

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

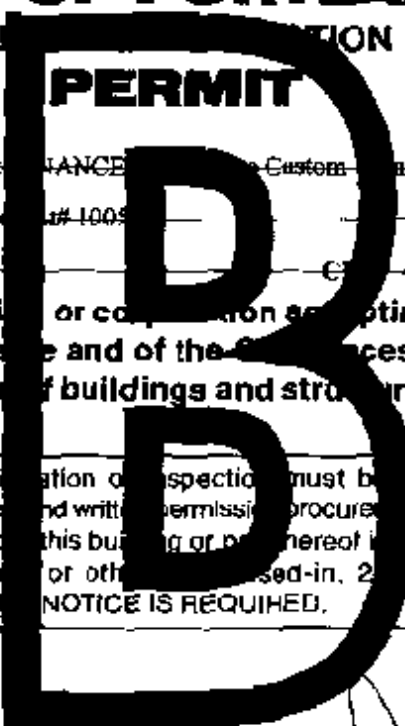
PERMIT ISSUED

Please Read Application And Notes, if Any, Attached

BUILDING PERMIT

OCT 28 2010

Permit Number: 101330



This is to certify that CHASE CUSTOM HOMES & FINANCE Custom Home

City of Portland

has permission to Alter site plan amendment to project # 1005

AT 13 DAGGETT ST City # 409-8033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is inhabited or otherwise used-in, 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 10/26/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1330	Issue Date:	CBL: 409 E033001
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Location of Construction: 13 DAGGETT ST	Owner Name: CHASE CUSTOM HOMES & FTN	Owner Address: 1 PERCY HAWKES RD	Phone:
Business Name:	Contractor Name: Chase Custom Homes of Windham	Contractor Address: 1 Percy Hawkes Road Windham	Phone: 2078922700
Lessee/Buyer's Name:	Phone:	Permit Type: Amendment to Single Family	Zone: R-3

Permit Type: Single Family Home Connected w/ permit#100524	Proposed Use: Single Family Home Connected w/ permit#100524 - Alter site plan - amendment to permit# 100524	Permit Fee: \$30.00	Cost of Work: \$30.00	CBD District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB JRC-2003	

Proposed Project Description:
Alter site plan amendment to permit# 100524

Signature: _____ Date: 10/26/10

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 10/22/2010	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED

OCT 28 2010

City of Portland

Special Zone or Review <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>OK</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/ conditions Date: 10/25/10 <i>AKA</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approval w/Conditions <input type="checkbox"/> Denied Date: <i>AKA</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1330	Date Applied For: 10/22/2010	CBL: 409 E033001
-----------------------	---------------------------------	---------------------

Location of Construction: 13 DAGGETT ST	Owner Name: CHASE CUSTOM HOMES & FIN	Owner Address: 1 PERCY HAWKES RD	Phone:
Business Name:	Contractor Name: Chase Custom Homes of Windham	Contractor Address: 1 Percy Hawks Road Windham	Phone: (207) 892-2700
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home Connected w/ permit# 100524 - Alter site plan amendment to permit# 100524	Proposed Project Description: After site plan amendment to permit# 100524
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/25/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) This permit is being issued with the condition that the certificate of occupancy will not be issued until the new deed showing the outsale of the 7' x 100' strip on the right side of the property is recorded at the registry of deeds. 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/26/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) This approval is for a site plan change only, no change in the structure. All previous building conditions apply 			

Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 08/16/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) This permit is being issued with the condition that the certificate of occupancy will not be issued until the new deed showing the outsale of the 7' x 100' strip on the right side of the property is recorded at the registry of deeds. 2) The foundation drain is to outlet at the front of the house and the flow is to be directed towards the catch basin in the street. 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.) 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy. 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind. 			

Location of Construction: 15 DAGGETT ST	Owner Name: CHASE CUSTOM HOMES & FIN	Owner Address: 1 PERCY HAWKES RD	Phone:
Business Name:	Contractor Name: Chase Custom Homes of Windham	Contractor Address: 1 Percy Hawks Road Windham	Phone (207) 892-2700
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

10/25/2010-pd: This revised site plan is approved subject to the same conditions of approval as the original approved site plan, in addition to the condition that the outsale be recorded prior to the issuance of the certificate of occupancy.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

10-22-2010

Received from

Edward Daniels
15 Beggell St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 30

Building (B) _____ Plumbing (P) _____ Electrical (E) _____ Site Plan (SP) _____

Other _____

Per. 4892-33

Check # EL Total Collected \$ 30

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

JA

NOTE - Applicant's Copy
Office Copy
Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>3 Daggett St.</u>		
Total Square Footage of Proposed Structure/Area: <u>1040</u>	Square Footage of Lot: <u>6803</u>	Number of Stories: <u>2</u>
Tax Assessor's Chart, Block & Lot Chart # <u>409</u> Block # <u>E</u> Lot # <u>33</u>	Applicant *must be owner, Lessee or Buyer Name <u>Chase Custom Homes & Finishes</u> Address <u>1 Percy Hawkes Rd.</u> City, State & Zip <u>Windham ME 04412</u>	Telephone: <u>892-2700</u> <u>x219</u>
Lessee/DBA (if applicable)	Owner (if different from Applicant) Name <u>Same</u> Address City, State & Zip	Cost of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>land</u>	Number of Residential Units <u>0</u>	
If vacant, what was the previous use? <u>land</u>		
Proposed Specific use:		
Is property part of a subdivision? <u>yes</u>	If yes, please name <u>Family Home - same exact house</u>	
Project description: <u>ALTER SITE PLAN AMENDMENT TO PERMIT 100524</u>		
Contractor's name: <u>Same as owner</u>		
Address: _____		
City, State & Zip: _____		Telephone: _____
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/22/10

This is not a permit; you may not commence ANY work until the permit is issued

Jeanie Bourke - 13 Daggett Street Revised/Amended Site Plan

From: Philip DiPiero
To: Code Enforcement & Inspections
Date: 10/25/2010 4:24 PM
Subject: 13 Daggett Street Revised/Amended Site Plan

Hi all, the revised/amended site plan for project #2010 0010 at 13 Daggett Street meets minimum DRC site plan requirements for the issuance of a building permit.

Thanks.

Phil

Exhibit A

A certain lot or parcel of land located on the westerly side of Daggett Street, in the City of Portland, County of Cumberland, State of Maine, being more particularly bounded and described as follows:

Beginning at a #5 rebar with cap stamped "NCS, INC PLS 1314" on the westerly right-of-way line of Daggett Street at the most northeasterly corner of land N/F of Chase Custom Homes as recorded in the Cumberland County Registry of Deeds at Book 21584, Page 65;

Thence S $17^{\circ}59'11''$ E along the westerly right-of-way line of Daggett Street 7.00' to a point and an iron pin to be set;

Thence S $72^{\circ}00'49''$ N a distance of 100.00 feet to a point and an iron pin to be set, said point being on the northeasterly boundary line of land N/F of James G. Towns as recorded in the Cumberland County Registry of Deeds at Book 13267, Page 294;

Thence N $17^{\circ}59'11''$ W along the northeasterly boundary line of said Towns a distance of 7.00 feet to a dapped rebar found and stamped "0.3' A.G. Wayne Wood #1328";

Thence N $72^{\circ}00'49''$ E a distance of 100.00 feet, more or less, to the point of beginning.

The above-described parcel contains 700.00 square feet, more or less.

Being a portion of the premises conveyed from Andrew DeForte to Chase Custom Homes & Finance, Inc., dated July 20, 2004 and recorded in the Cumberland County Registry of Deeds at Book 21584, Page 65.

The basis of bearing for the above-described parcel is Magnetic North 1987. The above-described parcel is shown on a boundary survey prepared for Chase Custom Homes & Finance, Inc. by Northeast Civil Solutions, Inc., dated July 28, 2010.

RECEIVED

OCT 22 2010

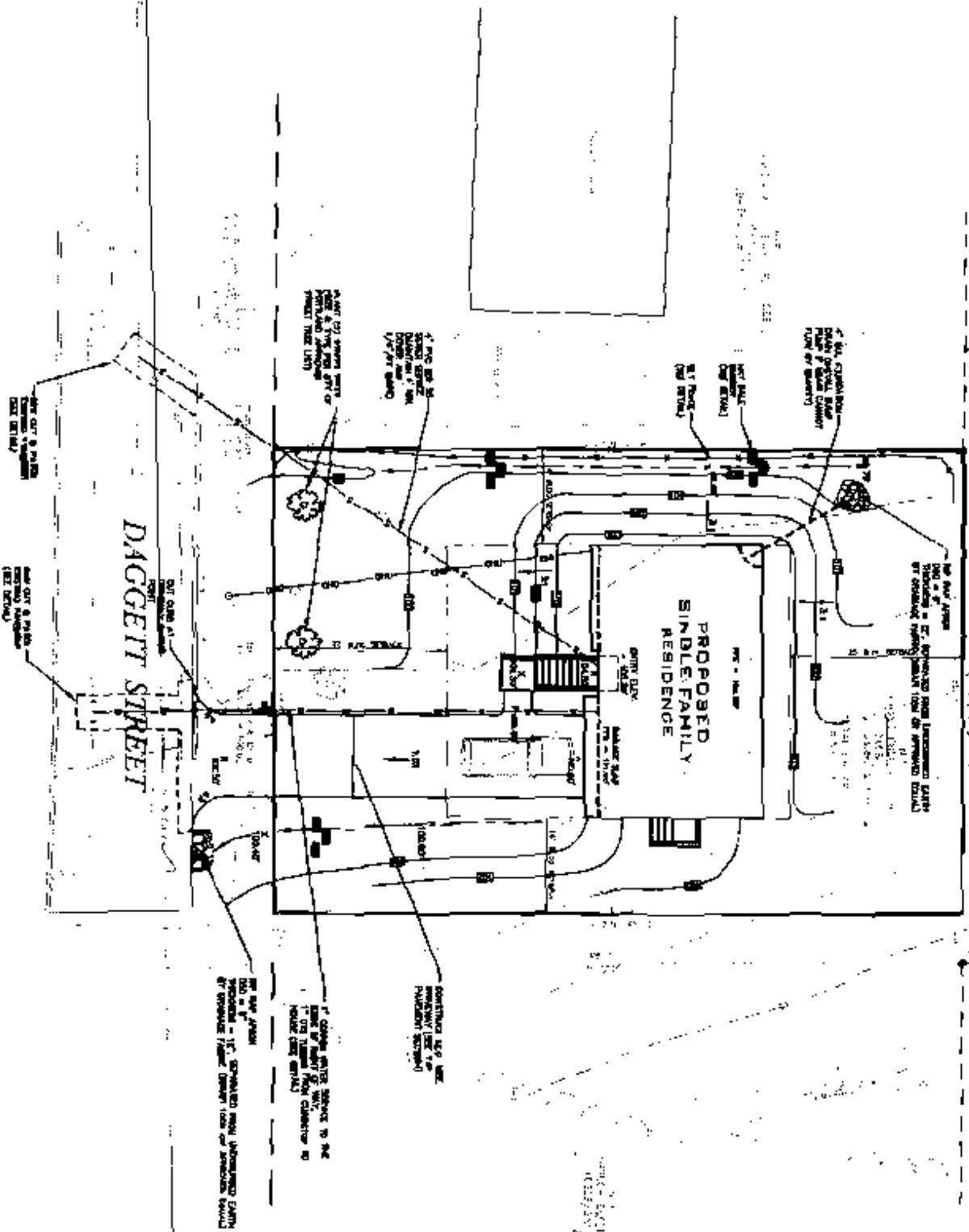
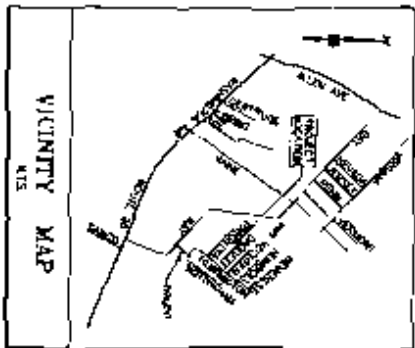
Dept. of Building Inspections
City of Portland Maine

13 DAGGETT STREET PORTLAND, MAINE

RECEIVED

OCT 22 2018

Dept. of Building Inspections
City of Portland Maine



SHEET INDEX

1. VTL, ADDRESS, PROJECT & DESIGN AND SUBMITTER (OWNER) PLAN
2. PAVING CONDITIONS PLAN
3. EROSION AND SEDIMENTATION CONTROL, UTILS AND DETAILS

LEGEND

	PROPERTY LINE
	EXISTING LOT LINE
	DATE OF RECORDING
	NORTH-SOUTH LINE
	UTILITY LINE
	DRAINAGE EASEMENT
	PROPOSED DRIVEWAY
	PROPOSED PARKING AREA
	PROPOSED SIDEWALK
	PROPOSED FENCE LINE
	PROPOSED GATE POST
	PROPOSED GATE
	PROPOSED GATE POST
	PROPOSED GATE
	PROPOSED GATE POST
	PROPOSED GATE

NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF PORTLAND, MAINE BUILDING DEPARTMENT REGULATIONS AND THE MAINE BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, MAINE BUILDING DEPARTMENT AND THE MAINE DEPARTMENT OF CONSUMER SERVICES.

SOILS LEGEND

SMOUL	SOIL TYPE	HIGH
SH	SCARP SLOPE	0

THE PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION OR RECORDING.

THIS PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION OR RECORDING.

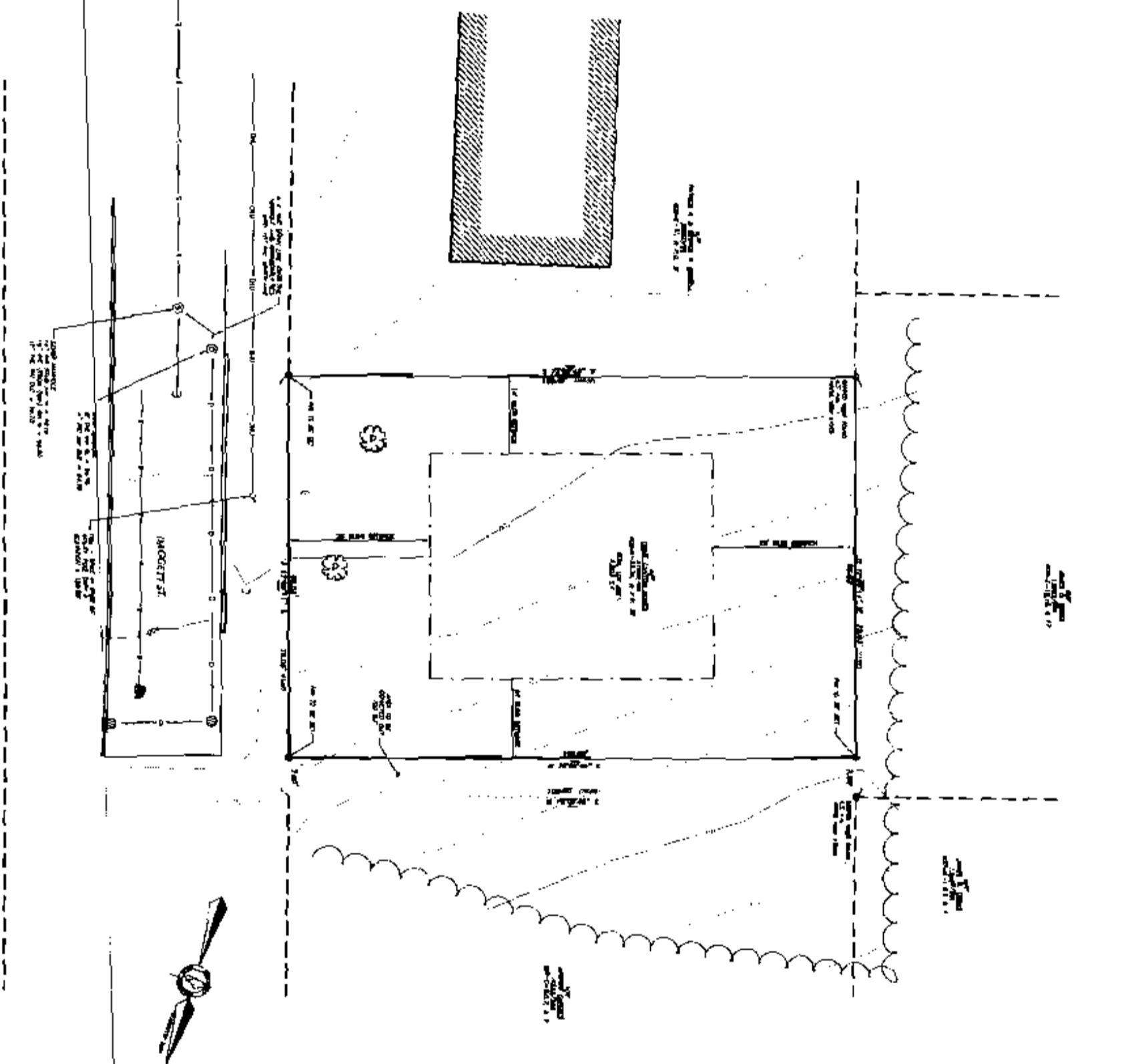
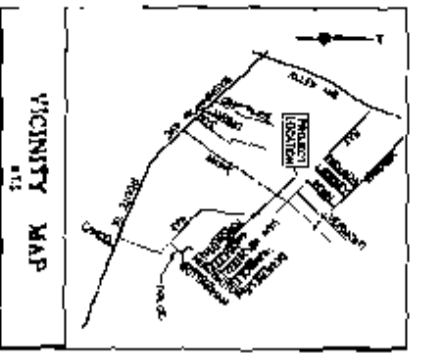
NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

CHASTE CUSTOM BONDING & FINANCE, INC.
1000 BROADWAY, SUITE 200, PORTLAND, ME 04102
TEL: 603.761.1000 FAX: 603.761.1001
WWW.CHASTE.COM



Northwest Civil Solutions
1111 US ROUTE 1, SCARBOROUGH, ME 04074
TEL: 603.883.2222 FAX: 603.883.2223
WWW.NWCIVIL.COM

SHEET 1 OF 3



LEGEND

- 1. Ground contours from 100' intervals are shown.
- 2. Utility lines are shown as follows:
 - Water
 - Sewer
 - Gas
 - Electric
 - Telephone
 - Cable TV
- 3. Utility lines shown as they appear on the ground.
- 4. Utility lines shown as they appear on the ground.
- 5. Utility lines shown as they appear on the ground.
- 6. Utility lines shown as they appear on the ground.
- 7. Utility lines shown as they appear on the ground.
- 8. Utility lines shown as they appear on the ground.
- 9. Utility lines shown as they appear on the ground.
- 10. Utility lines shown as they appear on the ground.

NOTES

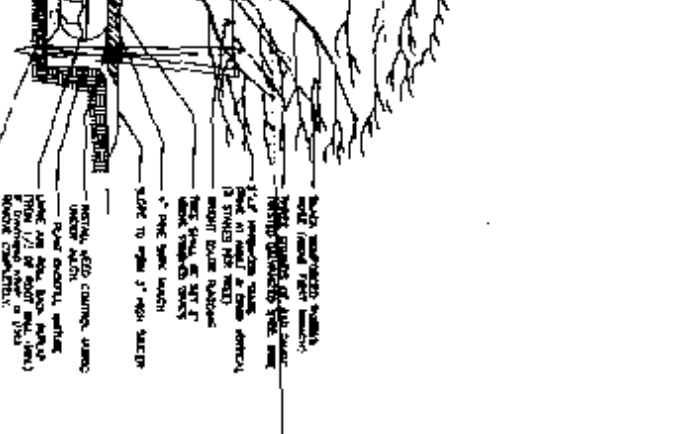
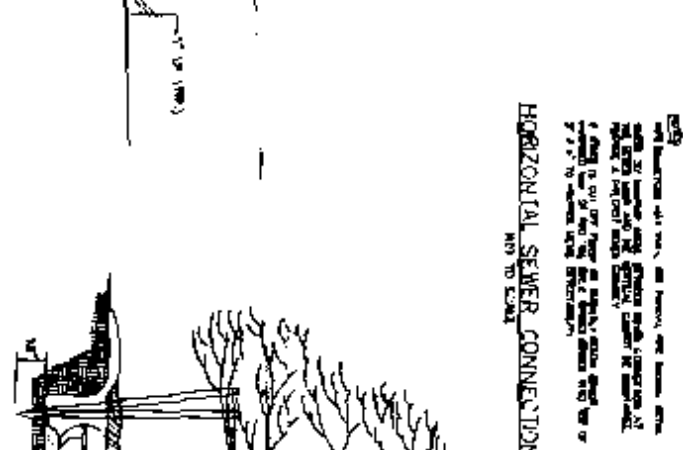
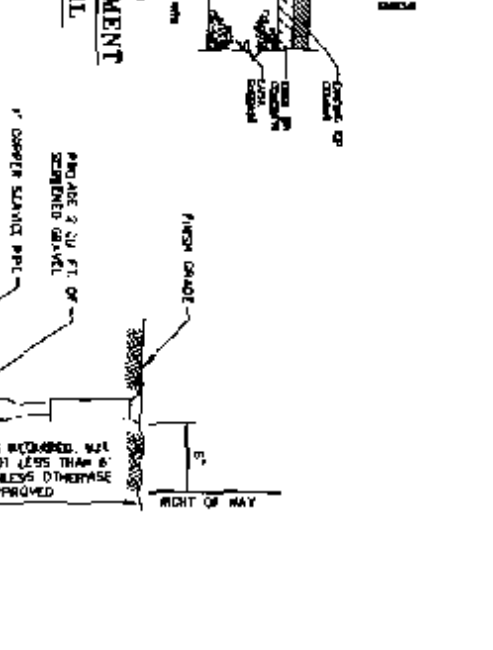
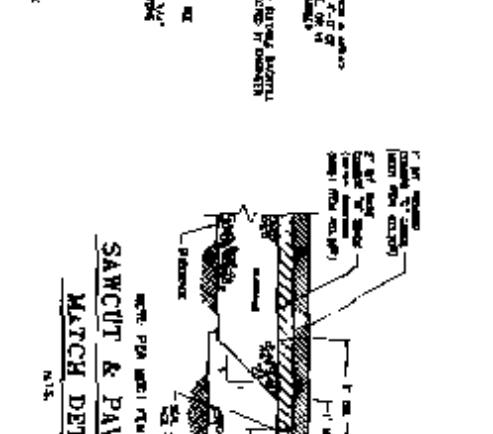
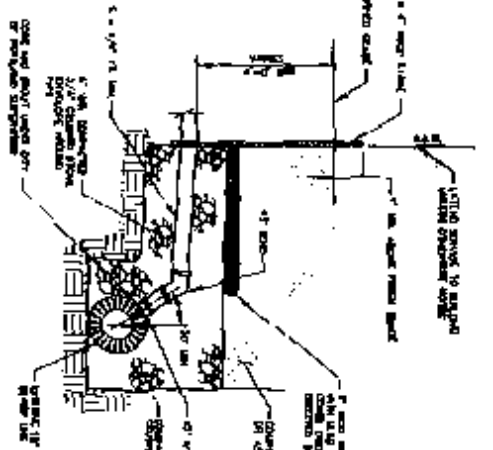
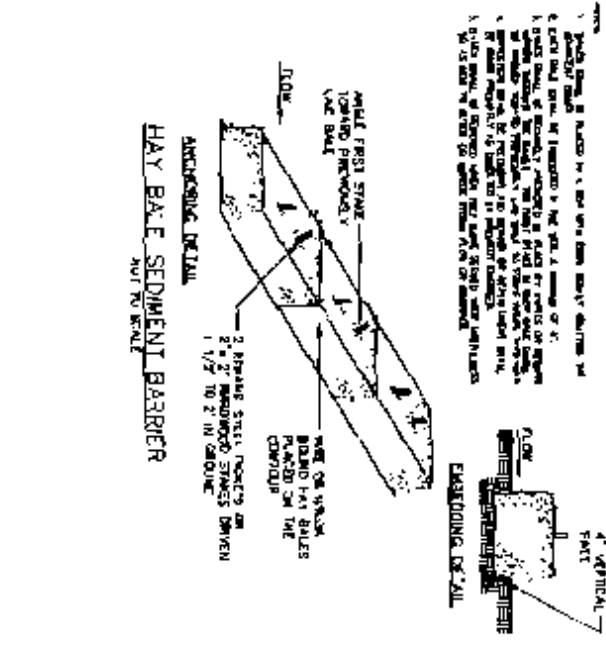
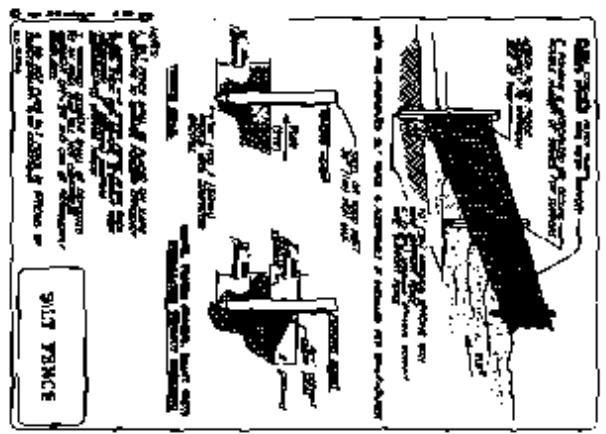
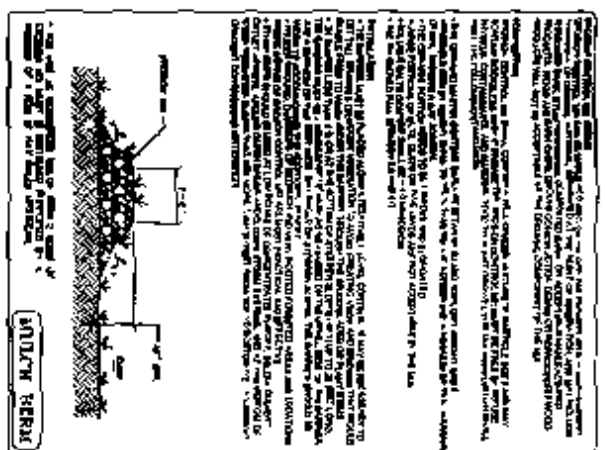
1. The plan of building for this project is shown on sheet 1000-1.
2. All dimensions are in feet and inches.
3. All bearings are in degrees, minutes and seconds.
4. All distances are in feet and inches.
5. All bearings are in degrees, minutes and seconds.
6. All distances are in feet and inches.
7. All bearings are in degrees, minutes and seconds.
8. All distances are in feet and inches.
9. All bearings are in degrees, minutes and seconds.
10. All distances are in feet and inches.

STAMP AND SIGNATURE

NorthEast Civil Solutions
 1000 W. 10th Street, Suite 100
 Lincoln, NE 68502
 (402) 441-1111
 www.northeastcivil.com

CHASE CUSTOM HOMES & FINANCE, INC.
 1000 W. 10th Street, Suite 100
 Lincoln, NE 68502
 (402) 441-1111
 www.chasehomes.com

1. The contractor shall install erosion control measures on all exposed soil surfaces within 14 days of the start of construction.
2. Erosion control measures shall be installed in accordance with the specifications and details provided in this plan.
3. The contractor shall maintain all erosion control measures in good working order throughout the construction period.
4. The contractor shall be responsible for the removal and disposal of all sediment and debris from the site.
5. The contractor shall install silt fences along all perimeter roads and access points.
6. The contractor shall install straw bales along all perimeter roads and access points.
7. The contractor shall install silt curtains along all perimeter roads and access points.
8. The contractor shall install sediment basins along all perimeter roads and access points.
9. The contractor shall install sediment traps along all perimeter roads and access points.
10. The contractor shall install sediment filters along all perimeter roads and access points.
11. The contractor shall install sediment screens along all perimeter roads and access points.
12. The contractor shall install sediment collectors along all perimeter roads and access points.
13. The contractor shall install sediment diverters along all perimeter roads and access points.
14. The contractor shall install sediment diverters along all perimeter roads and access points.
15. The contractor shall install sediment diverters along all perimeter roads and access points.
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18. The contractor shall install sediment diverters along all perimeter roads and access points.
19. The contractor shall install sediment diverters along all perimeter roads and access points.
20. The contractor shall install sediment diverters along all perimeter roads and access points.



NO.	DESCRIPTION	DATE	BY	APP. BY
1	PRELIMINARY PLAN	10/15/11	J. W. [Name]	[Signature]
2	FINAL PLAN	11/15/11	J. W. [Name]	[Signature]

TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

TYPICAL DRIVEWAY SECTION
NOT TO SCALE

TYPICAL STREET TREE PLANTING
NOT TO SCALE

SAWCUT & PAVEMENT MATCH DETAIL
NOT TO SCALE

HORIZONTAL SEWER CONNECTION
NOT TO SCALE

SILT FENCE

STRAW BALE FENCE

HAY BALE SEDIMENT BARRIER
NOT TO SCALE

EROSION & SEDIMENTATION CONTROL PLAN

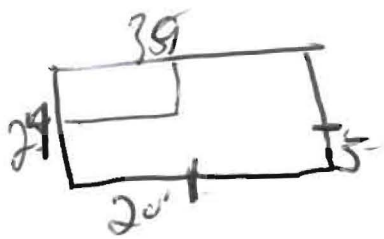
CHASE CUSTOM HOMES & FINANCE, INC.

Northeast Civil Solutions

4515 ROUTE 100, SUITE 100, WASHINGTON, DC 20032

TEL: 703.441.1111 FAX: 703.441.1112

WWW.NECSOLUTIONS.COM



Northwest end solution
Pinned fabric will sort later

2 #4 Rebar in Fabric continuous Keyway
N/A

okay to pave when We receive ledger
N/A

11/6/0

Course sand use to bring to grade compacted in 8" lifts

3/4 crushed stone, with 4" Perfor pipe, cover in fabric for drainage

Positive drainage will extend out back left side at a 45° to
drop off per plan

Damp problem done okay to backfill
N/A

2-3-11

Not Rebar No Plum Band

3-22-11 ok to close in N/A

went over Frost Protect and stone with contractor
N/A



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

10-22 2010

Received from Edward Wambush

Location of Work 13 Duggett St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 30

Building (I1) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 409-E-33

Check #: CC Total Collected \$ 30

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy