

Applicant: Michael Galli

Date: 8/6/14

Address: 37 Ice Pond Rd (L711)

C-B-L: #14-A-021

CHECK-LIST AGAINST ZONING ORDINANCE (2014-01737)

Date - PART of OLD Barn Estates Subdivision

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - <sup>home</sup> construct 2 story with 1 story garage Single Family Dweller

Sevage Disposal - ~~leach field~~ leach field front porch

Lot Street Frontage - 50' min -  $\approx$  117' shown

Front Yard - 25' min setback - 38.71' scaled

Rear Yard - 25' min - 86.78'

Side Yard - 2 story - 23' on left side - 38.50' on RT side

Projections - front porch with step down - REAR Deck 11'-7" x 12'-8 1/4" - Bay window in rear

Width of Lot - 65' min - 117.7' scaled

Height - 45' MAX - 26' to 1/2 to ridge

Lot Area - 6,500 sq ft - 20,118.89 sq ft given

Lot Coverage Impervious Surface - 35% min - or 7041.6 sq ft MAX - HAS 2,139 sq ft

Area per Family - 6,500 sq ft min - has - 20,118.89 sq ft given

Off-street Parking - 2 car garage shown

Loading Bays - N/A

Site Plan - Subdivision 2012-584

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - zone X

HAS A rear NO Ditch storm water Buffer

HAS leach field - ? HHE-200 8/20/14 received  
Copy of Deed - ok received

8/20/14  
Plan  
has diff rear  
Deck on top  
with tubes

8/19/14

**WARRANTY DEED**  
(Maine Statutory Short Form)

**KNOW ALL PERSONS BY THESE PRESENTS** that **TPO PROPERTIES, LLC**, a Maine Limited Liability Company, with a place of business in the Town of Falmouth, County of Cumberland, State of Maine, for consideration paid **GRANTS** with warranty covenants to: **MICHAEL GALLI** and **MICHAEL A. NAPPI**, whose mailing address is 46 Watson Street, Portland, ME 04103, as tenants in common.

The following real estate situated in the City of Portland, County of Cumberland, State of Maine, described as follows:

Lot 11 as shown on a plan entitled "Subdivision Recording Plan 1 Old Barn Estates Ocean Ave. & Ledgewood Drive, Portland and Falmouth, Maine" made for TPO Properties, LLC, 30 Ledgewood Drive, Falmouth, Maine by Cullenberg Land Surveying, 892 Old Danville Road, Auburn, Maine 04210, dated February 8, 2013, last revised 3/19/13, recorded in the Cumberland County Registry of Deeds in **Plan Book 213, Page 200**, and a plan entitled "Old Barn Estates 1062 Ocean Avenue, Portland, Maine Subdivision Plan Recording Plan 2 of 2", prepared by Land Design Solutions, P.O. Box 316, 160 Longwoods road, Cumberland, ME 04081, dated May 2012, last revised 3/15/13, and recorded in the Cumberland County Registry of deeds in **Plan Book 213, Page 201**, (hereinafter "the Plans"), to which plans reference is hereby made for a more particular description of the lot herein described.

SUBJECT, HOWEVER, the following:

1. All general notes, easements, facts and other matters shown on "Subdivision Recording Plan 1 Old Barn Estates Ocean Ave. & Ledgewood Drive, Portland & Falmouth, Maine" and "Old Barn Estates 1062 Ocean Avenue, Portland, Maine Subdivision Plan Recording Plan 2 of 2", (hereinafter "Old Barn Estates"), recorded in the Cumberland County Registry of Deeds in Plan Book 213, Page 200 and Plan Book 213, Page, 201 respectively.
2. The Declaration of Restrictions and Covenants, Old Barn Estates recorded in the Cumberland County Registry of Deeds in Book 31011, Page 232, which are incorporated by reference as if fully set forth herein.
3. Grantee(s) for themselves, their heirs, successors and assigns, by acceptance of this Deed shall become members of the Old Barn Estates Homeowners Association whose Bylaws dated May 23, 2013, are recorded in the Cumberland County Registry of Deeds in Book 30668, Page 61.
4. The "Tree Save" areas depicted on Lots 2, 3, 4, 5, 6, 7, 8 and 16, shall be subject to the restrictions and limitations described herein which shall run with the land, and, unless the owner of said Lot(s) obtains the prior written approval from the City of Portland, Maine, the Tree Save areas shall remain undeveloped in perpetuity. Said restrictions and limitations shall not apply to the removal of invasive species, tree hazards and the creation of fill slopes associated with the construction of subsurface waste water disposal system leach fields (see Plan C-101 for

re-vegetation of fill slopes). Tree Save area shall be identified by the Lot owner on each lot prior to the commencement of construction.

a. No, soil, loam, peat, sand, gravel, concrete, rock or other mineral substance, refuse, trash, vehicle bodies or parts, rubbish, debris, junk, waste, pollutants or other fill material may be placed stored or dumped on the Tree Save Area, nor may the topography of the area be altered or manipulated in any way.

b. No undergrowth, ground cover vegetation, leaf litter, organic duff layer or mineral soil may be disturbed.

c. No trucks, cars, dirt bikes, all terrain vehicles, or other motorized vehicles or mechanical devices may be permitted in the Tree Save Area

d. No trees may be cut or sprayed with biocides except for the normal maintenance of dead, windblown or damaged trees and, for pruning of tree branches below a height of 12 feet provided two thirds of the tree's canopy is maintained.

e. No building or other temporary or permanent structure may be constructed, placed or permitted to remain on the Tree Save area except for a sign, utility pole or fence.

f. Any level lip spreader directing flow to the Tree Save Area must be regularly inspected and adequately maintained to preserve the function of the level spreader.

e. The re-vegetation of leach field fill slopes and the removal of tree hazards and invasive species, the responsibility of the individual lot owner.

5. The "No Disturb Storm Water Buffer" areas as depicted on Lots 3, 4, 5, 6, 9 10, 11, 12, 13, and 16 of Old Barn Estates, shall not be disturbed with the exception of the removal of invasive species, tree hazards and the fill slopes associated with the construction of the subsurface waste water disposal systems and for re-vegetation of said fill slopes as shown on Plan C-101. Storm water buffer areas shall be identified on each lot prior to the commencement of construction. The re-vegetation of leach field fill slopes is the responsibility of the individual lot owner.

6. A trail easement from TPO Properties, LLC to the Falmouth Land Trust as shown on the Plans to be recorded in the Cumberland County Registry of Deeds.

7. Those rights and easement granted to the City of Portland, and Town of Falmouth dated May 23, 2013, and recorded in the Cumberland County Registry of Deeds in Book 30668 Page 76.

8. Certain rights and easements granted by TPO Properties, LLC to the Old Barn Estates Homeowners Association, by deed dated May 23, 2013, and recorded in the Cumberland County Registry of Deeds in Book30668, Page 78.

For Grantor's source of title, reference is made to a deed from the Estate of Dale Williams to TPO Properties, LLC dated September 30, 2011, recorded in the Cumberland County Registry of Deeds in Book 29002, Page 153, and from MECAP, LLC to TPO Properties, LLC dated June 29, 2011, and recorded in said registry of deeds in Book 28797, Page 218.

IN WITNESS WHEREOF, Timothy P. O'Donovan, a Member and duly authorized representative of TPO Properties, LLC, has hereunto set his hand and seal this \_\_\_\_ day of June, 2014.

TPO Properties, LLC

\_\_\_\_\_  
Witness

\_\_\_\_\_  
By: Timothy P. O'Donovan  
Its: Member

STATE OF MAINE  
CUMBERLAND, ss.

June \_\_\_\_, 2014

Personally appeared the above named Timothy P. O'Donovan and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of TPO Properties, LLC.

\_\_\_\_\_  
Notary Public/Attorney at Law



\*0599900\*

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**RETTD**

**MAINE REVENUE SERVICES  
REAL ESTATE TRANSFER TAX  
DECLARATION**

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

**PLEASE TYPE OR PRINT CLEARLY**

1. COUNTY **DO NOT USE RED INK!**

CUMBERLAND

2. MUNICIPALITY/TOWNSHIP

PORTLAND

BOOK/PAGE—REGISTRY USE ONLY

3. GRANTEE/  
PURCHASER

3a) Name (LAST, FIRST, MI)  
GALLI, MICHAEL

3b) SSN or Federal ID

3c) Name (LAST, FIRST, MI)  
NAPPI, MICHAEL A.

3d) SSN or Federal ID

3e) Mailing Address  
46 WATSON STREET

3f) City  
PORTLAND

3g) State ME 3h) Zip Code 04103

4. GRANTOR/  
SELLER

4a) Name (LAST, FIRST, MI)  
TPO PROPERTIES, LLC

4b) SSN or Federal ID  
01-0756577

4c) Name (LAST, FIRST, MI)

4d) SSN or Federal ID

4e) Mailing Address  
30 LEDGEWOOD DR.

4f) City  
FALMOUTH

4g) State ME 4h) Zip Code 04105

5. PROPERTY

5a) Map 414 - Block - Lot A21 - Sub-Lot

Check any that apply:

5b) Type of property—Enter the code number that best describes the property being sold. (See Instructions) 102

5c) Physical Location  
LOT 11, OLD BARN ESTATES

- No tax maps exist
- Multiple parcels
- Portion of parcel

5d) Acreage:

6. TRANSFER  
TAX

6a) Purchase Price (If the transfer is a gift, enter "0") 6a \$ 115000.00

6b) Fair Market Value (enter a value only if you entered "0" in 6a) or if 6a) was of nominal value) 6b \$ .00

6c) Exemption claim -  Check the box if either grantor or grantee is claiming exemption from transfer tax and explain.

7. DATE OF TRANSFER (MM-DD-YYYY)

MONTH DAY YEAR

8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use.

CLASSIFIED

9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain:

10. INCOME TAX WITHHELD—Buyer(s) not required to withhold Maine income tax because:

- Seller has qualified as a Maine resident
- A waiver has been received from the State Tax Assessor
- Consideration for the property is less than \$50,000

11. OATH

Aware of penalties as set forth by Title 36 §4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below:

Grantee \_\_\_\_\_ Date \_\_\_\_\_ Grantor \_\_\_\_\_ Date \_\_\_\_\_  
Grantee \_\_\_\_\_ Date \_\_\_\_\_ Grantor \_\_\_\_\_ Date \_\_\_\_\_

12. PREPARER

Name of Preparer Joseph R. Mazziotti Phone Number 207-775-3148

Mailing Address P.O. Box 1319 E-Mail Address jrm@deeringtitle.me  
Portland, ME 04104

under 201401849

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Maine Department of Human Services  
 Division of Health Engineering, Station 10  
 (207) 287-3672 Fax: (207) 287-3165

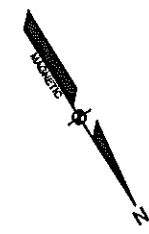
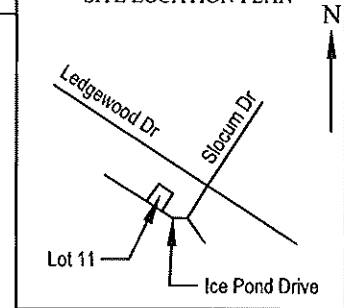
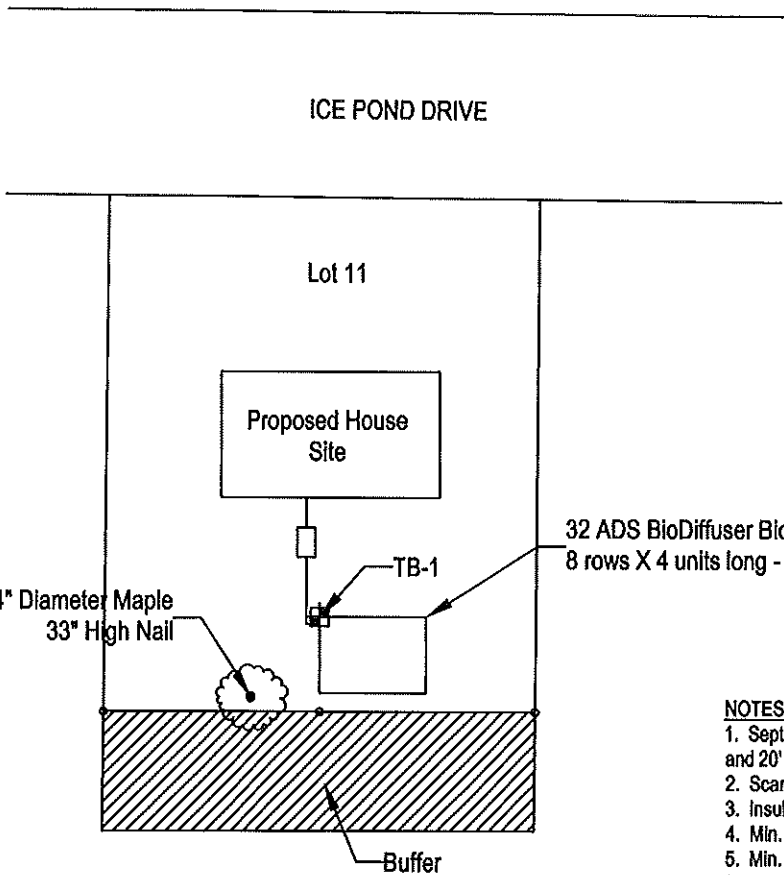
Town, City, Plantation  
 Portland

Street, Road, Subdivision  
 Ice Pond Drive

Owner or Applicant Name  
 Tim O'Donovan

**SITE PLAN** Scale 1" = 50 ft.

**SITE LOCATION PLAN**



32 ADS BioDiffuser Blo 2 Plastic Chambers  
 8 rows X 4 units long - [ 20'-6" x 29' ]

- NOTES:**
1. Septic tank and disposal field must be located at least 8' and 20' from foundation.
  2. Scarify all ground to be filled.
  3. Insulate the Distribution Box (D-Box).
  4. Min. 1/4"/ft (2%) pitch of pipe from building to septic tank.
  5. Min. 1/8"/ft (1%) pitch of pipe from septic tank to disposal field.

**SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)**

Observation Hole # TB-1     Test Pit     Boring

\_\_\_\_\_ " Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0			Dark Brown	
6		Friable		
12			Reddish Brown	
18	Sandy Loam			
24			Olive Brown	Common & Faint
30		Firm		
36	36 inches			
42				
48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input checked="" type="checkbox"/> Bedrock
3	All	5	36"	

Observation Hole # \_\_\_\_\_     Test Pit     Boring

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Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock

*Richard O'Donovan*  
 Site Evaluator Signature

034  
 SE #

06/17/14  
 Date

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Maine Department of Human Services  
 Division of Health Engineering, Station 10  
 (207) 287-3672 Fax: (207) 287-3163

Town, City, Plantation  
 Portland

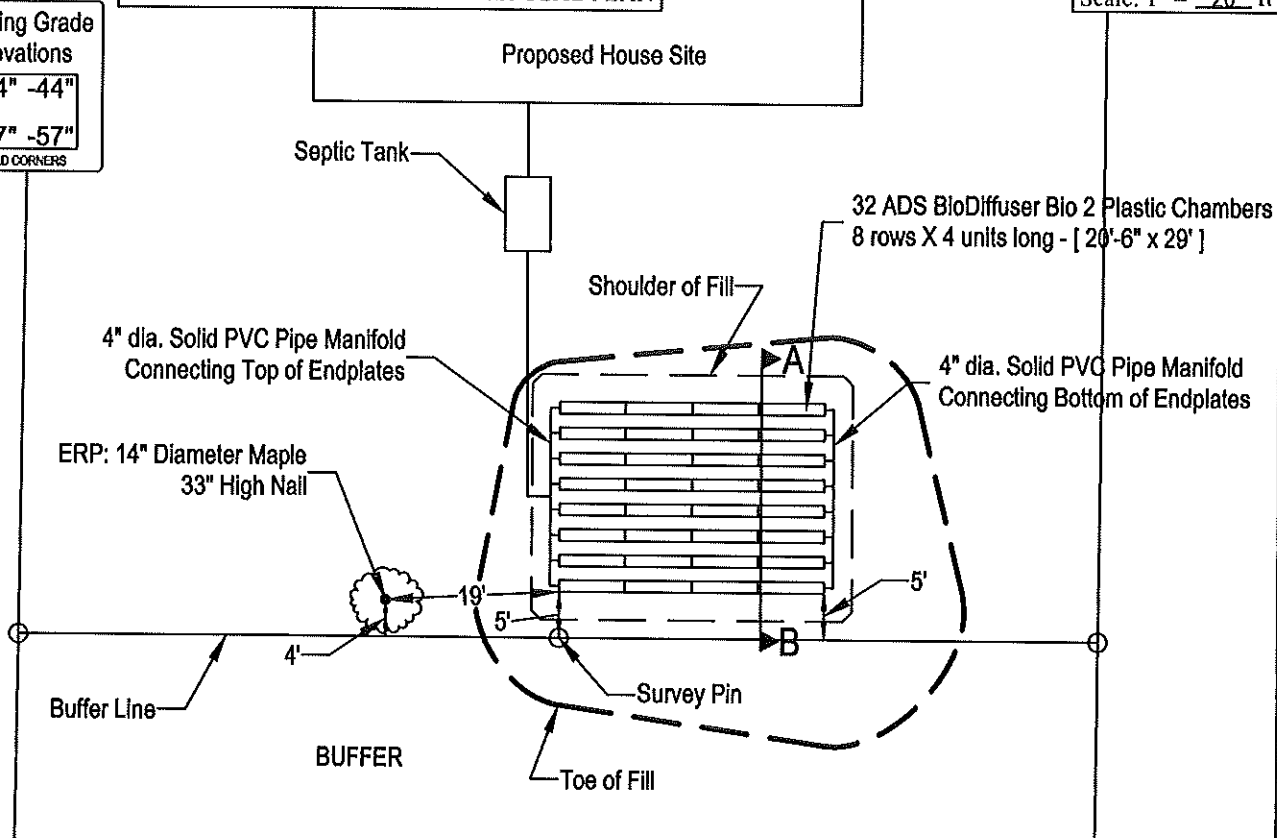
Street, Road, Subdivision  
 Ice Pond Drive

Owner or Applicant Name  
 Tim O'Donovan

**SUBSURFACE WASTEWATER DISPOSAL PLAN**

Scale: 1" = 20 ft

**Existing Grade Elevations**  
 -34" -44"  
 -47" -57"  
 FIELD CORNERS



**BACKFILL REQUIREMENTS**

**CONSTRUCTION ELEVATIONS**

**ELEVATION REFERENCE POINT**  
 Location & Description: 14" Diameter Maple  
 33" High Nail

Depth of Backfill (upslope) 8-18"  
 Depth of Backfill (downslope) 21-31"

Finished Grade Elevation (at Row 1) -26"  
 Top of Proprietary Device (at Row 1) -34"  
 Bottom of Disposal Field (at Row 1) -46"

Reference Elevation is 0.0" or: \_\_\_\_\_

**NOTE: SCARIFY ALL GROUND SURFACE TO BE FILLED. USE GRAVELLY COARSE SAND WITHIN 3' OF CHAMBERS. REMAINING FILL: LOAMY SAND (no clay)**

**DISPOSAL FIELD CROSS SECTION**

ROW #	1	2	3	4	5	6	7	8
TOP	-34"	-34"	-34"	-34"	-34"	-34"	-34"	-34"
BOTTOM	-46"	-46"	-46"	-46"	-46"	-46"	-46"	-46"

TOP OF ROW #1 INLET AT -34.4"

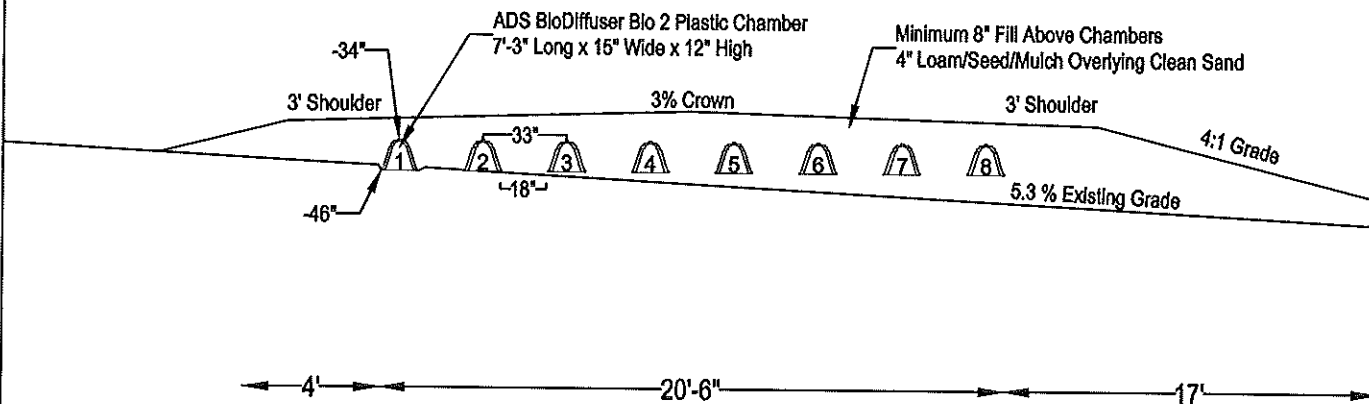
**APPROXIMATE ABOVE GRADE FILL REQUIRED**  
 31.6 cubic yards of LOAM  
 63.1 cubic yards of SAND  
 Compaction: +20% Loam & +15% Sand  
 Volume of chambers not considered

Scales:

Verticle: 1" = 6  
 Horizontal: 1" = 6

A

B



*Richard O'Donovan*  
 Site Evaluator Signature

034  
 SE #

06/17/14  
 Date

Page 3 of 3  
 HHE-200 Rev. 10/02


# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services  
Division of Health Engineering, 10 SHS  
(207) 287-5672 Fax: (207) 287-3165

<b>PROPERTY LOCATION</b>		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	Portland	Town/City _____	Permit # _____
Street or Road	Ice Pond Drive	Date Permit Issued ____/____/____	Fee: \$ _____ Double Fee Charged <input type="checkbox"/>
Subdivision, Lot #	Lot 11	_____ L.P.I. # _____	
<b>OWNER/APPLICANT INFORMATION</b>		Local Plumbing Inspector Signature _____	
Name (last, first, MI)	O'Donovan, Tim	<input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Mailing Address of Owner/Applicant		The Subsurface Wastewater Disposal System shall not be installed until a Permit is Issued by the Local Plumbing Inspector. This Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Daytime Tel. #		Municipal Tax Map # _____ Lot # _____	
<b>OWNER OR APPLICANT STATEMENT</b> I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		<b>CAUTION: INSPECTION REQUIRED</b> I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____ Date _____		Local Plumbing Inspector Signature _____ (1st) date approved _____	

<b>PERMIT INFORMATION</b>		
<b>TYPE OF APPLICATION</b>	<b>THIS APPLICATION REQUIRES</b>	<b>DISPOSAL SYSTEM COMPONENTS</b>
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type replaced: _____ Year installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. <25% Expansion <input type="checkbox"/> b. >= 25% Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components
<b>SIZE OF PROPERTY</b>	<b>DISPOSAL SYSTEM TO SERVE</b>	<b>TYPE OF WATER SUPPLY</b>
20,000 <input checked="" type="checkbox"/> SQ. FT. <input type="checkbox"/> ACRES	<input checked="" type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: <u>3</u> <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input type="checkbox"/> 3. Other: _____ (specify) Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	<input type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other
<b>SHORELAND ZONING</b>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

<b>DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)</b>			
<b>TREATMENT TANK</b>	<b>DISPOSAL FIELD TYPE &amp; SIZE</b>	<b>GARBAGE DISPOSAL UNIT</b>	<b>DESIGN FLOW</b>
<input checked="" type="checkbox"/> 1. Concrete <input type="checkbox"/> a. Regular <input type="checkbox"/> b. Low Profile <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY: <u>1,000</u> GAL	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device <input type="checkbox"/> a. cluster array <input type="checkbox"/> c. Linear <input checked="" type="checkbox"/> b. regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE: <u>922</u> <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft.	<input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. multi-compartment tank <input type="checkbox"/> b. _____ tanks in series <input type="checkbox"/> c. Increase in tank capacity <input type="checkbox"/> d. Filter on Tank Outlet	<u>279</u> gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input type="checkbox"/> 2. Table 4C (other facilities) SHOW CALCULATIONS — for other facilities —
<b>SOIL DATA</b>	<b>DISPOSAL FIELD SIZING</b>	<b>EFFLUENT/EJECTOR PUMP</b>	<b>ATTACH WATER METER DATA</b>
PROFILE <u>3</u> CONDITION <u>AIII</u> at Observation Hole # <u>TP-1</u> Depth <u>36</u> " of Most Limiting Soil Factor Bedrock	<input type="checkbox"/> 1. Medium---2.6 sq. ft. / gpd <input checked="" type="checkbox"/> 2. Medium---Large 3.3 sq. ft. / gpd <input type="checkbox"/> 3. Large---4.1 sq. ft. / gpd <input type="checkbox"/> 4. Extra Large---5.0 sq. ft. / gpd	<input checked="" type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May Be Required <input type="checkbox"/> 3. Required Specify only for engineered systems: DOSE: _____ gallons	<input type="checkbox"/> 3. Section 4G (meter readings) LATITUDE AND LONGITUDE at center of disposal area Lat. <u>N43</u> d <u>42</u> m <u>07.71</u> s Lon. <u>W70</u> d <u>15</u> m <u>54.64</u> s if g.p.s. state margin of error: <u>20</u>

<b>SITE EVALUATOR STATEMENT</b>		
I certify that on <u>06-09-14</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).		
 Site Evaluator Signature	<u>034</u> SE #	<u>06/17/14</u> Date
<u>Richard A. Sweet</u> Site Evaluator Name Printed	<u>797-2110</u> Telephone Number	<u>dick@sweetassociates.com</u> Email Address



**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Maine Department of Human Services  
Division of Health Engineering, Station 10  
(207) 287-3672 Fax: (207) 287-3165

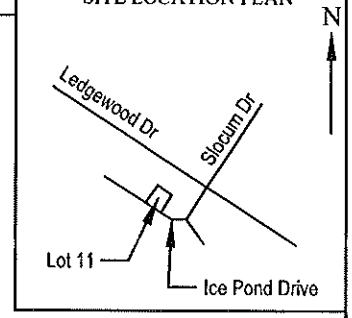
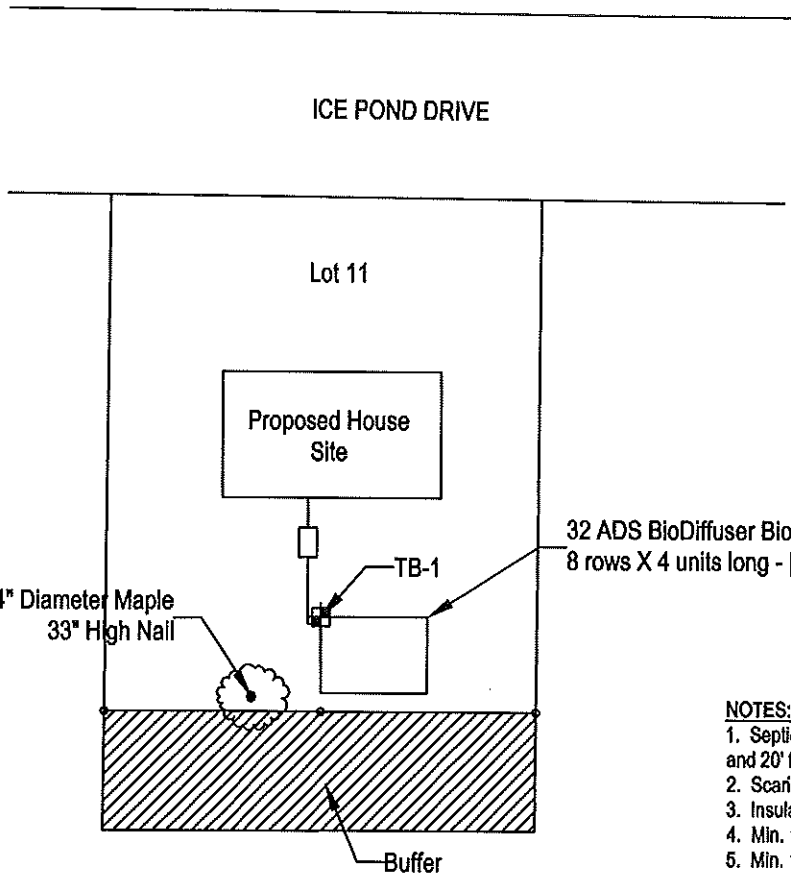
Town, City, Plantation  
**Portland**

Street, Road, Subdivision  
**Ice Pond Drive**

Owner or Applicant Name  
**Tim O'Donovan**

**SITE PLAN** Scale 1" = 50 ft.

**SITE LOCATION PLAN**



32 ADS BioDiffuser Bio 2 Plastic Chambers  
8 rows X 4 units long - [ 20'-6" x 29' ]

ERP: 14" Diameter Maple  
33" High Nail

Buffer

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12				
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24				
30		Firm	Olive Brown	Common & Faint
36				
42				
48				

36 inches

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input checked="" type="checkbox"/> Bedrock
<u>3</u>	<u>All</u>	<u>5</u>	<u>36"</u>	

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*Richard O'Connell*  
Site Evaluator Signature

034  
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Page 2 of 3  
HHE-200 Rev. 10/02

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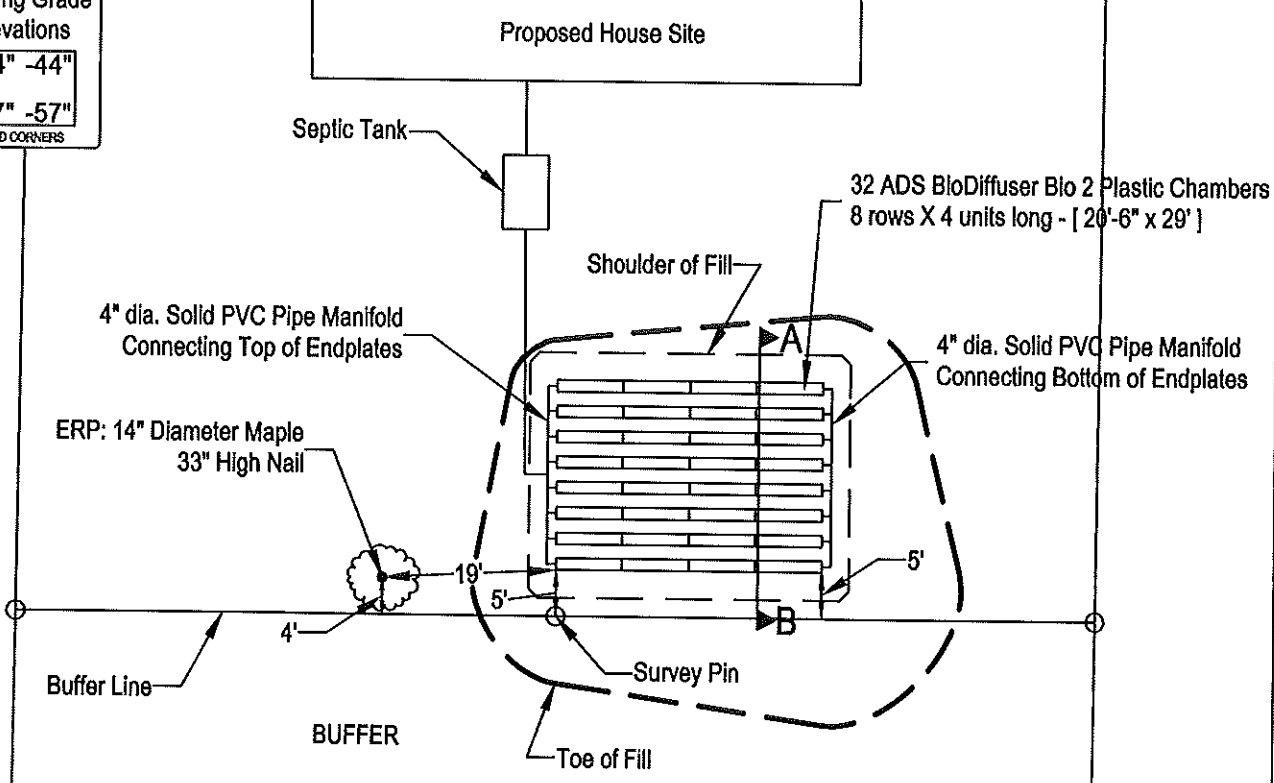
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 -47" -57"  
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**CONSTRUCTION ELEVATIONS**

**ELEVATION REFERENCE POINT**

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Reference Elevation is 0.0" or: \_\_\_\_\_

**NOTE: SCARIFY ALL GROUND SURFACE TO BE FILLED. USE GRAVELLY COARSE SAND WITHIN 3' OF CHAMBERS. REMAINING FILL: LOAMY SAND (no clay)**

**DISPOSAL FIELD CROSS SECTION**

ROW #	1	2	3	4	5	6	7	8
TOP	-34"	-34"	-34"	-34"	-34"	-34"	-34"	-34"
BOTTOM	-46"	-46"	-46"	-46"	-46"	-46"	-46"	-46"

TOP OF ROW #1 INLET AT -34.4"

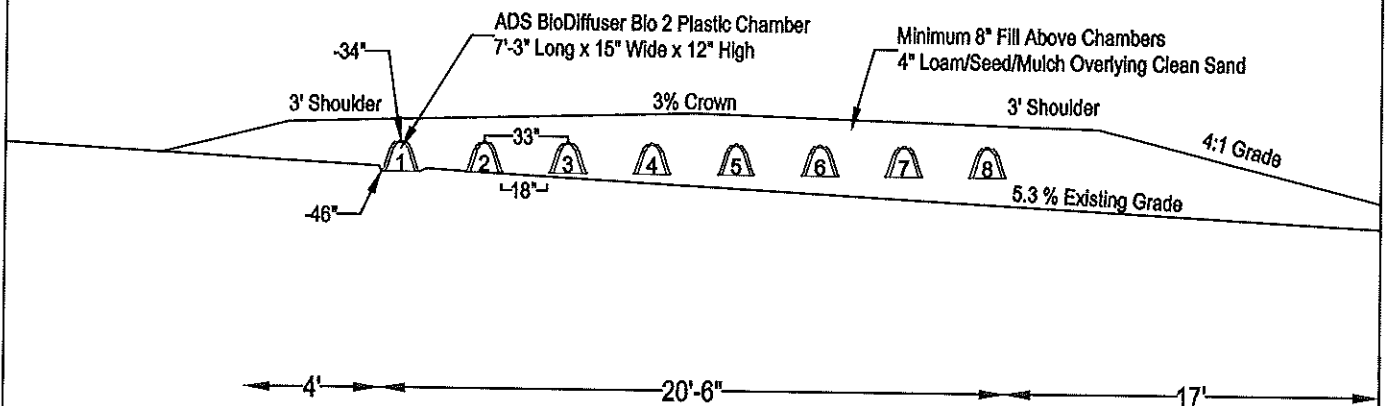
APPROXIMATE ABOVE GRADE FILL REQUIRED  
 31.8 cubic yards of LOAM  
 83.1 cubic yards of SAND  
 Compaction: +20% Loam & +15% Sand  
 Volume of chambers not considered

Scales:

Vertical: 1" = 6'  
 Horizontal: 1" = 6'

**A**

**B**



*Richard O'Donovan*  
 Site Evaluator Signature

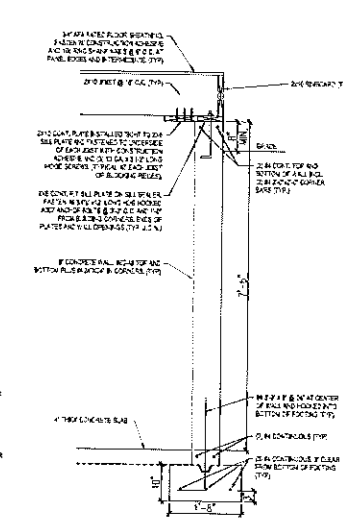
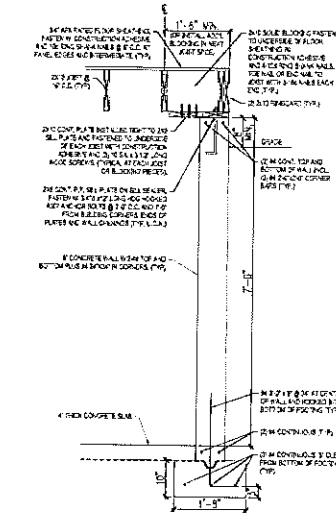
034  
 SE #

06/17/14  
 Date

Received 2/19/14

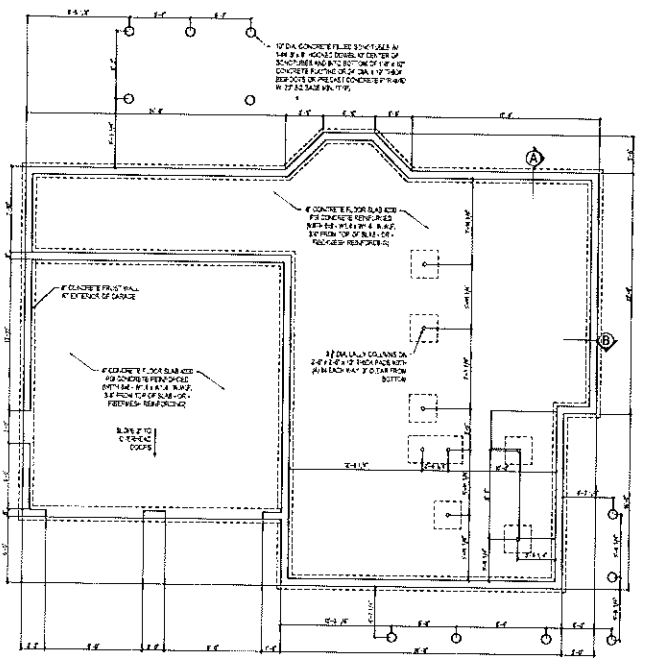
**GENERAL NOTES:**

- 1. FOUNDATION SHALL BE SET IN ACCORDANCE WITH THE PLAN.
- 2. FOUNDATION SHALL BE SET IN ACCORDANCE WITH THE PLAN.
- 3. CONCRETE SHALL BE 28 DAY STRENGTH CONCRETE.
- 4. FRESHLY PLACED CONCRETE SHALL BE CURVED WITH A CURVE RADIUS NOT LESS THAN 18 INCHES.
- 5. ALL EXPOSED REINFORCING SHALL BE GALVANNEED STEEL.
- 6. THE FOUNDATION SHALL BE SET IN ACCORDANCE WITH THE PLAN.
- 7. THE FOUNDATION SHALL BE SET IN ACCORDANCE WITH THE PLAN.
- 8. THE FOUNDATION SHALL BE SET IN ACCORDANCE WITH THE PLAN.



**A** FOUNDATION FLOOR FRAMING SECTION (ASIS PARALLEL TO WALL) SCALE: 1/8" = 1'-0"

**B** FOUNDATION FLOOR FRAMING SECTION (ASIS PERPENDICULAR TO WALL) SCALE: 1/8" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

ARCHETYPE  
 ARCHITECTS  
 41100 W. 14th Ave. #100  
 Denver, CO 80202  
 TEL: 303.755.7788  
 FAX: 303.755.7789

**THE COLONIAL  
 OPTION #1**

FOUNDATION FRAMING  
 AND DETAILS

**S1**

**Marge Schmuckal - Re: HHE-200 and deed for lot 11 Ice Pond Dr.**

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**From:** Marge Schmuckal  
**To:** Michael Galli  
**Date:** 8/19/2014 9:36 AM  
**Subject:** Re: HHE-200 and deed for lot 11 Ice Pond Dr.

414 - A - 21

First Time System

Hi Mike,

I didn't see a copy of the HHE 200 attached. I also needed to see a revised foundation plan S1. That plan is showing a different rear deck configuration than any of the other plans. ALL the plans need to match.

Thank you,  
Marge Schmuckal  
Zoning Administrator

>>> Michael Galli <gallim64@gmail.com> 8/19/2014 9:26 AM >>>  
HI

I have submitted the HHE-200 and attached a copy of the deed. Please let me know if you need anything else.

Thank you  
Mike Galli

**Marge Schmuckal - 37 Ice Pond - Old Barn Estates subdivision - #2014-01737 -414-A-021**

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**From:** Marge Schmuckal  
**To:** Philip DiPierro  
**Date:** 8/6/2014 3:52 PM  
**Subject:** 37 Ice Pond - Old Barn Estates subdivision - #2014-01737 -414-A-021

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Hi Phil,

I know you are on vacation this week, but I took a look at this new single family dwelling. I need a copy of the deed; since it has a leach field I need a copy of the HHE-200 State form. Also the foundation plan S1 is showing a different rear deck configuration than any of the other plans. That needs to be in compliance with the other renderings. We can discuss when you get back next week and have a chance to look at the plans.

Marge