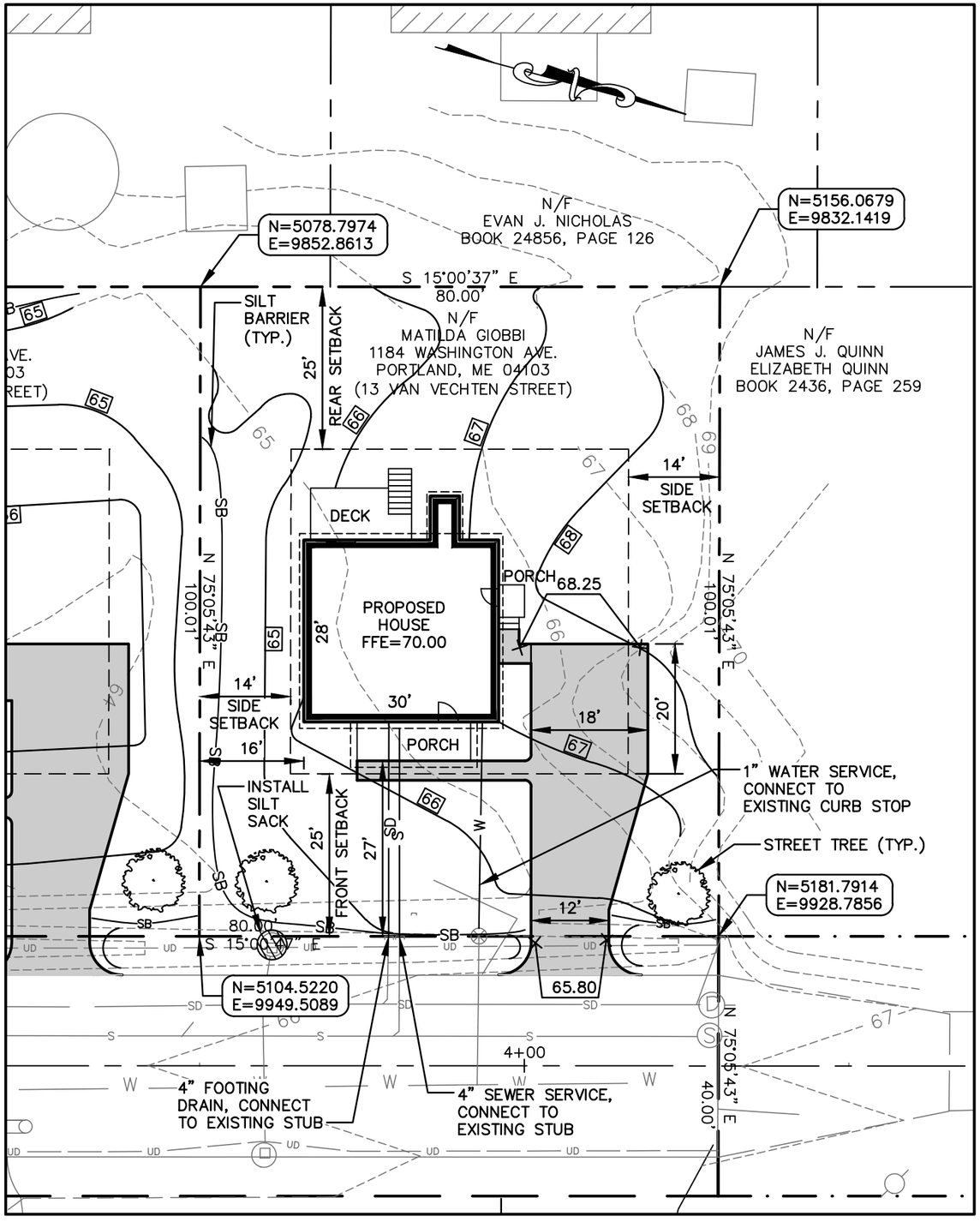

EXISTING | LEGEND | PROPOSED

- RIGHT-OF-WAY
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- SETBACK LINE
- BUILDING
- EDGE OF PAVEMENT
- WATER LINE (W)
- SEWER LINE (S)
- STORM DRAIN (SD)
- UNDERDRAIN (UD)
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- CURB STOP
- CONTOUR (65)
- STREET TREE
- WETLAND
- FOUNDATION DRAIN
- SILT BARRIER (SB)
- SILT SACK

NOTES:

1. PLAN REFERENCE: "PLAN PROFILE, STREET EXTENSION, VAN VECHTEN STREET, PORTLAND, MAINE" BY DALFONSO ENGINEERING, DATED 10/12/2016, APPROVED PER CITY CODE SECTION 14-403, 11/08/2016.
2. RECORD OWNER: MATILDA GIOBBI, 1184 WASHINGTON AVE. PORTLAND, ME 04103, CCRD BOOK 17863, PAGE 069.
3. ELEVATIONS: DIMENSIONS REFERENCE CITY DATUM.
4. TAX MAP REFERENCE: 410-C-30001
5. ZONING: R-3
6. SOIL TYPE: FROM NRCS SOIL MAP "SN" SCANTIC SILT LOAM.
7. PARCEL AREA: 8,001 S.F.
8. IMPERVIOUS AREA:
   - HOUSE = 870 S.F.
   - PORCH = 221 S.F.
   - WALKWAY = 103 S.F.
   - DRIVEWAY = 805 S.F.

20 0 10 20 40

1 inch = 20' ft.

STATE OF MAINE
PETER J. DALFONSO
No. 4100
LICENSED PROFESSIONAL ENGINEER
5/18/2018

REV.	DATE	REVISION DESCRIPTION	DRAWN	CHK'D
1	4/05/2018	SUBMITTED FOR BUILDING PERMIT	DB	PJD

SITE PLAN

13 VAN VECHTEN STREET
PORTLAND, MAINE

Client:
HIGGINS BUILDERS, INC.
83 BAY STREET
PORTLAND, MAINE 04103

Prepared by:
Dalfonso Engineering
CIVIL ENGINEERING SERVICES
17 Ledge Hill Road
Gorham, Maine 04038
Phone: 207-749-4801
Email: pjdal@maine.rr.com

DATE: 3/16/2018
PROJ. #: 118
SCALE: 1"=20'

Exterior Elevation Front

Rough openings to be determined by builder.
Placement of openings to be determined by builder.

Exterior Elevation Right

Elevations are approximated and need to be verified on site prior to pouring foundation.

Exterior Elevation Left

NOTE:
SMOKE ALARMS/CO DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1: EACH SLEEPING AREA
2: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3: ALL SMOKE ALARMS SHALL BE INTERCONNECTED

Please add a note about the sprinkler installation

Exterior Elevation Back

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REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

HIGGINS LOT 3

DRAWINGS PROVIDED BY:

DATE:
4/27/2018

SCALE:
AS NOTED

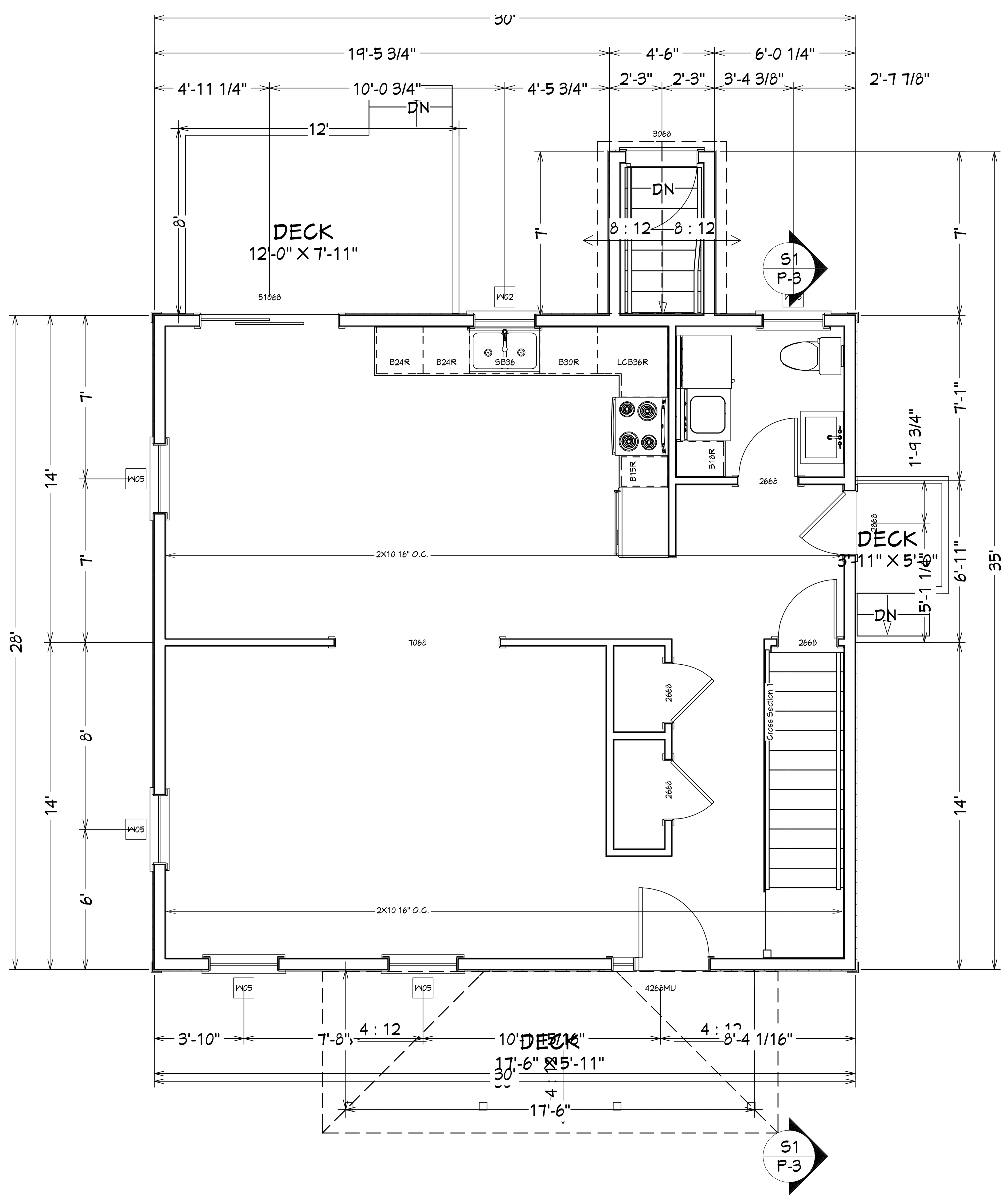
SHEET:
P-1

Elevations are approximated and need to be verified on site prior to pouring foundation.

Rough openings to be determined by builder.
Placement of openings to be determined by builder.

Please provide a Door Schedule

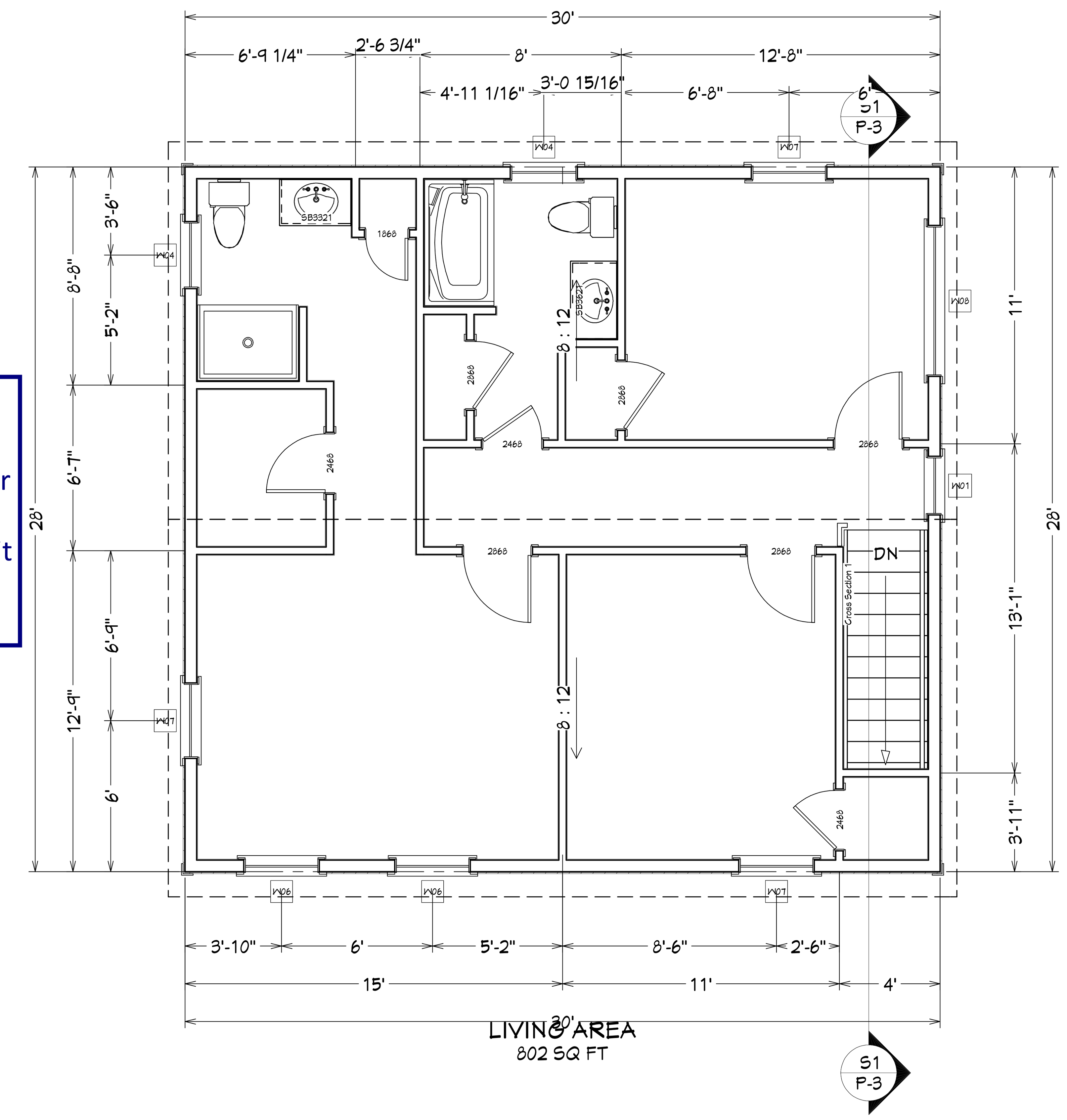
WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS	DESCRIPTION	TEMPERED
W01	2440DH	1	2	2440DH	28 "	48 "		DOUBLE HUNG	
W02	2830DH	1	1	2830DH	32 "	35 7/8 "		DOUBLE HUNG	
W03	2840DH	1	1	2840DH	32 "	48 "		DOUBLE HUNG	YES
W04	2840DH	2	2	2840DH	32 "	48 "		DOUBLE HUNG	YES
W05	3050DH	4	1	3050DH	36 "	60 "		DOUBLE HUNG	
W06	3050DH	2	2	3050DH	36 "	60 "		DOUBLE HUNG	
W07	3050DH	3	2	3050DH	36 "	60 "	YES	DOUBLE HUNG	
W08	6016FX	1	2	6016FX	72 "	18 "		FIXED GLASS	



LIVING AREA
840 SQ FT

1st Floor 1/4 in = 1 ft

Please provide the location of the attic scuttle, dimensions, door R-value, and if using blown in cellulose, how it will comply with IECC Sec. 402.2.3



2nd Floor 1/4 in = 1 ft

NOTE:
SMOKE ALARMS/CO DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1: EACH SLEEPING AREA
2: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3: ALL SMOKE ALARMS SHALL BE INTERCONNECTED

THIS INFORMATION IS PROVIDED TO ILLUSTRATE DESIGN ONLY. THESE PLANS ARE NOT WORK OF AN ARCHITECT. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND MECHANICAL ASPECTS OF THE PROJECT. ALL BUILDING CODES ARE THE RESPONSIBILITY OF YOUR CONTRACTOR.

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

HIGGINS LOT 3

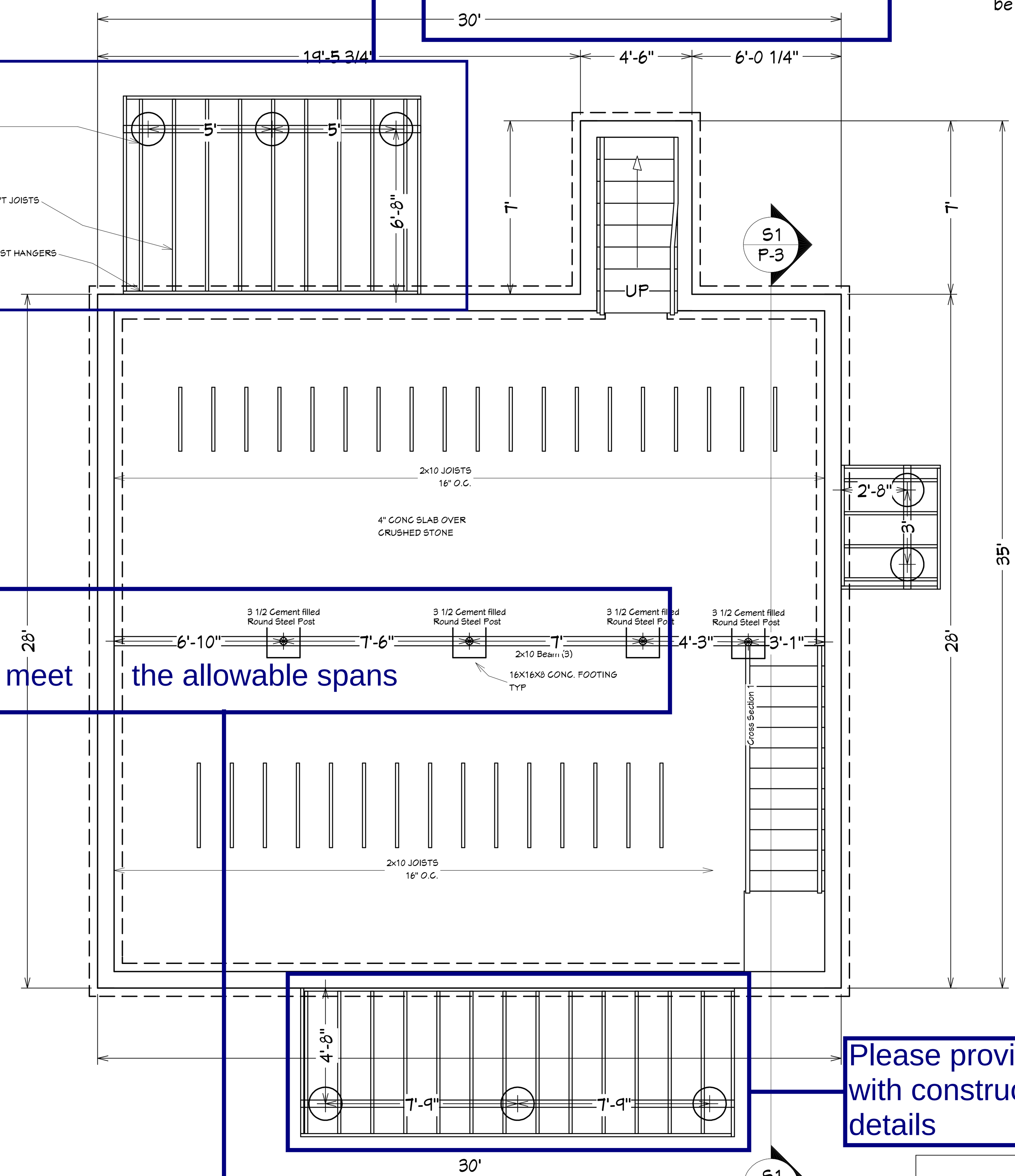
DRAWINGS PROVIDED BY:

DATE: 4/27/2018

SCALE: AS NOTED

SHEET: P-2

Elevations are approximated and need to be verified on site prior to pouring foundation.



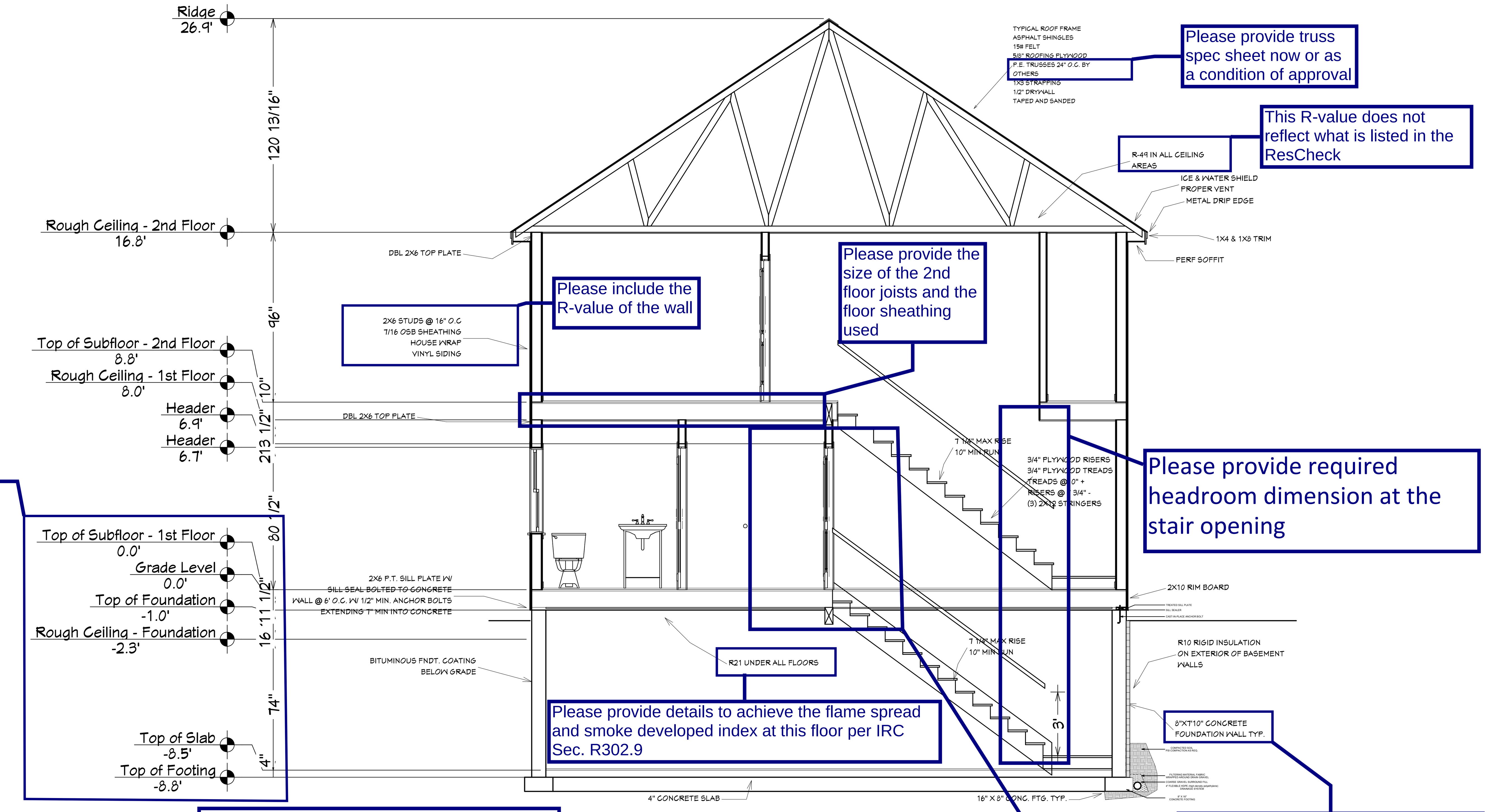
Foundation

Please provide a deck section with construction and guardrail details

Please revise to meet the allowable spans

Please provide a porch section with construction and guardrail details

Please clarify these elevation points, there are some discrepancies



Cross Section 1

Please provide truss spec sheet now or as a condition of approval

This R-value does not reflect what is listed in the ResCheck

Please include the R-value of the wall

Please provide the size of the 2nd floor joists and the floor sheathing used

Please provide required headroom dimension at the stair opening

Please provide details to achieve the flame spread and smoke developed index at this floor per IRC Sec. R302.9

Please provide rebar reinforcement per Sec. R404.1.2.2

Please check for consistency with the IRC 2009. Keep in mind that applications received after April 23, 2018 are reviewed under the 2015 code

Please indicate continuation of the building thermal envelope separating the unconditioned basement from the conditioned first floor, see IECC Ch. 2 definitions. See comments on the ResCheck.

TABLE R502.5(2)
GIRDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS
(Maximum spans for Douglas fir-larch, hem-fir, souther pine and spruce-pine-fir and required number of jack studs)

HEADERS AND GIRDERS SUPPORTING	SIZE	Building Width[c] (feet) 20 Span	NJ[D]	28 Span	NJ[D]	36 Span	NJ[D]
One floor only	2-2x4	3-1	1	2-8	1	2-5	1
	2-2x6	4-6	1	3-11	1	3-6	1
	2-2x8	5-9	1	5-0	2	4-5	2
	2-2x10	7-0	2	6-1	2	5-5	2
	2-2x12	8-1	2	7-0	2	6-3	2
	3-2x8	7-2	1	6-3	1	5-7	2
	3-2x10	8-9	1	7-7	2	6-9	2
	3-2x12	10-2	2	8-10	2	7-10	2
	4-2x8	5-10	1	5-1	2	4-6	2
	4-2x10	10-1	1	8-9	1	7-10	2
	4-2x12	11-9	1	10-2	2	9-1	2
TWO floor only	2-2x4	2-2	1	1-10	1	1-7	1
	2-2x6	3-2	2	2-9	2	2-5	2
	2-2x8	4-1	2	3-6	2	3-2	2
	2-2x10	4-11	2	4-3	2	3-10	3
	2-2x12	5-9	2	5-0	3	4-5	3
	3-2x8	5-1	2	4-5	2	3-11	2
	3-2x10	6-2	2	5-4	2	4-10	2
	3-2x12	7-2	2	6-3	2	5-7	3
	4-2x8	4-2	2	3-7	2	3-2	2
	4-2x10	7-2	2	6-2	2	5-6	2
	4-2x12	8-4	2	7-2	2	6-5	2

TABLE R602.3(1)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MATERIAL	DESCRIPTION OF FASTENER[b, c, d, e]	SPACING OF FASTENERS: Edges (inches)[i]	Intermediate support[c, e] (inches)
wood structural panels, subfloor, roof and wall sheathing to framing, and particaleboard wall sheathing to framing			
5/16" - 1/2"	6d common nail (subfloor, wall) 8d common nail (roof)[f]	6	12[g]
19/32" - 1"	8d common nail	6	12[g]
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12
Other wall sheathing[H]			
1/2" regular cellulosic fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	3	6
1/2" regular cellulosic fiberboard sheathing	1-3/4" galvanized roofing nail 8d common nail staple 16ga., 1-3/4" long	3	6
25/32" structural cellulosic fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail; staple galvanized, 1-1/2" long 1-1/4" screws, type W or S	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	4	8
wood structural panles, combination subfloor underlayment to framing			
3/4" and less	6d deformed nail or 8d common nail	6	12
7/8" - 1"	8d common nail or 8d deformed nail	6	12
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12

For SI: 1 inch=25.4mm, 1 foot=304.8mm, 1 mile per hour=1.609km/h

a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yeid strengths as shown: 80ksi (551 MPg) for shank diameter of .192 inch (20d common nail), 90ksi (620 MPg) for shank diameter larger than 0.142 inch but not larger than 1.177 inch, and 100ksi (689 MPg)for shank diameters of 0.142 inch less.

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foor- by-8-foot or 4-foot-by-9-foot panels shall ne applied vertically.

e. Spacing of fasteners not included in this table shall be based on table R602.3(1)

f. For regions having basic wind speed of 110mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof

g. For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eves and gable walls; and 4 inches on center to gable end wall sheathing.

h. Gypsum sheathing shall conform to ASTM C79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AHA 194.1 or ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing memebers and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

TABLE R502.5(1)
GIRDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS
(Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir[b] and required number of jack studs)

GIRDERS AND HEADERS SUPPORTING	SIZE	SIZE GROUND[e] SNOW LOAD (psf) 50, Building Width[c] (feet) 20 Span	NJ[d]	28 Span	NJ[d]	36 Span	NJ[d]
Roof and ceiling	2-2x4	3-2	1	2-9	1	2-6	1
	2-2x6	4-8	1	4-1	1	3-8	2
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-5	2	7-3	2	6-6	2
	3-2x8	7-5	1	6-5	2	5-9	2
	3-2x10	9-1	2	7-10	2	7-0	2
	3-2x12	10-7	2	9-2	2	8-2	2
	4-2x8	8-4	1	7-5	1	6-8	1
	4-2x10	10-6	1	9-1	2	8-2	2
	4-2x12	12-2	2	10-7	2	9-5	2
Roof, ceiling and over center-bearing floor	2-2x4	2-9	1	2-5	1	2-2	1
	2-2x6	4-1	1	3-7	2	3-3	2
	2-2x8	5-2	2	4-6	2	4-1	2
	2-2x10	6-4	2	5-6	2	5-0	2
	2-2x12	7-4	2	6-5	2	5-9	3
	3-2x8	6-5	2	5-8	2	5-1	2
	3-2x10	7-11	2	6-11	2	6-3	2
	3-2x12	9-2	2	8-0	2	7-2	2
	4-2x8	7-5	1	6-6	1	5-11	2
	4-2x10	9-7	2	8-0	2	7-2	2
	4-2x12	10-7	2	9-3	2	8-4	2
Roof, ceiling and one clear span floor	2-2x4	2-7	1	2-3	1	2-0	1
	2-2x6	3-10	2	3-4	2	3-0	2
	2-2x8	4-10	2	-42	2	3-9	2
	2-2x10	5-11	2	5-1	2	4-7	3
	2-2x12	6-10	2	5-11	3	5-4	3
	3-2x8	6-1	2	5-3	2	4-8	2
	3-2x10	7-5	2	6-5	2	5-9	2
	3-2x12	8-7	2	7-5	2	6-8	2
	4-2x8	7-0	1	6-1	2	5-5	2
	4-2x10	8-7	2	7-5	2	6-7	2
	4-2x12	9-11	2	8-7	2	7-8	2
Roof, ceiling and two center-bearing floor	2-2x4	2-6	1	2-2	1	1-11	1
	2-2x6	3-8	2	3-2	2	2-10	2
	2-2x8	4-7	2	4-0	2	3-8	2
	2-2x10	5-8	2	4-11	2	4-5	3
	2-2x12	6-6	2	5-9	3	5-2	3
	3-2x8	5-9	2	5-1	2	4-7	2
	3-2x10	7-1	2	62-	2	5-7	2
	3-2x12	8-2	2	7-2	2	6-5	3
	4-2x8	6-8	1	5-10	2	5-3	2
	4-2x10	8-2	2	7-2	2	6-5	2
	4-2x12	9-5	2	8-3	2	7-5	2
Roof, ceiling and two clear span floor	2-2x4	2-0	1	1-8	1	1-5	2
	2-2x6	3-0	2	2-7	2	2-3	2
	2-2x8	3-10	2	3-4	2	2-11	3
	2-2x10	4-8	2	4-0	3	3-7	3
	2-2x12	5-5	3	-48	3	4-2	3
	3-2x8	4-9	2	4-1	2	3-8	2
	3-2x10	5-10	2	5-0	2	4-6	3
	3-2x12	6-9	2	5-10	3	5-3	3
	4-2x8	5-6	2	4-9	2	4-3	2
	4-2x10	6-9	2	5-10	2	5-2	2
	4-2x12	7-9	2	6-9	2	6-0	3

For SI: 1 inch=25.4mm, 1 pound per square foot+0.0479kN/m^2

a. Spans are given in feet and inches.

b. Tabulated values assume #2 grade lumber.

c. Building width is measured perpendicular to ridge. For Widths between those shown, spans are permitted to be interpalated.

d. NJ-Number of jacks studs required to support each end. Where the number of required jack studs equals one, the header is permitted to be supported by an approved framing anchor attached to the full-height wall stud and to the header

e. Use 30psf ground snow load for cases in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.

Rough openings to be determined by builder.
Placement of openings to be determined by builder.

NOTE:
SMOKE ALARMS/CO DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1: EACH SLEEPING AREA
2: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3: ALL SMOKE ALARMS SHALL BE INTERCONNECTED

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

HIGGINS LOT 3

DRAWINGS PROVIDED BY:

DATE: 4/27/2018

SCALE: AS NOTED

SHEET: P-3

Exterior Elevation Front

Rough openings to be determined by builder.
Placement of openings to be determined by builder.

Exterior Elevation Right

Elevations are approximated and need to be verified on site prior to pouring foundation.

Exterior Elevation Left

NOTE:
SMOKE ALARMS/CO DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1: EACH SLEEPING AREA
2: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3: ALL SMOKE ALARMS SHALL BE INTERCONNECTED

Exterior Elevation Back

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REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

HIGGINS LOT 3

DRAWINGS PROVIDED BY:

DATE:
3/9/2018

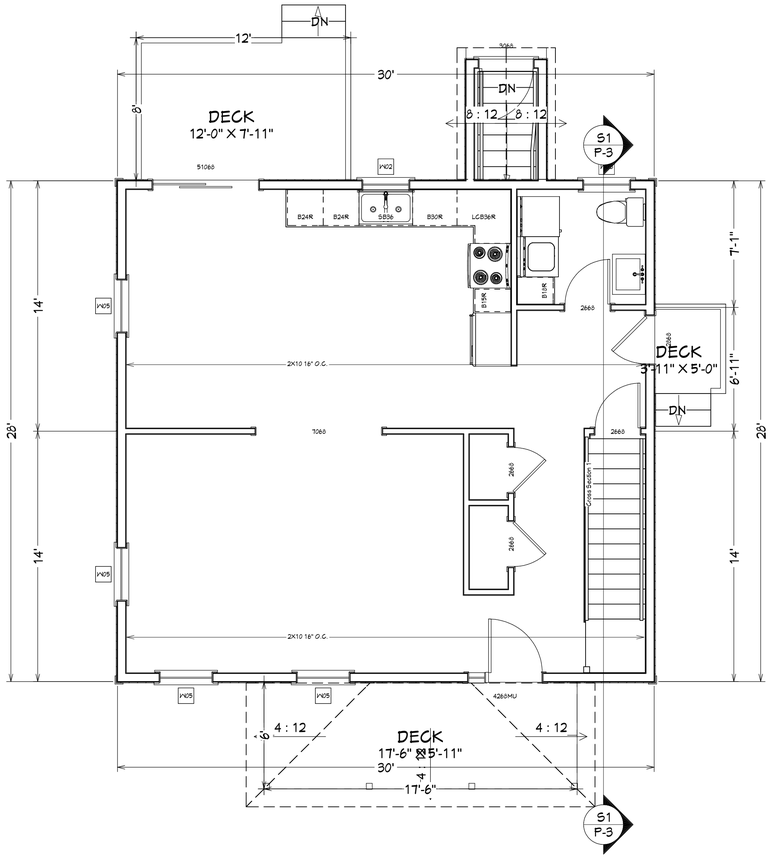
SCALE:
AS NOTED

SHEET:
P-1

This is a duplicate plan, please remove one P-2 plan

Elevations are approximated and need to
be verified on site prior to pouring foundation.

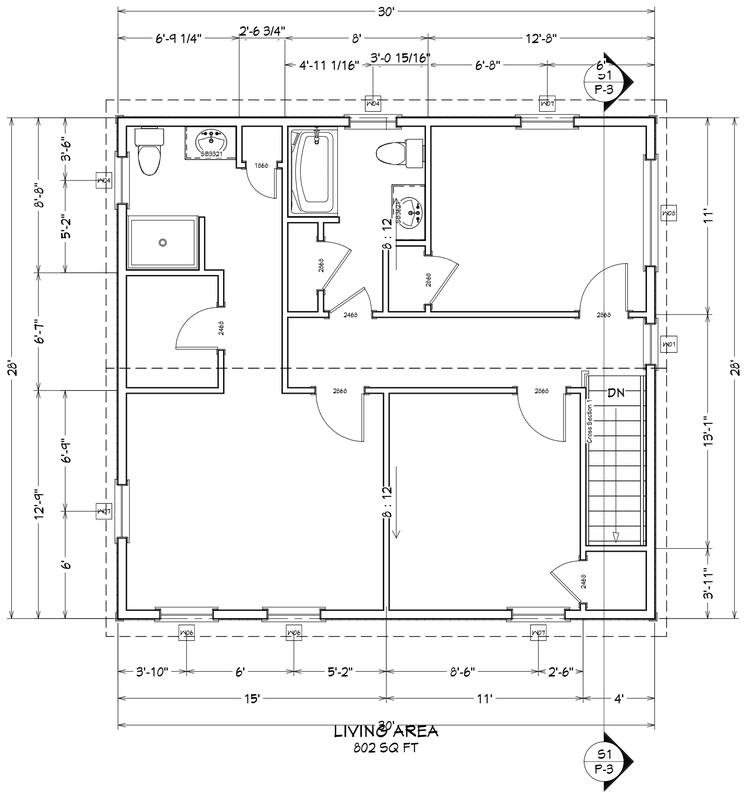
Rough openings to be determined by builder.
Placement of openings to be determined by builder.



LIVING AREA
840 SQ FT

1st Floor 1/4 in = 1 ft

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS	DESCRIPTION	TEMPERED
W01	2440DH	1	2	2440DH	28 "	48 "		DOUBLE HUNG	
W02	2830DH	1	1	2830DH	32 "	35 7/8 "		DOUBLE HUNG	
W03	2840DH	1	1	2840DH	32 "	48 "		DOUBLE HUNG	YES
W04	2840DH	2	2	2840DH	32 "	48 "		DOUBLE HUNG	YES
W05	3050DH	4	1	3050DH	36 "	60 "		DOUBLE HUNG	
W06	3050DH	2	2	3050DH	36 "	60 "		DOUBLE HUNG	
W07	3050DH	3	2	3050DH	36 "	60 "	YES	DOUBLE HUNG	
W08	6016FX	1	2	6016FX	72 "	18 "		FIXED GLASS	



2nd Floor 1/4 in = 1 ft

NOTE:
SMOKE ALARMS/CO DETECTORS
SHALL BE INSTALLED IN THE
FOLLOWING LOCATIONS:
1: EACH SLEEPING AREA
2: OUTSIDE EACH SEPARATE SLEEPING
AREA IN THE IMMEDIATE VICINITY
OF THE BEDROOMS
3: ALL SMOKE ALARMS SHALL BE
INTERCONNECTED

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

HIGGINS LOT 3

DRAWINGS PROVIDED BY:

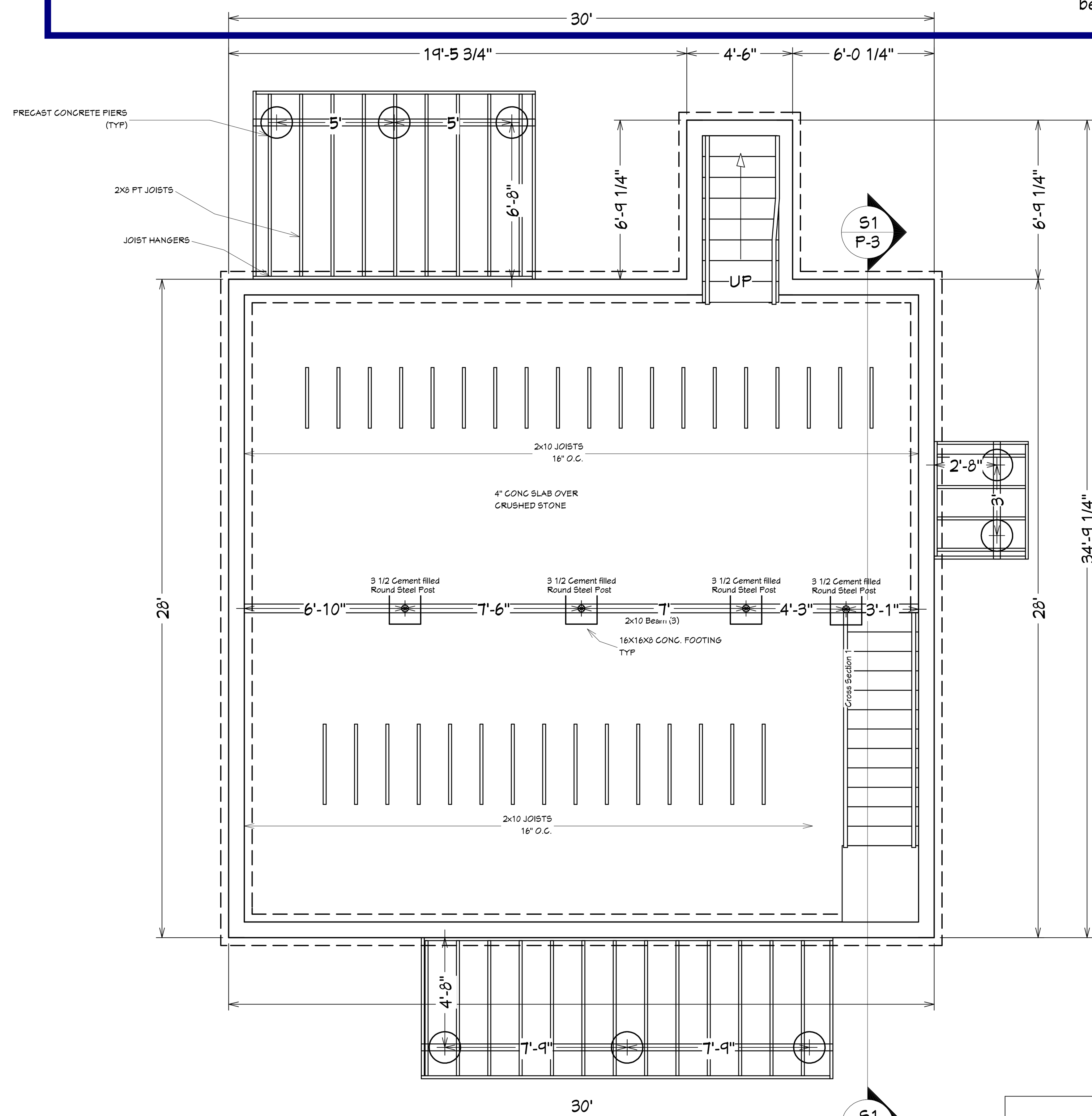
DATE:
3/9/2018

SCALE:
AS NOTED

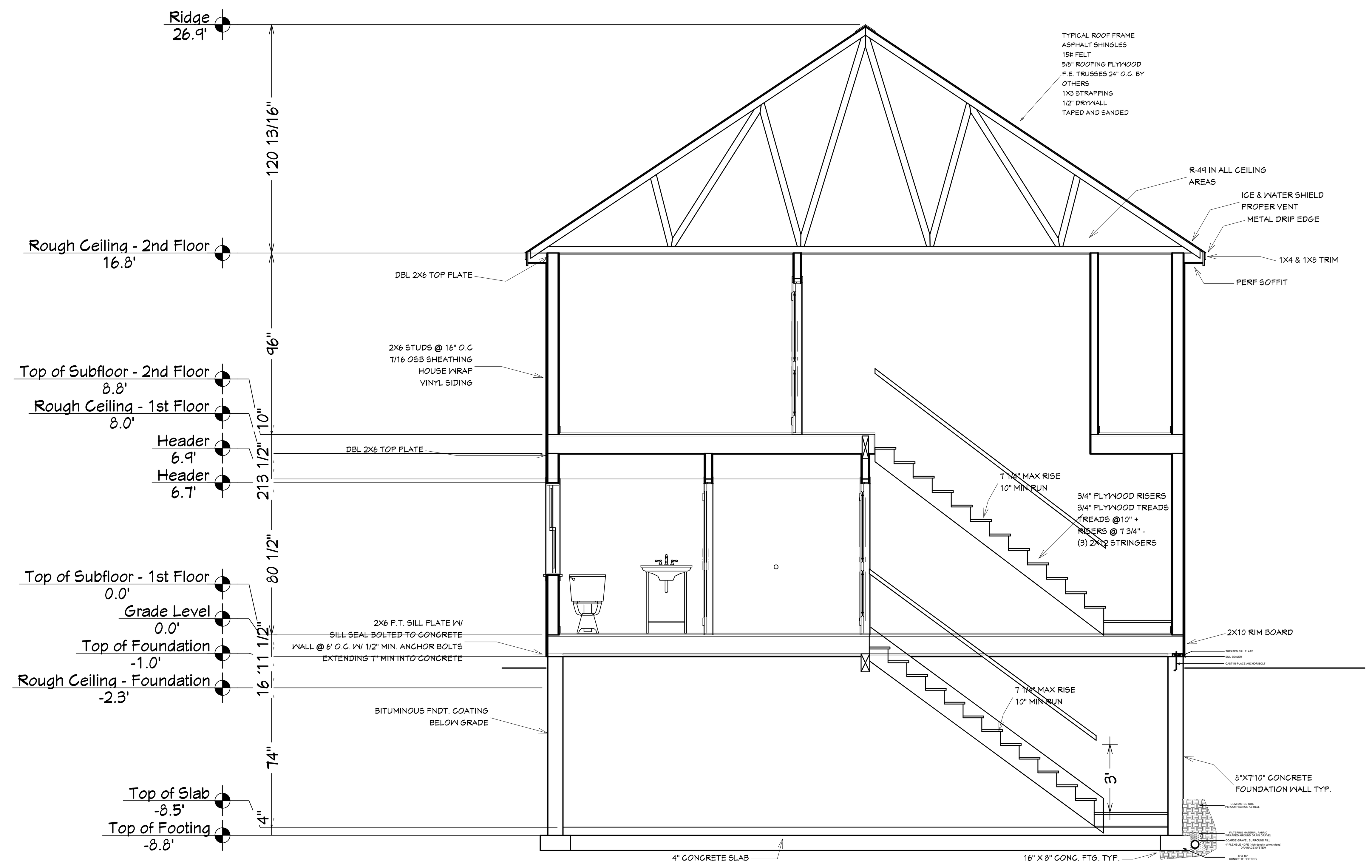
SHEET:
P-2

This is a duplicate plan, please revise one P-3 plan and remove one

Elevations are approximated and need to be verified on site prior to pouring foundation.



Foundation



Cross Section 1

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS			
DESCRIPTION OF BUILDING MATERIAL	DESCRIPTION OF FASTENER [b, c, d, e]	SPACING OF FASTENERS	
		Edges (inches) [i]	Intermediate support [c, e] (inches)
wood structural panels, subfloor, roof and wall sheathing to framing, and particaleboard wall sheathing to framing			
5/16" - 1/2"	6d common nail (subfloor, wall) 8d common nail (roof) [f]	6	12 [g]
19/32" - 1"	8d common nail	6	12 [g]
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12
Other wall sheathing [H]			
1/2" regular cellulosic fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	3	6
1/2" regular cellulosic fiberboard sheathing	1-3/4" galvanized roofing nail 8d common nail staple 16ga., 1-3/4" long	3	6
25/32" structural cellulosic fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail; staple galvanized, 1-1/2" long 1-1/4" screws, type W or S	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	4	8
wood structural panles, combination subfloor underlayment to framing			
3/4" and less	6d deformed nail or 8d common nail	6	12
7/8" - 1"	8d common nail or 8d deformed nail	6	12
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12

For SI: 1 inch=25.4mm, 1 foot=304.8mm, 1 mile per hour=1.609km/h

a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yeid strengths as shown: 80ksi (551 MPg) for shank diameter of .192 inch (20d common nail), 90ksi (620 MPg) for shank diameter larger than 0.142 inch but not larger than 1.177 inch, and 100ksi (689 MPg)for shank diameters of 0.142 inch less.

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foor- by-8-foot or 4-foot-by-9-foot panels shall ne applied vertically.

e. Spacing of fasteners not included in this table shall be based on table R602.3(1)

f. For regions having basic wind speed of 110mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof

g. For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eves and gable walls; and 4 inches on center to gable end wall sheathing.

h. Gypsum sheathing shall conform to ASTM C79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AHA 194.1 or ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing memebers and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

TABLE R502.5(2)
GIRDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS
(Maximum spans for Douglas fir-larch, hem-fir, souther pine and spruce-pine-fir and required number of jack studs)

HEADERS AND GIRDERS SUPPORTING	SIZE	Building Width (feet) 20		28		36	
		Span	NJ [d]	Span	NJ [d]	Span	NJ [d]
One floor only	2-2x4	3-1	1	2-8	1	2-5	1
	2-2x6	4-6	1	3-11	1	3-6	1
	2-2x8	5-9	1	5-0	2	4-5	2
	2-2x10	7-0	2	6-1	2	5-5	2
	2-2x12	8-1	2	7-0	2	6-3	2
	3-2x8	7-2	1	6-3	1	5-7	2
	3-2x10	8-9	1	7-7	2	6-9	2
	3-2x12	10-2	2	8-10	2	7-10	2
	4-2x8	5-10	1	5-1	2	4-6	2
	4-2x10	10-1	1	8-9	1	7-10	2
	4-2x12	11-9	1	10-2	2	9-1	2
TWO floor only	2-2x4	2-2	1	1-10	1	1-7	1
	2-2x6	3-2	2	2-9	2	2-5	2
	2-2x8	4-1	2	3-6	2	3-2	2
	2-2x10	4-11	2	4-3	2	3-10	3
	2-2x12	5-9	2	5-0	3	4-5	3
	3-2x8	5-1	2	4-5	2	3-11	2
	3-2x10	6-2	2	5-4	2	4-10	2
	3-2x12	7-2	2	6-3	2	5-7	3
	4-2x8	4-2	2	3-7	2	3-2	2
	4-2x10	7-2	2	6-2	2	5-6	2
	4-2x12	8-4	2	7-2	2	6-5	2

TABLE R502.5(1)
GIRDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS
(Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir[b] and required number of jack studs)

GIRDERS AND HEADERS SUPPORTING	SIZE	GROUND[e] SNOW LOAD (psf) 50 — Building Width[c] (feet) 20		28		36	
		Span	NJ [d]	Span	NJ [d]	Span	NJ [d]
Roof and ceiling	2-2x4	3-2	1	2-9	1	2-6	1
	2-2x6	4-8	1	4-1	1	3-8	2
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-5	2	7-3	2	6-6	2
	3-2x8	7-5	1	6-5	2	5-9	2
	3-2x10	9-1	2	7-10	2	7-0	2
	3-2x12	10-7	2	9-2	2	8-2	2
	4-2x8	8-4	1	7-5	1	6-8	1
	4-2x10	10-6	1	9-1	2	8-2	2
	4-2x12	12-2	2	10-7	2	9-5	2
Roof, ceiling and over center-bearing floor	2-2x4	2-9	1	2-5	1	2-2	1
	2-2x6	4-1	1	3-7	2	3-3	2
	2-2x8	5-2	2	4-6	2	4-1	2
	2-2x10	6-4	2	5-6	2	5-0	2
	2-2x12	7-4	2	6-5	2	5-9	3
	3-2x8	6-5	2	5-8	2	5-1	2
	3-2x10	7-11	2	6-11	2	6-3	2
	3-2x12	9-2	2	8-0	2	7-2	2
	4-2x8	7-5	1	6-6	1	5-11	2
	4-2x10	9-7	2	8-0	2	7-2	2
	4-2x12	10-7	2	9-3	2	8-4	2
Roof, ceiling and one clear span floor	2-2x4	2-7	1	2-3	1	2-0	1
	2-2x6	3-10	2	3-4	2	3-0	2
	2-2x8	4-10	2	-42	2	3-9	2
	2-2x10	5-11	2	5-1	2	4-7	3
	2-2x12	6-10	2	5-11	3	5-4	3
	3-2x8	6-1	2	5-3	2	4-8	2
	3-2x10	7-5	2	6-5	2	5-9	2
	3-2x12	8-7	2	7-5	2	6-8	2
	4-2x8	7-0	1	6-1	2	5-5	2
	4-2x10	8-7	2	7-5	2	6-7	2
	4-2x12	9-11	2	8-7	2	7-8	2
Roof, ceiling and two center-bearing floor	2-2x4	2-6	1	2-2	1	1-11	1
	2-2x6	3-8	2	3-2	2	2-10	2
	2-2x8	4-7	2	4-0	2	3-8	2
	2-2x10	5-8	2	4-11	2	4-5	3
	2-2x12	6-6	2	5-9	3	5-2	3
	3-2x8	5-9	2	5-1	2	4-7	2
	3-2x10	7-1	2	62-	2	5-7	2
	3-2x12	8-2	2	7-2	2	6-5	3
	4-2x8	6-8	1	5-10	2	5-3	2
	4-2x10	8-2	2	7-2	2	6-5	2
	4-2x12	9-5	2	8-3	2	7-5	2
Roof, ceiling and two clear span floor	2-2x4	2-0	1	1-8	1	1-5	2
	2-2x6	3-0	2	2-7	2	2-3	2
	2-2x8	3-10	2	3-4	2	2-11	3
	2-2x10	4-8	2	4-0	3	3-7	3
	2-2x12	5-5	3	-48	3	4-2	3
	3-2x8	4-9	2	4-1	2	3-8	2
	3-2x10	5-10	2	5-0	2	4-6	3
	3-2x12	6-9	2	5-10	3	5-3	3
	4-2x8	5-6	2	4-9	2	4-3	2
	4-2x10	6-9	2	5-10	2	5-2	2
	4-2x12	7-9	2	6-9	2	6-0	3

For SI: 1 inch=25.4mm, 1 pound per square foot+0.0479kN/m²

a. Spans are given in feet and inches.

b. Tabulated values assume #2 grade lumber.

c. Building width is measured perpendicular to ridge. For Widths between those shown, spans are permitted to be interpalated.

d. NJ-Number of jacks studs required to support each end. Where the number of required jack studs equals one, the header is permitted to be supported by an approved framing anchor attached to the full-height wall stud and to the header

e. Use 30psf ground snow load for cases in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.

Rough openings to be determined by builder.
Placement of openings to be determined by builder.

NOTE:
SMOKE ALARMS/CO DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1: EACH SLEEPING AREA
2: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3: ALL SMOKE ALARMS SHALL BE INTERCONNECTED

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

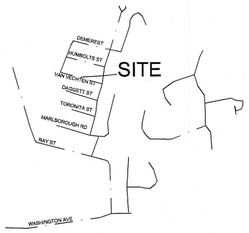
HIGGINS LOT 3

DRAWINGS PROVIDED BY:

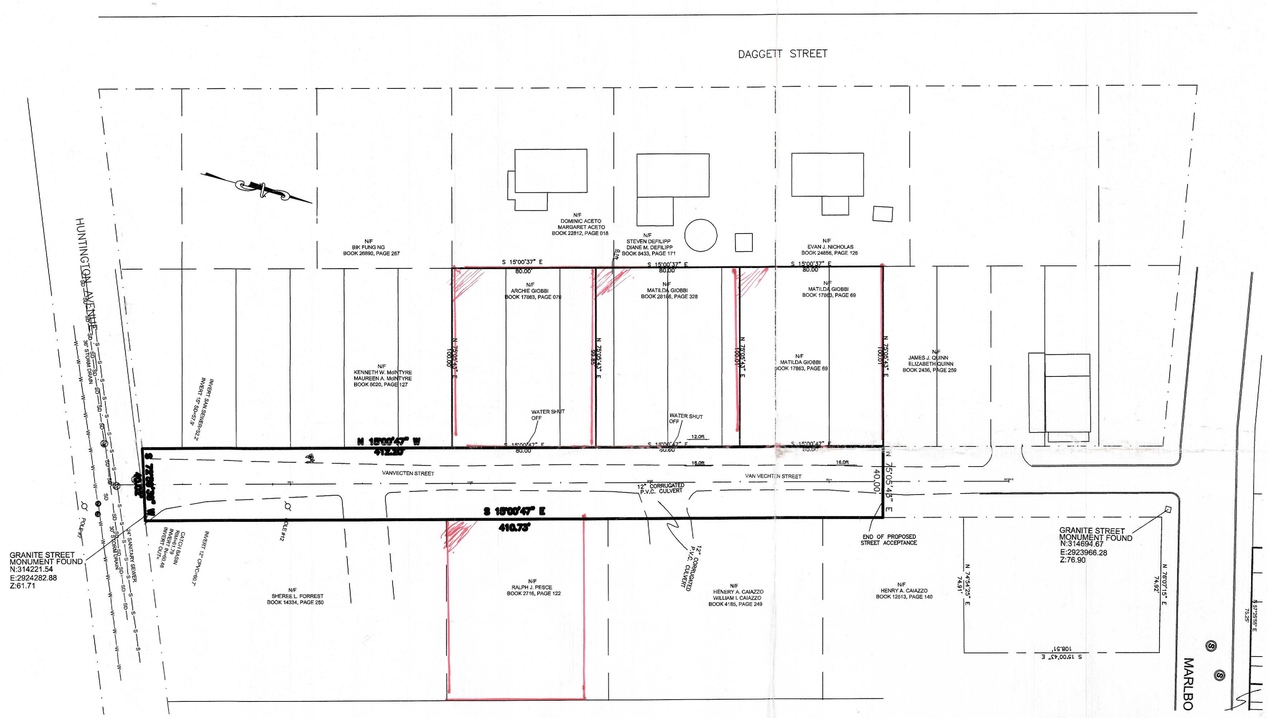
DATE: 3/9/2018

SCALE: AS NOTED

SHEET: P-3



SITE MAP NOT TO SCALE



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: RAY GARDEN DEVELOPERS AS NOTED IN THE PLAN REFERENCE INTENDED TO TURN THE STREET OVER TO THE CITY OF PORTLAND. THE SUBDIVISION CIRCA 1914 SHOWS THE STREET AND LOTS.

2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.
SEE NOTE #

3. AREA OF SUBJECT PARCEL: 16458.7 SQ. FT., 0.38 ACRES

4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) RAY GARDENS., RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 12 PAGE 103.

5.) CITY OF PORTLAND ASSESSORS BENCHMARK ELEVATION ON A COPPER BOLT IN A 3' OFFSET MONUMENT LOCATED ON THE NORTHERLY SIDE OF WASHINGTON AVENUE AT FIRST ANGLE POINT WESTERLY OF RAY STREET. SAID BM ELEVATION WAS REPORTED TO BE 66.397' N.G.V.D. 1929 CITY OF PORTLAND DATUM. A NEW BENCHMARK WAS ESTABLISHED ON THE COPPER BOLT SET IN THE NEW MONUMENT INSTALLED AT THE NORTHWEST CORNER OF MARLBOROUGH ROAD AND HUMBOLT STREET. THE BENCHMARK ELEVATION SET = 68.11 FEET N.G.V.D AND CITY OF PORTLAND DATUM.

6. HORIZONTAL DATUM SHOWN ON THE TWO MONUMENTS IS BASED UPON NORTH AMERICAN DATUM 1983 MAINE STATE WEST ZONE AND DERIVED FROM TWO CONTROL MONUMENTS WHOSE HORIZONTAL COORDINATES WERE REPORTED TO BACK BAY BOUNDARY, INC. BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT. SAID CONTROL MONUMENTS WERE A P.K. NAIL FOUND NEAR THE CENTERLINE OF HUNTINGTON AVENUE IN FRONT OF #74 HUNTINGTON AVENUE, CITY OF PORTLAND IDENTITY NUMBER T124-67-1563, SAID P.K. NAIL HAVING COORDINATES OF: NORTH=314336.09, EAST = 2924441.85. THE SECOND CONTROL MONUMENT UTILIZED WAS A COPPER BOLT SET IN GRANITE MONUMET FOUND IN A DRIP BOX AT OR NEAR THE THE INTERSECTION FORMED BY THE 3 FOOT OFFSET LINES OF THE NORTHERLY SIDE OF HUNTINGTON AVENUE AND THE EASTERLY SIDE LINE OF TORONITA STREET, SAID BOLT IDENTIFIED AS T124-73-1606 AND HAVING COORDINATES OF: NORTH= 3313906.07, EAST = 2923916.05. NEW SURVEY CONTROL MONUMENTS WERE SET AND LABLED HEREON WITH NORTH, EAST AND Z(ELEVATION) COORDINATES.

7. VAN VECHTEN STREET IS CURRENTLY AN UNACCEPTED GRAVEL STREET 40 FEET IN WIDTH.

ZONING:

R-3 RESIDENTIAL ZONE

a) FRONT SETBACKS: PRINCIPAL OR ACCESSORY STRUCTURES: TWENTY-FIVE (25) FEET.
b) REAR SETBACKS: PRINCIPAL OR ACCESSORY STRUCTURES: TWENTY-FIVE (25) FEET.
c) SIDE SETBACKS: PRINCIPAL OR ACCESSORY STRUCTURES: FOURTEEN (14) FEET, FOR TWO STORY BUILDINGS.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PARCEL APPEARS TO BE IN ZONE X, (AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD-PLAIN). OF THE FLOOD INSURANCE RATE MAP, COMMUNITY #230051, PANEL 7C WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 8, 1998. AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

- Capped 5/8" Rebar To Be Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- Direction of Bearing
- (50.00') Distance from reference Plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- P.L. Property Line
- — u — Overhead Utility
- Utility Pole
- Edge of traveled way

REVISIONS:

REVISION 3: MAY 9, 2011, ROTATED VIEW AND ADDED ABUTTERS.

LOCATION: VAN VECTHEN STEET PORTLAND MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED , 2011
AT : H .M. AND RECORDED IN
PLAN BOOK PAGE

0' 40' 80' 120'
GRAPHIC SCALE 1"=40'

STATE OF MAINE ROBERT T. GREENLAW #2303 PROFESSIONAL LAND SURVEYOR

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION
c) NO PROPERTY CORNERS SET AT THIS TIME.

ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.

DATE: 05-06-2011

BOUNDARY PLAN OF STREET

AT VAN VETCHEN ROAD PORTLAND, MAINE

FOR: ARCHIE GIOBBI

PREPARED BY:
OCEAN PARK LAND SURVEYING LLC
LAND SURVEYING
134 PORTLAND AVE
OLD ORCHARD BEACH, MAINE
207-749-9471 - BOBGREENLAW@MYFAIRPOINT.NET

DRAWN BY:	RTG
CHECKED BY:	RJS
SCALE:	1" = 40'
DATE:	04-01-2003
JOB NUMBER:	200283
SHEET:	1 OF 1
DRAWER:	2002 NO: 83