

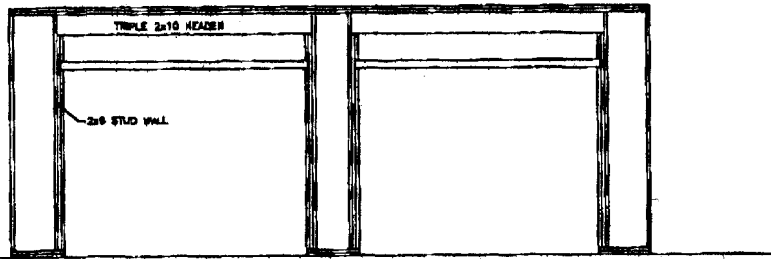
ATTN: MIKE NUGENT

Steve Wilson / Cindy Amato
45 Copley woods Circle
Portland, ME

Fused 2-23-02

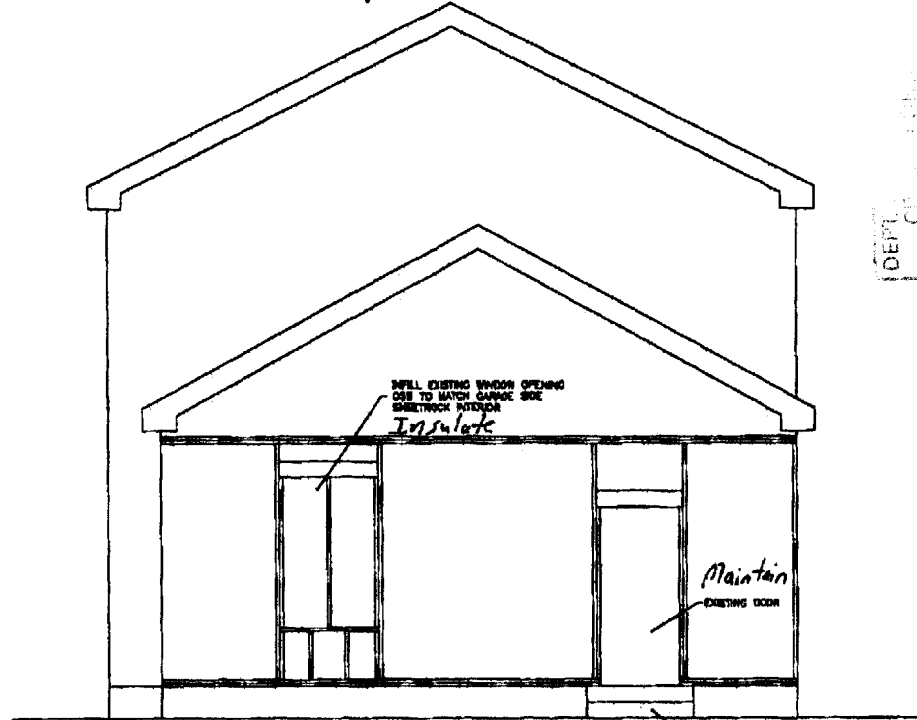
WINDOW/DOOR SCHEDULE				
	DESCRIPTION	HEIGHT (H)	WIDTH (W)	NOTES
W-1	DOUBLE HUNG	80	40	E-GRESS
W-2	TRANSOM	12	100	9"
D-1	OVERHEAD DOOR	84	100	7' x 9'
D-2	NAN DOOR	80	36	3'-0" x 6' 8"

Front Elevation



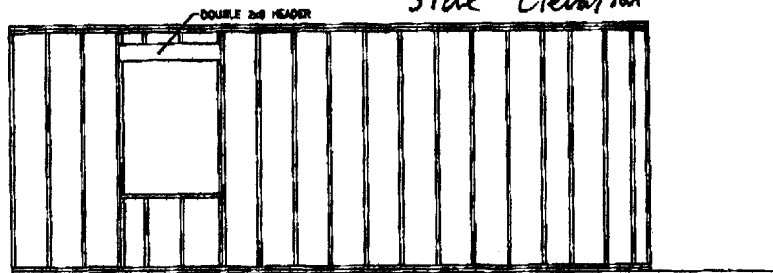
FRAMING ELEVATION

House side Elevation



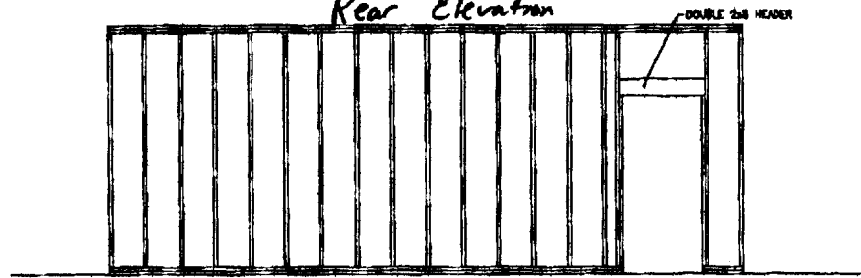
FRAMING ELEVATION

side Elevation



FRAMING ELEVATION

Rear Elevation



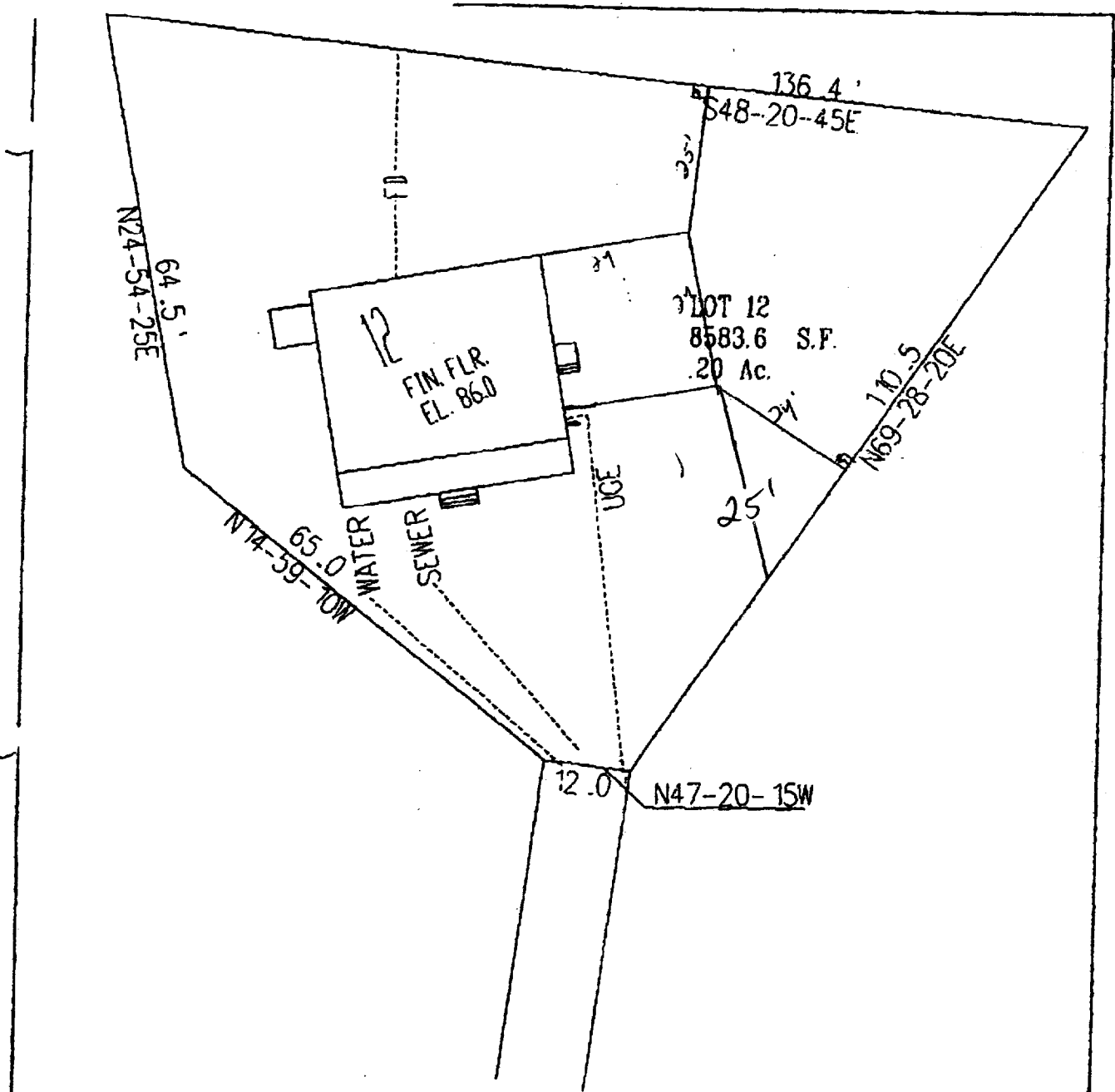
FRAMING ELEVATION

DEPT. OF CONSTRUCTION
MAY 3 2002
RECEIVED

P.1
207-856-6330

Ryan Raymond

May 03 02 11:38a



KTO BUILDERS	
PROJECT: COPLEY WOODS	
LOT #	DATE
12	4-10-01
SCALE	CBL
1" = 20'	4 13 B 12

DEPT. OF PERMITS
CITY OF PORTLAND

MAY 3 2002

RECEIVED

Applicant: STEVEN WILSON

Date: 5/13/02

Address: 45 COPLEY WOODS

C-B-I: 413-B012

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 5/13/02


Zone Location - R-3

Interior or corner lot - INTERIOR

Proposed Use/Work - ATTACHED GARAGE

Sevage Disposal - PUBLIC

Lot Street Frontage -

50'  N/A (PRUD)

Rear Yard - 25' TO COMMON AREA BE CAREFUL!

Side Yard - 16 FEET BETWEEN BUILDINGS (PRU)
24 FT TO LINE SHOWN.

Projections - NONE

Width of Lot - 75' REQUIRED N/A

Height - 35' REQUIRED 14' SHOWN

Lot Area - N/A

Lot Coverage/ Impervious Surface - 25% REQUIRED 20% SHOWN

Area per Family - N/A

Off-street Parking - N/A

Loading Bays - N/A

Site Plan - NO

Shoreland Zoning/ Stream Protection - NO

Flood Plains - NOT PARCEL 23005 ~~2~~ 0007C

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 Portland, ME

P.1

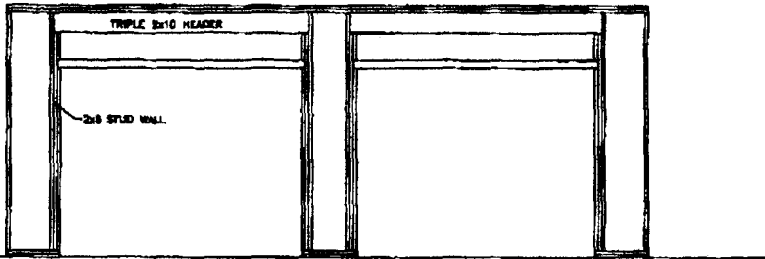
207-856-6330

Ryan Raymond

Apr 23 02 09:07a

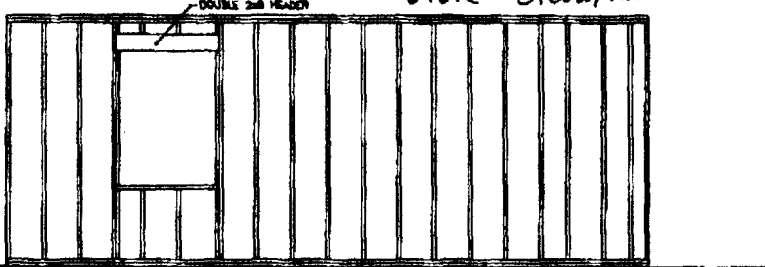
WINDOW/DOOR SCHEDULE				
	DESCRIPTION	HEIGHT (IN)	WIDTH (IN)	NOTE
W-1	DOUBLE HUNG	80	40	Egress
W-2	TRANSOM	18	108	9'
D-1	OVERHEAD DOOR	84	108	7x9
D-2	MAN DOOR	80	36	7'-0" x 6'-8"

Front Elevation



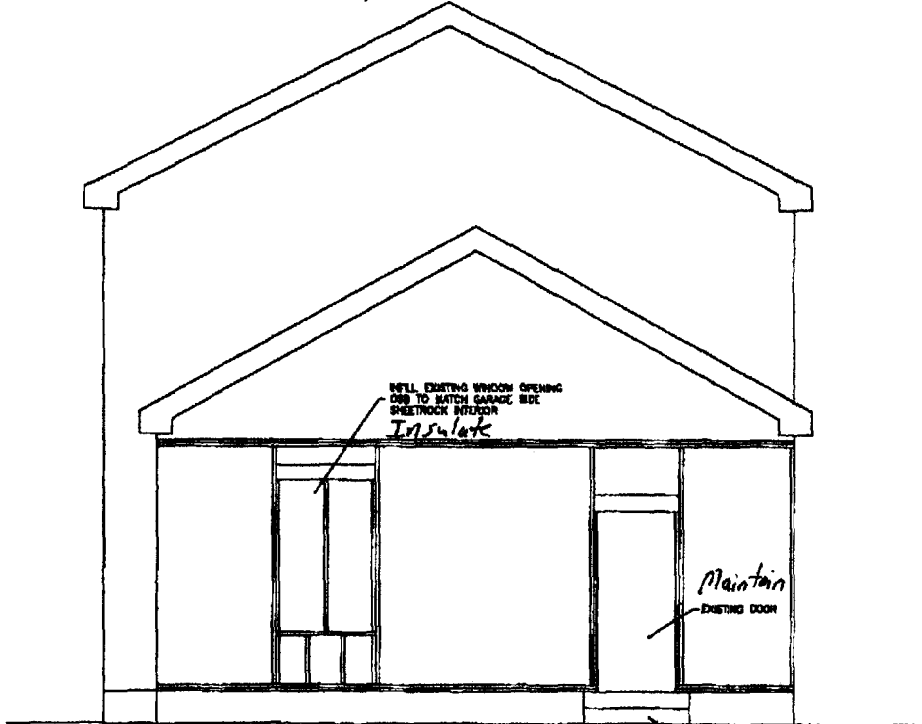
FRAMING ELEVATION

side Elevation



FRAMING ELEVATION

House side Elevation

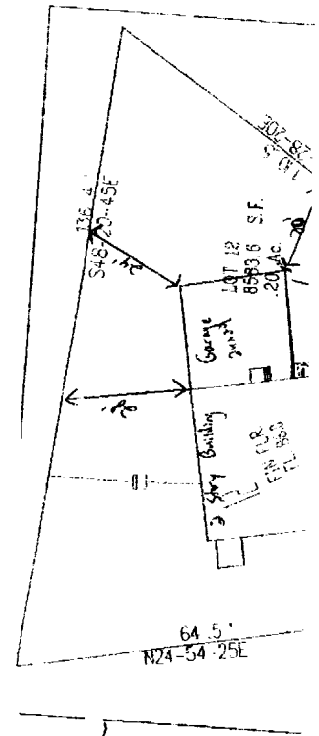
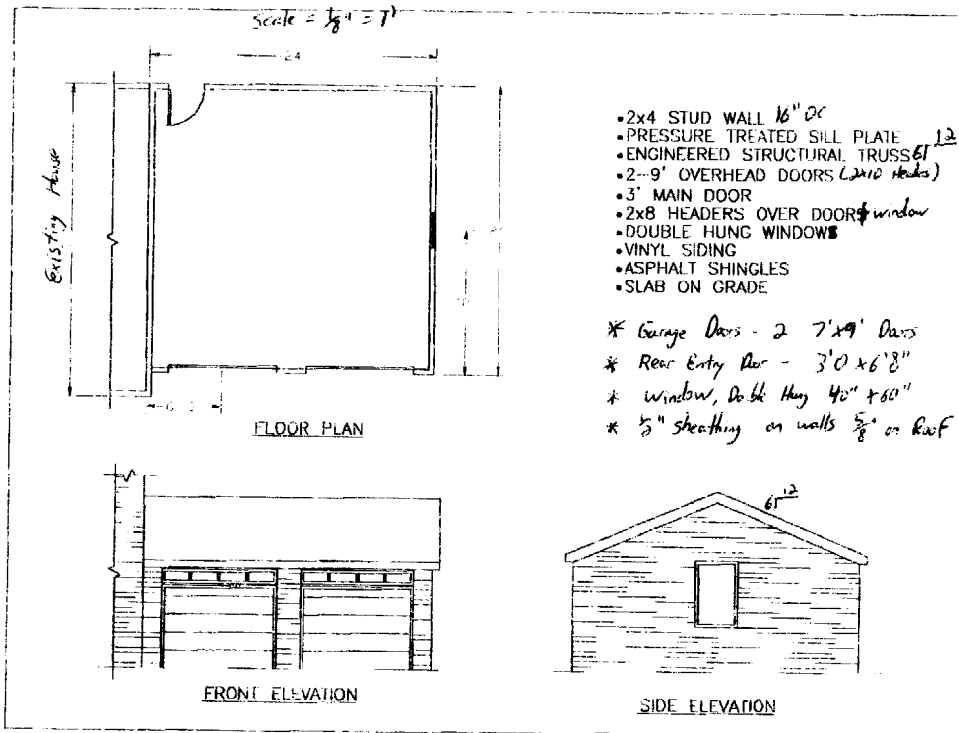


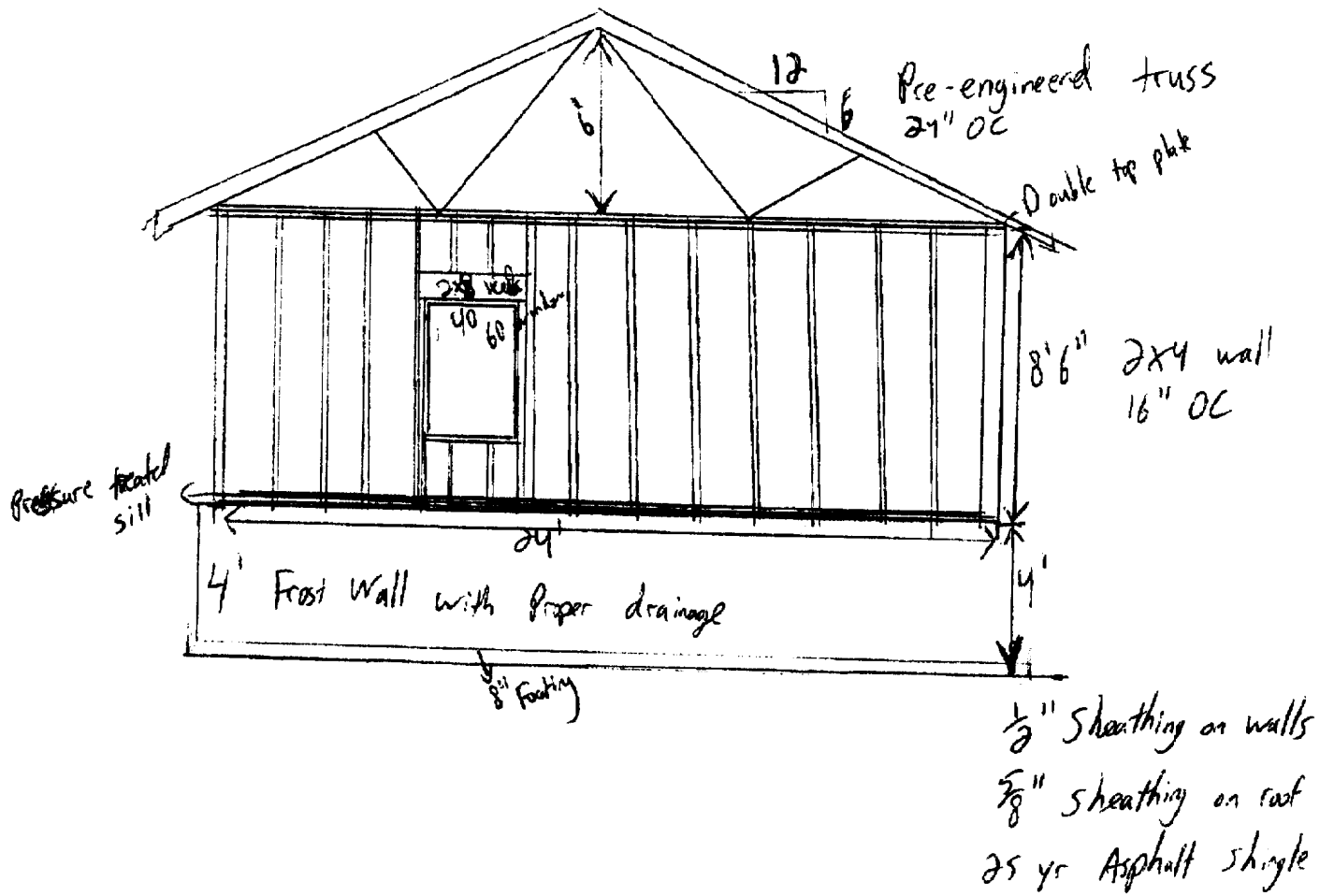
FRAMING ELEVATION

Rear Elevation



FRAMING ELEVATION





02-0335

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

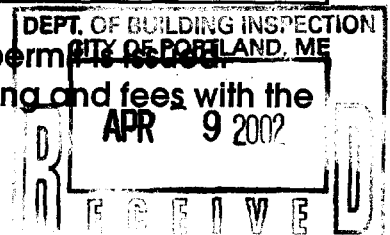
Location/Address of Construction: <u>45 Copley Woods Circle, Portland 04103</u>		
Total Square Footage of Proposed Structure <u>24' x 24' 576</u>	Square Footage of Lot <u>8,583.6 20 acres</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>413</u> Block# <u>B</u> Lot# <u>012</u>	Owner: <u>Stephen Wilson</u> <u>Cynthia Amato*</u>	Telephone: <u>207-878-6880</u> *MS
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Stephen Wilson</u> <u>Cynthia Amato</u> <u>207 878 6880</u> <u>45 Copley Woods Circle</u> <u>Portland ME 04103</u>	Cost Of Work: <u>\$16,500</u> Fee: <u>\$142.00</u>
Current use: <u>Single family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Build Garage - attached 24'x24'</u>		
Project description: <u>2 car</u>		
Contractor's name, address & telephone: <u>Raymond Construction</u> <u>207-856-6330</u> <u>85 Pierce St</u> <u>Westbrook Me 04092</u> <u>Ryan Raymond</u>		
Who should we contact when the permit is ready: <u>Cynthia Amato</u>		
Mailing address: <u>45 Copley Woods Circle</u> <u>Stephen Wilson</u> <u>878-6880</u> <u>Portland, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207 878 6880</u> <u>207 828 1035</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>3-25-02</u>
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This is NOT a permit, you may not commence ANY work until the permit is received.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- _____ **Re-Bar Schedule Inspection:** Prior to pouring concrete
- _____ **Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Cynthia Amato

Signature of applicant/designee

5/14/02

Date

[Signature]

Signature of Inspections Official

5/14/02

Date

CBL: 413 B 012 Building Permit #: 02 0335