

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 061573

**PERMIT ISSUED**

DEC - 1 2006

This is to certify that FIFIELD JOSHUA T & CATHERINE FIFIELD &/Peter Cr es

has permission to build duplex - unit 3A and 3B

AT APPLE LEDGE DR

410 F01105E

CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

11/30/06

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1573	Issue Date: 11/30/2006	CBL: 410 F01105C
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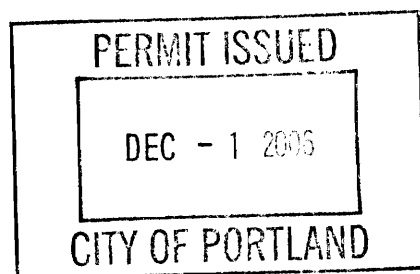
Location of Construction: APPLE LEDGE DR	Owner Name: FIFIELD JOSHUA T & CATHERI	Owner Address: 5C APPLELEDGE DR	Phone:
Business Name:	Contractor Name: Peter Cricones	Contractor Address: P O Box 468 Tyngsboro	Phone: 9785093235
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: 12-3

Past Use: 14 existing PRUD residential Dwelling Units	Proposed Use: complete 2 PRUD residential dwelling units on previously approved site plan on existing foundations	Permit Fee: \$3,920.00	Cost of Work: \$360,000.00	CEO District: 4	PRUD
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Proposed Project Description: build duplex - unit 3A and 3B	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: 12-3 Type: SB IRC 2003
	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: dmartin	Date Applied For: 10/27/2006	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 7 Zone X <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan - Previously approved Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 11/30/06	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 11/30/06
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-1573	<b>Date Applied For:</b> 10/27/2006	<b>CBL:</b> 410 F01105C
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<b>Location of Construction:</b> APPLE LEDGE DR	<b>Owner Name:</b> FIFIELD JOSHUA T & CATHERI	<b>Owner Address:</b> 5C APPLELEDGE DR	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Peter Cricones	<b>Contractor Address:</b> P O Box 468 Tyngsboro	<b>Phone:</b> (978) 509-3235
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Duplex	

<b>Proposed Use:</b> complete 2 PRUD residential dwelling units on previously approved site plan on existing foundations	<b>Proposed Project Description:</b> build duplex - unit 3A and 3B
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 11/02/2006

**Note:** **Ok to Issue:**

- 1) It is understood that only patios and not constructed decks will be at the rear of these buildings. ANY CHANGES to the rear patios SHALL require a separate permit with reviews and approvals.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This entire PRUD property shall remain eighteen (18) residential dwelling units with the completion of the four dwelling units being proposed. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 11/30/2006

**Note:** **Ok to Issue:**

- 1) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) As discussed, the R-Value must be a minimum of R-38 in the roof.
- 5) The attic scuttle opening must be 22" x 30".

**Dept:** Fire      **Status:** Not Applicable      **Reviewer:** Cptn Greg Cass      **Approval Date:**

**Note:** not applicable per Grag Cass **Ok to Issue:**

**Comments:**

11/2/2006-mes: spoke with Peter Cricones - he will revise plans to show one extra parking space. I will pass on for further codes reviews

11/28/2006-tmm: Spoke w/Pete went over a few items

11/29/2006-mes: Peter Cricones submitted site plan showing the required parking - zoning is now completed

NOT ISSUE

DEC - 1 2006

CITY OF PORT

# Apple ledge - Unit #3

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1) _____				
Component	Submitted Plan	Findings	Revisions	Date
<b>STRUCTURAL</b>				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	} see engineer's Report - existing			
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)				
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY				
Anchor Bolts/Straps, spacing (Section R403.1.6)				
Lally Column Type (Section R407)				
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type				
Sill/Band Joist Type & Dimensions	0x6 PT SILL			
① First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10-16" OC - 1'26" overhang -			
		10" Max.		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10-16" OC - OK			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6 collar ties - OK			

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x12's	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2" Roof / 3/8" wall / 3/4" floor	
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
<b>Private Garage</b> (Section R309) Living Space ? (Above or beside)  Fire separation (Section R309.2)  Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	- OK see elevations	
Roof Covering (Chapter 9)	Asphalt - OK	
Safety Glazing (Section R308)	OK	
① Attic Access (Section R807)	NOT shown	
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
② Header Schedule (Section 502.5(1) & (2))	<del>OK</del> OK	
③ Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	U-Value - 0.34 R-19 walls	

Need R-38 in walls ceiling - rafters

Type of Heating System		
<b>Means of Egress</b> (Sec R311 & R312) Basement <input type="checkbox"/> Number of Stairways / Interior / Exterior <input type="checkbox"/> Treads and Risers <i>10" T 7 5/8" R</i> (Section R311.5.3) Width (Section R311.5.1) <i>3'-4"</i> Headroom (Section R311.5.2) <i>6'10"</i>		
<u>4</u> Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	<i>not shown</i>	
Smoke Detectors (Section R313) Location and type/Interconnected	<i>— OK</i>	
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	<i>— N/A</i>	
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)	<i>— OK</i>	
Deck Construction (Section R502.2.1)	<i>N/A</i>	

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- |                                     |                                       |  |
|-------------------------------------|---------------------------------------|--|
| <input type="checkbox"/>            | Footing/Building Location Inspection: | Prior to pouring concrete  |
| <input type="checkbox"/>            | Re-Bar Schedule Inspection:           | Prior to pouring concrete  |
| <input type="checkbox"/>            | Foundation Inspection:                | Prior to placing ANY backfill  |
| <input checked="" type="checkbox"/> | Framing/Rough Plumbing/Electrical:    | Prior to any insulating or drywalling  |
| <input checked="" type="checkbox"/> | Final/Certificate of Occupancy:       | Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

*PC* If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

*PC* **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

*City Cinema Manager LLC*

Signature of Applicant/Designee

*Donna Martin Admin*

Signature of Inspections Official

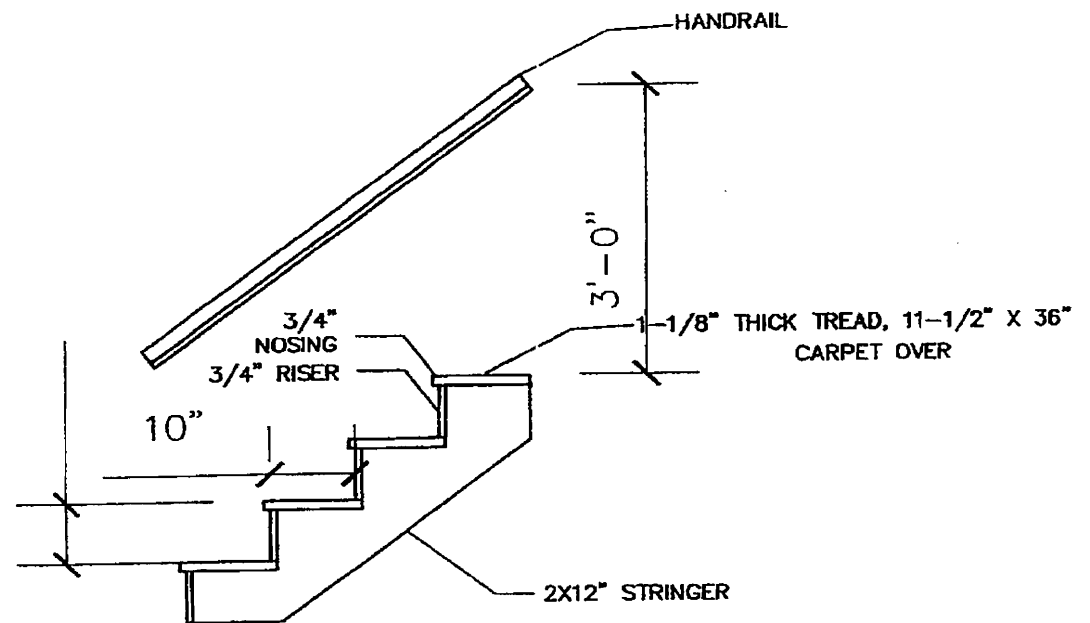
Date

*12 1 06*

Date

CBL: 410 F 011

Building Permit #: 06-1727



DETAIL 4  
SCALE : NTS A-5  
TYPICAL STAIR

NOTE: SECOND FLOOR CANTILEVERS WILL BE 10"



**From:** Sarah Hopkins  
**To:** Ann Machado; Marge Schmuckal; Mike Nugent  
**Date:** 8/18/2006 3:38:04 PM  
**Subject:** Apple Ledge

Peter Cricones showed us a plan to build the four remaining units at Apple Ledge. Since it is a buildout of a PRUD, I think he only needs a building permit. Marge, he said that he owes you additional information and will include it with his application.

I've left what he gave me on my desk if anyone needs it.

-Sarah

**CC:** Jay Reynolds

**PETER CRICONES**  
**PO Box 468**  
**TYNGSBORO, MA 01879**  
**978-509-3235**  
**FAX: 978-656-4167**  
**EMAIL: Easthomestrust@yahoo.com**

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To: Marge Schmuckal  
From: Peter Cricones  
RE: Apple Ledge Condominums  
Units 3A, 3B, 4A, 4B

November 24, 2006

Dear Marge,

Enclosed are the revised plans depicting the 8 parking spots, as per your request. If you have any questions, please feel free to contact me.

Sincerely,



Peter Cricones

# 06-1573

