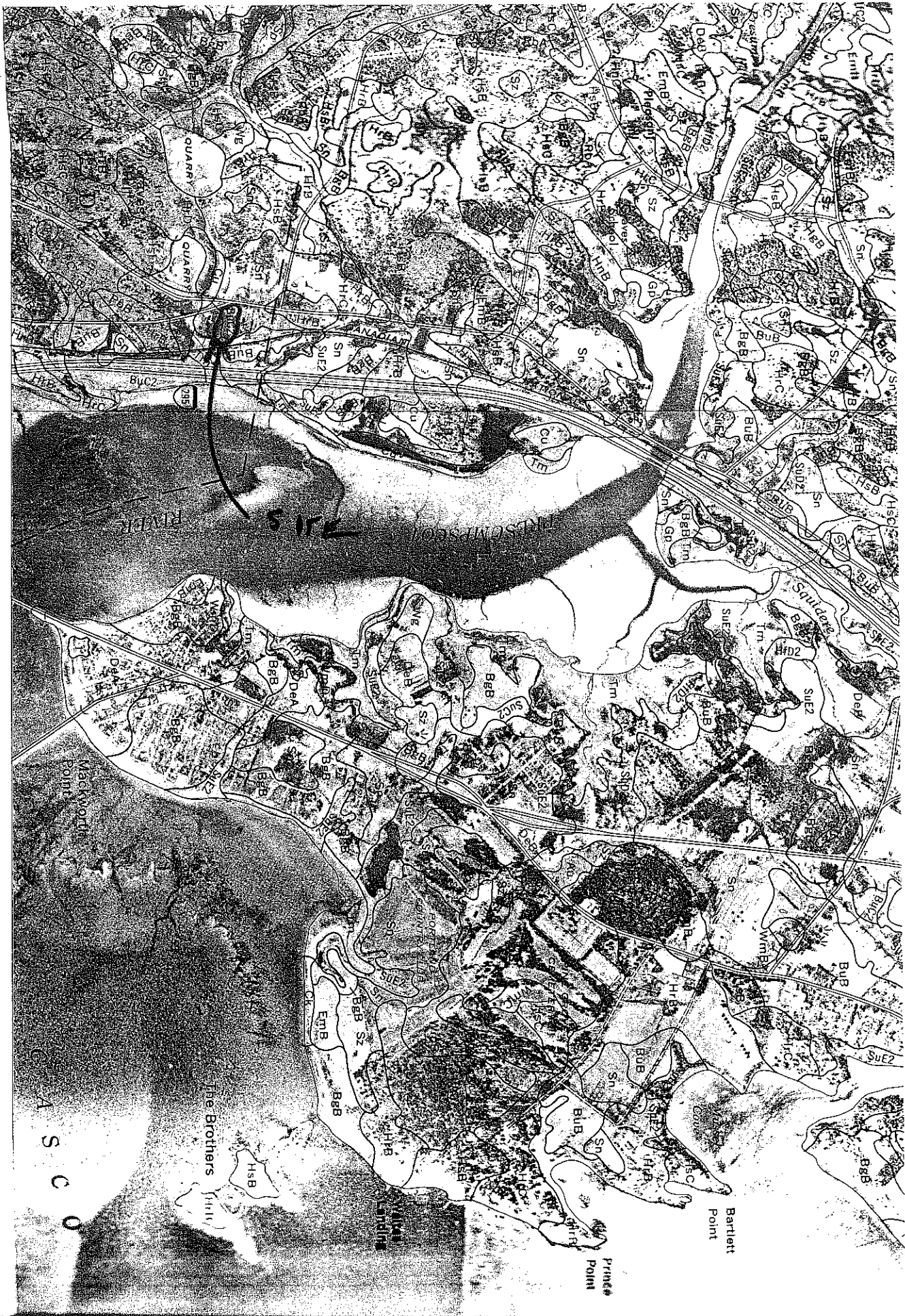
SOIL LEGEND

WORKS

The first capital letter is the initial one of the soil name. A second capital letter, A, B, C, D, or E, shows the slope. Most symbols without a slope letter are those of nearly level soils, but some are for land types that have a considerable range of slope. A final number, 2, in the symbol shows that the soil is eroded.

SYMBOL	NAME	SYMBOL	NAME
Au	Au Gres loamy sand	Ls	Limerick-Saco silt loams
BgB	Belgrade very fine sandy loam, 0 to 8 percent slopes	LyB	Lyman fine sandy loam, 3 to 8 percent slopes
BgC2	Belgrade very fine sandy loam, 8 to 15 percent slopes, eroded	LyC	Lyman fine sandy loam, 8 to 15 percent slopes
Bo	Biddeford silt loam	LzB	Lyman very rocky fine sandy loam, 3 to 8 percent slopes
BuB	Buxton silt loam, 3 to 8 percent slopes	LzC	Lyman very rocky fine sandy loam, 8 to 20 percent slopes
BuC2	Buxton silt loam, 8 to 15 percent slopes, eroded	LzE	Lyman very rocky fine sandy loam, 20 to 45 percent slopes
CaB	Canaan sandy loam, 3 to 8 percent slopes	Md	Made land
CaC	Canaan sandy loam, 8 to 15 percent slopes	MeC	Melrose fine sandy loam, 8 to 15 percent slopes
CeB	Canaan very rocky sandy loam, 3 to 8 percent slopes	MkB	Merrimac fine sandy loam, 3 to 8 percent slopes
CeC	Canaan very rocky sandy loam, 8 to 20 percent slopes	MkC	Merrimac fine sandy loam, 8 to 15 percent slopes
CeE	Canaan very rocky sandy loam, 20 to 60 percent slopes	On	Ondawa fine sandy loam
Ck	Coastal beaches	PbB	Paxton fine sandy loam, 3 to 8 percent slopes
Cu	Cut and fill land	PbC	Paxton fine sandy loam, 8 to 15 percent slopes
DeA	Deerfield loamy sand, 0 to 3 percent slopes	PbD	Paxton fine sandy loam, 15 to 25 percent slopes
DeB	Deerfield loamy sand, 3 to 8 percent slopes	PfB	Paxton very stony fine sandy loam, 3 to 8 percent slopes
Du	Dune land	PfC	Paxton very stony fine sandy loam, 8 to 15 percent slopes
EmB	Elmwood fine sandy loam, 0 to 8 percent slopes	PfD	Paxton very stony fine sandy loam, 15 to 25 percent slopes
Gp	Gravel pits	PkB	Peru fine sandy loam, 0 to 8 percent slopes
HfB	Hartland very fine sandy loam, 3 to 8 percent slopes	PkC	Peru fine sandy loam, 8 to 15 percent slopes
HfC2	Hartland very fine sandy loam, 8 to 15 percent slopes, eroded	PIB	Peru very stony fine sandy loam, 0 to 8 percent slopes
HfD2	Hartland very fine sandy loam, 15 to 25 percent slopes, eroded	PIC	Peru very stony fine sandy loam, 8 to 15 percent slopes
HgB	Hermon sandy loam, 3 to 8 percent slopes	Py	Podunk fine sandy loam
HgC	Hermon sandy loam, 8 to 15 percent slopes	RbA	Ridgebury fine sandy loam, 0 to 3 percent slopes
HgD	Hermon sandy loam, 15 to 25 percent slopes	RgA	Ridgebury very stony fine sandy loam, 0 to 3 percent slopes
HhB	Hermon very stony sandy loam, 3 to 8 percent slopes	Ro	Rock land
HhC	Hermon very stony sandy loam, 8 to 15 percent slopes	Ru	Rumney fine sandy loam
HhD	Hermon very stony sandy loam, 15 to 30 percent slopes	Sd	Saugatuck loamy sand
HkC	Hermon extremely stony sandy loam, 8 to 20 percent slopes	Sn	Scantic silt loam
HkE	Hermon extremely stony sandy loam, 20 to 60 percent slopes	So	Scarboro sandy loam
HtB	Hinckley gravelly sandy loam, 3 to 8 percent slopes	Sp	Sebago mucky peat
HtC	Hinckley gravelly sandy loam, 8 to 15 percent slopes	SuC2	Suffield silt loam, 8 to 15 percent slopes, eroded
HtD	Hinckley gravelly sandy loam, 15 to 25 percent slopes	SuD2	Suffield silt loam, 15 to 25 percent slopes, eroded
HnB	Hinckley-Suffield complex, 3 to 8 percent slopes	SuE2	Suffield silt loam, 25 to 45 percent slopes, eroded
HnC	Hinckley-Suffield complex, 8 to 15 percent slopes	Sz	Swanton fine sandy loam
HnD	Hinckley-Suffield complex, 15 to 25 percent slopes	Tm	Tidal marsh
HrB	Hollis fine sandy loam, 3 to 8 percent slopes	Wa	Walpole fine sandy loam
HrC	Hollis fine sandy loam, 8 to 15 percent slopes	Wg	Whately fine sandy loam
HrD	Hollis fine sandy loam, 15 to 25 percent slopes	Wh	Whitman fine sandy loam
HsB	Hollis very rocky fine sandy loam, 3 to 8 percent slopes	WmB	Windsor loamy sand, 0 to 8 percent slopes
HsC	Hollis very rocky fine sandy loam, 8 to 20 percent slopes	WmC	Windsor loamy sand, 8 to 15 percent slopes
HsE	Hollis very rocky fine sandy loam, 20 to 35 percent slopes	WmD	Windsor loamy sand, 15 to 30 percent slopes
		WrB	Woodbridge fine sandy loam, 0 to 8 percent slopes
		WrC	Woodbridge fine sandy loam, 8 to 15 percent slopes
		WsB	Woodbridge very stony fine sandy loam, 0 to 8 percent slopes
		WsC	Woodbridge very stony fine sandy loam, 8 to 15 percent slopes

Highways and roads
Divided
Good motor
Poor motor
Trail
Highway markers
National Interstate
U. S.
State or county
Railroads
Single track
Multiple track
Abandoned
Bridges and crossings
Road
Trail
Railroad
Ferry
Grade
R. R. over
R. R. under
Buildings
School
Church
Mine and quarry
Gravel pit
Power line
Breakwater, Jetty
Airway beacon
Cemetery
Dams
Levee
Tanks
Lighthouse
Forest fire or lookout
Fort
Located object



February 23, 2010
BCE File.: 09114

Ms. Molly Casto
City of Portland Planning Division
389 Congress St.
Portland, ME 04101

Re: Response to City Comments
503-525 Presumpscot Street
Minor Site Plan Review
Application #: 2008-0107
CBL:415-B-6

Dear Molly:

The following responses from Blais Civil Engineers and Robert Greenlaw, Professional Land Surveyor address December 16, 2009 comments received from the City of Portland, in regards to the above-referenced project:

STAFF REVIEW COMMENTS

ZONING:

1. *The previous construction plans showed an average building height of 24.50' height. The 25' front setback is adequate according to the dimensional requirements of the IM zone. The applicant should be aware that the I-M Zone does not cap the front set back as it does for the sides and rear. So having building plans to determine the actual building height is important to know for determining front setback compliance. Please verify whether the building plans submitted in 2008 by Code de Tech are current.*

The building plans submitted in 2008 by Cad-de-Tech are current.

2. *Previous plans show the lot area to be 130,817.7 sq ft and 130,690 sq ft. The lot size listed on the current plan is 138,213 sq ft. Please confirm the actual lot size. Marge is aware that two lots merged and that some land was transferred to an abutter.*

Robert Greenlaw has confirmed the **lot area as 138,213 square feet.** This area takes into account the former lots merge and transfer to an abutter.

3. *The existing conditions plans drawn by Back Bay Boundary, Inc show six (6) existing parking spaces for the "garage" use in the back. Those spaces are not shown*

4. *on the proposed site plans. If those 6 spaces are to be relocated or modified, please show where those six spaces will be located. The spaces cannot be eliminated as they are required for the existing use. In addition, the existing parking spaces for the single family residence should be delineated on the plans.*

These existing spaces as well as the existing spaces for the single family residence are now shown on Drawings C1 and C2.

5. *Please note that separate permits will be required for any new signage.*

No new signage is proposed at this time.

PRESERVATION OF EXISTING VEGETATION AND SITE LANDSCAPING:

1. *Section 14-526 (a) (26) of the City Code requires that all development in industrial zones that are located along arterial or collector streets provide front yard landscaping. In addition, landscaping is required to screen buildings parking areas and other paved areas from abutting properties. The plan proposes three (3) 6-8 ft white pines adjacent to the driveway entrance. Additional screening along the southerly side of the development and along Presumpscot St will be accomplished with existing vegetation. Please include a note on the plans stating that if existing vegetation labeled as "no disturbance" is disturbed during construction, it shall be replaced with new landscaping of equal or greater height and density, as determined by the Portland City Arborist.*

We have added the following note to Drawing C2: "If existing vegetation labeled as "no disturbance" is disturbed during construction, it shall be replaced with new landscaping adequate to provide proper screening as determined by the City Arborist".

2. *The existing tree line along the northerly property boundary has been identified, however it is not specified whether that vegetation will be retained in order to screen the existing building from the abutting property. If this screening is proposed to be accomplished with existing vegetation, that vegetation must be identified on the plans with the same labels and protections as the vegetation along the southerly side of the development and along Presumpscot Street, as described in #1, above.*

We have added labels to this line on Drawing C2 accordingly.

PHOTOMETRIC PLAN:

1. *Planning staff has reviewed the revised photometric plan and catalogue cuts. The proposed fixtures meet City standards in terms of wattage, light quality and cutoff. The submitted photometric plan meets City standards in terms of illumination levels.*

Acknowledged.

ENGINEERING REVIEW:

1. *The pavement depths in the City right of way shall the match existing depths with a minimum of 5" of 19mm Pavement (old "B" mix).*

We have added a note to detail #8 on Drawing C4 stating pavement depths in the right of way shall match the existing depths with a minimum of 5" of 19mm pavement.

2. *City standards call for 10" of Aggregate Base-crushed Type "B" under the sidewalk area and not 6 ". Please revise the plans to address this technical standard.*

We have revised the Bituminous Sidewalk detail on Drawing C4 accordingly.

3. *Chapter 26, Article VI of the City Code requires all nonresidential or multifamily developments requiring site plan approval and abutting any accepted street to install a sidewalk with granite curbing along their frontage where it has not already been provided. The applicant is requested to complete the curbing and sidewalk on the north side of the driveway to the property line per City standards.*

We have added sidewalk to the north side of the driveway as shown on Drawings C1 and C2.

4. *At the location of the culvert and stream along Presumpscot Street, the proposed sidewalk should angle further into the City right of way (perhaps bringing it flush to the proposed curb in that location) in order to prevent failing of the bank and corresponding erosion and sedimentation into the stream. There is an existing black locust at this location, which will likely not be able to be saved if a sidewalk is installed. Jeff Tailing, City Arborist has reviewed this and approves of the tree being removed, if necessary, during construction.*

As agreed in our February 8, 2010 meeting with David Margolis-Pineo, Molly Casto, and William Gribizis, we have revised the sidewalk to be flush

with the proposed curb along the entire Site frontage as shown on Drawings C1 and C2.

5. *Please update the revision date on the submitted boundary survey.*

The revision date has been updated.

6. *Please provide coordinates stated for three boundary points, i.e. "CRF" near pole #52; "IPF" near pole #119; Street line angle point near pole #119 on the submitted boundary survey.*

Robert Greenlaw has added coordinates for three boundary corners along Presumpscott Street and Ocean Avenue.

7. *As previously requested, the submitted boundary survey needs to define what was held for monumentation to retrace the lines of Presumpscot Street and Ocean Avenue.*

Robert Greenlaw added Note #7 to the plan defining what was held for monumentation for street lines.

8. *The line with an azimuth and distance northerly of pole #119 has not been identified on the submitted boundary survey.*

The label on this has been rotated so that it is viewable on the drawing. This line is a tie to the basis of bearing for the grid control point.

9. *Monumentation -As previously requested, please provide a description on the boundary survey for the iron pipes found (1) southeasterly of pole #53 and (2) near pole #119. Is it a property corner or a ground rod?*

Descriptions for these iron pipes found were added to the plan.

10. *Please provide bearing along 169.81' long line on the boundary survey.*

A bearing label was added accordingly.

11. *Please provide a line table on the boundary survey for the bearings and distances around the tower area. The text is still too small and is obstructed by fencing, etc.*

A line table has been added.

FIRE DEPARTMENT REVIEW:

1. *Captain Keith Gautreaux of the Portland Fire Department has reviewed the revised plans and has no additional comments at this time. The revised access to the proposed development is adequate for Portland emergency vehicles.*

Acknowledged.

TRANSPORTATION ENGINEERING REVIEW:

Thomas Errico, the City's consulting Transportation Engineer has reviewed your revised plans for compliance with applicable City standards. His complete review memorandum is attached and includes the following comments and requests for additional information:

1. *The sidewalk location/alignment at its existing terminus should be aligned such that pedestrians cross the throat of the driveway.*

As agreed in our February 8, 2010 meeting with David Margolis-Pineo, Molly Casto, and William Gribizis, we have revised the sidewalk to be flush with the proposed curb along the entire Site frontage as shown on Drawings C1 and C2.

We trust we have addressed the City's concerns adequately. Please call me if you have an questions or require further information.

Sincerely,

BLAIS CIVIL ENGINEERS



Steve Blais, PE

Enclosures:

Cc:

QUITCLAIM DEED WITH COVENANT
(Maine statutory short form)

KNOW ALL BY THESE PRESENTS that WILLIAM G. GRIBIZIS of Portland, Maine, for valuable consideration, grants to WILLIAM G. GRIBIZIS, of Portland, Maine, with a mailing address of 285 Clifton Street, Portland, ME 04103, with Quitclaim Covenants, the following described real property situated in Portland, Cumberland County, Maine:

A certain lot or parcel of land situated in said Portland on the southeasterly side of Ocean Avenue, and being more particularly described as follows:

Beginning at a point on the southeasterly side of Ocean Avenue on the boundary line between the land now or formerly of the Portland & Rumford Falls Railway Co. and land formerly of Jorena Doughty, being the land herein conveyed: thence southeasterly at right angles along said boundary line, four hundred forty-two (442) feet, more or less, to the northwesterly line of the location of the Atlantic & St. Lawrence Railroad Co., thence along said railway location one hundred (100) feet, more or less: thence northwesterly, parallel with the sideline first described and one hundred (100) feet distant therefrom, four hundred forty-two (442) feet, more or less to Ocean Avenue; thence on said Ocean Avenue one hundred (100) feet to the point of beginning.

Meaning and intending to convey the same premises described in a deed from Gerard A. Roy et al dated August 23, 1989, and recorded in the Cumberland County Registry of Deeds in Book 8880, Page 121.

and also a certain contiguous lot or parcel of land situated on the Easterly side of Presumpscot Street in the City of Portland, County of Cumberland and State of Maine bounded and described as follows:

Beginning on the Easterly sideline of said Presumpscot Street at the Southwesterly corner of land now or formerly of Rosemary L. Howland, said point of beginning also being distant 13.43 feet as measured along said Easterly sideline of Presumpscot Street on a bearing of S 00° 27' 20" E from the Easterly sideline of Ocean Avenue; thence S 60° 41' 10" E along land of said Howland 500.23 feet to land now or formerly of the Canadian National Railroad; thence, S 6° 44' 30" W along land of said Canadian National Railroad 169.81 feet; thence, in a general Southerly direction along a curve to the right having a radius of 5688.71 feet and along land of said Canadian National Railroad 27.82 feet to the centerline of a metal culvert under said railroad; thence, N 86° 32' 10" W along land now or formerly of Cook Concrete Company 410.34 feet to said Presumpscot Street; thence, N 00° 27' 20" W along the Easterly sideline of said Presumpscot Street 416.39 feet to the point of beginning, containing 3.01 acres

Being the same premises conveyed to the Grantor by Deed from Sawdust

Investments, LLC II dated August 8, 2007 and recorded in the Cumberland County Registry of Deeds in Book 25407 Page 333. Reference is made to "Plan of Land on Presumpscot Street, Portland, Maine for Merrill Industries" revised 03-06-87 by Owen Haskell, Inc. for a further description of the above described premises. All bearings are magnetic in the year 1974.

The properties described above are being combined to satisfy City of Portland zoning requirements, and are conveyed subject to the rights and privileges conveyed by Annie L. Estabrook to Central Maine Power Company, et al. by deed dated January 7, 1958, and recorded in said Registry in Book 2467 Page 95; subject to an easement conveyed by the Sawdust Investments LLC II to Global Signal Acquisitions IV, LLC dated December 28, 2006 and recorded in the Cumberland County Registry of Deeds in Book 24735, Page 177; and subject to all utility easements which serve the premises.

Signed, sealed, and delivered this day of December 2008.

Witness

William G. Gribizis

SHORT FORM QUITCLAIM DEED WITH COVENANT

Sawdust Investments, LLC II, a Maine limited liability company with a place of business in Yarmouth, Maine (the "Grantor"), FOR CONSIDERATION PAID, grants to **William Gribizis** whose mailing address is 285 Clifton Street, Portland, Maine 04103 (the "Grantee"), WITH QUITCLAIM COVENANT, a certain lot or parcel of land situated on the Easterly side of Presumpscot Street in the City of Portland, County of Cumberland and State of Maine bounded and described as follows:

MAINE REAL ESTATE TAX PAID

Beginning on the Easterly sideline of said Presumpscot Street at the Southwesterly corner of land now or formerly of Rosemary L. Howland, said point of beginning also being distant 13.43 feet as measured along said Easterly sideline of Presumpscot Street on a bearing of S 00° 27' 20" E from the Easterly sideline of Ocean Avenue;

Thence S 60° 41' 10" E along land of said Howland 500.23 feet to land now or formerly of the Canadian National Railroad;

Thence, S 6° 44' 30" W along land of said Canadian National Railroad 169.81 feet;

Thence, in a general Southerly direction along a curve to the right having a radius of 5688.71 feet and along land of said Canadian National Railroad 27.82 feet to the centerline of a metal culvert under said railroad;

Thence, N 86° 32' 10" W along land now or formerly of Cook Concrete Company 410.34 feet to said Presumpscot Street;

Thence, N 00° 27' 20" W along the Easterly sideline of said Presumpscot Street 416.39 feet to the point of beginning, containing 3.01 acres;

Reference is made to "Plan of Land on Presumpscot Street, Portland, Maine for Merrill Industries" revised 03-06-87 by Owen Haskell, Inc. for a further description of the above described premises.

All bearings are magnetic in the year 1974.

The property described above is conveyed subject to the Easement conveyed by the Grantor to Global Signal Acquisitions IV LLC dated December 28, 2006 and recorded in the Cumberland County Registry of Deeds in Book 24735, Page 177 to which reference may be had for a more particular description of the Easement; and further subject to all utility easements which serve the premises, zoning and building restrictions, other easements, covenants, conditions and restrictions of record affecting the premises, and real estate taxes, which Grantee by acceptance of this deed assumes and agrees to pay.

Being the same premises conveyed to the Grantor by Deed from Merrill Industries, Inc. dated December 21, 2001 and recorded in the Cumberland County Registry of Deeds in Book 17137, Page 310.

IN WITNESS WHEREOF, Sawdust Investments, LLC II has caused this instrument to be executed by John Achatz, Its Manager thereunto duly authorized, this 8th day of August, 2007.

WITNESS:

SAWDUST INVESTMENTS, LLC II

By: John Achatz
Print Name: JOHN ACHATZ
Its Manager

Print Name:

STATE OF MAINE
COUNTY OF CUMBERLAND, ss

August 8, 2007

PERSONALLY APPEARED the above-named John Achatz, Manager of Sawdust Investments, LLC II as aforesaid and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said limited liability company.

Before me,

Susan S. Osborne

Notary Public

Print Name:

Notary Commission Expires:

SUSAN S. OSBORNE
Notary Public, Maine
My Commission Expires November 1, 2012

SEAL

Received
Recorded Register of Deeds
Aug 22, 2007 02:50:19P
Cumberland County
Pamela E. Lovles

This instrument prepared by
and after recording return to:
Attr: Legal Department
Global Signal Acquisitions IV LLC.
301 North Cattlemen Rd. Suite 300
Sarasota, Florida 34232

Doc#: 1818 Bk:24735 Pg: 177

415-B-6 #2
1-8-2007

Site: 3023660 "Falmouth" (Cumberland County, Maine)

TOWER

EASEMENT

THIS EASEMENT (this "Easement") is made this 28th day of December, 2006, by and between Sawdust Investments, LLC II, a Maine limited liability company ("Grantor"), whose address is 114 Eben Hill Road, Yarmouth, ME 04096 and Global Signal Acquisitions IV LLC ("Grantee"), whose address is 301 North Cattlemen Road, Suite 300, Sarasota, Florida 34232.

Recitals

Grantor is the owner of the real property described in Exhibit A attached hereto (the "Grantor Property"). Grantor agrees to grant the easement described below for the purposes consistent with the ownership, location and operation of one or more communications towers in accordance with the provisions described below.

Terms

In consideration of the premises, the sum of \$10.00, and other good and valuable considerations, the receipt and sufficiency of which the parties hereby acknowledge, Grantor and Grantee hereby agree as follows:

1. Grant of Easement. Grantor for itself, its successors and assigns, hereby grants and conveys unto Grantee, its lessees, licensees, successors and assigns a fully paid exclusive, perpetual easement on, over, across and through the portion of the Grantor Property described in Exhibit B attached hereto (the "Tower Area") together with a fully paid nonexclusive perpetual easement over the portion of the Grantor Property described in Exhibit C (the "Access and (Guy and/or Utility) Areas") for all purposes consistent with the ownership, location and operation of communications towers, including but not limited to erecting, installing, operating, maintaining, repairing, replacing, rebuilding, altering, inspecting, improving, and removing communications towers, tower guy wires, guy wire anchors, guy stubs, ground connections, buildings, equipment, equipment shelters and other ancillary structures, and all fixtures, attachments, equipment and accessories related thereto, and for ingress and egress and utility access for the same, and all other related general and miscellaneous uses.

2. Use. The Tower Area shall be used for the purpose of, without limitation, erecting, installing, operating and maintaining radio and communications towers, buildings, and equipment, including leasing, subleasing, and licensing space thereon to third parties. Grantee may make any improvement, alteration or modifications to the Tower Area and Access and (Guy and/or Utility) Areas as are deemed appropriate by Grantee, in its discretion. At all times during the Term of the Easement, Grantee shall have the right to use, and shall have free access to, the

MAINE REAL ESTATE TAX PAID

✓
415-B-6 #2

Tower Area and Access and (Guy and/or Utility) Areas seven (7) days a week, twenty-four (24) hours a day. Grantee shall have the exclusive right to lease, sublease, license, or sublicense any radio/communications tower or any other structure or equipment on the Tower Area and Access and (Guy and/or Utility) Areas, and shall also have the exclusive right to lease or sublease to third parties any portion of the Tower Area and Access and (Guy and/or Utility) Areas, itself, but no such lease, sublease or license shall relieve or release Grantee from its obligations under this Easement. Grantee and its customers shall have the right to erect, install, maintain, and operate on the Tower Area and Access and (Guy and/or Utility) Areas such equipment, structures, fixtures, signs, and personal property as Grantee may deem necessary or appropriate, and such property, including the equipment, structures, fixtures, signs, and personal property currently on the Tower Area, shall not be deemed to be part of the Tower Area, but shall remain the property of Grantee or its customers, as applicable. At any time, Grantee or its customers shall have the right to remove their equipment, structures, fixtures, signs, and personal property from the Tower Area and Access and (Guy and/or Utility) Areas.

3. Duration. The duration of the Easement granted herein (the "Term") shall be perpetual, unless Grantee provides written, recordable notice of its intent to terminate this Easement, in which event this Easement shall terminate upon Grantee's recordation of any such notice. However, in the event Grantee, its successors and/or assigns, removes all of the communications tower(s) which is/are the subject of this Easement, and fails to initiate the reconstruction of a replacement tower within 365 days from the date of removal of the last tower, this Easement shall automatically terminate. Upon termination of the Easement, Grantee, its successors and/or assigns shall cause any radio and communications tower(s) and any related equipment or buildings constructed by Grantee to be removed and shall cause the Grantor's Property to be restored to its previous condition.

4. Easement Consideration. Grantor hereby acknowledges the receipt, in advance, of all consideration due hereunder. Accordingly, no additional consideration shall be due during the term of this Easement.

5. Assignment. Grantee may assign its rights hereunder in whole or in part to any person or entity without notice to or consent from Grantor. After delivery by Grantee to Grantor of an instrument of assumption by an assignee that assumes all of the obligations of Grantee under this Easement, Grantee will be relieved of all liability hereunder.

6. Warranties and Agreements.

(a) Grantor represents and warrants that to the best of Grantor's knowledge upon due inquiry, it is the owner in fee simple of the Grantor Property, free and clear of all liens and encumbrances, and that it alone has full right to grant the Easements. Grantor further represents and warrants that Grantee shall peaceably and quietly hold and enjoy the easement rights without any hindrance, molestation or ejection by Grantor, its successors or assigns, or those claiming through them. Grantor shall have no right to use or permit to be used the Grantor Property in any manner that is inconsistent with Grantee's rights hereunder. Grantor hereby covenants and represents that with respect to the Tower Area and Access and (Guy and/or Utility) Areas: (i) except for the PCS Site Agreement between Merrill Industries, as landlord, and Sprint Spectrum, L.P., as tenant, dated December 17, 1996 (the "Ground Lease"), there currently exist no leases, subleases, licenses, management agreements, concessions or other agreements, written or oral, granting to any party or parties the right of use, management, or occupancy of

any portion of the Tower Area and Access and (Guy and/or Utility) Areas, other than leases disclosed to Grantee in writing; (ii) there are no outstanding options or rights of first refusal to purchase the Grantor Property or any portion thereof or interest therein; and (iii) there are no parties (other than Grantor and Sprint Spectrum, L.P. pursuant to the Ground Lease) in possession of the Tower Area and Access and (Guy and/or Utility) Areas.

(b) Grantor shall not cause or permit the construction of radio or communications towers on the Grantor Property or on any other property of Grantor adjacent to or in the immediate vicinity of the Grantor Property, except for towers constructed by Grantee, its successors and assigns.

(c) Grantor shall promptly pay all real estate taxes and assessments against the Grantor Property when due and shall avoid any delinquencies with respect thereto. If Grantor fails to make any such payments Grantee may (without obligation), after providing ten (10) days written notice to Grantor, make such payment or perform such obligation on behalf of Grantor. The full amount of any payments so made or costs so incurred by Grantee (including any attorneys' fees incurred in connection with Grantee performing such obligation) shall be paid by Grantor to Grantee with interest at the statutory rate thereon.

(d) Grantor shall not do or permit anything that will interfere with or negate any special use permit or approval pertaining to the Tower Area or cause any tower on the Tower Area to be in nonconformance with applicable local, state, or federal laws.

(e) Grantor shall cooperate with Grantee, at no cost to Grantor, in any effort by Grantee to obtain certificates, permits, licenses, and other approvals that may be required by any governmental authorities. Grantor agrees to execute any necessary applications, consents or other documents as reasonably necessary for Grantee to apply for and obtain the proper zoning approvals required to use and maintain the Grantor Property as a communications tower site.

(f) To the best of Grantor's knowledge, Grantor has complied with all environmental, health, and safety laws with respect to the Grantor Property, and no action, suit, proceeding, hearing, investigation, charge, complaint, claim, demand, or notice has been filed or commenced against Grantor or regarding the Grantor Property alleging any failure so to comply. Without limiting the generality of the preceding sentence, to the best of Grantor's knowledge, Grantor and the Grantor Property are in compliance with all environmental, health, and safety laws. No asbestos-containing thermal insulation or products containing PCB, formaldehyde, chlordanes, or heptachlor or other hazardous materials have been placed on or in the Grantor Property by Grantor or, to the knowledge of Grantor, by any prior owner or user of the Grantor Property. To the knowledge of Grantor, there has been no release of or contamination by hazardous materials on the Grantor Property.

(g) Grantor has no knowledge of any fact or condition that could result in the termination or reduction of the current access from the Grantor Property to existing highways and roads, or to sewer or other utility services serving the Grantor Property. The Grantor Property abuts on and has direct vehicular access to a public road, or has access to a public road via a permanent, irrevocable, appurtenant easement benefiting the parcel of real property, and access to the property is provided by paved public right-of-way with adequate curb cuts available.

7. Non-Disturbance. During the Term of the Easement, Grantor will not grant any other easement or ground lease to any party if such easement or ground lease would interfere with the transmission or reception of telecommunication signals to and/or from Grantee's radio/communications equipment and/or antennas.

8. Signal Blockage and/or Transmission Interruption. Grantee is utilizing the Tower Area for the purpose of transmitting and receiving telecommunication signals to and from the Tower Area. Grantee and Grantor recognize that the purpose behind the Easement would be frustrated if the telecommunication signals were partially or totally blocked or if an obstruction were built that would cause interference with such transmission. Grantor, its successors and assigns, shall use its best efforts to prevent the occurrence of any of the foregoing upon the Grantor's Property or within any property owned by, or otherwise under the control of Grantor, and shall promptly undertake any remedial action necessary to do so.

9. Notice and Payments. Any notice, document or payment required or permitted to be delivered or remitted hereunder or by law shall be deemed to be delivered or remitted, whether actually received or not, when deposited in the United States mail, postage prepaid, certified or registered, return receipt requested, addressed to the parties hereto at the respective addresses set out below, or at such other address as they shall have theretofore specified by written notice delivered in accordance herewith:

Grantor:

Sawdust Investments, LLC II
114 Eben Hill Road
Yarmouth, ME 04096
Phone No.: (207) 846-0100
Attn: Paul ("P.D.") Merrill

Philip H. Gleason
Bernstein Shur
100 Middle Street
PO Box 9729
Portland, ME 04104-5029

Grantee:

Global Signal Acquisitions IV LLC
301 N. Cattlemen Road, Suite 300
Sarasota, FL 34232
Attention: Legal Department
Phone No.: (941) 364-8886
Fax No: (941) 364-8761

10. Force Majeure. The time for performance by either party of any term, provision, or covenant of this Easement shall be deemed extended by the time lost due to delays resulting from acts of God, strikes, civil riots, floods, labor or supply shortages, material or labor restrictions by governmental authority, litigation, injunctions, lack of access to required utilities, and any other cause not within the control of either party, as the case may be.

11. Indemnities. Grantor hereby indemnifies, holds harmless, and agrees to defend Grantee, and its officers, directors, shareholders, agents, employees, and attorneys, for,

from, and against all damages asserted against or incurred by any of them by reason of, or resulting from: (i) the invalidity of, or a breach by Grantor of, any representation, warranty, or covenant of Grantor contained herein, (ii) any act or omission of Grantor, its agents, guests, licensees, and/or invitees, (iii) Grantor's authorized or unauthorized use of the Grantor Property, if any, or any property adjacent to the Grantor Property. Grantee hereby indemnifies, holds harmless, and agrees to defend Grantor, and, if applicable, Grantor's officers, directors, shareholders, agents, employees, and attorneys, for, from, and against all damages asserted against or incurred by any of them by reason of, or resulting from: (i) the invalidity of, or a breach by Grantee of any representation, warranty, or covenant of Grantee contained herein, (ii) Grantee's occupation and use of the Tower Area, provided that any such claim, damage, loss, or expense is caused in whole or in part by any negligent act or omission of the Grantee, its agents, guests, and/or invitees.

12. Governing Law/Remedies. This Easement, and the rights and obligations of the parties hereto, shall be governed by the law of the State of Maine. Grantor and Grantee shall be entitled to exercise any and all remedies available either at law or in equity, and the prevailing party shall have the right to recover damages and reasonable attorneys' fees and costs in connection with any legal proceeding arising from or based on this Easement, including appeal. If such prevailing party recovers a judgment in any such action, proceeding or appeal, such costs, expenses and attorney's fees and disbursements shall be included in and as a part of such judgment. Furthermore, Grantor acknowledges that a refusal by Grantor to consummate the transactions contemplated hereby will cause irrevocable harm to Grantee for which there may be no adequate remedy at law and for which the ascertainment of damages would be difficult. Therefore, Grantee shall be entitled, in addition to and without having to prove the inadequacy of other remedies at law, to specific performance of this Easement, as well as injunctive relief, without being required to post bond or other security.

13. Insurance. During the Term of the Easement, Grantee shall carry, at no cost to Grantor, adequate comprehensive liability insurance with limits of not less than \$1,000,000.00. Grantor hereby agrees that Grantee may satisfy this requirement pursuant to master policies of insurance covering other locations of Grantee. Grantee shall provide evidence of such insurance to Grantor upon request.

14. Condemnation. If all of the Tower Area and Access and (Guy and/or Utility) Areas (or if less than all, but Grantee reasonably determines that the remaining portion cannot be operated for the intended purposes), shall be acquired by the right of condemnation or eminent domain for any public or quasi public use or purpose, or sold to a condemning authority under threat of condemnation, then the Term of the Easement shall cease and terminate as of the date of title vesting in such proceeding (or sale). In the event of any condemnation, taking, or sale, whether in whole or part, Grantee and Grantor shall each be entitled to receive and retain such separate awards and portions of lump sum awards as may be allocated to their respective interests in any condemnation proceedings, or as may be otherwise agreed. Termination of this Easement shall not affect the right of the parties to such awards.

15. Taxes. During the Term of the Easement, Grantee shall pay all real and personal property taxes attributable to the Tower Area. If the Tower Area is separately assessed for tax purposes, then, in connection therewith, Grantor shall direct the applicable tax authority to submit the appropriate bill/invoice therefore directly to Grantee at the address identified herein. Beginning on the date the Tower Area is separately assessed for tax purposes, and

continuing thereafter during the term of the Easement, Grantee shall be responsible for all real and personal property taxes attributable to the Tower Area upon receipt of the appropriate bill/invoice. Alternatively, if the Tower Area is not separately assessed by the taxing authority then the Grantee agrees to reimburse the Grantor, within thirty (30) days of its receipt of a tax bill or assessment directly attributable to Grantee's use of the Tower Area. Should the Tower Area's valuation not be expressly identified in the tax assessment, then a separate allocation should be made to determine the value attributable to the Tower Area. This allocation should be based on the relationship of the assessed value attributed to the improvements and land within the Tower Area as a percentage of the overall assessed real estate valuation. Should the assessment include improvements outside of the Tower Area, such improvements shall be excluded from Grantee's portion of the tax liability.

16. Assignment of Ground Lease. Grantor and Grantee hereby recognize and agree that there is a certain PCS Site Agreement previously defined above as the Ground Lease (the "Ground Lease"). Grantor represents and warrants that (i) there are no existing defaults, events of default or events, occurrences, or acts that, with the giving of notice or lapse of time or both, would constitute a default by either Grantor or Lessee under the Ground Lease; and (ii) the monthly rent and all other sums due under the Ground Lease are fully paid and current. The parties hereto have executed an Assignment of Ground Lease contemporaneously with the execution of this Easement.

17. Other Utility Easement. To the extent that any public utility benefits the Tower Area and Access and Utility Area without valid easement, Grantor also grants and conveys unto Grantee, its tenants, licensees, successors, assigns, assignees, and sublessees, full, complete, uninterrupted and unconditional access to and from the Grantor Property, seven days a week, 24 hours a day, over and across the common areas of any other adjacent property now or hereafter owned by Grantor, for, without limitation, ingress and egress to and from the Grantor Property, as well as the installation, location, and maintenance of overhead and/or underground utility connections, including electric, telephone, gas, water, sewer, and any other utility connection. The rights conferred pursuant to this paragraph may be partially assigned by Grantee to any private or public utility authority to provide utilities to the Grantor Property, or to otherwise further effect this provision.

18. Access Easement. Grantor shall have the right, upon 180 days notice to Grantee, to relocate the Access and (Guy and/or Utility) Areas, in its discretion provided that 1) Grantee has uninterrupted vehicular and pedestrian access to the Tower Area, 2) the relocation does not interfere with Grantee's access to the Tower Area, 3) Grantor pays all costs and expenses associated with the relocation of the Access and (Guy and/or Utility) Areas, 4) there are no conditions, restrictions, encumbrances, easements or third party interests that could result in reduction or termination of Grantee's access over the new Access and (Guy and/or Utility) Areas, 5) Grantor provides Grantee with a legal description of the new Access and (Guy and/or Utility) Areas at least 180 days prior to relocation of the Access and (Guy and/or Utility) Areas, and 6) Grantee must agree to the relocation of the new Access and (Guy and/or Utility) Areas, which agreement shall not be unreasonably withheld or delayed.

19. Maintenance of Easement. Prior to the expiration or termination of the Ground Lease, Grantee shall enforce all maintenance obligations of Sprint Spectrum, L.P. as defined in paragraph one (1) of the Ground Lease. After the expiration or termination of the

Ground Lease, Grantee shall maintain the Tower Area and the Access and (Guy and/or Utility) Areas (including any radio and communication tower(s) and any related equipment or buildings) in a good and safe condition.

20. Binding Effect. This Easement shall be binding on and inure to the benefit of the parties hereto and their respective lessees, successors and assigns. It is the intention of the parties hereto that all of the various rights, obligations, and easements created in this Easement shall run with the affected lands and shall inure to the benefit of and be binding upon all future owners and lessees of the affected lands and all persons claiming under them.

21. Modification. This Easement may not be amended or modified except by a written instrument signed by each of the parties hereto.

22. Non-Waiver. The failure of either party to insist upon compliance by the other party with any obligation, or exercise of any remedy, does not waive the right to do so in the event of a continuing or subsequent delinquency or default. A party's waiver of one or more defaults hereunder does not constitute a waiver of any other delinquency or default.

23. Non-Homestead. Grantor hereby warrants and covenants that the Grantor does not reside on or within the Tower Area and Access and (Guy and/or Utility) Areas, nor on any property contiguous therewith.

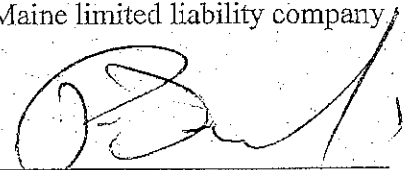
24. Counterparts. This Easement may be executed in counterparts, each of which shall be deemed an original and all of which together shall constitute one instrument.

25. Recording. This Easement shall be recorded upon the request of the Grantor or Grantee.

IN WITNESS WHEREOF, Grantor and Grantee have executed this Easement on the date first written above.

GRANTOR:

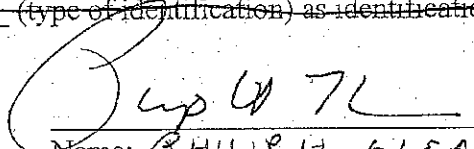
SAWDUST INVESTMENTS, LLC
II, a Maine limited liability company

By: 
Name: Paul ("P.D.") Merrill
As its: President *Merrill*

STATE OF MAINE
COUNTY OF CUMBERLAND

Personally appeared before me, the undersigned authority in and for the said county and state, on this 21st day of December, 2006, within in my jurisdiction, the within named Paul ("P.D.") Merrill as President of Sawdust Investments, LLC II, a Maine limited liability company who acknowledged that he executed the above and foregoing instrument. He is personally known to me or has produced _____ (type of identification) as identification.

NOTARIAL SEAL


Name: PHILIP H. GLEASON
Notary State of MAINE
My Commission Expires: 12/14/13

GRANTEE:

Global Signal Acquisitions IV LLC, ^{ANN}
a Delaware limited liability company

By: Jeffrey A. Klop
Name: Jeffrey A. Klop
As: Executive Vice President,
General Counsel & Secretary

STATE OF FLORIDA
COUNTY OF SARASOTA

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 18th day of December, 2006, within my jurisdiction, the within named Jeffrey A. Klop who acknowledged that he/she is Exec. Counsel of Global Signal Acquisitions IV LLC, a Delaware limited liability company, and as its act and deed he/she executed the above and foregoing instrument, after first having been duly authorized by said company so to do. He/She is personally known to me or has produced _____ (type of identification) as identification.

NOTARIAL SEAL

NOTARY PUBLIC-STATE OF FLORIDA
Melissa Ann Venezia
Commission # DD587400
Expires: OCT. 07, 2010
BONDED THRU ATLANTIC BONDING CO., INC.

Melissa Ann Venezia
Name: Melissa Ann Venezia
Notary State of Florida

My commission expires: 10-07-10

EXHIBIT A

GRANTOR PROPERTY

A certain lot or parcel of land situated on the Easterly side of Presumpscot Street in the City of Portland, County of Cumberland, and State of Maine bounded and described as follows:

Beginning on the Easterly sideline of said Presumpscot Street at the Southwesterly corner of land now or formerly of Rosemary L. Howland, said point of beginning also being distant 13.43 feet as measured along said Easterly sideline of Presumpscot Street on a bearing of S - 00° - 27' - 20" -E from the Easterly sideline of Ocean Avenue.

Thence, S-60°-41'-10"-E along land of said Howland 500.23 feet to land of the Canadian National Railroad;

Thence, S-6°-44'-30"-W along land of said Canadian National Railroad 169.81 feet;

Thence, in a general Southerly direction along a curve to the right having a radius of 8588.71 feet and along land of said Canadian National Railroad 27.82 feet to the centerline of a metal culvert under said railroad;

Thence, N-86°-32'-10"-W along land now or formerly of Cook Concrete Company 410.34 feet to said Presumpscot Street;

Thence, N-00°27'-20"-W along the Easterly sideline of said Presumpscot Street 416.39 feet to the point of beginning, containing 3.01 acres.

-CLOSURE ERROR 0.03'

EXHIBIT B

TOWER AREA

A certain parcel of land situated easterly of, but not adjacent to, Presumpscot Street, as shown on a plan entitled "Boundary Survey on Presumpscot Street Portland, Maine made for Global Signal Acquisitions IV LLC" dated December 1, 2006 by Owen Haskell, Inc., in the City of Portland, County of Cumberland, State of Maine being bounded and described as follows:

Commencing on the easterly sideline of Presumpscot Street at land now or formerly of William G. Gribizis, reference Book 8880 Page 121;

Thence S 60° 41' 10" E along said land a distance of 293.52 feet;

Thence S 28° 23' 43" W a distance of 13.77 feet to the Point of Beginning;

Thence S 61° 36' 17" E a distance of 39.46 feet;

Thence S 5° 57' 09" E a distance of 16.70 feet;

Thence S 61° 36' 17" E a distance of 28.39 feet;

Thence S 29° 34' 26" W a distance of 31.23 feet;

Thence N 60° 53' 07" W a distance of 37.02 feet;

Thence S 28° 23' 43" W a distance of 16.19 feet;

Thence N 61° 36' 17" W a distance of 38.02 feet;

Thence N 30° 24' 36" E a distance of 17.46 feet;

Thence N 12° 37' 49" E a distance of 8.12 feet;

Thence N 28° 23' 43" E a distance of 35.47 feet to the point of beginning, containing 3,584 square feet, more or less.

CLAUDE GIBIZIS O.C.S.

EXHIBIT C

ACCESS AND (GUY AND/OR UTILITY) AREAS

A certain parcel of land situated on the easterly side of Presumpscot Street, as shown on a plan entitled "Boundary Survey on Presumpscot Street Portland, Maine made for Global Signal Acquisitions IV LLC" dated December 1, 2006 by Owen Haskell, Inc., in the City of Portland, County of Cumberland, State of Maine being bounded and described as follows:

Commencing on the easterly sideline of Presumpscot Street at land now or formerly of William G. Gribizis, reference Book 8880 Page 121;

Thence S 00° 27' 21" E along said sideline a distance of 31.10 feet to the Point of Beginning;

Thence S 60° 41' 10" E a distance of 278.51 feet;

Thence S 28° 23' 43" W a distance of 17.00 feet;

Thence N 60° 41' 10" W a distance of 269.06 feet to said easterly sideline of Presumpscot Street;

Thence N 00° 27' 21" W along said sideline a distance of 19.59 feet to the point of beginning, containing 4,654 square feet, more or less.

Received
Recorded Register of Deeds
Jan 02, 2007 12:35:35P
Cumberland County
Pasala E. Lovley



Bank of America
Woodfords
ME1-135-01-01
446 Forest Avenue
Portland, ME 04101

Tel 207.773.2083
Fax 207.773.0296

To Whom It May Concern:

I am writing this letter to confirm that Mr. William Gribizis has a line of credit with Bank of America. The amount of \$250,000 is currently available to use.

Calvin Chen
207-773-2083
Assistant Banking Center Manager
Bank of America
446 Forest Ave
Portland, Maine

A handwritten signature in black ink, appearing to read "Calvin Chen", written in a cursive style.



2000-2004
US Olympic Teams

Recycled Paper



DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF LAND AND WATER QUALITY

12/15/2008

CONTACT ID 7454

FIELD DETERMINATION FORM

CONTACT

MOLLY CASTO
PORTLAND PLANNING DIVISION
389 CONGRESS STREET
PORTLAND ME 04101
2078748901

DIRECTIONS

Property is at 503-525 Presumpscot Street in Portland just before the intersection with Ocean Ave.

PROPERTY OWNER

WILLIAM GRIBIZIS
285 CLIFTON STREET
PORTLAND ME 04103

STAFF MACLAINE, JOHN

SITE TOWN PORTLAND

RESOURCE RSB

MAP LOT

MEMO

On October 14, 2008, I met with Molly Casto from the City of Portland Planning Division to determine if a drainage on the property of William Gribizis at 503-525 Presumpscot Street is a jurisdictional stream. There is a channel that runs perpendicular to Presumpscot Street on this property, flowing from under Ocean Avenue and Presumpscot Street east towards the coastal wetlands. This channel meets the definition of a River, Stream, or Brook as defined by the Natural Resources Protection Act (NRPA). The Department has jurisdiction over regulated activities in, over, or within 75 feet of this stream.

Erosion control devices must be installed and maintained on the project site during any soil disturbance activity. A Stormwater Management Law PBR or Maine Construction General Permit "NOI" and "NOT" must be filed with the Department if more than 1 acre of area is going to be disturbed on the project site at any given time during construction.

NAME:

RECEIVED 10/7/2008 SITE VISIT 10/14/2008 COMPLETED 12/15/2008

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To: David Margolis Pineo

Company: Public Services

Fax #: 207-874-8852

Date: October 8, 2008

From: Molly Casto

You should receive 3 page(s) including this cover sheet

Comments:

Attached are the two MDEP Permit By Rule approvals for Bill Grabizis's warehouse project on Presumpscot Street.

As I mentioned, the first approval was for a proposal to fill. The City of Portland denied the application because we don't allow people to fill unless they have an actual proposal for the property. The later Permit by Rule approval is for their application to fill and construct two warehouses at the site. This corresponds to the application we currently are reviewing.

Thank you again for your help with this one.
Molly

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT BY RULE NOTIFICATION FORM
 (For use with DEP Regulation, Chapter 305)

OCEAN PARK LAND SURVEYING
 ROBERT T. GREENLAW, PLS

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Name of Applicant: (owner)		WILLIAM G. GRIBIZIS		Applicant Mailing Address:		285 CROFTON ST.	
Town/City:		PORTLAND		State:		ME	
Zip Code:	04103	Daytime Telephone No: (include area code)		Project Location: (town)		PORTLAND	
County:	CUMBERLAND	Map #:		Lot #:		Name of Wetland or Waterbody:	
Name of Agent:		OCEAN PARK LAND SURVEYING INC		Agent's Telephone No: (include area code)		749-9471	
Detailed Directions to Site:		OCEAN AVENUE ROUTE 9 EAST TO THE X-SECTION OF PRESUMPSCOIT TURNS RIGHT TO 525 PRESUMPSCOIT ST.					
		UTM Northing: (if known)				UTM Easting: (if known)	
Description of Project:		FILLING OF VACANT LAND W/ APPROX 10,000 CU YDS OF FILL TO BUILD ONE STORY STORAGE BUILDINGS & PARKING.					
		Part of a larger project?		Yes		X No	

(CHECK ONE) This project: does does not involve work below mean low water.

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, have read and will comply with all of the standards in the Sections checked below.

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Sec. (2) Act. Adj. to Protected Natural Res. | <input type="checkbox"/> Sec. (10) Stream Crossing | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension |
| <input type="checkbox"/> Sec. (3) Intake Pipes | <input type="checkbox"/> Sec. (11) State Transportation Facil. | <input type="checkbox"/> Sec. (18) Maintenance Dredging |
| <input type="checkbox"/> Sec. (4) Replacement of Structures | <input type="checkbox"/> Sec. (12) Restoration of Natural Areas | <input type="checkbox"/> Sec. (19) Activities in/on/over significant vernal pool habitat |
| <input type="checkbox"/> Sec. (5) REPEALED | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement | <input type="checkbox"/> Sec. (20) Activities in existing dev. areas located in/on/over high or moderate value inland waterfowl & wading bird habitat or shorebird nesting, feeding & staging areas |
| <input type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation | <input type="checkbox"/> Sec. (14) REPEALED | |
| <input checked="" type="checkbox"/> Sec. (7) Outfall Pipes | <input type="checkbox"/> Sec. (15) Public Boat Ramps | |
| <input type="checkbox"/> Sec. (8) Shoreline stabilization | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects | |
| <input type="checkbox"/> Sec. (9) Utility Crossing | | |

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that **this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.**

I have attached the following required submittals. **NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:**

- Attach a check for \$55 made payable to: "Treasurer, State of Maine".
- Attach a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach all other required submissions as outlined in the PBR Sections checked above.

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant:		Date:	06/06/2008
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Keep a copy as a record of permit. Send the form with attachments via certified mail or hand deliver to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. **Work carried out in violation of any standard is subject to enforcement action.**

AUGUSTA DEP 17 STATE HOUSE STATION AUGUSTA, ME 04333-0017 (207)287-3901	PORTLAND DEP 312 CANCO ROAD PORTLAND, ME 04103 (207)822-6300	BANGOR DEP 106 HOGAN ROAD BANGOR, ME 04401 (207)941-4570	PRESQUE ISLE DEP 1235 CENTRAL DRIVE PRESQUE ISLE, ME 04769 (207)764-0477
--	---	---	---

OFFICE USE ONLY	Ck.# 504	Date 6/6/08	Staff JM	Staff	
PBR # 45887	FP 855.00		Acc. Date 6/9/08	Def. Date	After Photos

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT BY RULE NOTIFICATION FORM
 (For use with DEP Regulation, Chapter 305)

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Name of Applicant: (owner)		WILLIAM GRIBIZIS			Applicant Mailing Address:		285 CLIFTON ST		
Town/City:		PORTLAND			State:		ME		
Zip Code:		04103		Daytime Telephone No: (include area code)		Project Location: (town)		PORTLAND	
County:		CUMBERLAND		Map #:	415	Lot #:	C-6	Name of Wetland or Waterbody:	
Name of Agent:		ROBERT T. GREENLAW			Agent's Telephone No: (include area code)		749-9471		
Detailed Directions to Site:		WASHINGTON AVE (RTE 26) TO THE INTERSECTION OF PRESUMPSCOT ST. FOLLOW PRESUMPSCOT TO INK OF OCEAN AVE. PROPERTY ON THE RIGHT.							
Description of Project:		FILL OF LAND TO EXPAND USE. For parking area							
Part of a larger project?							Yes	X	No

(CHECK ONE) This project: does does not involve work below mean low water.

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, have read and will comply with all of the standards in the Sections checked below.

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Sec. (2) Act. Adj. to Protected Natural Res. | <input type="checkbox"/> Sec. (10) Stream Crossing | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension |
| <input type="checkbox"/> Sec. (3) Intake Pipes | <input type="checkbox"/> Sec. (11) State Transportation Facil. | <input type="checkbox"/> Sec. (18) Maintenance Dredging |
| <input type="checkbox"/> Sec. (4) Replacement of Structures | <input checked="" type="checkbox"/> Sec. (12) Restoration of Natural Areas | <input type="checkbox"/> Sec. (19) Activities in/on/over significant vernal pool habitat |
| <input type="checkbox"/> Sec. (5) REPEALED | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement | <input type="checkbox"/> Sec. (20) Activities in existing dev. areas located in/on/over high or moderate value inland waterfowl & wading bird habitat or shorebird nesting, feeding & staging areas |
| <input checked="" type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation | <input type="checkbox"/> Sec. (14) REPEALED | |
| <input type="checkbox"/> Sec. (7) Outfall Pipes | <input type="checkbox"/> Sec. (15) Public Boat Ramps | |
| <input type="checkbox"/> Sec. (8) Shoreline stabilization - RIP RAP | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects | |
| <input type="checkbox"/> Sec. (9) Utility Crossing | | |

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that *this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.*

I have attached the following required submittals. NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:

- Attach a check for \$55 made payable to: "Treasurer, State of Maine".
- Attach a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach all other required submissions as outlined in the PBR Sections checked above.

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant:		Date:	04-9-2008
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Keep a copy as a record of permit. Send the form with attachments via certified mail or hand deliver to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. Work carried out in violation of any standard is subject to enforcement action.

AUGUSTA DEP 17 STATE HOUSE STATION AUGUSTA, ME 04333-0017 (207)287-3901	PORTLAND DEP 312 CANCO ROAD PORTLAND, ME 04103 (207)822-6300	BANGOR DEP 106 HOGAN ROAD BANGOR, ME 04401 (207)941-4570	PRESQUE ISLE DEP 1235 CENTRAL DRIVE PRESQUE ISLE, ME 04769 (207)764-0477
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OFFICE USE ONLY	Ck.# 495	Date 4/9/08	Staff JM	Staff JM	After Photos
PBR# 45461	FP \$55.00		Acc. Date 5/1/08	Def. Date 4/14/08	

DEPLW0309-L2006

EE-submitted 4/28/08

BK 8880 PG 0122

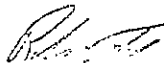
Exhibit A

A certain lot or parcel of land, with the buildings thereon, situated on Ocean Avenue, in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point on the southeasterly side of Ocean Avenue on the boundary line between the land now or formerly of the Portland & Rumford Falls Railway Co. and land formerly of Jorena Doughty, being the land herein conveyed; thence southeasterly at right angles, along said boundary line, four hundred forty-two (442) feet, more or less, to the northwesterly line of the location of the Atlantic & St. Lawrence Railroad Co.; thence along said railway location one hundred (100) feet, more or less; thence northwesterly, parallel with the sideline first described and one hundred (100) feet distant therefrom, four hundred forty-two (442) feet, more or less, to Ocean Avenue; thence on said Ocean Avenue one hundred (100) feet to the point of beginning.

This conveyance is made subject, however, to the rights and privileges conveyed by Annie L. Estabrook to Central Maine Power Company et al by deed dated January 7, 1958 and recorded in said Registry of Deeds in Book 2467, Page 95.

RECEIVED
REGISTRY OF DEEDS
1989 AUG 24 AM 9:15
CUMBERLAND COUNTY



0K8880PG0121

040567

WARRANTY DEED
(Maine statutory short form)

MAINE REAL ESTATE TAX PAID

That, **GERARD A. ROY and CHARLES D. RIDLON**, of Portland, Maine,
for valuable consideration, grant to **WILLIAM G. GRIBIZIS**, of
Portland, Maine, with a mailing address of 285 Clifton Street,
Portland, ME 04103, with Warranty Covenants, the following described
real property situated in Portland, Cumberland County, Maine:

A certain lot or parcel of land situated in said Portland on the
southeasterly side of Ocean Avenue, and being more particularly
described on Exhibit A attached hereto and made a part hereof.

Meaning and intending to convey the same premises described in a
deed from Christopher N. Jacobs et al to Gerard A. Roy et al
dated August 1, 1984, and recorded in the Cumberland County
Registry of Deeds in Book 6524, Page 182.

Witness my/our hand(s) this 23rd day of August, 1989.

Kenneth E. Snitzer
Witness

Gerard A. Roy
Gerard A. Roy

Judy Hernandez
Witness

Charles D. Ridlon
Charles D. Ridlon

STATE OF MAINE
CUMBERLAND, SS.

August 23, 1989

Personally appeared the above named Gerard A. Roy and
acknowledged the foregoing instrument to be his free act and deed.

Before me,

Kenneth E. Snitzer
Notary Public
KENNETH E. SNITZER
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES JANUARY 22, 1991
Printed Name of Notary

SEAL

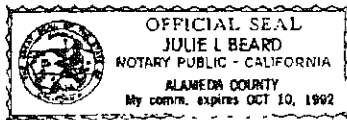
STATE OF CALIFORNIA
Alameda COUNTY, SS.

August 21, 1989

Personally appeared the above named Charles D. Ridlon and
acknowledged the foregoing instrument to be his free act and deed.

Before me,

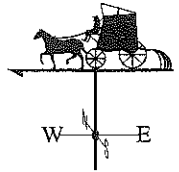
Julie L. Beard
Notary Public
Julie L. Beard
Printed Name of Notary





225 DOUGLASS STREET
P.O. BOX 3553
PORTLAND, ME 04104-3553
P: 207.774.5961
F: 207.523.5440
WWW.PWD.ORG

PORTLAND
WATER DISTRICT



November 10, 2008

Ocean Park Land Surveying, LLC
P.O. Box 7265
Ocean Park, Maine 04063

Attn: Robert T. Greenlaw, PLS
Re: 525 Presumpscot Street, Portland
Ability to serve with PWD water

Dear Mr. Greenlaw:

This letter is to confirm that there should be an adequate supply of clean and healthful water to serve the domestic water needs of the proposed 8,000 square foot warehouse at 525 Presumpscot Street in Portland. According to District records, there is a 10-inch cast iron water main in Presumpscot Street as well as a hydrant located along the frontage of the property.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the domestic water needs of your proposed project, as stated in your letter, dated October 31, 2008.

Hydrant Location: Presumpscot Street at Ocean Avenue
Hydrant Number: POD-HYD01241
Static Pressure: 84 psi
Flow: 1255 gpm
Last Tested: 6/20/1991

Please notify your mechanical engineer of these results so that they can design your system to best fit the noted conditions. Please contact the Portland Fire Department to determine if the fire service capacity is sufficient for your needs. Also, please note that we will require a calculation of the peak water demand in gallons per minute or a fixture count tabulation at the time of the service application. Additionally, based on the high water pressure in this area, we recommend that you consider the installation of pressure reducing devices that comply with state plumbing codes. If the District can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District

Rico Spugnardi, P.E.
Business Development Engineer
rspugnardi@pwd.org

Existing gravel drive to pole \Rightarrow \sim 300' tall.
chain link fence surround
sign - 'Federally licensed' \rightarrow www.cranecostle.com
unit # 878 783 - Portland North

* - Who is Sawdust Investments, LLC. \rightarrow Lessor to
Global Signal Acquisitions. (1/2007) \rightarrow date of established
easement. (17' wide)

neighboring lot - paved to lot boundary

proposed new driveway. (35' - 25' wide)

landscaping req. along frontage \rightarrow match to
Moody's Requirements.

12 spaces.

appear to be building a building on top of
existing access easement for cell tower.

* need documentation of easement & need proof
of permission to modify it.

(potential obstruction of drive aisle = littering w/
parked cars or trucks) \rightarrow what is the
implication of the easement?

2 catch basins proposed.
rip rap slope proposed.

note resource protection setback. - appears to be inside pavements & buildings proposed (?)

*according to Marge - not on our maps. - confirm

curbing around back of parking lot. → what about entrance & other areas?

property next door - similar use. (lower bldg, although w/ 2 story portion)

- Moe's put in sidewalk. does this guy have to? (Moe's = sidewalk, granite curb, esplanade & street trees)

~~draw~~

- drainage cause - fairly significant

- driveway location as proposed = big problem.
- what about shared drive w/ 10' 21' presump?
- w/ cross access across 17' easement?

→ discuss w/ Tom in terms of # of trips. Applic. will need to provide this.



March 4, 2011
BCE File.: 10163

Ms. Molly Casto
City of Portland Planning Division
389 Congress St.
Portland, ME 04101

**Re: Request for Permit Extension of Construction
Warehouse Development at 503-525 Presumpscot Street
Minor Site Plan Review
Application #: 2008-0107
CBL:415-B-6**

Dear Molly:

We are writing on behalf William Gribizis in regards to the above referenced project. The project is for the proposed addition of a new warehouse with ancillary features such as parking and loading areas, as well as utility installation.

After speaking with you over the phone, it is our understanding that Mr. Gribizis can apply for an extension of his site plan approval before it expires on March 19th, 2011. We also understand that the extension can be made for one calendar year beyond the original date of site plan approval notification. As such, our client requests this one year extension of site plan approval. Due the recent economic climate, the demand for the warehouse space has not warranted the expansion, but continued economic recovery should provide the impetus for construction to commence prior to March 19th, 2012.

Please call me if you have an questions or require further information to issue the extension.

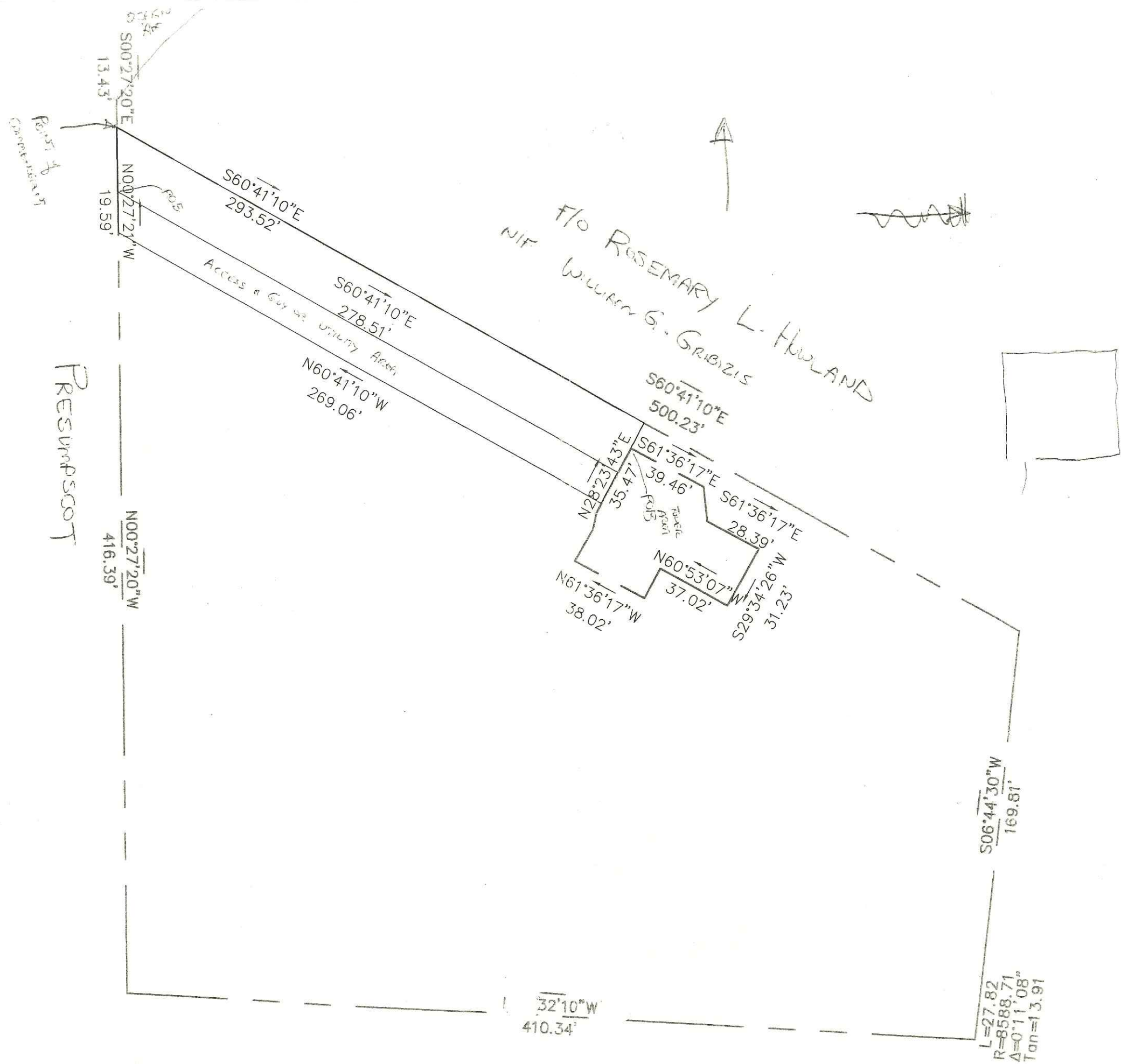
Sincerely,

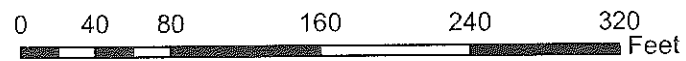
BLAIS CIVIL ENGINEERS

A handwritten signature in black ink, appearing to read 'S. Blais', is written over a horizontal line.

Steve Blais, PE

Enclosures:
Cc: William Gribizis





1 inch equals 100 feet



PORTLAND WATER DISTRICT
225 Douglass Street
Portland, ME 04104

Legend

- | | | | | | | | |
|---|--------------|---|-----------------|---|-----------------|---|----------|
| ⊙ | Blow Off | ⊙ | Fire Service | ⊙ | Air Valve | ⊙ | Sleeve |
| ⊙ | By Pass | ⊙ | Hydrant Control | ⊙ | Date Change | ⊙ | Tee |
| ⊙ | Distribution | ⊙ | Service | ⊙ | Material Change | ⊙ | Hydrants |
| □ | End of Main | ⊙ | Transmission | ▲ | Reducer | | |

525 Presumpscot Street

Portland



Disclaimer: This map is suitable for preliminary study and analysis pending review of additional information. The data shown are only as accurate as the original data sources from which they were developed.

Drawn By: J. Paschal

Prepared For: Ocean Park Land Surveying

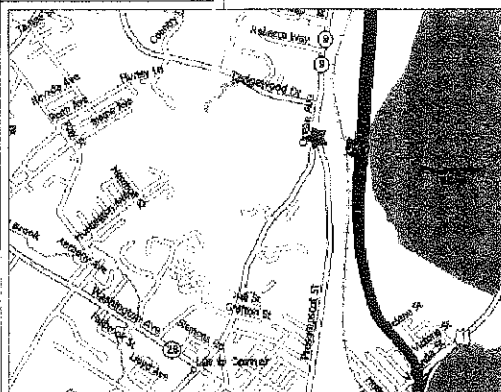
Scale: As Noted

Date: November 10, 2008

503-525 Presumpscot Street, Portland, Maine Construction Schedule

ID	Task Name	Start	Finish	Duration	Mar 2009			Apr 2009			May 2009				Jun 2009			Jul 2009			Aug 2009			Sep 2009			Oct 2009			Nov 2009			Dec 2009							
					3/1	3/8	3/15	3/22	3/29	4/5	4/12	4/19	4/26	5/3	5/10	5/17	5/24	5/31	6/7	6/14	6/21	6/28	7/5	7/12	7/19	7/26	8/2	8/9	8/16	8/23	8/30	9/6	9/13	9/20	9/27	10/4	10/11	10/18	10/25	11/1
1	Site Preparation	3/2/2009	3/20/2009	3w	█																																			
2	Site Work (Utilities)	3/16/2009	3/27/2009	2w	█																																			
3	Site Work (Paving/Grading)	3/30/2009	4/24/2009	4w	█																																			
4	Building Excavation	4/20/2009	5/1/2009	2w	█																																			
5	Site Work (Erosion Control)	4/27/2009	5/8/2009	2w	█																																			
6	Footing	5/11/2009	5/22/2009	2w	█																																			
7	ICF	5/18/2009	5/29/2009	2w	█																																			
8	Slab	6/1/2009	6/5/2009	1w	█																																			
9	Exterior Walls	6/8/2009	7/3/2009	4w	█																																			
10	Trusses	7/6/2009	7/17/2009	2w	█																																			
11	Roof Framing & Sheathing	7/20/2009	7/24/2009	1w	█																																			
12	Roofing	7/27/2009	8/7/2009	2w	█																																			
13	Exterior Siding	8/10/2009	8/14/2009	1w	█																																			
14	Electrical	8/17/2009	8/28/2009	2w	█																																			
15	Interior Finish	8/24/2009	9/4/2009	2w	█																																			
16	Bathrooms	9/7/2009	9/11/2009	1w	█																																			
17																																								
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SITE LOCATION MAP:



GENERAL NOTES:

- RECORD OWNER OF PARCEL: WILLIAM G. GRIBIZIS, BOOK 25407, PAGE 332 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
- BEARINGS ARE BASED UPON THE MAINE STATE GRID WEST ZONE NAD 83, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.

TWO PHOTO CONTROL POINTS WERE UTILIZED FOR THIS PROJECT'S HORIZONTAL DATUM. A SURVEY TACK IN THE TOP OF A FENCE POST WAS FOUND AND TIED TO ON THIS PLAN WITH AN AZIMUTH AND DISTANCE. THE SECOND CONTROL POINT UTILIZED WAS A P.K. NAIL FOUND IN A PAINTED AERIAL TARGET ON THE LEIGHTON ROAD NEAR ITS INTERSECTION WITH OCEAN AVENUE.

THE COORDINATES OF EACH ARE AS FOLLOWS:
TACK: NORTH=316320.27, EAST=2928188.38
P.K.NAIL - NORTH=316540.91, EAST=2927778.67
- ELEVATIONS ARE BASED UPON CITY OF PORTLAND DATUM. SAID ELEVATIONS WERE DERIVED FROM A DRILL HOLE IN LEDGE ON SOUTHERLY SIDELINE OF OCEAN AVENUE 30-FOOT EASTERLY HOUSE #805, ELEVATION IS 101.94'. SAID DRILL HOLE WAS REFERENCED IN CITY OF PORTLAND ENGINEERING LEVEL BOOK 237, PAGE 141.
- AREA OF SUBJECT PARCEL: 130817.7 SQ. FT. 3.00 ACRES
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) TOWER AREA SURVEY, PRESUMPSCOT STREET, PORTLAND MAINE, PREPARED FOR SIGNAL ACQUISITIONS IV LLC BY OWEN HASKELL INC. DATED 12-13-2006 SAID PLAN UNRECORDED AT THE TIME OF THIS SURVEY.
b.) PLAN OF LAND ON PRESUMPSCOT STREET PORTLAND, MAINE FOR MERRILL INDUSTRIES BY OWEN HASKELL, INC. SOUTH PORTLAND MAINE DATED 08-24-1982. SAID PLAN UNRECORDED AT THE TIME OF THIS SURVEY.
- THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY OTHER THAN THOSE SHOWN HEREON.

SEE THE LEASE AGREEMENT BETWEEN SAWDUST INVESTMENTS, LLC & A MAINE LIMITED LIABILITY COMPANY AND GLOBAL SIGNAL ACQUISITIONS IV LLC A DELAWARE LIMITED LIABILITY COMPANY DATED JANUARY 8, 2007 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24735, PAGE 177.
- EXISTING IMPERVIOUS SURFACE AREA = 2795.3 SQ. FT.
PROPOSED IMPERVIOUS AREA = 30924.6 SQ. FT.
AREA OF LOT = 130680 SQ. FT. SURFACE AREA
PERCENTAGE OF PROPOSED IMPERVIOUS AREA TO LOT = 23.7%



ZONING:

ZONE: IM - INDUSTRIAL, MODERATE IMPACT
 SETBACKS: FRONT - 25 FT.
 REAR - 25 FT (35 FT ABUTTING RESIDENTIAL)
 SIDE - 25 FT (35 FT ABUTTING RESIDENTIAL)
 PAVEMENT: 10 FT FROM BOUNDARY
 MINIMUM LOT SIZE: NONE
 MINIMUM STREET FRONTAGE: 60 FT
 MAXIMUM BUILDING HEIGHT: 45 FT
 MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 75%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 2C, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 8, 1990 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

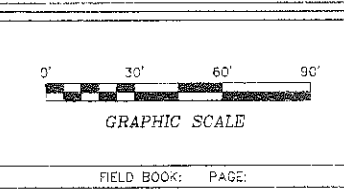
CRF ●	Capped 5/8" Rebar Found GREENLAW PLS # 2303.	(50.00')	Distance from reference Plan or deed.
IPF ●	Iron Pipe Found	N/F	Now Or Formerly
SMH ○	Sewer Manhole	12345/99	Deed Book/Page of Local Registry
WG ⊠	Water Gate	---	Course of Drainage Waterway
CB ⊠	Catch Basin	---	Edge of traveled way
---	Abutter Line	---	Overhead Utility
---	Property Line	---	Utility Pole
---	Street Line	---	Direction of Bearing
---	Setback Line	---	Indicates Ownership in Common
---	Old Lot Line	---	Proposed Contour Line
---	Contour Line	---	
---	Easement Line	---	

BOUNDARY SURVEY/SITE PLAN
PROPOSED NEW BUILDING AND ACCESS
503-525 PRESUMPSCOT STREET, PORTLAND, MAINE
 FOR: **WILLIAM GRIBIZIS**

REVISIONS:

REVISION: 06/17/2008	- ENGRIN-1 REVIEW AND STAMP.
REVISION: 06/06/2008	- ADDED PROPOSED STORAGE BUILDINGS, PARKING AND DRIVE.
REVISION: 11/09/2007	- ADDED DRAINAGE WATERWAY LABEL.
LOCATION: 503-525 PRESUMPSCOT STREET, PORTLAND, MAINE	

STATE OF MAINE, CUMBERLAND SS
 REGISTRY OF DEEDS
 RECEIVED: 2008
 AT: H J. M. AND RECORDED IN
 PLAN BOOK PAGE

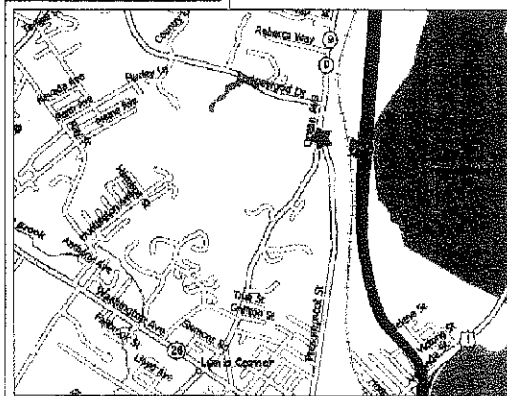


CERTIFICATE:
 I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
 a) NO WRITTEN REPORT
 b) NO NEW DESCRIPTION
 c) NO NEW CORNERS WERE SET
 ROBERT T. GREENLAW P.L.S., #2303
 REVISED: JUNE 17, 2008
 DATE: SEPTEMBER 26, 2007

PREPARED BY:
OCEAN PARK LAND SURVEYING, LLC
 P.O. BOX 7265
 OCEAN PARK, MAINE 04063
 207-749-9471 OCEANPARKLLC@GWI.NET

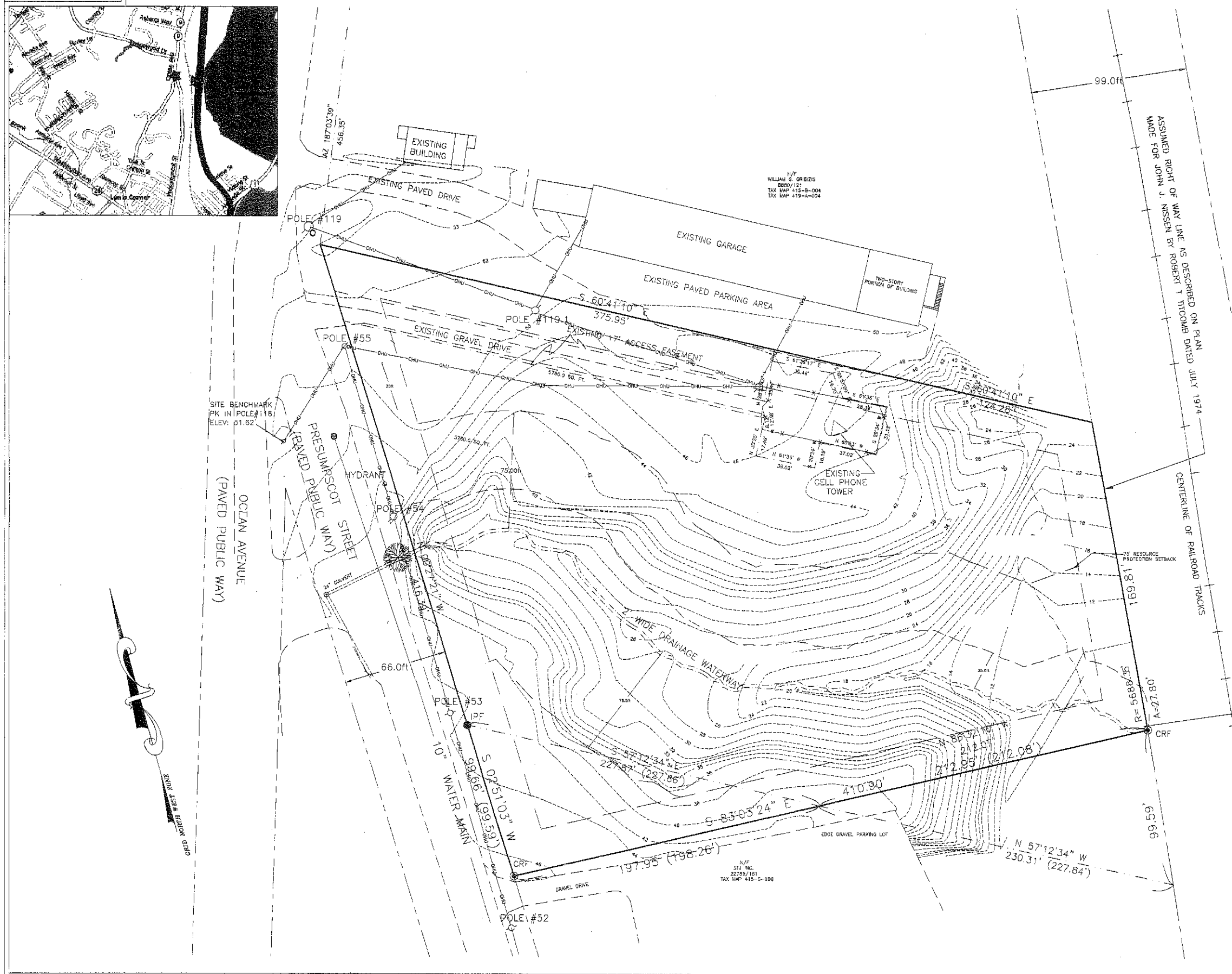
DRAWN BY: RTG / PJM
 CHECKED BY:
 SCALE: 1" = 30'
 DATE OF SURVEY: 09/16/2007
 JOB NUMBER: 2007104
 SHEET: 2 OF 3
 DRAWER: 2007 NO: 104

SITE LOCATION MAP:



GENERAL NOTES:

- RECORD OWNER OF PARCEL: WILLIAM G. GRIBIZIS, BOOK 25407, PAGE 332 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.). PARCEL IDENTIFIED ON CITY OF PORTLAND ASSESSORS PLAN NO. 415 BLOCK C LOT 6 AND NO. 418A BLOCK A LOT 5.
 - BEARINGS ARE BASED UPON THE MAINE STATE GRID WEST ZONE NAD 83. UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
- TWO PHOTO CONTROL POINTS WERE UTILIZED FOR THIS PROJECT'S HORIZONTAL DATUM. A SURVEY TACK IN THE TOP OF A FENCE POST WAS FOUND AND TIED TO ON THIS PLAN WITH AN AZIMUTH AND DISTANCE. THE SECOND CONTROL POINT UTILIZED WAS A P.K. NAIL FOUND IN A PAINTED AERIAL TARGET ON THE LEIGHTON ROAD NEAR IT'S INTERSECTION WITH OCEAN AVENUE.
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 - PLAN OF LAND ON PRESUMPSCOT STREET PORTLAND, MAINE FOR MERRILL INDUSTRIES BY OWEN HASKELL, INC. SOUTH PORTLAND MAINE DATED 08-24-1982. SAID PLAN UNRECORDED AT THE TIME OF THIS SURVEY.
 - THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY OTHER THAN THOSE SHOWN HEREON.
- SEE THE LEASE AGREEMENT BETWEEN SAWDUST INVESTMENTS, LLC A MAINE LIMITED LIABILITY COMPANY AND GLOBAL SIGNAL ACQUISITIONS IV LLC A DELAWARE LIMITED LIABILITY COMPANY DATED JANUARY 8, 2007 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24735, PAGE 177.



ZONING:

ZONE: IM - INDUSTRIAL, MODERATE IMPACT
SETBACKS: FRONT - 25 FT
REAR - 25 FT (35 FT ABUTTING RESIDENTIAL)
SIDE - 25 FT (35 FT ABUTTING RESIDENTIAL)
PAVEMENT: 10 FT FROM BOUNDARY
MINIMUM LOT SIZE: NONE
MINIMUM STREET FRONTAGE: 60 FT
MAXIMUM BUILDING HEIGHT: 45 FT
MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 75%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 2C, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 8, 1990 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

CRF	Capped 5/8" Rebar Found	(50.00') Distance from reference Plan or deed.
IPF	Iron Pipe Found	N/F Now Or Formerly
SMH	Sewer Manhole	12345/99 Deed Book/Page of Local Registry
WG	Water Gate	
CB	Catch Basin	
---	Abutter Line	--- Course of Drainage Waterway
---	Property Line	--- Edge of traveled way
---	Street Line	--- Overhead Utility
---	Setback Line	⊕ Utility Pole
---	Old Lot Line	→ Direction of Bearing
---	Contour Line	--- Indicates Ownership in Common

BOUNDARY SURVEY/SITE PLAN
EXISTING CONDITION
503-525 PRESUMPSCOT STREET, PORTLAND, MAINE
FOR: **WILLIAM GRIBIZIS**

REVISIONS:

REVISION: 11/09/2007 - ADDED DRAINAGE WATERWAY LABEL
LOCATION: 503-525 PRESUMPSCOT STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED 2008
AT : H .M. AND RECORDED IN
PLAN BOOK PAGE

GRAPHIC SCALE
0' 30' 40' 90'

FIELD BOOK: PAGE:

ROBERT T. GREENLAW #2303
PROFESSIONAL LAND SURVEYOR

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- NO WRITTEN REPORT
- NO NEW DESCRIPTION
- NO NEW CORNERS WERE SET

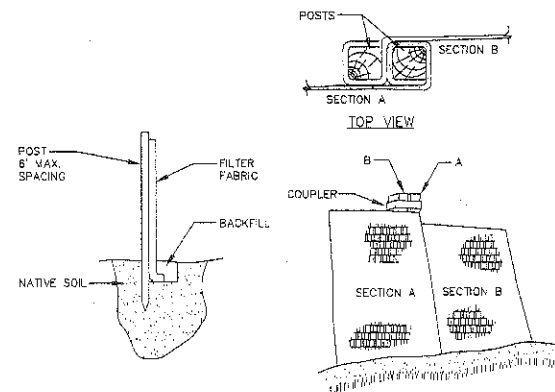
ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: NOVEMBER 9, 2007
DATE: SEPTEMBER 24, 2007

PREPARED BY:
BACK BAY BOUNDARY, INC.
LAND SURVEYING

643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346

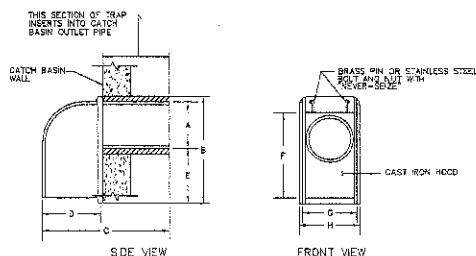
DRAWN BY: RTG / PJM
CHECKED BY: RTG
SCALE: 1" = 30'
DATE OF SURVEY: 09/16/2007
JOB NUMBER: 2007104
SHEET: 1 OF 3
DRAWER: 2007 NO: 104



INSTALLATION:

1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM, JOIN SECTION AS SHOWN ABOVE.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
5. BARRIER SHALL BE MIRAFI SILT FENCE OR APPROVED EQUAL.

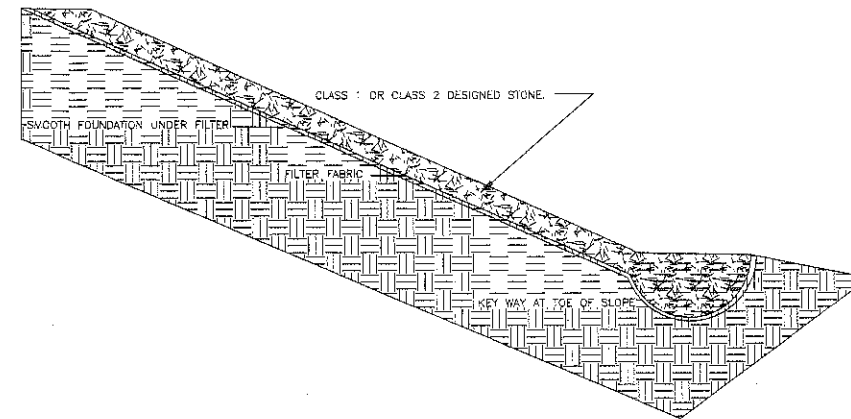
FILTER BARRIER
NOT TO SCALE



SIZE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
6 in. 1 1/2"	13 3/8"	13 3/4"	15 3/8"	15 3/4"	5 3/8"	5 3/4"	11 5/8"	11 3/4"	7 1/4"																	
8 in. 1 1/2"	14"	15 3/8"	15 1/2"	15 3/4"	5 3/8"	5 3/4"	11 5/8"	11 3/4"	8 3/8"																	
10 in. 1 1/2"	16"	16 1/4"	16"	16 1/4"	6"	6 1/4"	12 1/8"	12 1/4"	10 3/8"																	
12 in. 1 1/2"	17"	17 1/4"	17"	17 1/4"	6 1/2"	6 3/4"	12 1/8"	12 1/4"	11 3/8"																	

NOTE: CONTRACTOR SHALL UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY, OR AN APPROVED EQUIVALENT AS SUPPLIED BY THE LEBARON FOUNDRY, MODEL # L 202 "STANDARD CATCH BASIN TRAP"

CASCO TRAP DETAIL
NOT TO SCALE



INSTALL RIPRAP WITHIN 24 HOURS OF COMPLETING THE FINAL GRADING OF THE SLOPE. THE MINIMUM RIPRAP SIZE IS D50 WHICH IS 4 INCHES. THE D50 REFERS TO THE MEDIAN DIAMETER OF THE STONE. MAKE THE RIPRAP LAYER 2.25 TIMES THE RIP RAP STONES THICKNESS. THE MINIMUM THICKNESS FOR A D50 OF 4 INCHES WOULD BE 9 INCHES.

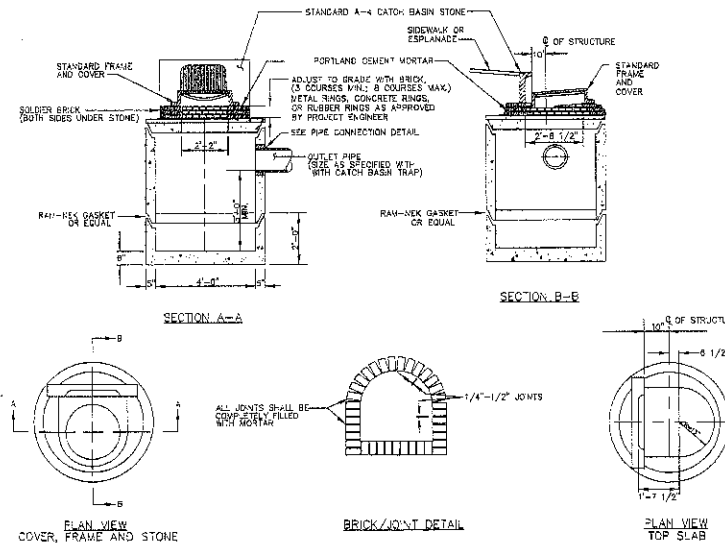
REMOVE BRUSH, TREES, STUMPS AND OTHER OBJECTIONABLE MATERIAL. COMPACT THE SUBGRADE TO A DENSITY APPROXIMATING THAT OF THE SURROUNDING UNDISTURBED MATERIAL. INSTALL A GEOTEXTILE FILTER CLOTH ON THE GRADED SLOPE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE UPPER END OF THE GEOTEXTILE SHOULD BE BURIED AND THE LOWER END SHOULD BE TOED IN.

KEY IN THE RIPRAP AT THE TOE OF THE SLOPE USING A TRENCH AT LEAST ONE FOOT DEEP. START PLACING THE STONES AT THE BOTTOM OF THE TOE OF TRENCH AND WORK UPWARDS TO THE TOP OF THE SLOPE. THE STONE MUST COMPLETELY COVER THE UNDERLYING FABRIC.

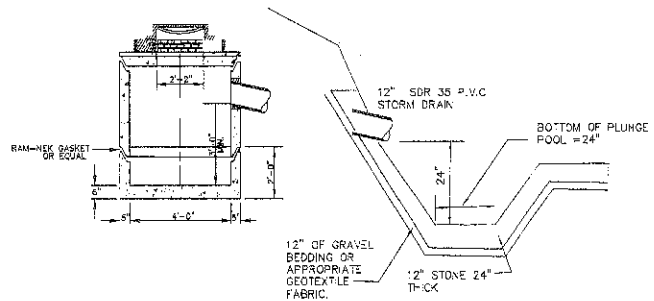
MAINTENANCE:
THE FIRST YEAR AFTER INSTALLATION, INSPECT ON A MONTHLY BASIS THE RIPRAP SLOPE FOR SLUMPING AND LOSS OF STONES. FIX THE PROBLEMS AS SOON AS POSSIBLE. AFTER THE FIRST YEAR INSPECT THE RIPRAP YEARLY.

1: 1-1/2 RIP-RAP SLOPE DETAIL

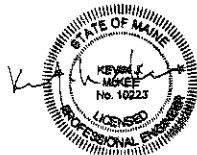
N.T.S.



PRECAST CONCRETE CATCH BASIN - TYPE "E"
NOT TO SCALE



PLUNGE POOL DETAIL WITH TYPE "E" CATCH BASIN
NOT TO SCALE



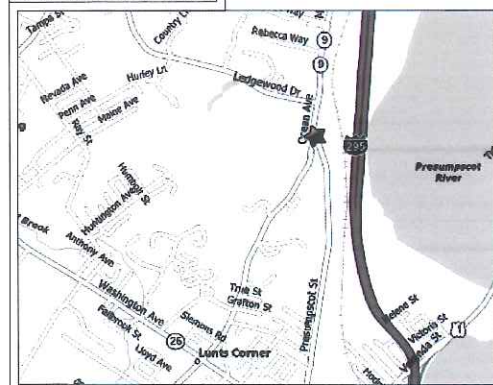
DETAIL SHEET
PROPOSED NEW BUILDING AND ACCESS
503-525 PRESUMPCOT STREET, PORTLAND, MAINE
FOR: **WILLIAM GRIBIZIS**

PREPARED BY:
OCEAN PARK LAND SURVEYING, LLC

P.O. BOX 7265
OCEAN PARK, MAINE 04063
207-749-9471 OCEANPARKLLC@GWI.NET

DRAWN BY: RTG	CHECKED BY: RTG
SCALE: NTS	DATE OF SURVEY: 09/16/2007
JOB NUMBER: 2007104	SHEET: 3 OF 3
DRAWER: 2007 NO: 104	

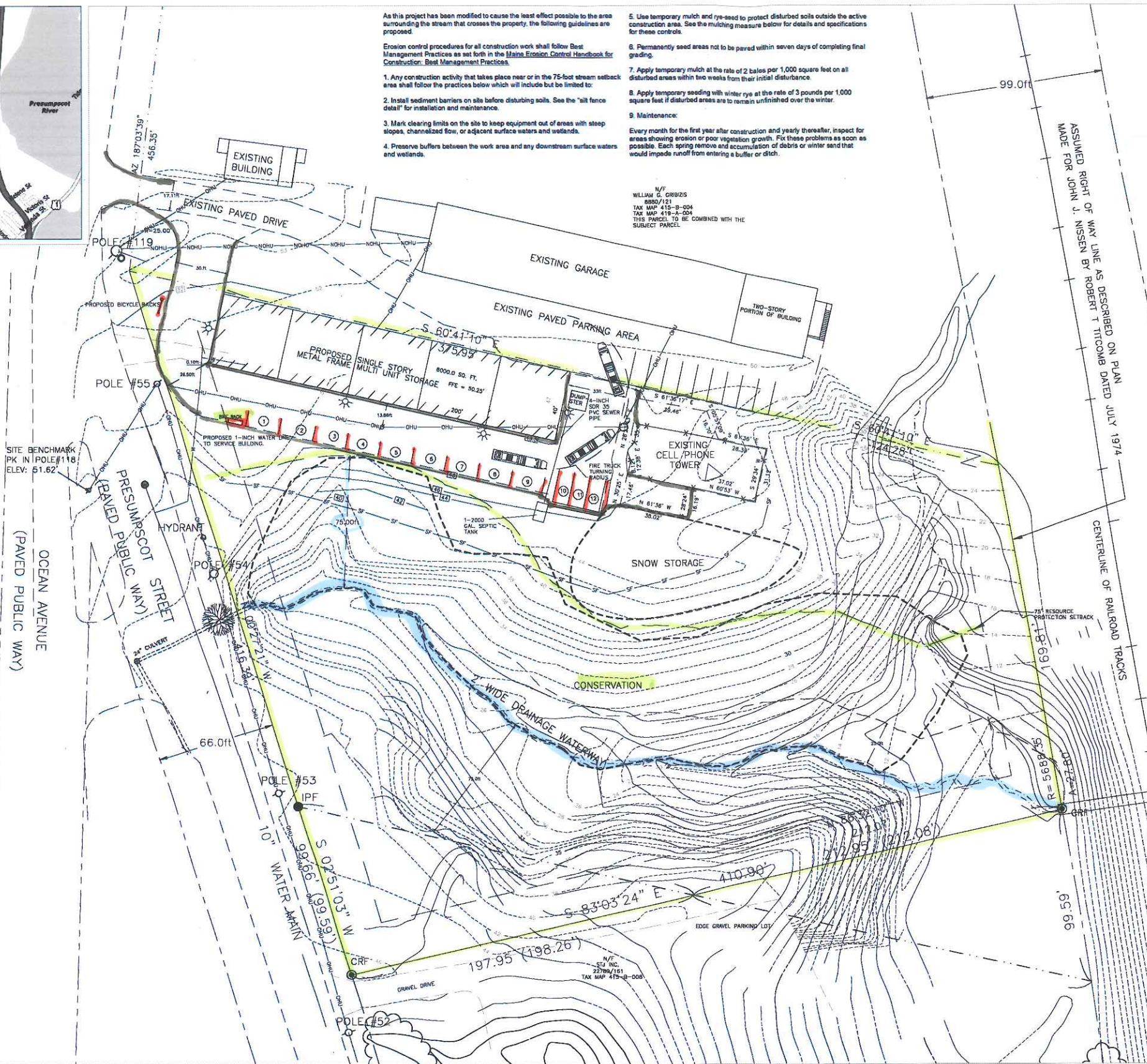
SITE LOCATION MAP:



As this project has been modified to cause the least effect possible to the area surrounding the stream that crosses the property, the following guidelines are proposed:

1. Any construction activity that takes place near or in the 75-foot stream setback area shall follow the practices below which will include but be limited to:
 2. Install sediment barriers on site before disturbing soils. See the "a" fence detail" for installation and maintenance.
 3. Mark clearing limits on the site to keep equipment out of areas with steep slopes, channelized flow, or adjacent surface waters and wetlands.
 4. Preserve buffers between the work area and any downstream surface waters and wetlands.
5. Use temporary mulch and re-seed to protect disturbed soils outside the active construction area. See the mulching measure below for details and specifications for these controls.
6. Permanently seed areas not to be paved within seven days of completing final grading.
7. Apply temporary mulch at the rate of 2 bales per 1,000 square feet on all disturbed areas within two weeks from their initial disturbance.
8. Apply temporary seeding with winter rye at the rate of 3 pounds per 1,000 square feet if disturbed areas are to remain unfinished over the winter.
9. Maintenance:
 - Every month for the first year after construction and yearly thereafter, inspect for areas showing erosion or poor vegetation growth. Fix these problems as soon as possible. Each spring remove and accumulation of debris or winter sand that would impede runoff from entering a buffer or ditch.

N/F
WILLIAM G. GRIBIZIS
8880/121
TAX MAP 415-B-004
TAX MAP 419-A-004
THIS PARCEL TO BE COMBINED WITH THE SUBJECT PARCEL.



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: WILLIAM G. GRIBIZIS, BOOK 25407, PAGE 332 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON THE MAINE STATE GRID WEST ZONE NAD 83, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
TWO PHOTO CONTROL POINTS WERE UTILIZED FOR THIS PROJECT'S HORIZONTAL DATUM. A SURVEY TACK IN THE TOP OF A FENCE POST WAS FOUND AND TIED TO ON THIS PLAN WITH AN AZIMUTH AND DISTANCE. THE SECOND CONTROL POINT UTILIZED WAS A P.K. NAIL FOUND IN A PAINTED AERIAL TARGET ON THE LEIGHTON ROAD NEAR IT'S INTERSECTION WITH OCEAN AVENUE.
THE COORDINATES OF EACH ARE AS FOLLOWS:
TACK: NORTH-316320.27, EAST-2928188.38
P.K.NAIL - NORTH-316540.91, EAST-2927778.67
ELEVATIONS ARE BASED UPON CITY OF PORTLAND DATUM. SAID ELEVATIONS WERE DERIVED FROM A DRILL HOLE IN LEDGE ON SOUTHERLY SIDELINE OF OCEAN AVENUE 30-FEET EASTERLY HOUSE #805, ELEVATION IS 101.94'. SAID DRILL HOLE WAS REFERENCED IN CITY OF PORTLAND ENGINEERING LEVEL BOOK 237, PAGE 141.
3. AREA OF SUBJECT PARCEL: 130817.7 SQ. FT. 3.00 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) TOWER AREA SURVEY, PRESUMPSOT STREET, PORTLAND MAINE, PREPARED FOR SIGNAL ACQUISITIONS IV LLC BY OWEN HASKELL INC. DATED 12-13-2006 SAID PLAN UNRECORDED AT THE TIME OF THIS SURVEY.
b.) PLAN OF LAND ON PRESUMPSOT STREET PORTLAND, MAINE FOR MERRILL INDUSTRIES BY OWEN HASKELL, INC. SOUTH PORTLAND MAINE DATED 08-24-1982. SAID PLAN UNRECORDED AT THE TIME OF THIS SURVEY.
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY OTHER THAN THOSE SHOWN HEREON.
SEE THE LEASE AGREEMENT BETWEEN SAWDUST INVESTMENTS, LLC II A MAINE LIMITED LIABILITY COMPANY AND GLOBAL SIGNAL ACQUISITIONS IV LLC A DELAWARE LIMITED LIABILITY COMPANY DATED JANUARY 8, 2007 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24735, PAGE 177.
6. EXISTING IMPERVIOUS SURFACE AREA = 2795.3 SQ. FT.
PROPOSED IMPERVIOUS AREA = 19533.0 SQ. FT.
AREA OF LOT = 130680 SQ. FT. SURFACE AREA
PERCENTAGE OF PROPOSED IMPERVIOUS AREA TO LOT = 14%

ZONING:

ZONE: IM - INDUSTRIAL, MODERATE IMPACT
SETBACKS: FRONT - 25 FT
REAR - 25 FT (35 FT ABUTTING RESIDENTIAL)
SIDE - 25 FT (35 FT ABUTTING RESIDENTIAL)
PAVEMENT: 10 FT FROM BOUNDARY
MINIMUM LOT SIZE: NONE
MINIMUM STREET FRONTAGE: 60 FT
MAXIMUM BUILDING HEIGHT: 45 FT
MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 75%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051-2C, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 8, 1990 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

- | | | | |
|-------|--|----------|---------------------------------------|
| CRF ● | Capped 5/8" Rebar Found GREENLAW PLS # 2303. | (50.00') | Distance from reference Plan or deed. |
| IPF ● | Iron Pipe Found | N/F | Now Or Formerly |
| SMH ● | Sewer Manhole | 12345/99 | Deed Book/Page of Local Registry |
| WG ● | Water Gate | --- | Course of Drainage Waterway |
| CB □ | Catch Basin | --- | Edge of traveled way |
| --- | Abutter Line | --- | Overhead Utility |
| --- | Property Line | ○ | Utility Pole |
| --- | Street Line | → | Direction of Bearing |
| --- | Setback Line | --- | Old Lot Line |
| --- | Edge Gravel Parking Lot | Z | Indicates Ownership in Common |
| --- | Gravel Drive | --- | Proposed Contour Line |

BOUNDARY SURVEY/SITE PLAN
PROPOSED NEW BUILDING AND ACCESS
503-525 PRESUMPSOT STREET, PORTLAND, MAINE
FOR: **WILLIAM GRIBIZIS**

REVISIONS:

REVISION: 10/28/2008 - REDUCED BUILDINGS TO ONE AND MISC CHANGES & ADDED LIGHTING PLAN
REVISION: 06/17/2008 - ENGINEER REVIEW AND STAMP.
REVISION: 06/05/2008 - ADDED PROPOSED STORAGE BUILDINGS, PARKING AND DRIVE.
REVISION: 11/09/2007 - ADDED DRAINAGE WATERWAY LABEL

LOCATION: 503-525 PRESUMPSOT STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED: 2008
AT: H. M. AND RECORDED IN
PLAN BOOK: PAGE

GRAPHIC SCALE: 0' 30' 60' 90'

FIELD BOOK: PAGE:

STATE OF MAINE
ROBERT T. GREENLAW
#2303
PROFESSIONAL LAND SURVEYOR

KEVIN J. McKEE P.E.
ME. P.E. REG. # 10223

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- NO WRITTEN REPORT
- NO NEW DESCRIPTION
- NO NEW CORNERS WERE SET

ROBERT T. GREENLAW P.L.S., #2303
REVISED: OCTOBER 28, 2008
DATE: SEPTEMBER 24, 2007

PREPARED BY:
OCEAN PARK LAND SURVEYING, LLC

P.O. BOX 7265
OCEAN PARK, MAINE 04063
207-749-9471 OCEANPARKLLC@GWI.NET

DRAWN BY: RTG
CHECKED BY: KMcK
SCALE: 1" = 30'
DATE OF SURVEY: 08/16/2007
JOB NUMBER: 2007104
SHEET: 2 OF 4
DRAWER: 2007 NO: 104