

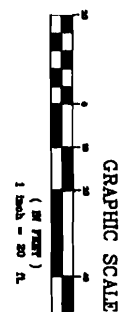
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	10/12 pitch 24" OC engineered trusses	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Asphalt shingles 5/8 T+G Advantek	
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	OK
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	NA	
Emergency Escape and Rescue Openings (Section R310)	Egress windows OK	OK
Roof Covering (Chapter 9)	Asphalt shingles	
Safety Glazing (Section R308)	OK	OK
Attic Access (Section R807)		
Chimney Clearances/Fire Blocking (Chap. 10)	NA	
Header Schedule (Section 502.5(1) & (2))	Double 1 3/4 x 9 1/4 LVL Headers	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R 49 ceilings R24 walls ICF construction	OK

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways 3		
Interior 2		
Exterior 1		OK
Treads and Risers (Section R311.5.3)	7 3/4 Rise 10" net tread	
Width (Section R311.5.1)	3 FT min	
Headroom (Section R311.5.2)	80" Headroom	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 Rail AT - Handrail 36	
Smoke Detectors (Section R313) Location and type/Interconnected	Each Bedroom + Level Hardwired Battery Backup	OK
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	per IRC 2003 NA	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	2x8 16" OC 10" sum in tubes 4 FT deep	OK



SEWER MANHOLE
RM-77.5'
RV-73.6'
TBM: VAG NAIL SET
HORIZONTALLY
14" A.G. IN 12" PINE.
ELEV. 77.56

LEGEND	
EXISTING	PROPOSED
PROPORTION	PROPORTION
RETAINMENT	RETAINMENT
CEMENTLINE	CEMENTLINE
IRON PIPE/ROOD	IRON PIPE/ROOD
3/8" BUFFER PIN	3/8" BUFFER PIN
WETLANDS	WETLANDS
EDGE WETLAND	EDGE WETLAND
STREAM	STREAM
EDGE PLAYBENT	EDGE PLAYBENT
CONTOUR	CONTOUR



N/E
ANASTOS &
LOHNES, INC.
11614/110

WAVIVER GRANTED

1. THE PORTLAND PLANNING BOARD VOTED UNANIMOUSLY TO WAIVE THE REQUIREMENTS OF THE ZONING BY-LAW FOR THE PROPOSED INVESTMENT STREET.

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CONDITIONS OF APPROVAL

1. THE APPLICANT SHALL PROVIDE A SIGNAGE PLAN TO THE CITY OF PORTLAND FOR REVIEW AND APPROVAL. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PORTLAND SIGNAGE REGULATIONS.

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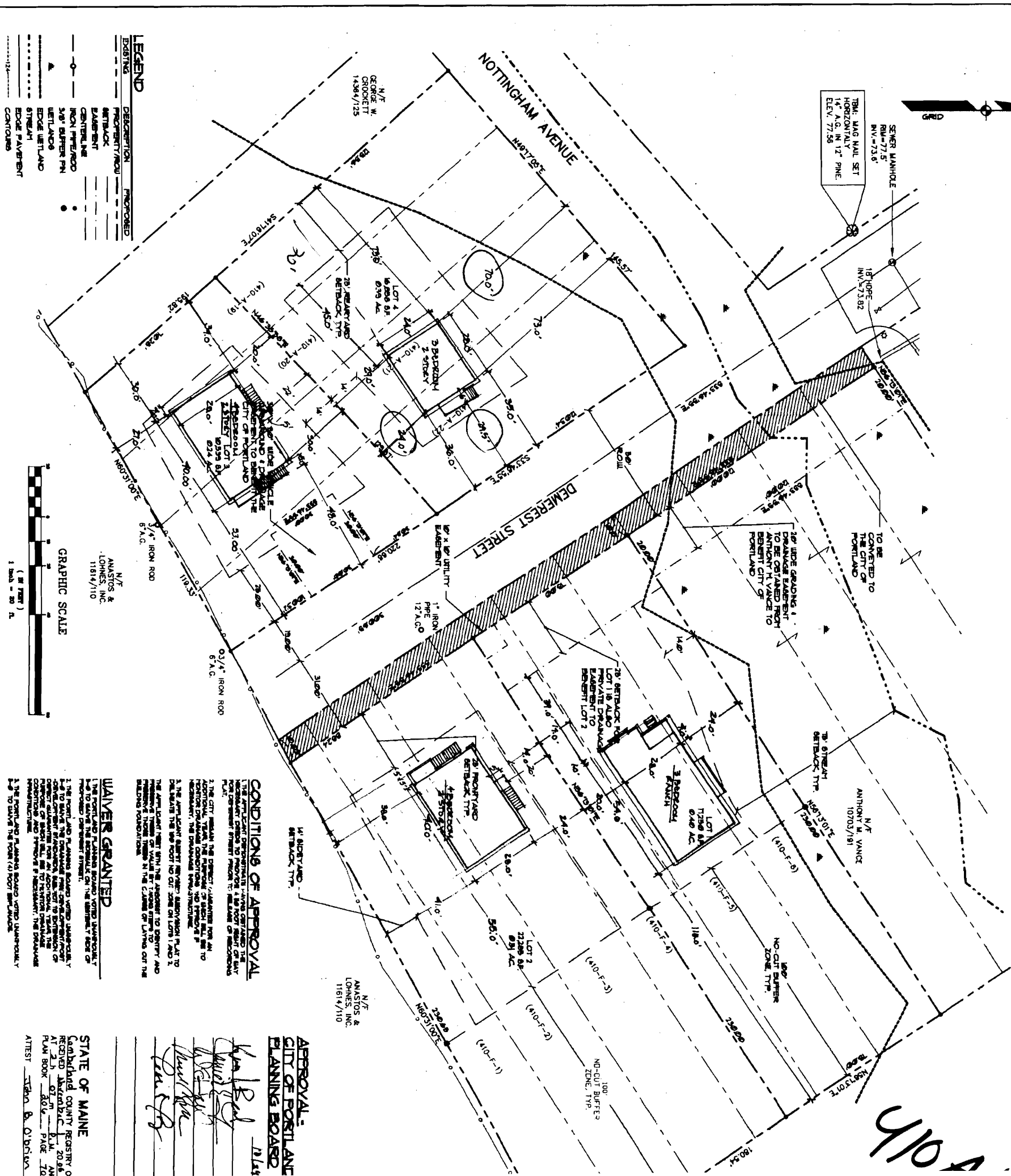
STATE OF MAINE

Sanford County Registry of Deeds
11/14/11
PLAN BOOK 806 PAGE 10
ATTEST: Anna B. O'Brien

APPROVAL:
CITY OF PORTLAND
PLANNING BOARD

Anna B. O'Brien
11/14/11

N/E
ANASTOS &
LOHNES, INC.
11614/110





APPLICANT SHALL IDENTIFY AND FIELD VERIFY LOCATION OF SEWER PIPE FAILURE AND REPLACE SECTION TO MEET CITY SPECIFICATIONS

CORR. DRILL NEW 8" INVERT ELEV. 73.0

SEWER MANHOLE RIM=77.5 INV.=73.8

TBL: MAG NAIL SET HORIZONTALLY 1 1/2" A.G. IN 12" PIPE ELEV. 77.36

INSTALL 1" GRANITE TPO/DRAIN SD L=8'; S=0.01
 D=4"-1
 D=2" SPOCS SD L=8'; S=0.01
 REPAIR INV.=73.2
 TAPER PAVEMENT FROM 50" TO 20" @ STA. 8+32.00
 3/4" RCP L=40'; S=0.01
 REPAIR FLARED INLET/OUTLET 6440

GRANITE CURB
 SEWALK
 187305- INV.=74.62

CATCH BASIN DRAIN INTO 15" CORR. PLASTIC CULVERT
 FILLED W/ WATER 2 WIRES ATTACHED TO COVER

FILL IN GRANITE CURB ON NORTH SIDE OF STAIRWELL

INSTALL FIRE HYDRANT GRANITE TPO/DRAIN TYP.

INSTALL 2" SPOCS SD L=8'; S=0.01
 REPAIR INV.=73.0

50' STABILIZED CONSTRUCTION ENTRANCE

VERTICAL GRANITE CURB REPAIR INV./OUT. TPO

FIELD VERIFY NOTING THE INVERTS

DARKSIGHT ON RATE FOUNDATION DRAIN

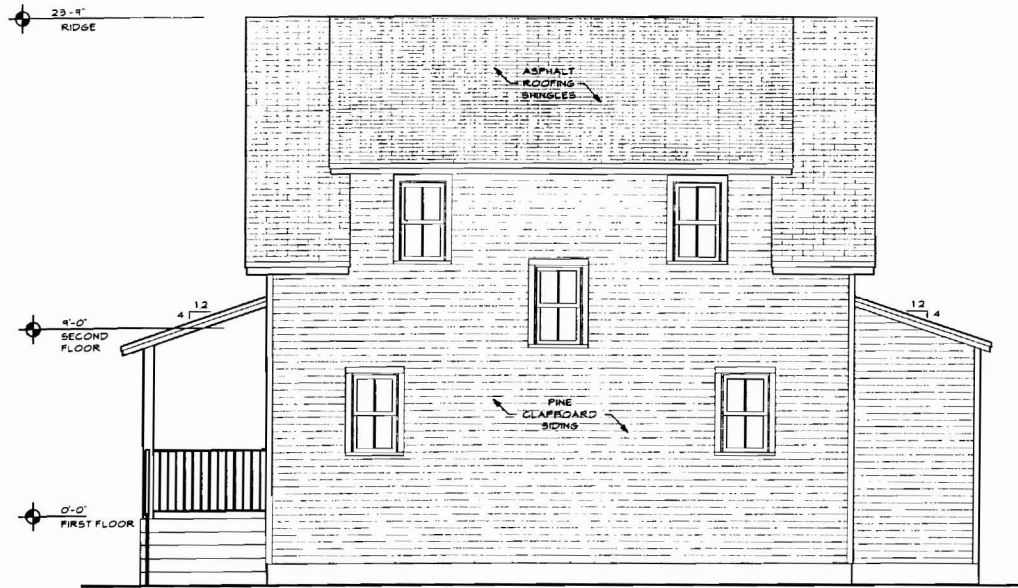
NOTTINGHAM AVENUE

DEMAREST STREET

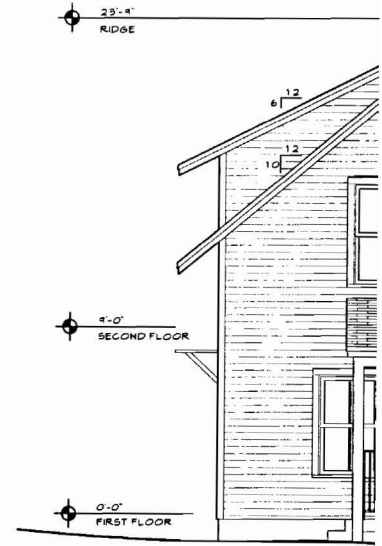
LEGEND

DESCRIPTION	SYMBOL
EXISTING	---
PROPOSED	---
SEWER	---
WATER	---
STORM DRAIN	---
UNDERGROUND	---
BLDG. & TEL.	---
TRANSFORMER PAD	---
GATE VALVE	---
LIGHT POLE	---
CATCH BASIN	---
MANHOLE	---
CULVERT	---
SPOT GRADE	---
DECIDUOUS TREE	---
ALL TREE	---
QUADRANT	---
REPAIR	---
REPLACE	---
RECONSTRUCT	---

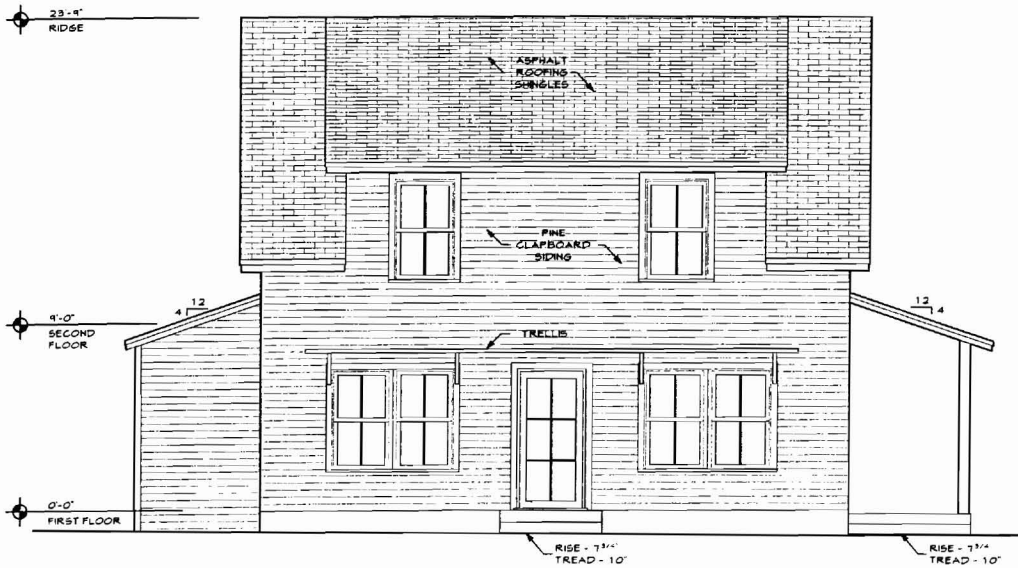




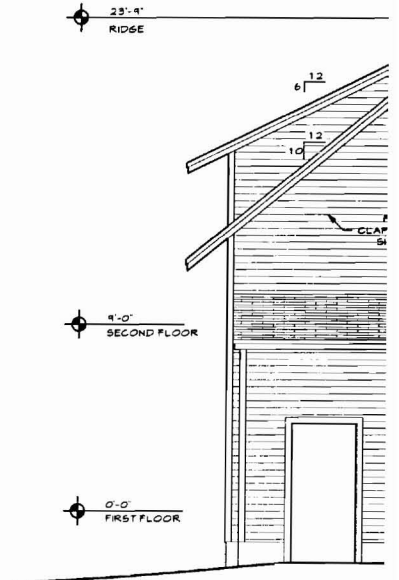
2 NORTH ELEVATION
A2 SCALE: 1/4" = 1'-0"



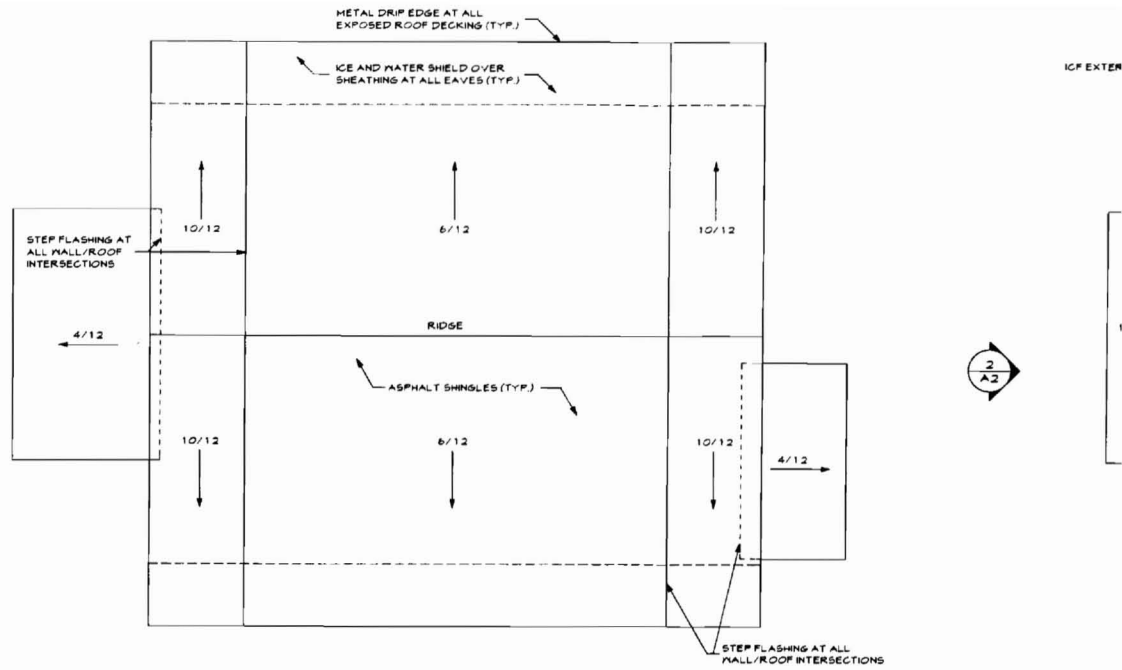
2 EAST ELEVATION
A2 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
A2 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A2 SCALE: 1/4" = 1'-0"



3 ROOF PLAN
A1 SCALE: 1/4" = 1'-0"

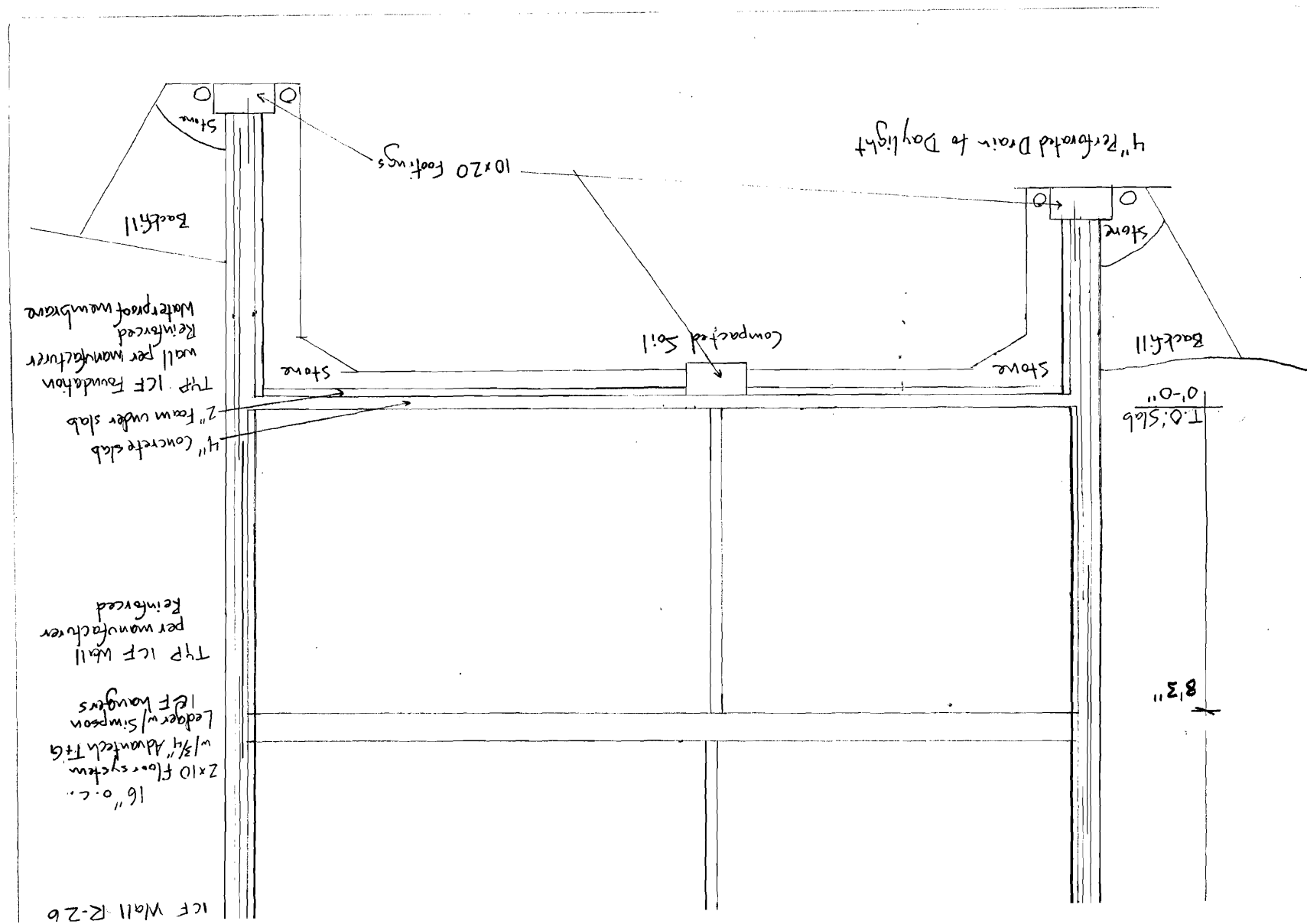
2 SECOND
A1 SCALE: 1/4"



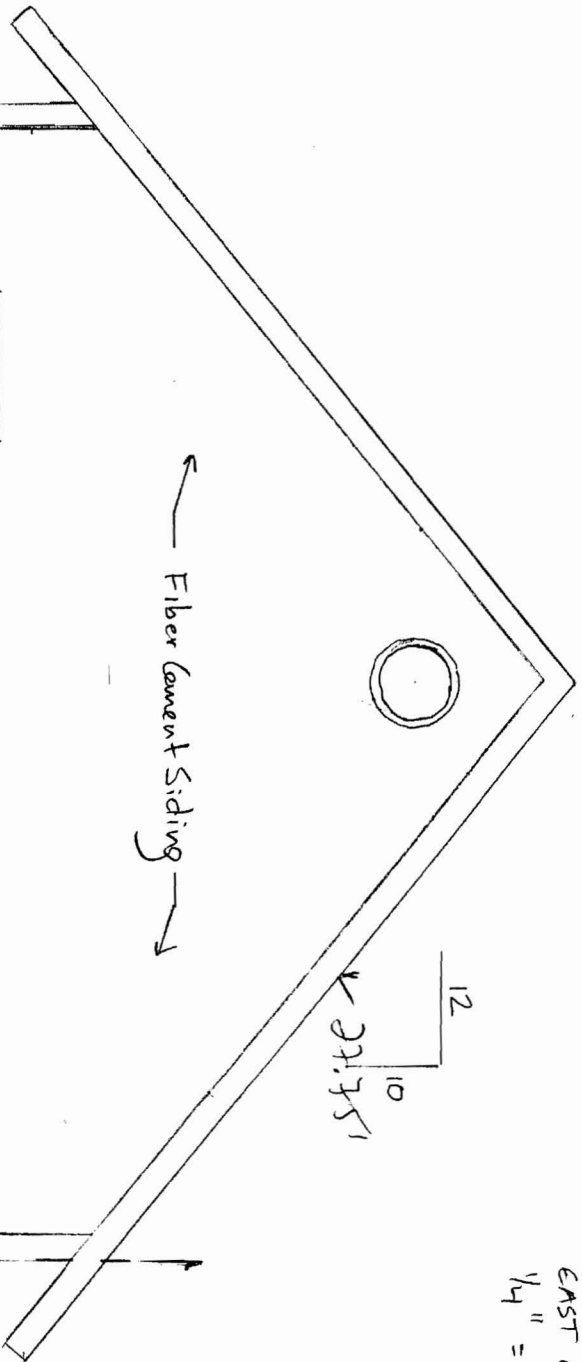
GENERAL NOTES:

1. ALL STAIRS TO HAVE MAX RISE OF 7 1/2" AND MIN TREAD OF 10"
2. ALL HANDRAILS AT 36" A.F.F.
3. SMOKE DETECTORS IN ALL BEDROOMS, PROTECTING THE BEDROOMS AND ON EVERY LEVEL.
4. EXTERIOR MALL CONSTRUCTION INSULATED CONCRETE FORM MALL (ICF), SECOND FLOOR FRAMING T.J. FLOOR 5" STEM 24" O.C.

1 FIRST FLC
A1 SCALE: 1/4"



DEMEREST STREET
EAST ELEVATION
1/4" = 1'-0"



Fiber Cement Siding

25 YR ASPHALT SHINGLES
BUILDING PAPER

RAIL HEIGHT ON DECK
RAIL HEIGHT ON STA
OFF NOSING 34"
BALUSTERS 4" O.C.
RISE 7 1/2"
NET RUN 10"



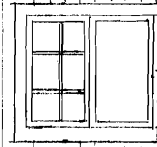
U-Value = 0.35
for all windows

DENEBEST STR
SOUTH ELEVAT
1/4" = 1'-0"

25 YR ASPHALT ROOF SHINGLES

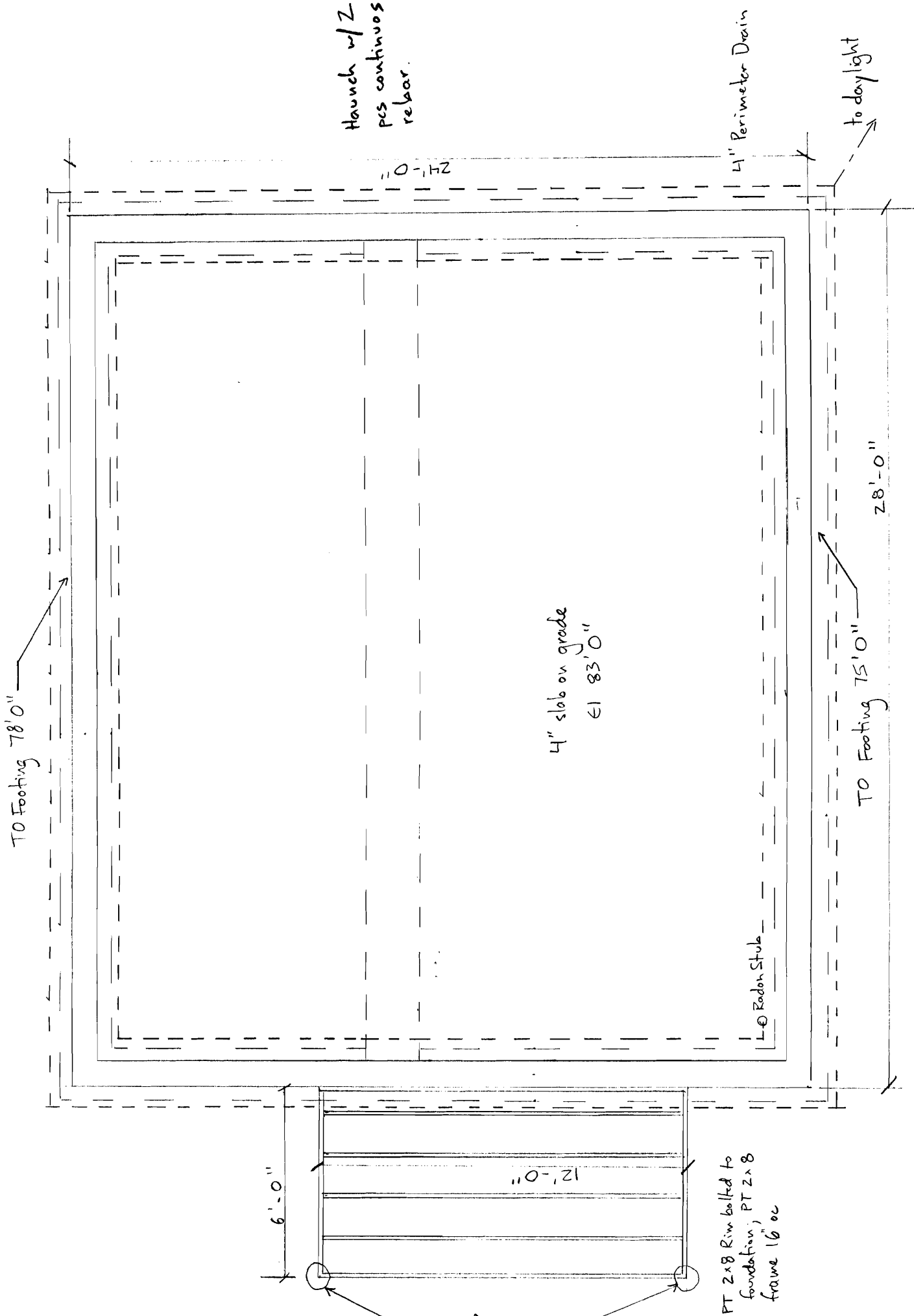
BUILDING PAPER

36" ICE+WATER SHIELD



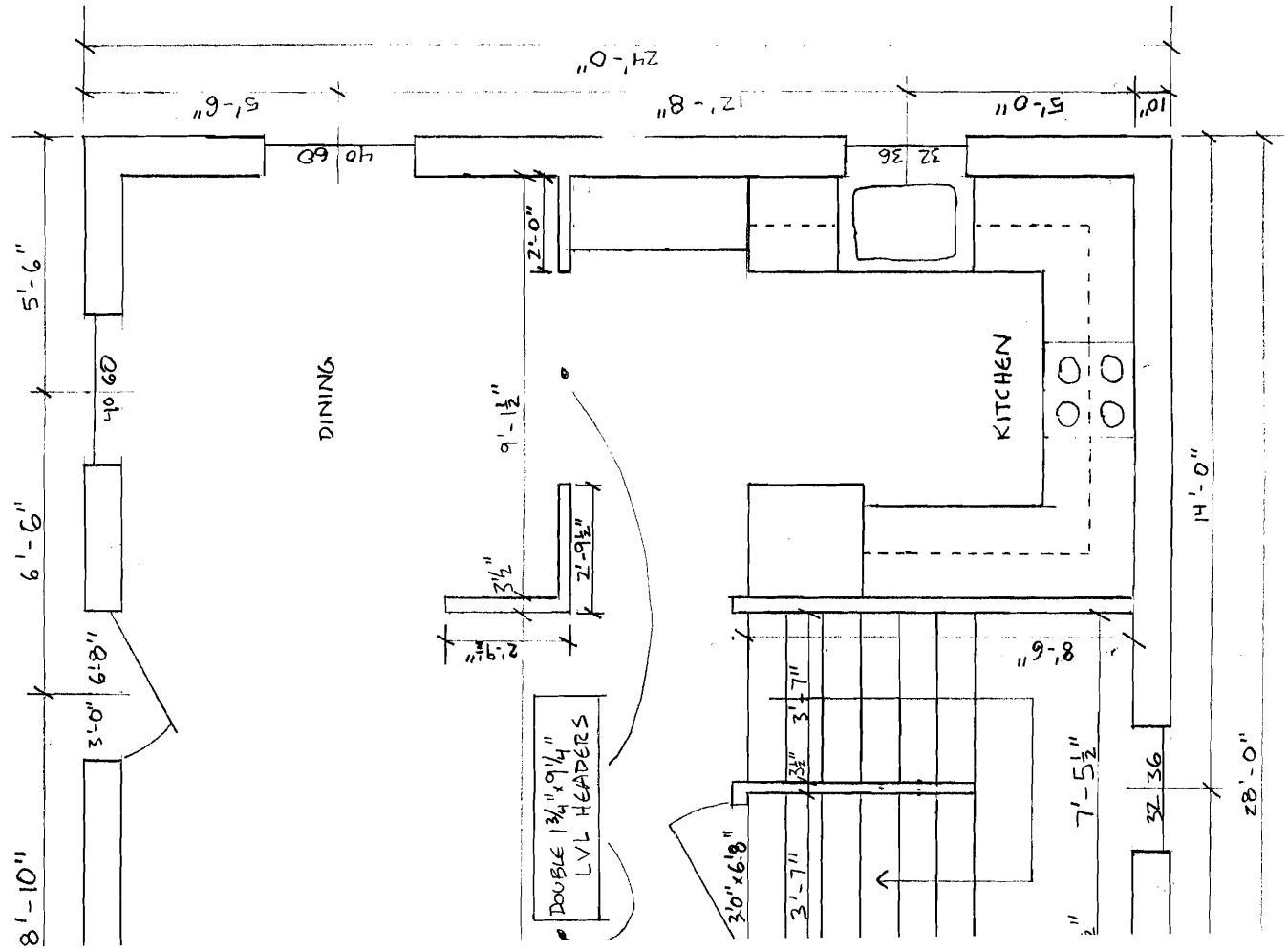
DEMAREST STREET, LOT FOUR
FOUNDATION PLAN

1/4" = 1'-0"

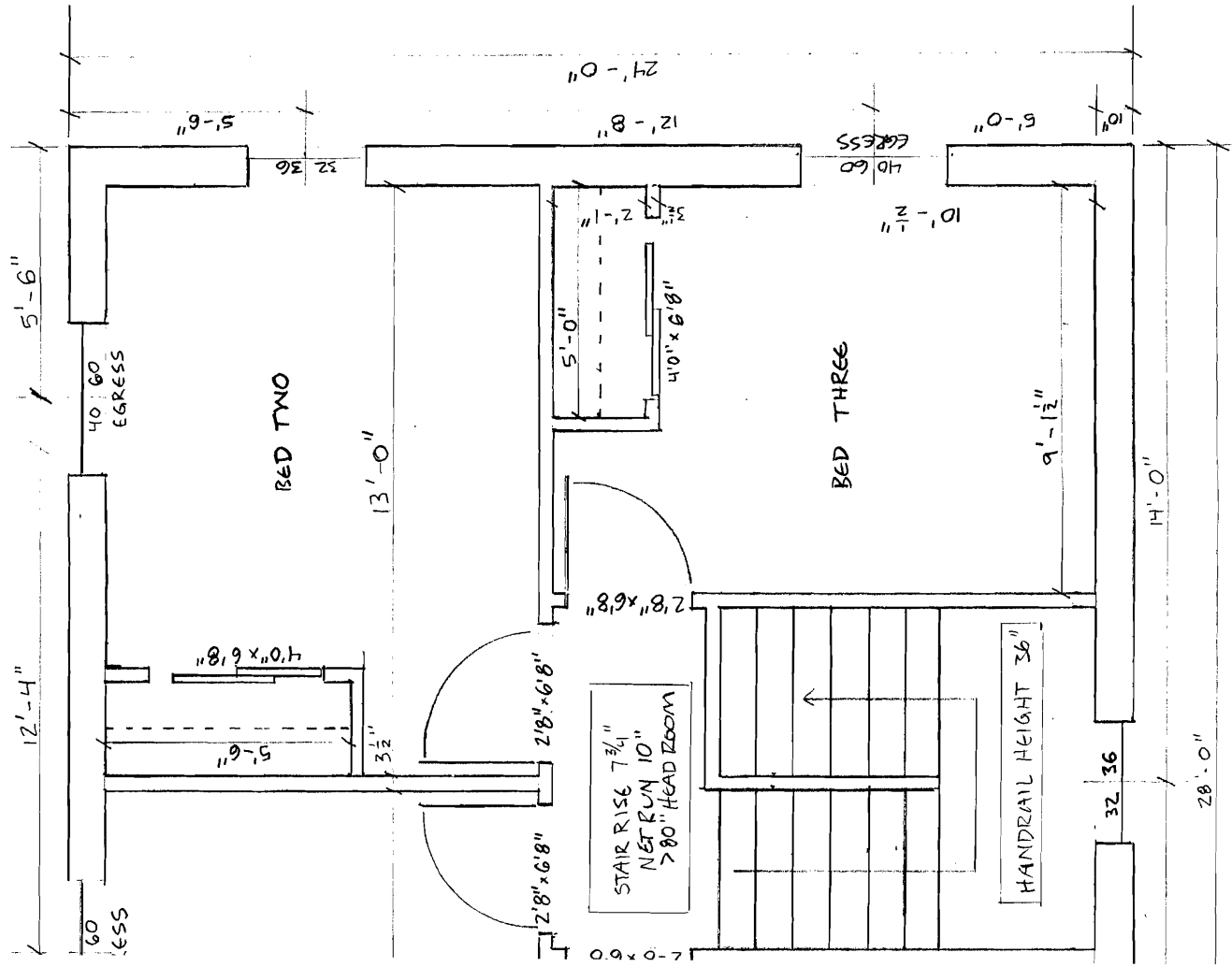


4/10 #19

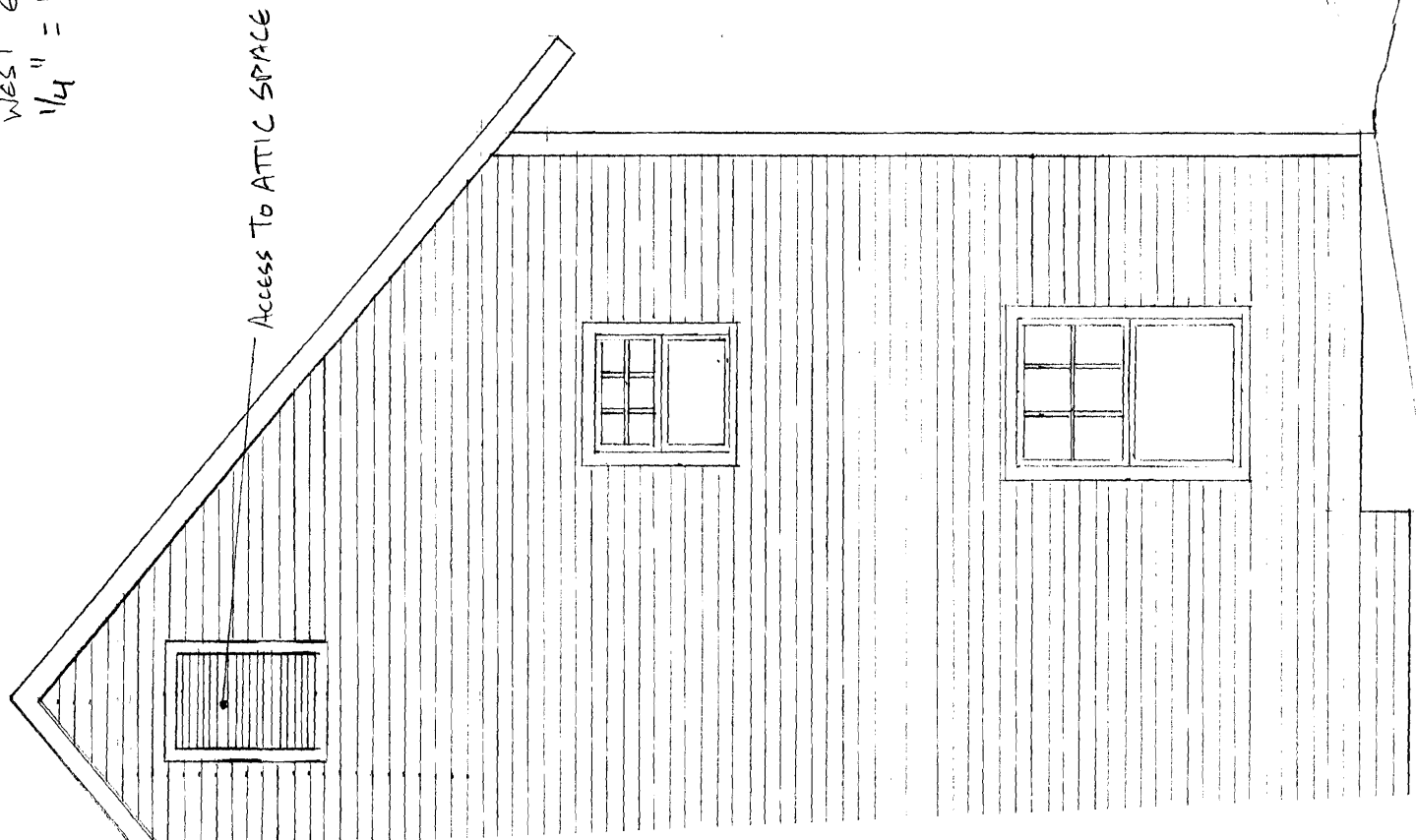
DEMEREST STREET, LOT 4
FIRST FLOOR PLAN
1/4" = 1'-0"



DEMAREST STREET, LOT 4
 SECOND FLOOR PLAN
 1/4" = 1'0"



DEMAREST STREET, LOT 4
WEST ELEVATION
1/4" = 1'-0"



Access To ATTIC SPACE