

WARRANTY DEED
(Maine Statutory Shot Form)

KNOW ALL PERSONS BY THESE PRESENTS that **TPO PROPERTIES, LLC**, a Maine Limited Liability Company, with a place of business in the Town of Falmouth, County of Cumberland, State of Maine, for consideration paid **GRANTS** with warranty covenants to: **THE VESTA CORPORATION**, whose mailing address is P.O. Box 1464, Portland, Maine 04014.

The following real estate situated in the City of Portland, County of Cumberland, State of Maine, described as follows:

Lot 10 as shown on a plan entitled "Subdivision Recording Plan 1 Old Barn Estates Ocean Ave. & LedgeWood Drive, Portland and Falmouth, Maine" made for TPO Properties, LLC, 30 LedgeWood Drive, Falmouth, Maine by Cullenberg Land Surveying, 892 Old Danville Road, Auburn, Maine 04210, dated February 8, 2013, last revised 3/19/13, recorded in the Cumberland County Registry of Deeds in **Plan Book 213, Page 200**, and a plan entitled "Old Barn Estates 1062 Ocean Avenue, Portland, Maine Subdivision Plan Recording Plan 2 of 2," prepared by Land Design Solutions, P.O. Box 316, 160 Longwoods Road, Cumberland, Maine 04081, dated May 2012, last revised 3/15/13, and recorded in the Cumberland County Registry of Deeds in **Plan Book 213, Page 201** (hereinafter "the Plans"), to which plans reference is hereby made for a more particular description of the lot herein described.

SUBJECT, HOWEVER, the following:

1. All general notes, easements, facts and other matters shown on "Subdivision Recording Plan 1 Old Barn Estates Ocean Ave. & LedgeWood Drive, Portland & Falmouth, Maine" and "Old Barn Estates 1062 Ocean Avenue, Portland, Maine Subdivision Plan Recording Plan 2 of 2," (hereinafter "Old Barn Estates"), recorded in the Cumberland County Registry of Deeds in Plan Book 213, Page 200 and Plan Book 213, Page 201 respectively.
2. The Declaration of Restrictions and Covenants, Old Barn Estates recorded in the Cumberland County Registry of Deeds in Book 31011, Page 232, which are incorporated by reference as if fully set forth herein.
3. Grantee(s) for themselves, their heirs, successors, and assigns, by acceptance of this Deed shall become members of the Old Barn Estates Homeowners Association whose Bylaws dated May 23, 2013, are recorded in the Cumberland County Registry of Deeds in Book 30668, Page 61.
4. The "Tree Save" areas depicted on Lots 2, 3, 4, 5, 6, 7, 8, and 16, shall be subject to the restrictions and limitations described herein which shall run with the land, and, unless the owner of said Lot(s) obtains the prior written approval from the City of Portland, Maine, the Tree Save areas shall remain undeveloped in perpetuity. Said restrictions and limitations shall not apply to the removal of invasive species, tree hazards and the creation of fill slopes associated with the construction of subsurface waste water disposal system leach fields (see Plan C-101 for

re-vegetation of full slopes). Tree Save area shall be identified by the Lot owner on each lot prior to the commencement of construction.

a. No soil, loam, peat, sand, gravel, concrete, rock, or other mineral substance, refuse, rash, vehicle bodies or parts, rubbish, debris, junk, waste, pollutants, or other fill material may be placed stored or dumped on the Tree Save Area, nor may the topography of the area be altered or manipulated in any way.

b. No undergrowth, ground cover vegetation, leaf litter, organic duff layer or mineral soil may be disturbed.

c. No trucks, cars, dirt bikes, all terrain vehicles, or other motorized vehicles or mechanical devices may be permitted in the Tree Save Area.

d. No trees may be cut or sprayed with biocides except for the normal maintenance of dead, windblown or damaged trees and, for pruning of tree branches below a height of 12 feet provided two thirds of the tree's canopy is maintained.

e. No building or other temporary or permanent structure may be constructed, placed, or permitted to remain on the Tree Save Area except for a sign, utility pole, or fence.

f. Any level lip spreader directing flow to the Tree Save Area must be regularly inspected and adequately maintained to preserve the function of the level spreader.

g. The re-vegetation of leach field fill slopes and the removal of tree hazards and invasive species, are the responsibility of the individual lot owner.

5. The "No Disturb Storm Water Buffer" areas as depicted on Lots 3, 4, 5, 6, 9, 10, 11, 12, 13, and 16 of Old Barn Estates, shall not be disturbed with the exception of the removal of invasive species, tree hazards and the fill slopes associated with the construction of the subsurface waste water disposal systems and for re-vegetation of said fill slopes as shown on Plan C-101. Storm water buffer areas shall be identified on each lot prior to the commencement of construction. The re-vegetation of leach field slopes is the responsibility of the individual lot owner.

6. A trail easement from TPO Properties, LLC to the Falmouth Land Trust as shown on the Plans to be recorded in the Cumberland County Registry of Deeds.

7. Those rights and easements granted to the City of Portland, and Town of Falmouth dated May 23, 2013, and recorded in the Cumberland County Registry of Deeds in Book 30668, Page 76.

8. Certain rights and easements granted by TPO Properties, LLC to the Old Barn Estates Homeowners Association, by deed dated May 23, 2013, and recorded in the Cumberland County Registry of Deeds in Book 30668, Page 78.

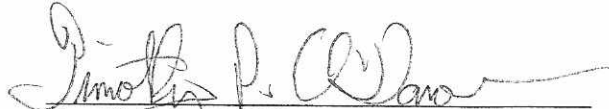
For Grantor's source of title, reference is made to a deed from the Estate of Dale Williams to TPO Properties, LLC dated September 30, 2011, recorded in the Cumberland County Registry of Deeds in Book 29002, Page 153, and from MECAP, LLC to TPO Properties, LLC dated June 29, 2011, and recorded in said registry of deeds in Book 28797, Page 218.

IN WITNESS WHEREOF, Timothy P. O'Donovan, a Member and duly authorized representative of TPO Properties, LLC has hereunto set his hand and seal this 5th day of December, 2014.

TPO Properties, LLC



Witness



By: Timothy P. O'Donovan
Its: Member

STATE OF MAINE
CUMBERLAND, ss

December 5, 2014

Personally appeared the above named Timothy P. O'Donovan and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of TPO Properties, LLC.



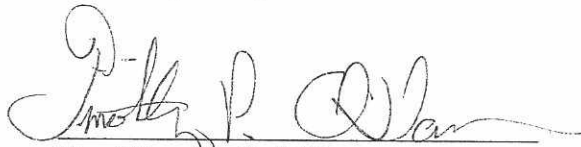
Notary Public/Attorney at Law

APPROVAL OF BUILDING PLAN AND SPECIFICATIONS
FOR LOT 10 OLD BARN ESTATES SUBDIVISION

Pursuant to the restriction and covenant #3 **Architectural Review**, of a certain Declaration of Restrictions and Covenants, Old Barn Estates Subdivision, Portland, Maine, as dated July 22 2013, and recorded in the Cumberland County Registry of Deeds in Book 31011, Page 232, Timothy P. O'Donovan, Member of TPO Properties, LLC, the Declarant, hereby approves the building, the type and style of architecture and the type and quality of the building materials to be used, the landscaping plan, floor plans and the elevation of all facades submitted by The Vesta Corporation for the dwelling and associated building to be constructed on Lot 10 of said Old Barn Estates Subdivision, and Lot 10, being shown on plans entitled "Subdivision Recording Plan 1 Old Barn Estates Ocean Ave. & Ledgewood Drive Portland and Falmouth, Maine made for TPO Properties, LLC by Cullenberg Land Surveying, 892 Old Danville Road, Auburn, Maine 04210 and dated February 8, 2013, last revised 3/19/13, recorded in the Cumberland County Registry of Deeds in **Plan Book 213, Page 200**, and Old Barn Estates 1062 Ocean Avenue, Portland, Maine Subdivision Plan Recording Plan 2 of 2 prepared by Land Design Solutions, P.O. Box 316, 160 Longwoods Road, Cumberland, ME 04081, dated May 2012, last revised 3/15/13, and recorded in the Cumberland County Registry of Deeds in **Plan Book 213, Page 201.**" Said approval is in accordance with all of the building requirements set forth in the Declaration described above.

Dated at Portland, Maine this 5th day of December 2014.

TPO Properties, LLC



By: Timothy P. O'Donovan

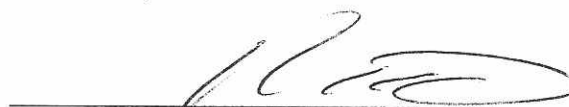
Its: Member

STATE OF MAINE
CUMBERLAND, ss.

December 5, 2014

Personally appeared the above named Timothy P. O'Donovan in his said capacity and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of TPO Properties, LLC.

Before me,


Notary Public/Attorney at Law



0599900

RETTD

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**MAINE REVENUE SERVICES
REAL ESTATE TRANSFER TAX
DECLARATION**

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

PLEASE TYPE OR PRINT CLEARLY

1. COUNTY
CUMBERLAND **DO NOT USE RED INK!**

2. MUNICIPALITY/TOWNSHIP
PORTLAND

BOOK/PAGE—REGISTRY USE ONLY

3. GRANTEE/PURCHASER
3a) Name (LAST, FIRST, MI) THE VESTA CORPORATION 3b) SSN or Federal ID _____
3c) Name (LAST, FIRST, MI) _____
3e) Mailing Address P.O. BOX 1464
3f) City PORTLAND 3g) State ME 3h) Zip Code 04104

4. GRANTOR/SELLER
4a) Name (LAST, FIRST, MI) TPO PROPERTIES, LLC 4b) SSN or Federal ID _____
4c) Name (LAST, FIRST, MI) _____
4e) Mailing Address 30 LEDGEWOOD DR.
4f) City FALMOUTH 4g) State ME 4h) Zip Code 04105

5. PROPERTY
5a) Map 414 Block _____ Lot A20 Sub-Lot 001 Check any that apply:
5c) Physical Location 45 ICE POND DRIVE No tax maps exist
 Multiple parcels
 Portion of parcel
5b) Type of property—Enter the code number that best describes the property being sold. (See instructions) 102
5d) Acreage: _____

6. TRANSFER TAX
6a) Purchase Price (If the transfer is a gift, enter "0") 6a \$ 120000.00
6b) Fair Market Value (enter a value only if you entered "0" in 6a) or if 6a) was of nominal value 6b \$ _____
6c) Exemption claim - Check the box if either grantor or grantee is claiming exemption from transfer tax and explain.

7. DATE OF TRANSFER (MM-DD-YYYY)
12 05 2014
MONTH DAY YEAR

8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use. CLASSIFIED

9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain:

10. INCOME TAX WITHHELD—Buyer(s) not required to withhold Maine income tax because:
 Seller has qualified as a Maine resident
 A waiver has been received from the State Tax Assessor
 Consideration for the property is less than \$50,000

11. OATH
Aware of penalties as set forth by Title 36 §4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below:
Grantee [Signature] Date 12/5/14 Grantor [Signature] Date 12/5/14

12. PREPARER
Name of Preparer Samantha J. Adams, Esq. Phone Number 207-228-4201
Mailing Address P.O. Box 10692 E-Mail Address patriottitle@patriottitle.com
Portland, ME 04104