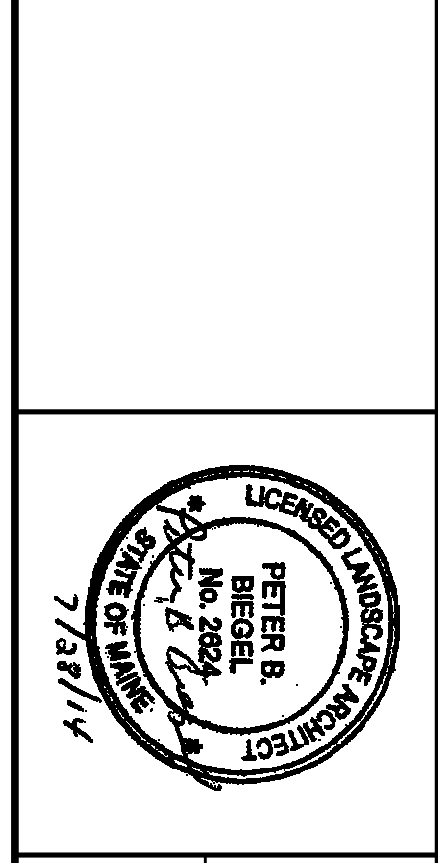
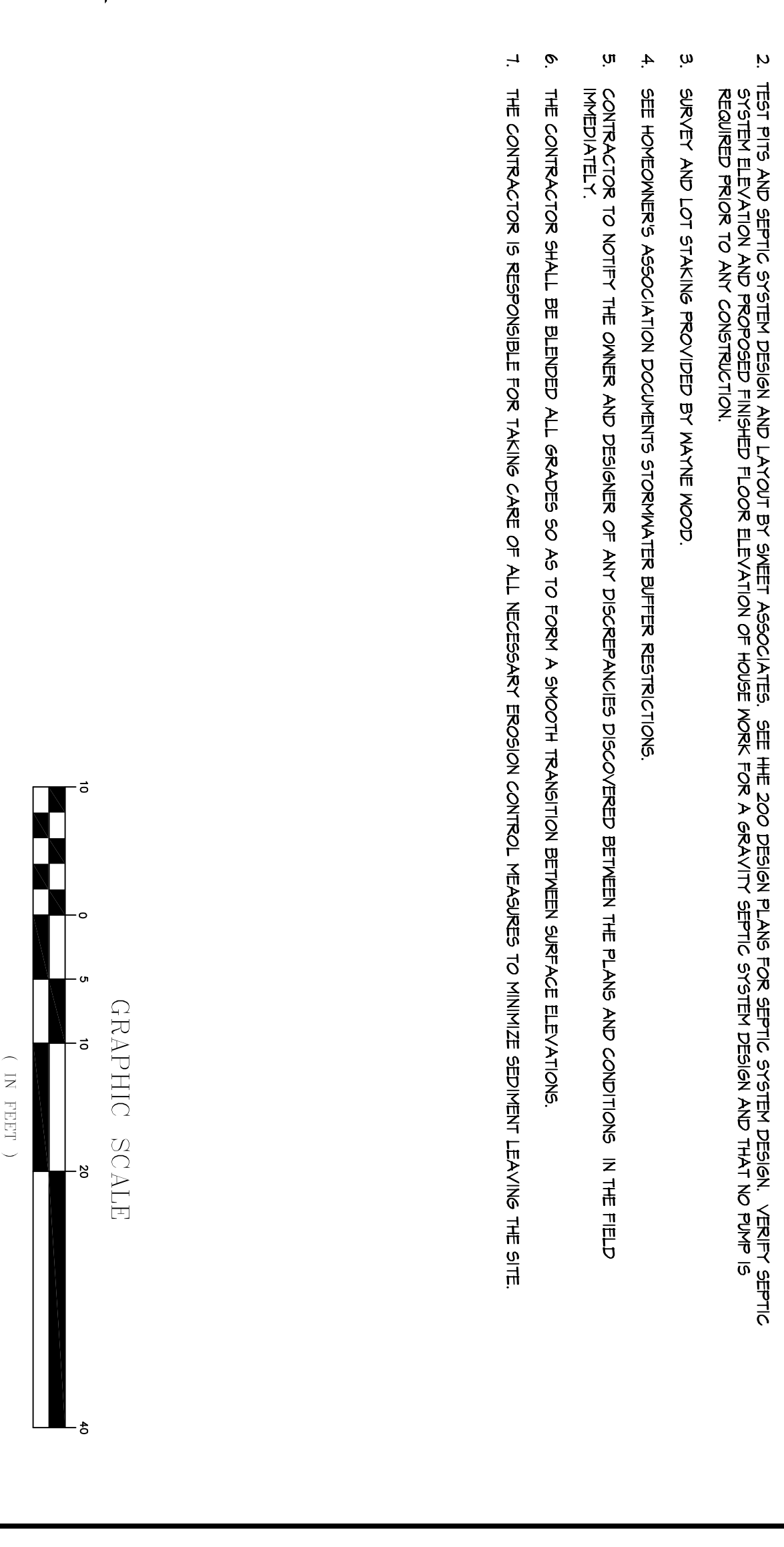
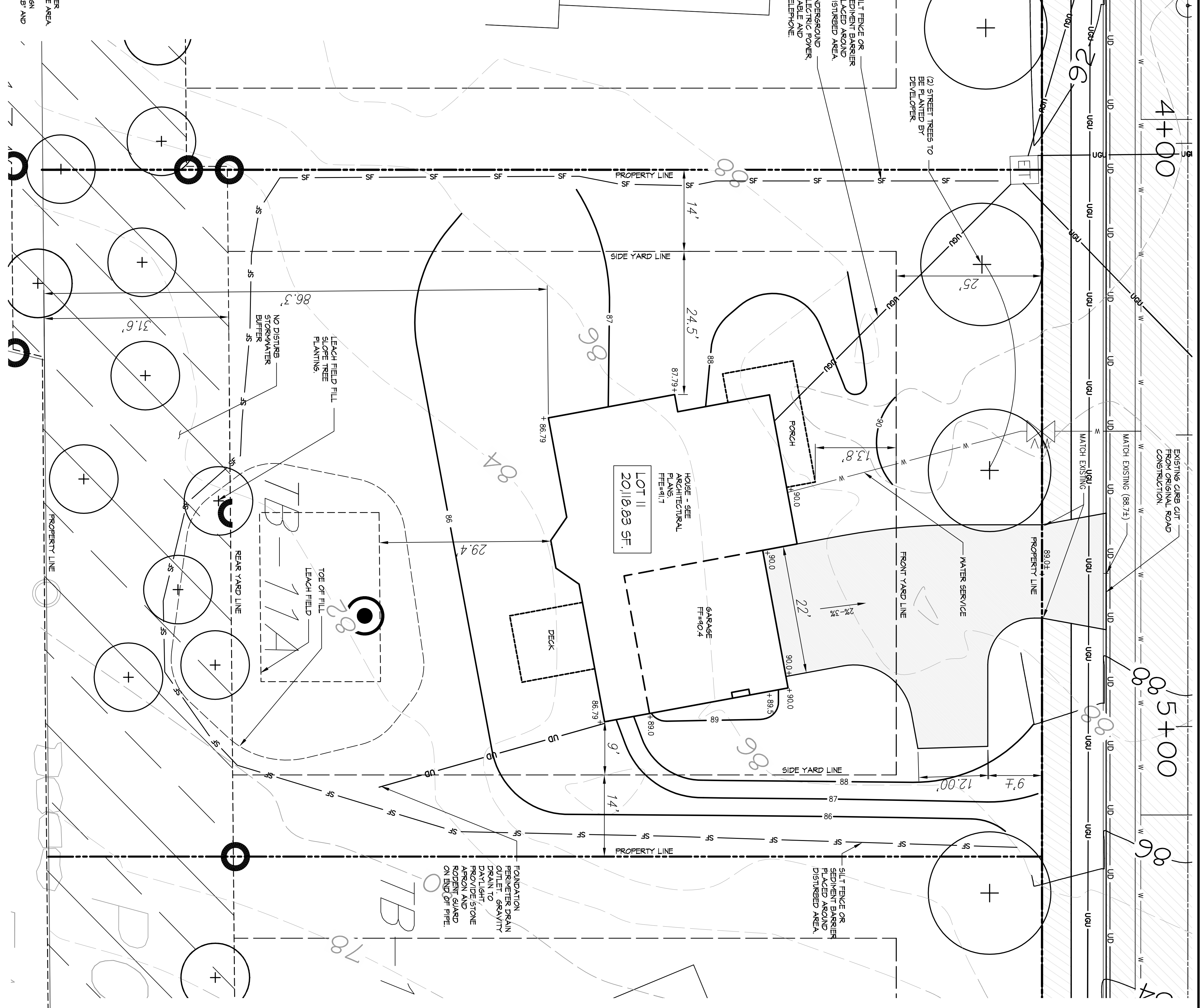
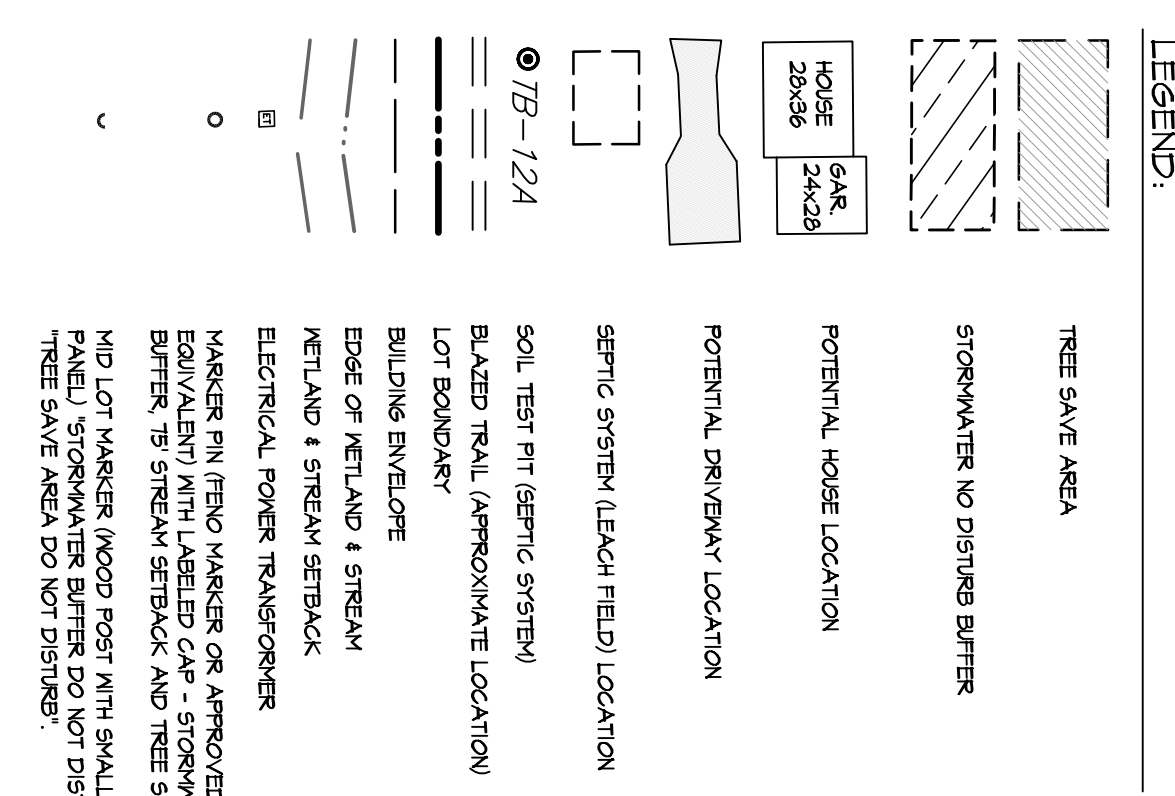


REV. DATE	ISSUED FOR BUILDING PERMIT	STATUS
A 7/28/14		
DEPT. BY	CHKD. APPR.	REV. DATE
PBB PBB		
STATUS		
BY	CHKD. APPR.	REV. DATE



LAND DESIGN SOLUTIONS
 LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
 P.O. Box 316, 160 Longwoods Road, Cumberland ME 04081 | (207) 494-1171
TPO PROPERTIES, LLC.
 30 LEDGERWOOD DRIVE, FALMOUTH, MAINE 04104

DESIGN: PBB
 DRAWN: DEPT.
 CHKD: PBB
 DATE: JULY 2014
 PROJ. NO.:
 DWG. NO.:
SITE PLAN
 LOT 11 OLD BARN ESTATES
 ICE POND DRIVE, PORTLAND, MAINE
 SCALE: 1"=10'
 REV. C-101 A



- LOT DEVELOPMENT NOTES:**
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSEASE AND BE PROVIDED WITH A DIGEST NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
 - TEST PITS AND SEPTIC SYSTEM DESIGN AND LAYOUT BY SWETT ASSOCIATES. SEE THE 200 DESIGN PLANS FOR SEPTIC SYSTEM DESIGN. VERIFY SEPTIC SYSTEM ELEVATION AND PROPOSED FINISHED FLOOR ELEVATION OF HOUSE WORK FOR A GRAVITY SEPTIC SYSTEM DESIGN AND THAT NO PUMP IS REQUIRED PRIOR TO ANY CONSTRUCTION.
 - SWERTY AND LOT STAKING PROVIDED BY WAYNE WOOD.
 - SEE HOMEOWNER'S ASSOCIATION DOCUMENTS STORMWATER BUFFER RESTRICTIONS.
 - CONTRACTOR TO NOTIFY THE OWNER AND DESIGNER OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND CONDITIONS IN THE FIELD IMMEDIATELY.
 - THE CONTRACTOR SHALL BE BLENDED ALL GRADES SO AS TO FORM A SMOOTH TRANSITION BETWEEN SURFACE ELEVATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR TAKING CARE OF ALL NECESSARY EROSION CONTROL MEASURES TO MINIMIZE SEDIMENT LEAVING THE SITE.

INTERVIOUS AREA

PROPOSED IMPERVIOUS AREA	
- HOUSE & GARAGE	1180 SF
- DECK	147 SF
- PORCH	142 SF
- DRIVEWAY	122 SF
- TOTAL	1591 SF

- UTILITY NOTES:**
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
 - THE CONTRACTOR SHALL VERIFY ACTUAL FIELD LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. ALL UTILITY WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND UTILITY COMPANY STANDARDS.
 - PIPE CONDUIT OF SUITABLE SIZE WITH FILL LINES FOR ALL UNDERGROUND MINING BENEATH PAVEMENT AREAS OR AS REQUIRED BY THE UTILITY COMPANY.
 - PIPE MATERIAL FOR DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER OR AS APPROVED BY THE PORTLAND WATER DISTRICT. FINAL SIZE OF SERVICE LINE TO BE DETERMINED BY THE HOMEOWNER'S FIRE PROTECTION ENGINEER.
 - MINIMUM COVER OVER WATER LINE SHALL BE 5'-6".
 - ALL WORKS IN THE PROPOSED DEVELOPMENT SHALL BE SPRINKLED IN COMPLIANCE WITH NFPA 101 AS REQUIRED BY THE CITY OF PORTLAND CODE (NFPA 101) 2004 EDITION.
 - SUBSURFACE WASTEWATER DISPOSAL SYSTEM DESIGN IS BY SWETT ASSOCIATES OF FALMOUTH MAINE. LEACH FIELD IS SHOWN ON THIS PLAN FOR LOCATION ONLY.

ZONING SUMMARY:
 ZONE: R3 RESIDENTIAL ZONE (MEDIUM RESIDENTIAL)
 USE: PERMITTED - SINGLE FAMILY DWELLINGS
 PARCEL SIZE (LOT 11) = 0.46 AC (201,118.83 S.F.)

DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
LOT SIZE	6,500 S.F.	201,118.83 S.F. (UN-SERVED)
MINIMUM STREET FRONTAGE	50 FT.	117.78 FT.
MINIMUM FRONT YARD	25 FT.	38.8 FT. MIN.
MINIMUM REAR YARD	25 FT.	86.3 FT. MIN.
MINIMUM SIDE YARD (2 STORY)	14 FT.	23 FT. MIN.
MAXIMUM LOT COVERAGE	35%	11% (HOUSE, DECK & PORCH)
MINIMUM LOT WIDTH	65 FT.	117.8 FT.
MAXIMUM STRUCTURE HEIGHT	35 FT.	- (2 STORY)

- OLD BARN ESTATES SUBDIVISION NOTES:**
- THIS LOT (LOT 11) WAS APPROVED BY THE CITY OF PORTLAND AS PART OF THE OLD BARN ESTATES SUBDIVISION PROJECT.
 - THE PROPOSED USE OF THE SUBDIVISION IS FOR SINGLE FAMILY DWELLINGS.
 - PRIOR TO COMMENCING ANY SITE CLEANING OR GRADING, THE DEVELOPER SHALL PROVIDE SURVEY ACCURATE FIELD MARKERS ADEQUATE TO ENABLE CONTRACTORS TO EASILY DETERMINE LOT BOUNDARIES AND BUILDING ENVELOPES TO ENSURE COMPLIANCE WITH BUILDING SETBACK AND BUFFER REQUIREMENTS.
 - SEPTIC SYSTEM TEST PITS AND LEACH FIELD LOCATIONS PREPARED BY SWETT ASSOCIATES OF FALMOUTH MAINE. LEACH FIELD LOCATIONS SHOWN ON THIS PLAN MUST BE USED.
 - SEE SUBDIVISION RECORDING PLAN (RECORDING PLAN 1 OF 2) FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
 - SURVEY OF EXISTING CONDITIONS PREPARED BY GILLESPIES LAND SURVEYING, 842 OLD DANVILLE ROAD, ABERN, MAINE 04910.