

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

ELECTRICAL SECTION

PERMIT

Permit Number: 0709821ED

JUN 18 2008

CITY OF PORTLAND

This is to certify that HABITAT FOR HUMANITY GREAT PORTLAND INC is

has permission to Single Family Home ranch style w/ no garage

AT 70 Demerest St

Call 410.F00500

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

John N. Mearns 9/24/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0982	Issue Date:	CBL: 410 F005001
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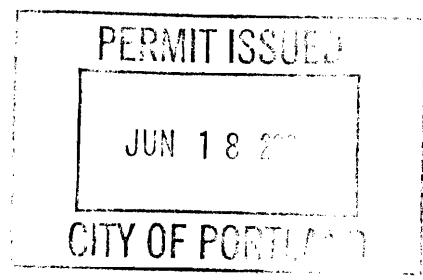
Location of Construction: 70 Demerest St <i>Lot 1</i>	Owner Name: HABITAT FOR HUMANITY/ GR	Owner Address: PO BOX 10505	Phone:
Business Name:	Contractor Name: Habitat for Humanity	Contractor Address: PO Box 10505 Portland	Phone: 2077722151
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>R-3</i>

Past Use: Vacant land	Proposed Use: Single Family Home - Single Family Home ranch style w/ no garage	Permit Fee: \$1,395.00	Cost of Work: \$130,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description: Single Family Home ranch style w/ no garage	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 08/13/2007	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>permitted zone</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2007-0137</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>8/21/07</i> <i>APR</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>APR</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0982	Date Applied For: 08/13/2007	CBL: 410 F005001
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Location of Construction: 70 Demerest St	Owner Name: HABITAT FOR HUMANITY/ GRE	Owner Address: PO BOX 10505	Phone:
Business Name:	Contractor Name: Habitat for Humanity	Contractor Address: PO Box 10505 Portland	Phone (207) 772-2151
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - Single Family Home ranch style w/ no garage	Proposed Project Description: Single Family Home ranch style w/ no garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/21/2007

Note:**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 09/26/2007

Note:**Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 08/20/2007

Note:**Ok to Issue:**

- 1) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 2) Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.
- 3) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the do not disturb/no-cut zone. All conditions listed on the approved subdivision plan shall be followed.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ⁷⁰ Demerest Street Ext. - lot 1 subdivision		
Total Square Footage of Proposed Structure 1392 410-F-5		Square Footage of Lot 17250 S.F. 0.410 Ac
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 206 702 +	Owner: Habitat for Humanity of Greater Portland	Telephone: 207-772-2151
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: PO Box 10505 83A Bell Street Portland, ME 04104	Cost Of Work: \$ 130,000 - Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>N/A</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>single family</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Demerest Street Extension</u> Project description: <u>Single family residence in 4-unit subdivision. Slab on grade w/ frost wall. Ranch/bungalow style. Truss roof. No garage. Existing SH 125'.</u>		
Contractor's name, address & telephone: <u>same</u>		\$ 1320.00 300.00 TK 20 <hr/> 1695
Who should we contact when the permit is ready: <u>Daniel Wallace</u>		
Mailing address: <u>same</u> Phone: <u>207-252-2503</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

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Signature of applicant: [Signature] Date: 8/9/07

This is not a permit; you may not commence ANY work until the permit is issued.

Applicant: Habitat for Humanity of Greater Portland Date: 8/21/07

Address: ⁷⁰ 66 Demerest St
Lot 1 - Demerest St. Extension

C-B-L: ~~current case 410-F-001~~
* new 410-F-005

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

permit # - 07-0982

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - ~~city~~ ^{build} new single family ranch w/ no garage

Sevage Disposal - city

Lot Street Frontage - 50' min - 75' given

Front Yard - 25' min - ~~75'~~ 64' scaled

Rear Yard - 25' min - 110' scaled

Side Yard - 1 1/2 stories - 19.5 scaled on r. side
2 stories 14' - 23.5 scaled on left.

Projections - porch 6x12, 1x8 overhang, 14'x4 (attached shed), 4x4 steps

Width of Lot - 65' min - 75' scaled

Height - 35' max - 18.5 scaled from lowest to grade

Lot Area - 6,500 sq ft - 17,250 sq ft given

Lot Coverage Impervious Surface - 35% = 6,037.5 sq ft

Area per Family - 6,500 sq ft

Off-street Parking - 2 spaces required - 2 spaces shown

Loading Bays - N/A

Site Plan - minor / minor 2007-0137

Shoreland Zoning / Stream Protection - N/A

Flood Plains - panel 7 - zone X

no basement - slab

O/c

28 x 44	=	1232
10 x 16	=	160
6 x 12	=	72
1 x 8	=	8
14 x 4	=	56
4 x 4	=	16
		<u>1544</u>

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CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

6/18/08

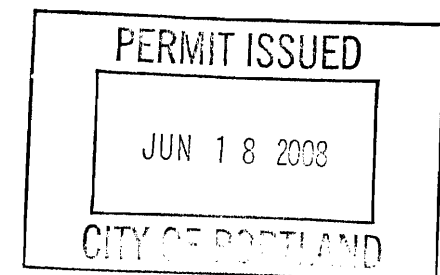
Date



Signature of Inspections Official

6.18.08

Date



ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10x20 Concrete Foundation min 4 FT Deep 4" concrete slab	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	perforated Foundation Drains Slope to Daylight ICF Foundation Wall	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA			
Anchor Bolts/Straps, spacing (Section R403.1.6)	Anchor Bolts	OK		
Lally Column Type (Section R407)	NA			
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	SLAB on grade / trusses	OK		
Sill/Band Joist Type & Dimensions	2x8 pt sill Simpson hays	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	SLAB on grade	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NA			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	35 lb value all windows			

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8:12 pitch raised eave rafters	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Asphalt shingles 5/8 sheathing "14 cellulose insulation"	OK
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	OK
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	NA	
Emergency Escape and Rescue Openings (Section R310)	Egress windows	OK
Roof Covering (Chapter 9)	Asphalt shingles 5/8 sheathing	OK
Safety Glazing (Section R308)	NA	
Attic Access (Section R807)	NA	
Chimney Clearances/Fire Blocking (Chap. 10)	NA	
Header Schedule (Section 502.5(1) & (2))	2x8's 2x6's	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	ICF walls	OK

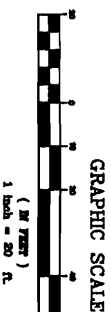
0.35 R value all windows

<p>? Type of Heating System</p>		
<p>Means of Egress (Sec R311 & R312) Basement 0 Number of Stairways 0 Interior 0 Exterior 1 Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)</p>	<p>Risers 7" Treads 11 4 FT 6"8 min 34-38 Handrails 36 min guards</p>	
<p>? <u>Smoke Detectors (Section R313)</u> Location and type/Interconnected</p>	<p>Each Bedroom / Common Areas interconnected</p>	
<p>? Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p>	<p>NA NA</p>	<p>OK</p>
<p>Deck Construction (Section R502.2.1)</p>	<p>NA</p>	<p>OK</p>



SEWER MANHOLE
RM=73.5
INV.=73.6
TBL: MAG NAIL SET
HORIZONTALLY
14" A.G. IN 12" PINE
ELEV. 77.56

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY ROW
---	---	SETBACK
---	---	EASEMENT
---	---	CENTRALINE
---	---	IRON PIPE/ROD
---	---	3/4" BUFFER PIN
---	---	UTLILAND
---	---	EDGE UTLILAND
---	---	STREAM
---	---	EDGE PAVEMENT
---	---	CONTOURS



N/F
ANASTOS &
LOHRES, INC.
1/18/14/1/10

WAIVER GRANTED

1. THE PORTLAND PLANNING BOARD VOTED UNANIMOUSLY 4-8-10 TO WAIVE THE APPLICANT'S OBLIGATION TO PROVIDE A 5' BUFFER ZONE OF PROPOSED DEPRESSURE STREET.
2. THE CITY AND PLANNING BOARD VOTED UNANIMOUSLY 4-8-10 TO WAIVE THE DEPRESSURE STREET'S OBLIGATION TO PROVIDE A 5' BUFFER ZONE OF PROPOSED DEPRESSURE STREET.
3. THE APPLICANT'S OBLIGATION TO PROVIDE A 5' BUFFER ZONE OF PROPOSED DEPRESSURE STREET IS WAIVED.
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10. THE APPLICANT'S OBLIGATION TO PROVIDE A 5' BUFFER ZONE OF PROPOSED DEPRESSURE STREET IS WAIVED.

CONDITIONS OF APPROVAL

1. THE APPLICANT OBTAIN THE NECESSARY PERMITS FROM THE CITY OF PORTLAND TO CONDUCT THE PROJECT.
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APR
CITY
PLD

STAY

STAY
CARD
RECEIVED
AT 2
PLN 1
ATTN 1

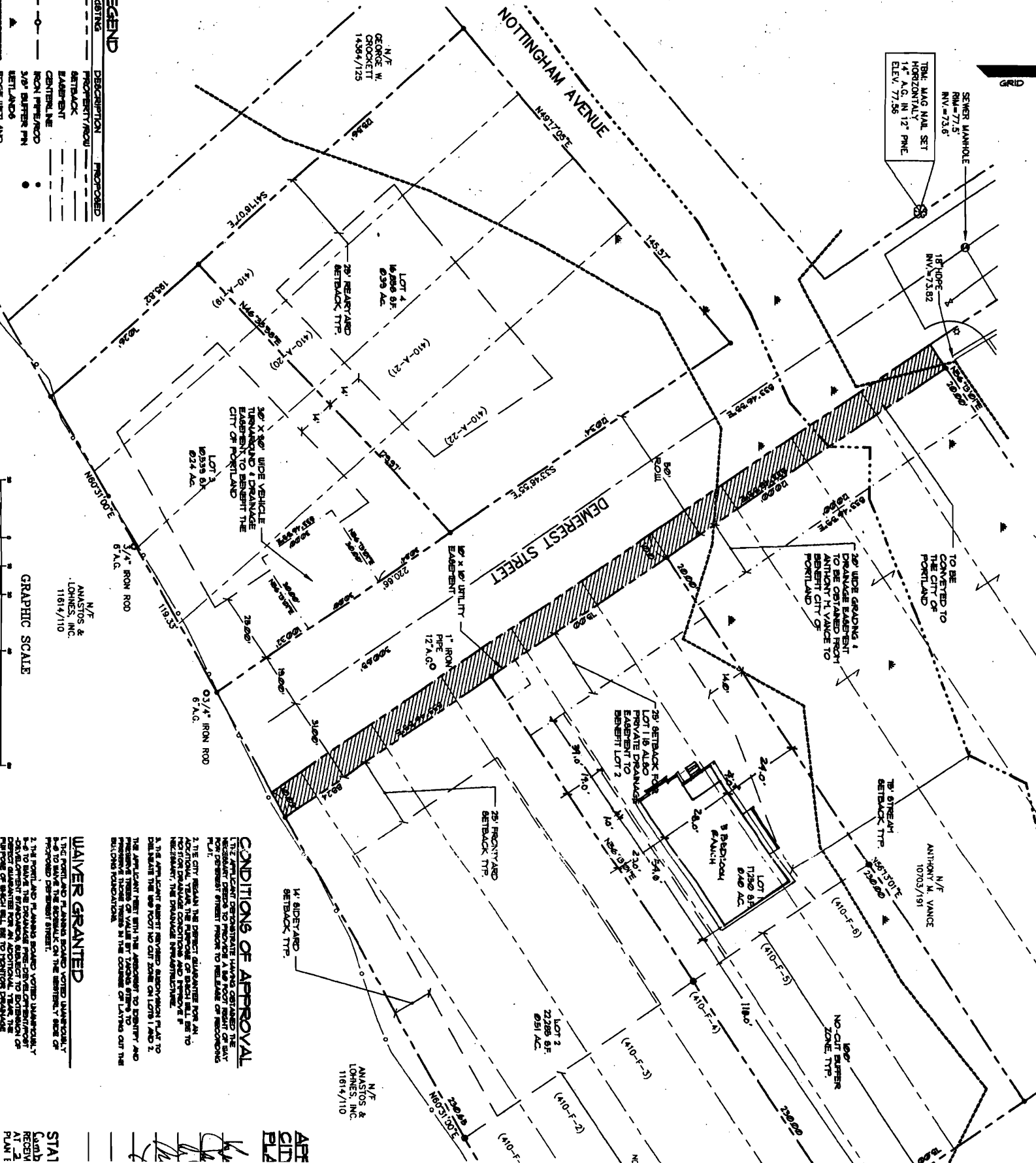
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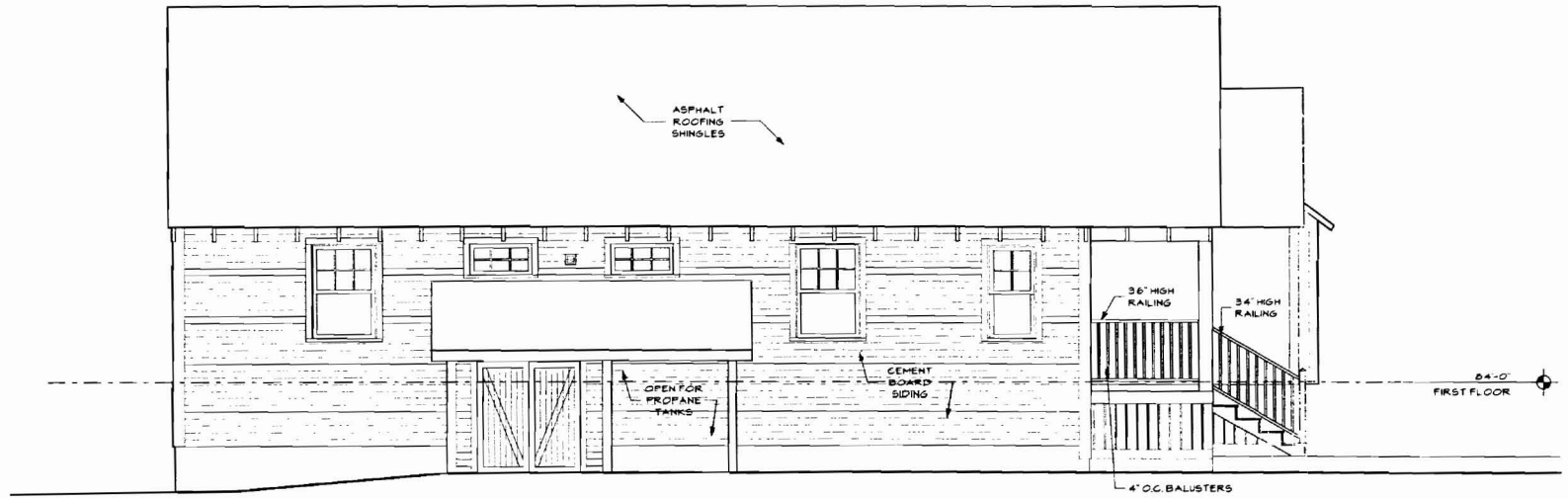
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CROCKETT
14364/125

N/F
ANTHONY M. VANCE
10703/191

NOTTINGHAM AVENUE
145.57

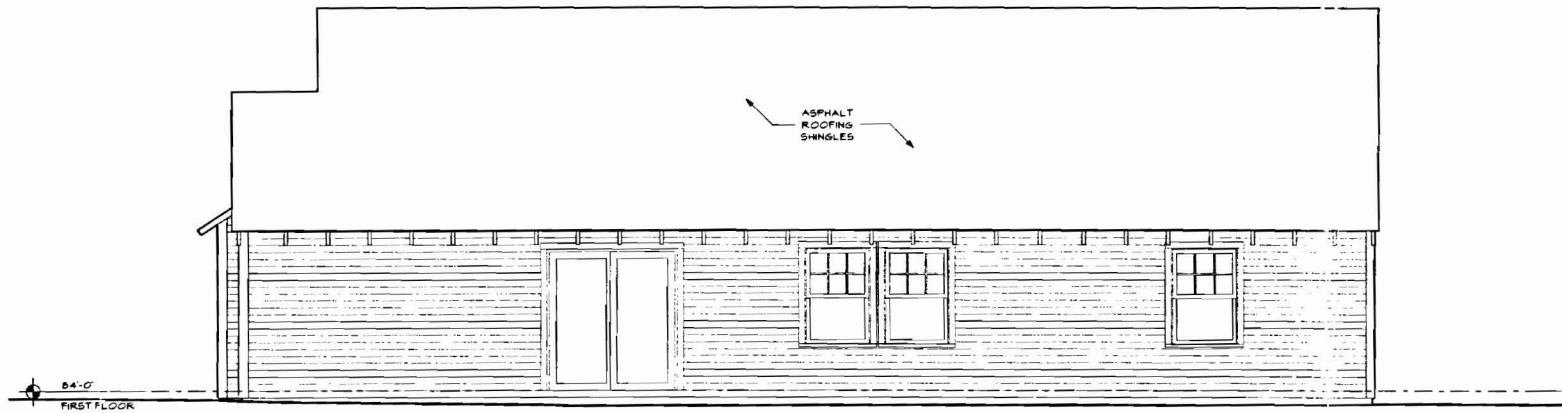
DEMAREST STREET





1 NORTH ELEVATION
2 SCALE: 1/4" = 1'-0"

2 WEST ELEVATION
2 SCALE:



3 SOUTH ELEVATION
2 SCALE: 1/4" = 1'-0"

4 EAST ELEVATION
2 SCALE:

