

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

Permit Number: 041199

This is to certify that Deforte Andrew /Chase Cus Homes of Windham

has permission to Build new 1040 sq. Ft. Sing family ho

AT 13 Daggett St

409 E033001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

ification of inspection must be given and when permission procured before this building or part thereof is occupied or otherwise closed-in. 4  
OUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |             |                     |
|-----------------------|-------------|---------------------|
| Permit No:<br>04-1199 | Issue Date: | CBL:<br>409 E033001 |
|-----------------------|-------------|---------------------|

|  |   |   |                        |
|--|---|---|------------------------|
| Location of Construction:<br>13 Daggett St | Owner Name:<br>Deforte Andrew                     | Owner Address:<br>11 Daggett St                   | Phone:<br>207-892-2700 |
| Business Name:<br>n/a                      | Contractor Name:<br>Chase Custom Homes of Windham | Contractor Address:<br>1 Percy Hawks Road Windham | Phone:<br>2078922700   |
| Lessee/Buyer's Name<br>n/a                 | Phone:<br>n/a                                     | Permit Type:<br>Single Family                     | Zone:<br>R-3           |

|   |  |  |   |                    |
|---|--|--|---|--------------------|
| Past Use:<br>Vacant Land  | Proposed Use:<br>Build new 1040 sq. Ft. Single family home | Permit Fee:<br>\$816.00  | Cost of Work:<br>\$80,000.00                | CEO District:<br>4 |
| Proposed Project Description:<br>Build new 1040 sq. Ft. Single family home. |  | FIRE DEPT:<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied                                       | INSPECTION:<br>Use Group: _____ Type: _____ |                    |
|   |  | Signature: _____   |   | Signature: _____   |
|   |  | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  |   |                    |
|   |  | Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied |   |                    |
|   |  | Signature: _____ Date: _____   |   |                    |

*Permit denied by zoning 8/27/04  
expired  
abundant*

|   |   |   |   |  |
|---|---|---|---|--|
| Permit Taken By:<br>gg  | Date Applied For:<br>08/13/2004   | <b>Zoning Approval</b>  |   |  |
| <ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol> | <b>Special Zone or Reviews</b><br><input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone<br><input type="checkbox"/> Subdivision<br><input type="checkbox"/> Site Plan<br>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br>Date: _____ | <b>Zoning Appeal</b><br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: _____ | <b>Historic Preservation</b><br><input type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br>Date: _____ |  |

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

341199

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

|   |                  |  |                          |
|---|------------------|--|--------------------------|
| Location/Address of Construction: 13 Daggett Street, Portland, ME 04103 |                  |  |                          |
| Total Square Footage of Proposed Structure 1040 SF                      |                  | Square Footage of Lot 7500 SF                          |                          |
| Tax Assessor's Chart, Block & Lot Number                                |                  | Owner:   | Telephone#:              |
| Chart# 409  | Block# E Lot# 33 | Chase Custom Homes                                     | 207-892-2700             |
| Lessee/Buyer's Name (If Applicable)                                     |                  | Owner's/Purchaser/Lessee Address:                      | Cost Of Work:      Fee:  |
|   |                  | 1 Percy Hawkes Road, Windham, ME 04062                 | \$ 80,000      \$ 804.00 |
| Proposed Project Description: (Please be as specific as possible)       |                  |  |                          |
| 1 Single Family Dwelling      1040 SF new single family home            |                  | \$ 74 - Constr.<br>300 SP REVISE = \$ 1116.<br>75 C 40 |                          |
| Contractor's Name, Address & Telephone                                  |                  |  | Rec'd By:                |
| Same as owner   |                  |  |                          |

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

|  |                     |
|--|---------------------|
| Signature of applicant: <u>John Ransom</u> | Date: <u>8/3/04</u> |
|--|---------------------|

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.00 plus \$6.00 per \$1,000.00 construction cost thereafter.

**WARRANTY DEED**

**ANDREW DEFORTE**

of 11 Daggett Street, Portland, ME 04103

for consideration paid, grants to

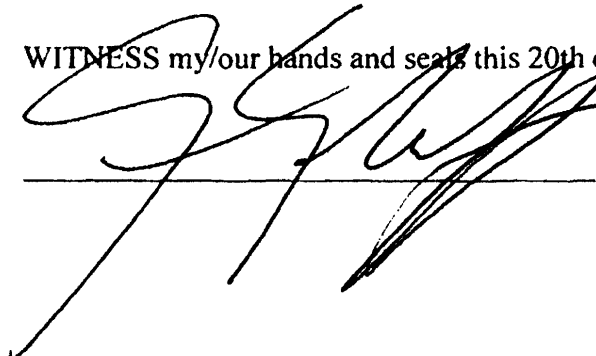
**CHASE CUSTOM HOMES & FINANCE, INC.**

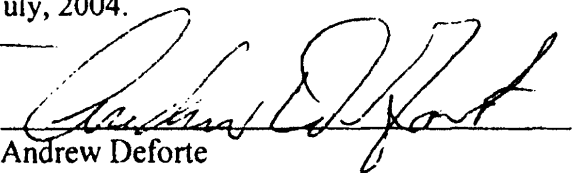
of 1 Percy Hawkes Road, Windham, ME 04092, with WARRANTY COVENANTS, the following described real property in Portland, County of Cumberland and State of Maine:

See Exhibit A attached hereto and made a part hereof

Also hereby conveying all rights, easements, privileges, and appurtenances, belonging to the premises hereinabove described.

WITNESS my/our hands and seals this 20th day of July, 2004.

  
\_\_\_\_\_  
Andrew Deforte

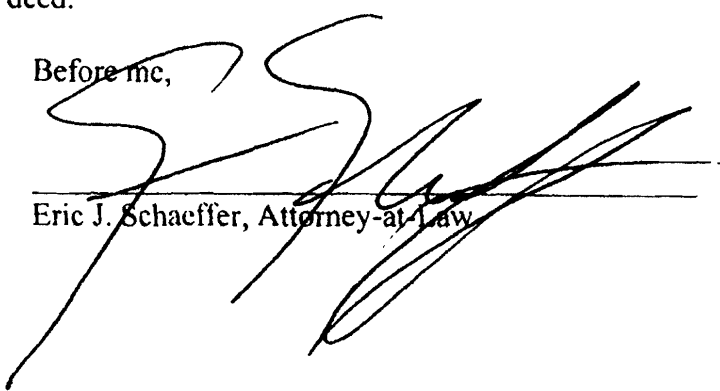
  
\_\_\_\_\_  
Andrew Deforte

**State of Maine**  
**Cumberland, ss.**

July 20, 2004

Personally appeared before me the above-named Andrew Deforte and acknowledged the foregoing instrument to be his free act and deed.

Before me,

  
\_\_\_\_\_  
Eric J. Schaeffer, Attorney-at-Law

H-CHASE.DS

## **Exhibit A**

A certain lot or parcel of land together with any buildings thereon situated in the City of Portland, County of Cumberland and State of Maine being more particularly described as follows:

Beginning at a 5/8" capped rebar set on the westerly sideline of Daggett Street at the northeasterly corner of land now or formerly of Patricia A. Russell and George P. Russell pursuant to a deed dated November 14, 2003, and recorded in the Cumberland County Registry of Deeds in Book 20560, Page 23;

Thence, South 72°00'49" West along said land of Russell One Hundred (100.00) feet to a 5/8" capped rebar set in the ground on the easterly sideline of land now or formerly of James G. Towns;

Thence, North 17°59'11" West along said land of Towns a distance of Seventy-Five (75.00) feet to a 5/8" capped rebar set, being the southwesterly corner of Lot 150 as shown on the plan of "Ray Gardens" as recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 103;

Thence, North 72°00'49" East along the north sideline of said Lot 150 a distance of One Hundred (100.00) feet to a 5/8" capped rebar set on the westerly sideline of Daggett Street;

Thence, South 17°59'11" East along the said line of Daggett Street Seventy-Five (75.00) feet to the point of beginning.

Said property also being all of lot 148 and 149 and the northern half of Lot 147 as shown on said Plan.

For title of Grantor reference is hereby made to a deed of Anna Coiro dated July 7, 2001 recorded in Cumberland County Registry of Deeds in Book 16523, Page 288.

Zoning Division  
Marge Schmuckal  
Zoning Administrator

Department of Planning & Development  
Lee Urban, Director



**CITY OF PORTLAND**

August 27, 2004

John Ransom  
c/o Chase Custom Homes  
1 Percy Hawkes Road  
Windham, ME 04062

RE: 13 Daggett Street – 409-E- 33, 34 and part of 32– R-3 Zone – application #04-1199

Dear John,

I am in receipt of your permit application to split an existing lot and construct a new single family dwelling at 13 Daggett Street. Your permit is being denied because this is the second division within five (5) years of a larger tract of property, all owned by Andrew Deforte.

On December 9, 2003, this office approved the first division of land, thereby creating two lots. A building permit was issued on that date to construct a single family home. Your current lot creation constitutes the second division, which would create three (3) building lots. The definition of a subdivision (section 14-493) states: “Subdivision shall mean the division of a lot, tract or parcel of land into three (3) or more lots, .....within any five-year period whether accomplished by sale, lease, development, buildings, or otherwise...”. A tract (or parcel) of land is further defined as all contiguous land in the same ownership.

You must apply to the Planning Division under the subdivision requirements. Their application will tell you what needs to be submitted before going before the Planning Board. You can contact Sarah Hopkins for further information. You must contact this office and submit a stamped approved subdivision plan prior to further review of a building permit request.

Very truly yours,

Marge Schmuckal  
Zoning Administrator

Cc: Sarah Hopkins and Jay Reynolds, Planning

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Building Copy**

2004-0170  
Application I. D. Number

**Deforte Andrew**  
Applicant  
**11 Daggett St , Portland , ME 04103**  
Applicant's Mailing Address

**8/17/2004**  
Application Date  
**13 Daggett Street**  
Project Name/Description

Consultant/Agent

**13 - 13 Daggett St , Portland, Maine**

Address of Proposed Site

**Agent Ph:** \_\_\_\_\_ **Agent Fax:** \_\_\_\_\_  
Applicant or Agent Daytime Telephone, Fax

**409 E033001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**1040 sq. Ft.** **7500 sq. Ft.** \_\_\_\_\_  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Pla **\$250.00** Subdivision \_\_\_\_\_ Engineer Review **\$50.00** Date **8/17/2004**

**Building Approval Status:**

Reviewer \_\_\_\_\_

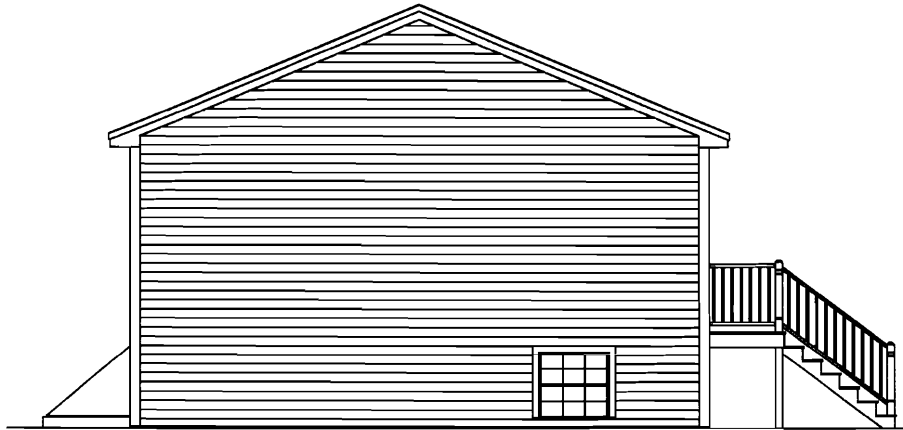
Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

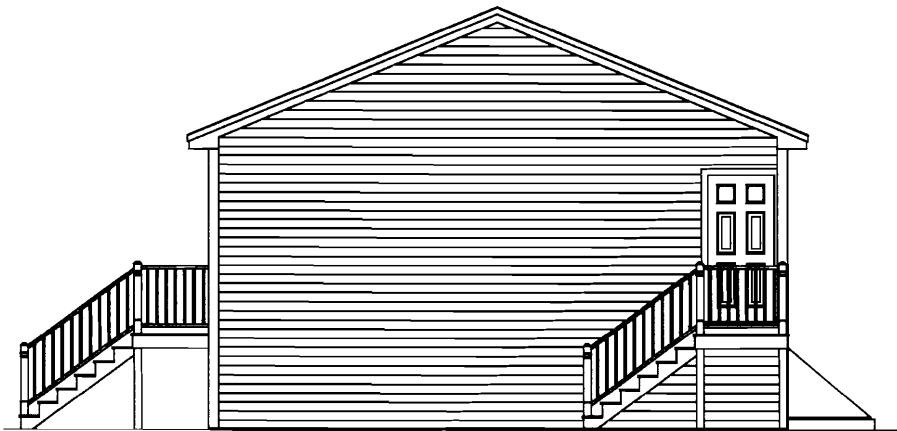
|   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |



1 LEFT SIDE ELEVATION  
1/4" = 1'-0"



2 FRONT ELEVATION  
1/4" = 1'-0"



3 RIGHT SIDE ELEVATION  
1/4" = 1'-0"

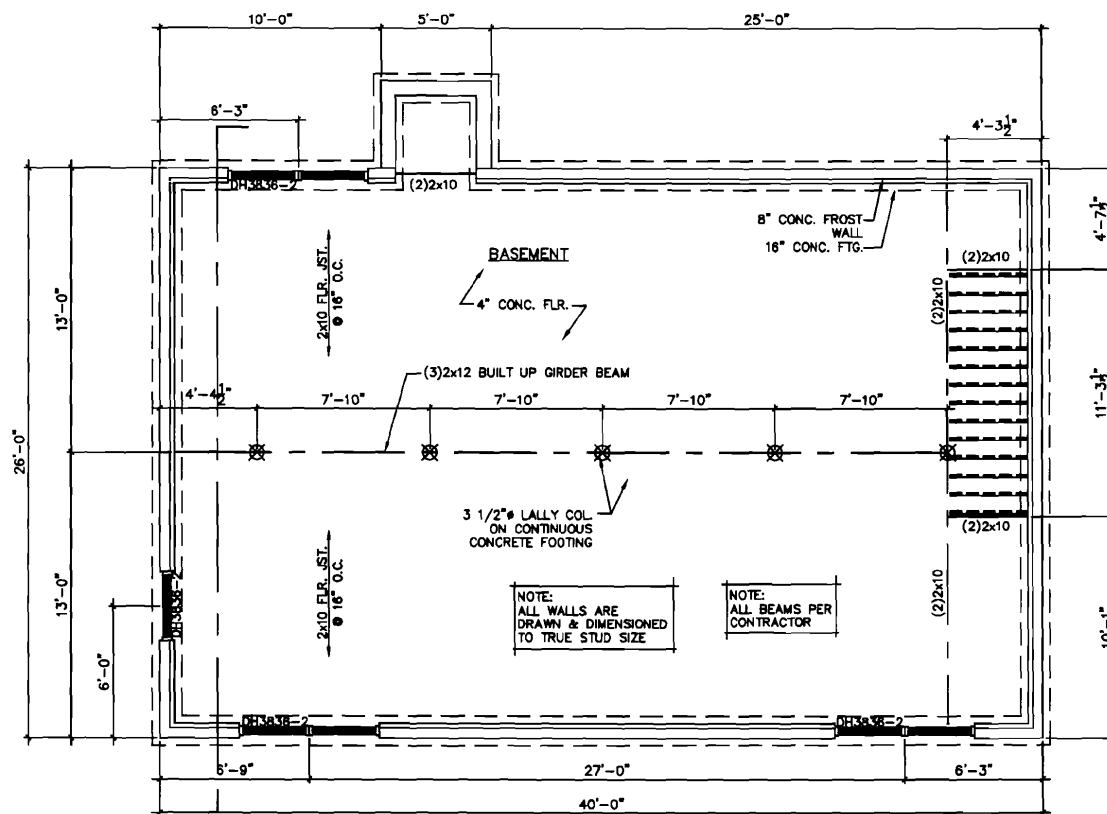


4 REAR ELEVATION  
1/4" = 1'-0"

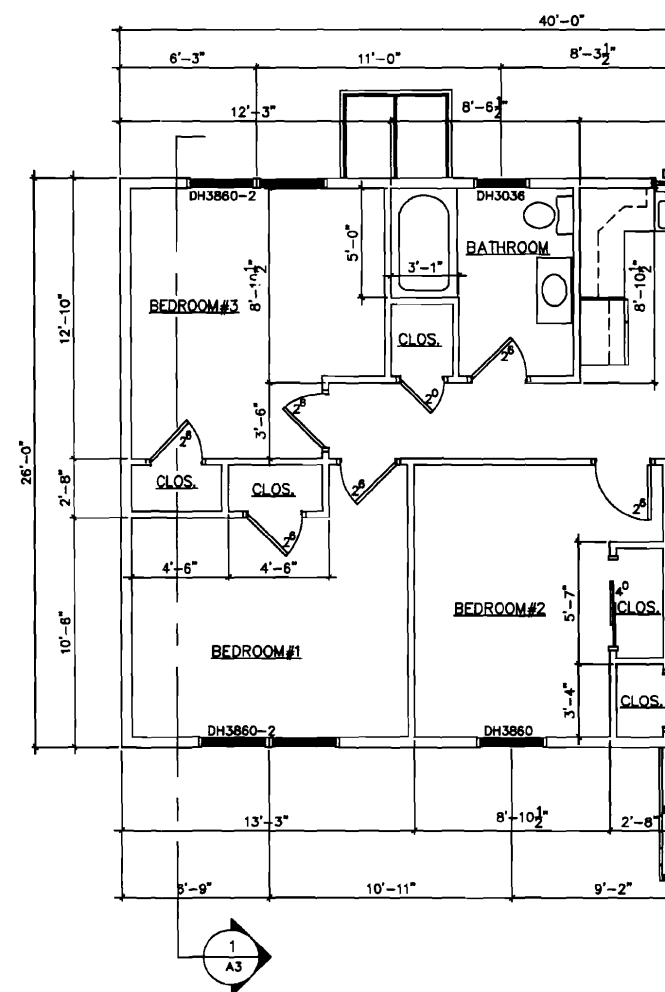
**NOTE:**

THESE DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES, ETC. ARE DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. EMPLOYEES OF MAINE HOME DRAFTING SERVICES, INC. ARE NOT REGISTERED ARCHITECTS OR ENGINEERS. ALL DIMENSIONS AND SPECIFICATIONS TO BE VERIFIED BY CONTRACTOR BEFORE THE START OF CONSTRUCTION. MAINE HOME DRAFTING SERVICES, INC. IS NOT RESPONSIBLE OR HELD LIABLE FOR ANY CHANGES TO THE DRAWINGS MADE BY THE CLIENT AND/OR CONTRACTOR.





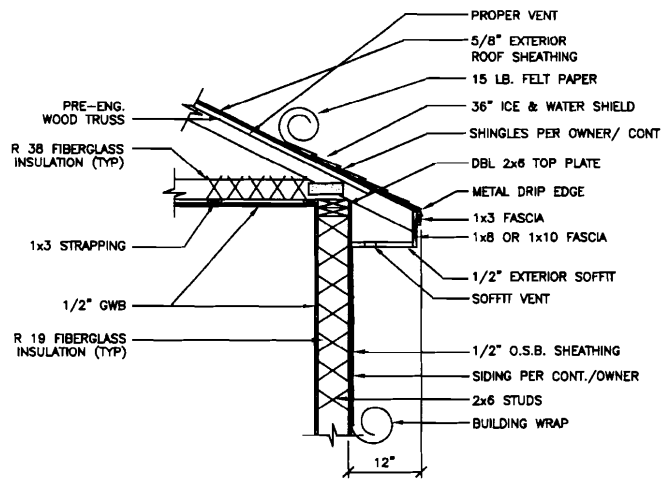
1 FOUNDATION PLAN  
1/4" = 1'-0"



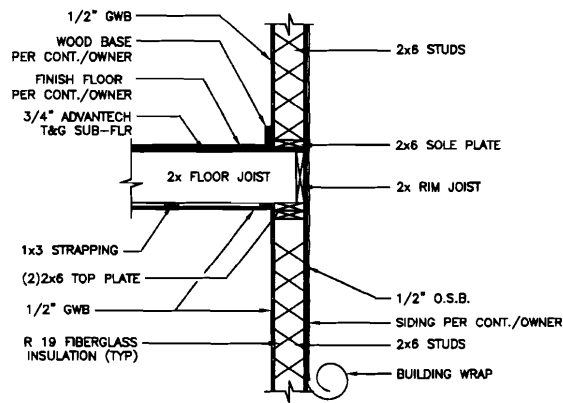
2 FIRST FLOOR PLAN  
1/4" = 1'-0"

**NOTE:**

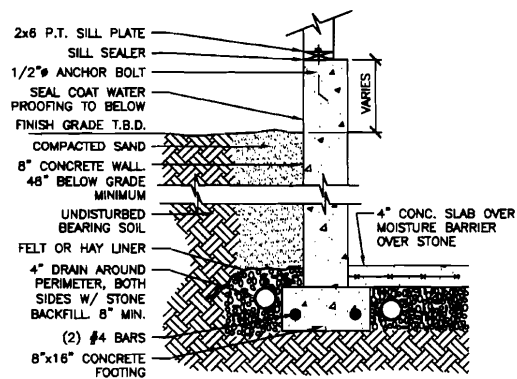
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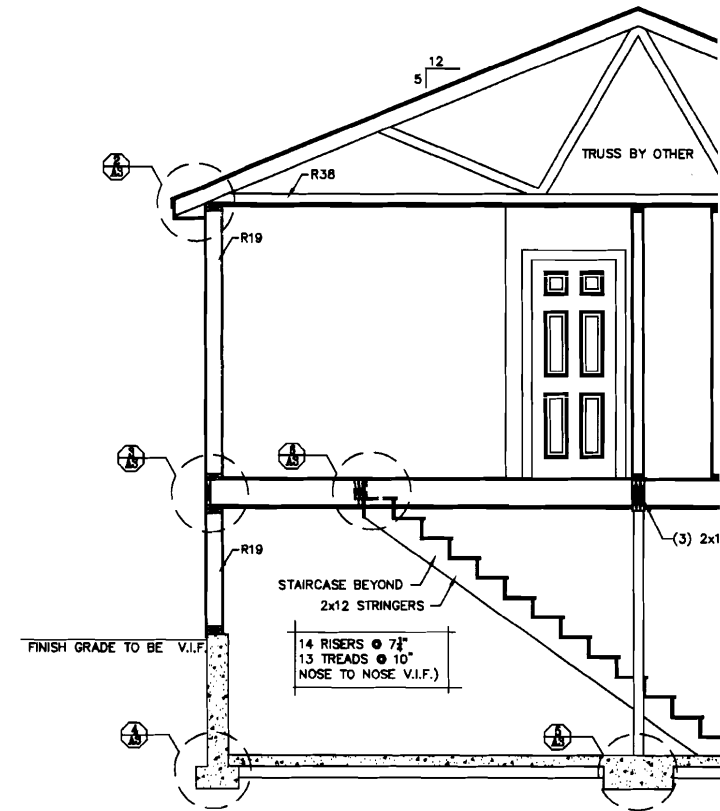
2 SOFFIT DETAIL  
 A3 3/4" = 1'-0"



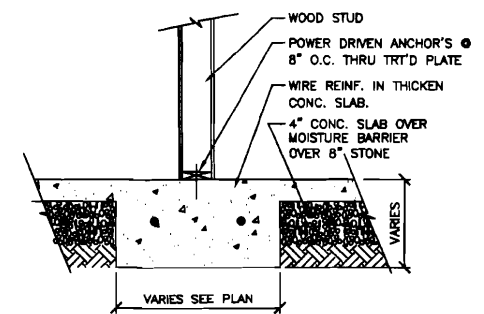
3 EXTERIOR WALL DETAIL  
 A3 3/4" = 1'-0"



4 SLAB & FROST WALL DETAIL  
 A3 3/4" = 1'-0"



1 FOUNDATION PLAN  
 1/4" = 1'-0"



5 THICKEN SLAB DETAIL  
 A3 3/4" = 1'-0"

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