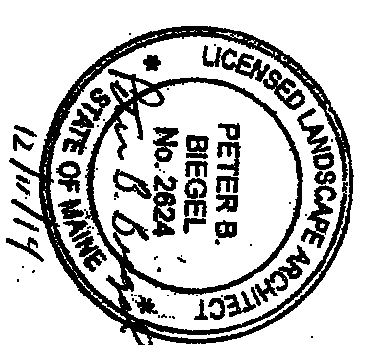


REV.	DATE	ISSUED FOR BUILDING PERMIT	STATUS
A	10/29/14	ISSUED FOR BUILDING PERMIT	BY: CHKD APPD
B	11/18/14	DECK DIMENSIONS REVISED & LOT COVERAGE CALCULATIONS UPDATED	DEPT. PBB PBB
C	12/11/14	BUILDING FOOTPRINT REVISED AND LOT COVERAGE CALCULATIONS UPDATED	DEPT. PBB PBB


  
**PETER B. BIEGEL**  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF MAINE  
 No. 2824  
 License No. 121017

**LAND DESIGN SOLUTIONS**  
 LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE  
 P.O. Box 316, 160 Longwoods Road, Cumberland ME 04081 | (207) 494-1171

**TPO PROPERTIES, LLC.**  
 30 LEDGERWOOD DRIVE, FALMOUTH, MAINE 04104

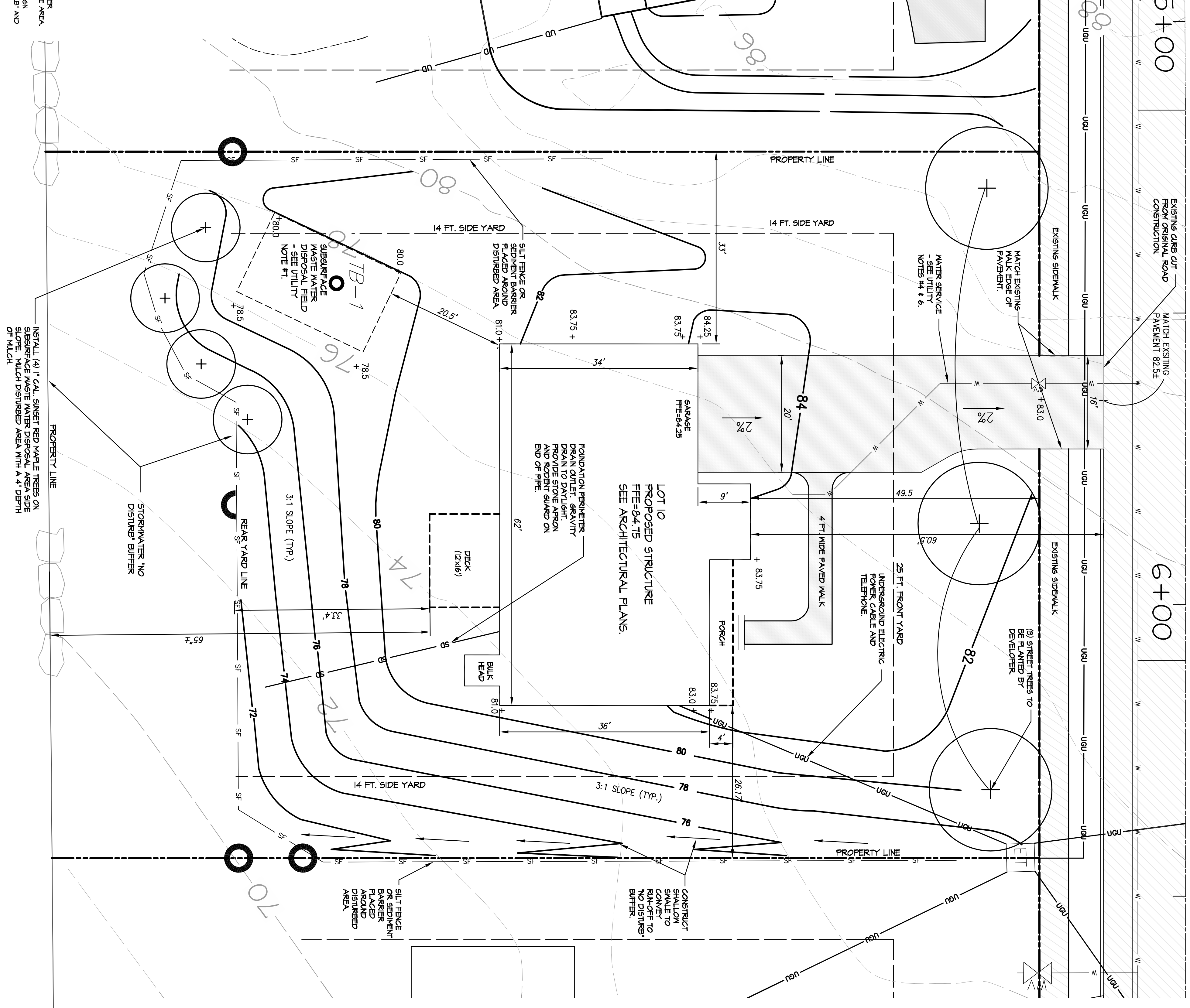
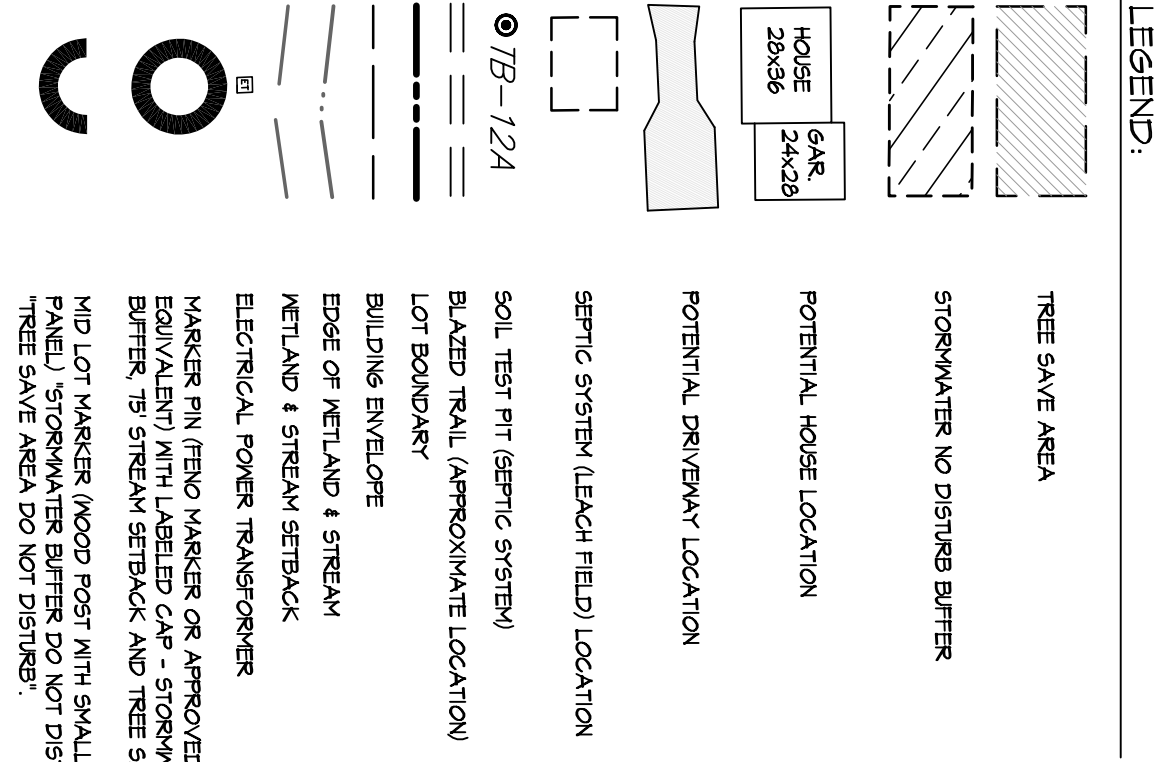
DESIGN: PBB  
 DRAWN: DEPT.  
 CHKD: PBB

DATE: SEPT. 2014  
 SCALE: 1"=10'

PROJ. NO.  
 DWG. NO.  
 SITE PLAN

LOT 10 OLD BARN ESTATES  
 ICE POND DRIVE, PORTLAND, MAINE

REV. -  
 C-101 C



**LOT DEVELOPMENT NOTES:**

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSEAL AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- TEST PITS AND SEPTIC SYSTEM DESIGN AND LAYOUT BY SWEET ASSOCIATES. SEE THE 200 DESIGN PLANS FOR SEPTIC SYSTEM DESIGN. VERIFY SEPTIC SYSTEM ELEVATION AND PROPOSED FINISHED FLOOR ELEVATION OF HOUSE WORK FOR A GRAVITY SEPTIC SYSTEM DESIGN AND THAT NO PUMP IS REQUIRED PRIOR TO ANY CONSTRUCTION.
- SWAYEY AND LOT FINISH PROVIDED BY COLLEENBERG LAND SURVEYING OF AUBURN MAINE.
- SEE HOMEOWNER'S ASSOCIATION DOCUMENTS STORMWATER BUFFER RESTRICTIONS.
- CONTRACTOR TO NOTIFY THE OWNER AND DESIGNER OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND CONDITIONS IN THE FIELD IMMEDIATELY.
- THE CONTRACTOR SHALL BE BLENDED ALL GRADES SO AS TO FORM A SMOOTH TRANSITION BETWEEN SURFACE ELEVATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR TAKING CARE OF ALL NECESSARY EROSION CONTROL MEASURES TO MINIMIZE SEDIMENT LEAVING THE SITE.

**INTERVIOUS AREA**

PROPOSED IMPERVIOUS AREA	
- HOUSE & GARAGE	2307 SF.
- DECK	142 SF.
- PORCH	100 SF.
- TOTAL	2549 SF.
- TOTAL	5192 SF.

**UTILITY NOTES:**

- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL VERIFY ACTUAL FIELD LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. ALL UTILITY WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND UTILITY COMPANY STANDARDS.
- PROVIDE CONDUIT OF SUITABLE SIZE WITH FILL LINES FOR ALL UNDERGROUND MINING BENEATH PAVEMENT AREAS OR AS REQUIRED BY THE UTILITY COMPANY.
- PIPE MATERIAL FOR DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER OR AS APPROVED BY THE PORTLAND WATER DISTRICT. FINAL SIZE OF SERVICE LINE TO BE DETERMINED BY THE HOMEOWNER'S FIRE PROTECTION ENGINEER.
- MINIMUM COVER OVER WATER LINE SHALL BE 5'-6".
- ALL WORKS IN THE PROPOSED DEVELOPMENT SHALL BE SPRINKLED IN COMPLIANCE WITH NFPA 104 AS REQUIRED BY THE CITY OF PORTLAND CODE (NFPA 10) 2009 (ed.).
- SUBSURFACE WASTEWATER DISPOSAL SYSTEM IS SHOWN ON THIS PLAN FOR LOCATION ONLY. SEE SEPTIC SYSTEM DESIGN (HE-200) PREPARED BY SWEET ASSOCIATES OF FALMOUTH MAINE FOR LAYOUT, GRADING AND CONSTRUCTION INFORMATION.

**ZONING SUMMARY:**

ZONE: R3 RESIDENTIAL ZONE (MEDIUM RESIDENTIAL)  
 USE: PERMITTED - SINGLE FAMILY  
 PARCEL SIZE (LOT 10) = 0.47 AC (20,567 S.F.)

DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
LOT SIZE	6,500 S.F.	20,567 S.F. (UN-SERVED)
MINIMUM STREET FRONTAGE	50 FT.	121.14 FT.
MINIMUM FRONT YARD	25 FT.	49.5 FT. MIN.
MINIMUM REAR YARD	25 FT.	65 FT. MIN.
MINIMUM SIDE YARD (2 STORY)	14 FT.	26 FT. MIN.
MAXIMUM LOT COVERAGE	35%	13% 2,599 SF (HOUSE, DECK & PORCH)
MINIMUM LOT WIDTH	65 FT.	121.14 FT.
MAXIMUM STRUCTURE HEIGHT	35 FT.	- (2 STORY)

**OLD BARN ESTATES SUBDIVISION NOTES:**

- THIS LOT (LOT 10) WAS APPROVED BY THE CITY OF PORTLAND AS PART OF THE OLD BARN ESTATES SUBDIVISION PROJECT.
- THE PROPOSED USE OF THE SUBDIVISION IS FOR SINGLE FAMILY DWELLINGS.
- PRIOR TO COMMENCING ANY SITE CLEARING OR GRADING, THE DEVELOPER SHALL PROVIDE SURVEY ACCURATE FIELD MARKERS ADEQUATE TO ENABLE CONTRACTORS TO EASILY DETERMINE LOT BOUNDARIES AND BUILDING ENVELOPES TO ENSURE COMPLIANCE WITH BUILDING SETBACK AND BUFFER REQUIREMENTS.
- SEE SUBDIVISION RECORDING PLAN (RECORDING PLAN 02) FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
- SURVEY OF EXISTING CONDITIONS PREPARED BY COLLEENBERG LAND SURVEYING, 842 OLD DANVILLE ROAD, AUBURN MAINE 04101.

