

35 Copley Woods



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION Lot#9 35 Copley Woods (413 B009)

Issued to KTO Builders

Date of Issue 7/31/00

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 000354, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Structure

APPROVED OCCUPANCY

Single Family Dwelling
w/Attached Garage, NO DECK
Use Group R-3 Type 5B
BOCA 1999

Limiting Conditions:

Future Decks must obtain a separate Permittt

This certificate supersedes
certificate issued

Approved:

7/31/00 *[Signature]*
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

R
7/31/00

COMMENTS

LOT 9 - 35 Copley Woods Cir

413-B-009

4/25 Footings, setback insp w/ Kevin Carroll All measurements according to plan. JR

5/9 for Backfill - NO - 10' deep backfill not in @ w/sw

5/10 - Drains ok - stone + fabric ok - damproofing on 3 sides - garage side will be done later - garage not poured yet - using fill from garage dig to fill in around foundation - ok (RM)

5/19/00 - Garage poured - ok to back fill

6/12/00 - Framing - Stairs, Egress all OK (DC)

8/1/00 Final - need to tie rail front exit stairs w/ std hardware on all rails - back door exit needs stone w/ rail S. Busby also has issues - No egress 12' x 10' + 10' x 10' Egress - back outlet to be dropped - 8/1/00

8/1/00 Center Rail Front done, Rear Stairs done, all hardware in place - outlet moved OK for C/O

Release from Stone Busby / Gordon Smith Re: id -

RTO picked up C/O - paid for 2 extra inspections (\$100.00)

Inspection Record

Type	Date
Foundation: <u>Partial Frdn -</u>	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

774 MAIN STREET
SUITE 1
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 779 5896

#2

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement Kevin Carroll
Kandi Talbot, Planner

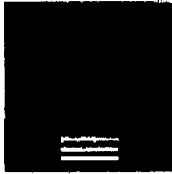
FROM: Gordon Smith, Director of Construction Services
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: July 31, 2000

RE: Certificate of Occupancy - Lot #9 Copley Avenue

1. On July 31, 2000, the site was reviewed for compliance with the conditions of approval.

It is my opinion that a **Permanent certificate of occupancy could be issued**, assuming Code Enforcement has no outstanding issues.



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MEMORANDUM

TO: Art Rowe
Code Enforcement Officer
City of Portland, Maine

Kandi Talbot
Planner
City of Portland, Maine

FROM: Steve Bushey, Acting Development Review Coordinator

DATE: July 31, 2000

RE: Site Visit for House at Lot #9 Copley Woods Circle

On July 31, 2000, I visited the site to review the compliance with respect to the conditions of approval.

1. The original conditions required 2 trees to be planted. This has not been completed but will be completed this fall and is covered by the performance guarantee for the subdivision.
2. I advised Tony Vance of KTO Builders that the fill slope behind the house must be graded, loamed, seeded and stabilized with erosion control mesh immediately and prior to a Certificate of Occupancy.

It is our opinion that **the permanent certificate of occupancy should not be issued at this time.** The work listed in #2 above needs to be completed.