

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

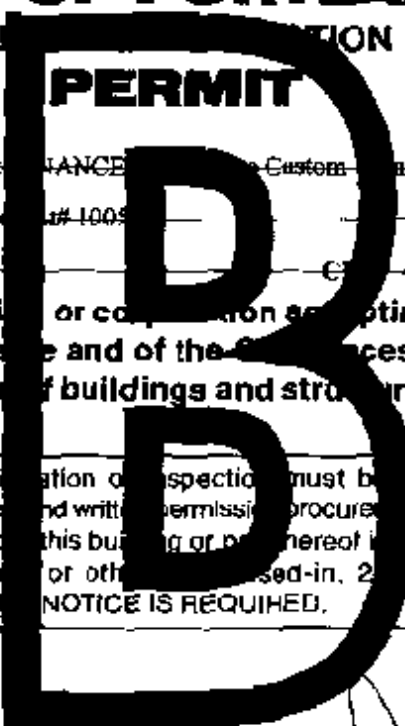
PERMIT ISSUED

Please Read Application And Notes, if Any, Attached

BUILDING PERMIT

OCT 28 2010

Permit Number: 101330



This is to certify that CHASE CUSTOM HOMES & FINANCE Custom Home City of Portland

has permission to Alter site plan amendment to project # 1005

AT 13 DAGGETT ST City # 409-8033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is inhabited or otherwise used-in, 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 10/26/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1330	Issue Date:	CBL: 409 E033001
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Location of Construction: 13 DAGGETT ST	Owner Name: CHASE CUSTOM HOMES & FTN	Owner Address: 1 PERCY HAWKES RD	Phone:
Business Name:	Contractor Name: Chase Custom Homes of Windham	Contractor Address: 1 Percy Hawkes Road Windham	Phone: 2078922700
Lessee/Buyer's Name:	Phone:	Permit Type: Amendment to Single Family	Zone: R-3

Proposed Use: Single Family Home Connected w/ permit#100524	Proposed Use: Single Family Home Connected w/ permit#100524 - Alter site plan - amendment to permit# 100524	Permit Fee: \$30.00	Cost of Work: \$30.00	CBD District: 4
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: SB JRC-2003 Signature: JMB 10/26/10				

Proposed Project Description:
Alter site plan amendment to permit# 100524

Signature: _____ Date: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 10/22/2010	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED

OCT 28 2010

City of Portland

Special Zone or Review <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>OK</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/ conditions Date: 10/25/10 <i>AKA</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approval w/Conditions <input type="checkbox"/> Denied Date: <i>AKA</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1330	Date Applied For: 10/22/2010	CBL: 409 E033001
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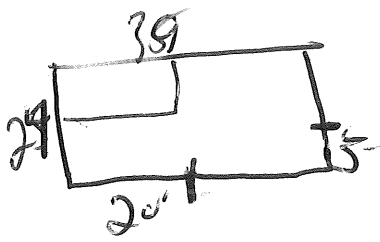
Location of Construction: 13 DAGGETT ST	Owner Name: CHASE CUSTOM HOMES & FIN	Owner Address: 1 PERCY HAWKES RD	Phone:
Business Name:	Contractor Name: Chase Custom Homes of Windham	Contractor Address: 1 Percy Hawks Road Windham	Phone: (207) 892-2700
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home Connected w/ permit# 100524 - Alter site plan amendment to permit# 100524	Proposed Project Description: After site plan amendment to permit# 100524
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/25/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) This permit is being issued with the condition that the certificate of occupancy will not be issued until the new deed showing the outsale of the 7' x 100' strip on the right side of the property is recorded at the registry of deeds. 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/26/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) This approval is for a site plan change only, no change in the structure. All previous building conditions apply 			

Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 08/16/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) This permit is being issued with the condition that the certificate of occupancy will not be issued until the new deed showing the outsale of the 7' x 100' strip on the right side of the property is recorded at the registry of deeds. 2) The foundation drain is to outlet at the front of the house and the flow is to be directed towards the catch basin in the street. 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.) 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy. 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind. 			



Northwest end section
 Pinned fabric will scatter

2 #4 Rebar in Footing continuous Keyway
 N/A

okay to pour when We receive ledger
 N/A

11/6/10

Course sand use to bring to grade compacted in 8" lifts
 3/4 crushed stone, with 4" Per pipe, cover in fabric for drainage
 Positive drainage will extend out back left side at a 45° to
 drop off per plan

Damp problem, done okay to backfill
 N/A

2-3-11

Not Ready No Flame Bar

3-22-11 ok to close in N/A

went over Frost Protection and stairs with contractor
 N/A

6-13-11

✓ AFCI Kit Lighting Circuit

✓ Notching on 1 1/2" vent in Basement

✓ HUA Permit

✓ Handrails outside Deck

○ Frost Protection CREST DOWNS

✓ Ledger Strip

✓ OK on 1/2" Rebar on Basement Wall adjacent to garage

✓ Light in Attic

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1330	Date Applied For: 10/22/2010	CBL: 409 E033001
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Location of Construction: 13 DAGGETT ST	Owner Name: CHASE CUSTOM HOMES & FIN	Owner Address: 1 PERCY HAWKES RD	Phone:
Business Name:	Contractor Name: Chase Custom Homes of Windham	Contractor Address: 1 Percy Hawks Road Windham	Phone (207) 892-2700
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home Connected w/ permit#100524 - Alter site plan amendment to permit# 100524	Proposed Project Description: Alter site plan amendment to permit# 100524
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/25/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This permit is being issued with the condition that the certificate of occupancy will not be issued until the new deed showing the outsale of the 7" x 100' strip on the right side of the property is recorded at the registry of deeds. 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/26/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This approval is for a site plan change only, no change in the structure. All previous building conditons apply. 			

Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 08/16/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This permit is being issued with the condition that the certificate of occupancy will not be issued until the new deed showing the outsale of the 7" x 100' strip on the right side of the property is recorded at the registry of deeds. 2) The foundation drain is to outlet at the front of the house and the flow is to be directed towards the catch basin in the street. 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. 5) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.) 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy. 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind. 			

Location of Construction: 15 DAGGETT ST	Owner Name: CHASE CUSTOM HOMES & FIN	Owner Address: 1 PERCY HAWKES RD	Phone:
Business Name:	Contractor Name: Chase Custom Homes of Windham	Contractor Address: 1 Percy Hawks Road Windham	Phone (207) 892-2700
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

10/25/2010-pd: This revised site plan is approved subject to the same conditions of approval as the original approved site plan, in addition to the condition that the outsale be recorded prior to the issuance of the certificate of occupancy.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

10-22-2010

Received from

Edward Beaudin
15 Beggell St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 30

Building (B) _____ Plumbing (P) _____ Electrical (E) _____ Site Plan (S) _____

Other _____

Per. 4892-33

Check # EL Total Collected \$ 30

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

JA

NOTE - Applicant's Copy
Office Copy
Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>3 Daggett St.</u>		
Total Square Footage of Proposed Structure/Area: <u>1040</u>	Square Footage of Lot: <u>6803</u>	Number of Stories: <u>2</u>
Tax Assessor's Chart, Block & Lot Chart # <u>409</u> Block # <u>E</u> Lot # <u>33</u>	Applicant *must be owner, Lessee or Buyer Name <u>Chase Custom Homes & Interiors</u> Address <u>1 Percy Hawkes Rd.</u> City, State & Zip <u>Windham ME 04412</u>	Telephone: <u>892-2700</u> <u>x219</u>
Lessee/DBA (if applicable)	Owner (if different from Applicant) Name <u>Same</u> Address City, State & Zip	Cost of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>land</u>	Number of Residential Units <u>0</u>	
If vacant, what was the previous use? <u>land</u>		
Proposed Specific use:		
Is property part of a subdivision? <u>yes</u>	If yes, please name <u>Family Home - same exact house</u>	
Project description: <u>ALTER SITE PLAN AMENDMENT TO PERMIT 100524</u>		
Contractor's name: <u>Same as owner</u>		
Address: _____		
City, State & Zip: _____		Telephone: _____
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:	Date: <u>10/22/10</u>
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This is not a permit; you may not commence ANY work until the permit is issued

Applicant: Choice Custom Homes & Finance Inc.
(Ted Wondishian)

Date: 10/25/10

Address: 13 Daggert St.

C.B.L.: 409-E-33

CHECK-LIST AGAINST ZONING

permit # - 10-1320
ORDINANCE

*corner permit # 10-0524
- size of lot has changed.

Date - N/A

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - ~~mixed~~ build on two single family - 2 story split level w/ 1' x 15' 8" overhang
& 2' x 11' 8" overhang

Severge Disposal - city

Lot Street Frontage - 50' min. - 68.02' min (OK)

Front Yard - 25' min. - 47' 2" foundation scaled (OK)

Rear Yard - 25' min. - 29' 6" foundation scaled (OK)

Side Yard - 14' min (23' 4") 14 scaled given on right (OK) - 48' city is (OK) Section 14-435.
14 scaled given on left (OK)

Projections - N/A

Width of Lot - 65' min. - 68' 5" scaled (OK)

Height - N/A

Lot Area - 6500 ± min. - 1803 ± sq ft (OK)

Lot Coverage Impervious Surface - 25% = 2381.67 ±

$$\begin{aligned}
 24 \times 40 &= 960 \\
 1 \times 15.5 &= 15.5 \\
 2 \times 12.5 &= 25 \\
 4 \times 7 &= 28 \\
 5 \times 11 &= 55 \\
 \hline
 &= 1103.5 \pm
 \end{aligned}$$

Area per Family - 6500 ± (OK)

Off-street Parking - 2 spaces necessary - 2 shown - 1 in garage { 23' x 13' beyond setback (OK)

Loading Bays - N/A

Site Plan - minor minor 2010-0010

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 - zone X

Jeanie Bourke - 13 Daggett Street Revised/Amended Site Plan

From: Philip DiPiero
To: Code Enforcement & Inspections
Date: 10/25/2010 4:24 PM
Subject: 13 Daggett Street Revised/Amended Site Plan

Hi all, the revised/amended site plan for project #2010 0010 at 13 Daggett Street meets minimum DRC site plan requirements for the issuance of a building permit.

Thanks.

Phil

Exhibit A

A certain lot or parcel of land located on the westerly side of Daggett Street, in the City of Portland, County of Cumberland, State of Maine, being more particularly bounded and described as follows:

Beginning at a #5 rebar with cap stamped "NCS, INC PLS 1314" on the westerly right-of-way line of Daggett Street at the most northeasterly corner of land N/F of Chase Custom Homes as recorded in the Cumberland County Registry of Deeds at Book 21584, Page 65;

Thence S $17^{\circ}59'11''$ E along the westerly right-of-way line of Daggett Street 7.00' to a point and an iron pin to be set;

Thence S $72^{\circ}00'49''$ N a distance of 100.00 feet to a point and an iron pin to be set, said point being on the northeasterly boundary line of land N/F of James G. Towns as recorded in the Cumberland County Registry of Deeds at Book 13267, Page 294;

Thence N $17^{\circ}59'11''$ W along the northeasterly boundary line of said Towns a distance of 7.00 feet to a dapped rebar found and stamped "0.3' A.G. Wayne Wood #1328";

Thence N $72^{\circ}00'49''$ E a distance of 100.00 feet, more or less, to the point of beginning.

The above-described parcel contains 700.00 square feet, more or less.

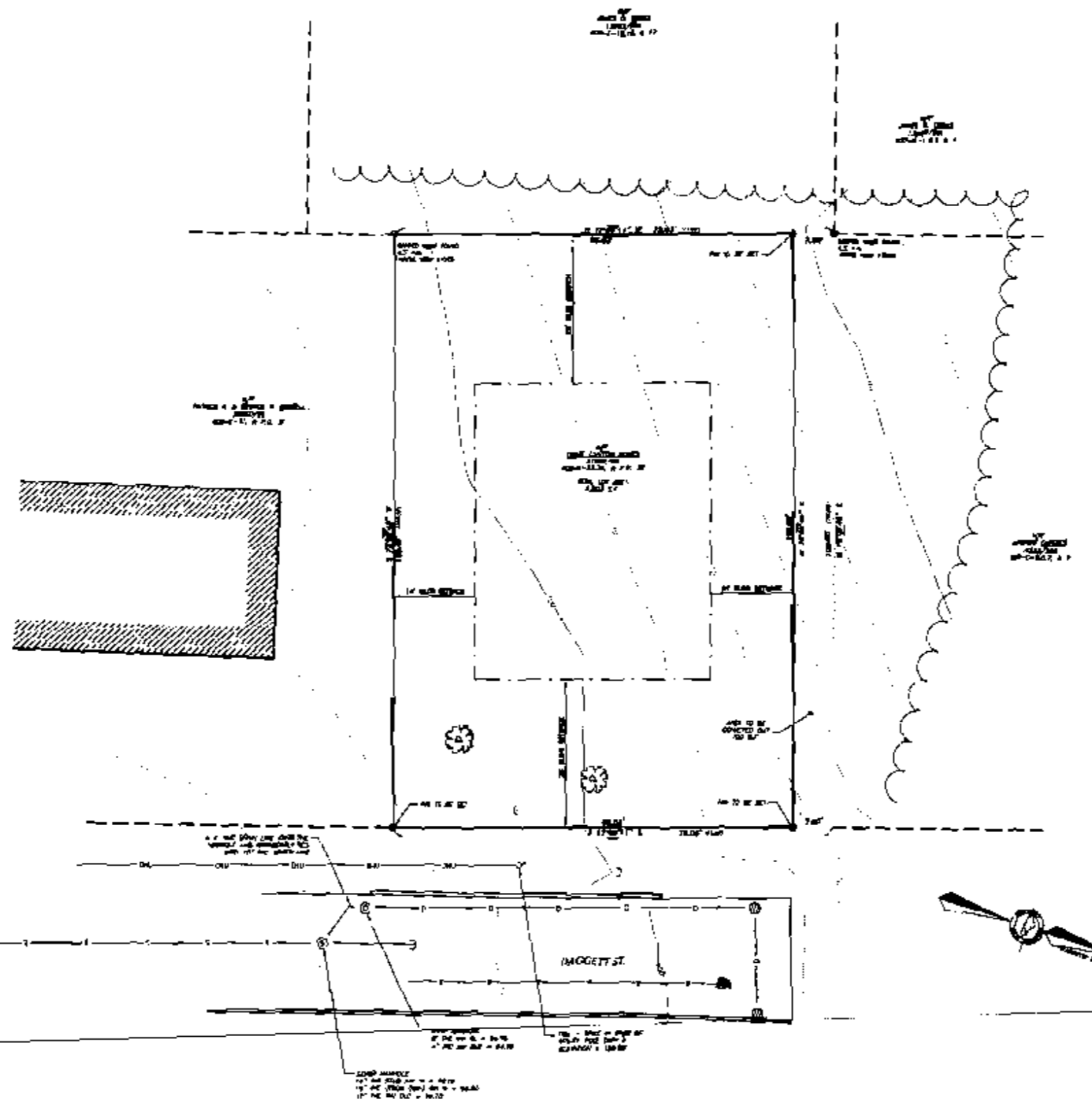
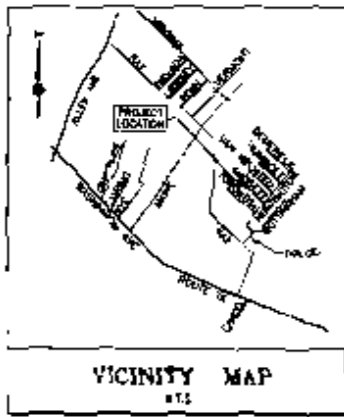
Being a portion of the premises conveyed from Andrew DeForte to Chase Custom Homes & Finance, Inc., dated July 20, 2004 and recorded in the Cumberland County Registry of Deeds at Book 21584, Page 65.

The basis of bearing for the above-described parcel is Magnetic North 1987. The above-described parcel is shown on a boundary survey prepared for Chase Custom Homes & Finance, Inc. by Northeast Civil Solutions, Inc., dated July 28, 2010.

RECEIVED

OCT 22 2010

Dept. of Building Inspections
City of Portland Maine



LEGEND

- FOUND UTILITY WITH FLAG (NUMBER AS NOTED)
- SET FROM ANY EXISTING CURB EDGES
- UTILITY POLE (NUMBER AS NOTED)
- GUY WIRE ANCHOR
- FOUND RECEPTION TOWER
- ANCHOR ASSEMBLY
- DRAIN ASSEMBLY
- SHIELD VALVE
- TREE LINE (APPROXIMATE)
- EASEMENT LINE
- LINE OF IMPROVEMENT
- SEWER-OR-SEWER LINE
- SANITARY LINE
- OVERHEAD WIRELINE
- WATER LINE
- POWER LINE
- GAS LINE
- TELEPHONE LINE
- SIGN OF PROPERTY OWNED BY OTHER PARTY AND NOT OWNED BY THIS PARTY (OWNER'S NAME)
- SIGN OF BOUNDARY AND NOT OWNED BY THIS PARTY (OWNER'S NAME)
- SIGN OF BOUNDARY AND NOT OWNED BY THIS PARTY (OWNER'S NAME)

NOTES

1. THE DATE OF RECORDING FOR THIS SURVEY IS SEPTEMBER 10, 2014 PER PLAT RECORDED IN PLAT BOOK 21584 PAGE 43.
2. SEE THE PLAN WITH REFERENCE TO THE CUMBERLAND COUNTY DEPARTMENT OF RECORDS OFFICE.
3. RECORD COPIES OF THE PUBLIC SURVEY CAN BE FOUND IN A COPY FROM ANCHOR DESIGN TO CHASE CUSTOM HOMES, DATED MAY 30, 2014 AND RECORDED IN PLAT BOOK 21584 PAGE 43.
4. IMPROVEMENTS TO BE MADE TO THE EXISTING PROPERTY:
 - a. "WALKWAY" FROM 1' SIDEWALK TO 12' SIDEWALK STREET BY PROPERTY LINE, REFER TO ANCHOR DESIGN BY ANCHOR DESIGN & CO. (UNRECORDED)
 - b. "NEW WALKWAY" FROM 10' SIDEWALK TO 12' SIDEWALK STREET, REFER TO ANCHOR DESIGN BY ANCHOR DESIGN & CO. (UNRECORDED)
5. THE WALKWAY DESCRIBED IS LOCATED ON THE CITY OF RICHMOND RECORDS IN THE BLOCK 1, LOT 13 AND A PORTION OF LOT 12.
6. THE WALKWAY DESCRIBED IS LOCATED IN THE AS SHOWN APPROVED OF RECORD AND OTHER REQUIREMENTS FOR A NEW WALKWAY SHALL BE AS FOLLOWS:
 - WALKWAY IS TO BE 12' WIDE MINIMUM TO FEET
 - SIDE WALK WIDTH TO BE 12' (MINIMUM)
 - MINIMUM STREET FRONTAGE 50 FEET
 - MINIMUM LOT WIDTH 50 FEET
 - MINIMUM LOT AREA 2,500 S.F. (MINIMUM)
 - MINIMUM LOT COVERAGE 25%
7. ACTUAL LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE TO BE FIELD VERIFIED. ALL UTILITY CONNECTIONS ARE TO BE FIELD VERIFIED AND CORRECTED WITH ALL NECESSARY CORRECTIONS AND TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
8. ALL ELEVATIONS OF 10.00 FEET AND AROUND AT THE TIME.
9. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY ORDINANCES.
10. BOUNDARY OF OTHER PARTY NOT SHOWN ON THIS PLAN IS NOT TO BE FIELD VERIFIED.

PROJECT: 2014-1	PROJECT NAME: 2500S-1,2ND
DATE: JULY 28, 2014	SCALE: 1" = 10'
DRAWN BY: JH / JHL	CHECKED BY: JHL
EXISTING CONDITIONS/OUT SALE PLAN (3 SHEETS: STREET, FRONTAGE, WALK)	
CHASE CUSTOM HOMES & FINANCE, INC. 1 SHEET: FRONTAGE, WALK, WALK DOOR	
CHASE CUSTOM HOMES & FINANCE, INC. 1 SHEET: FRONTAGE, WALK, WALK DOOR	

STAMP AND SIGNATURE

EROSION AND SEDIMENTATION CONTROL PLAN

1. GENERAL NOTES:

- 1.1. All erosion and sedimentation control measures shall be installed and maintained in accordance with the requirements of this plan and the applicable regulatory agencies.
- 1.2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate regulatory agencies.
- 1.3. All control measures shall be installed prior to the commencement of any earthmoving or construction activities.
- 1.4. The contractor shall maintain all control measures in good working order throughout the duration of the project.
- 1.5. All control measures shall be removed and the site restored to its original condition upon completion of the project.
- 1.6. The contractor shall provide a daily log of all activities related to the implementation and maintenance of the control measures.
- 1.7. The contractor shall be responsible for the cost of all control measures and their maintenance.
- 1.8. The contractor shall be responsible for the cost of any fines or penalties incurred due to non-compliance with the requirements of this plan.
- 1.9. The contractor shall be responsible for the cost of any damage to adjacent property caused by the implementation or maintenance of the control measures.
- 1.10. The contractor shall be responsible for the cost of any cleanup or remediation required due to the implementation or maintenance of the control measures.
- 1.11. The contractor shall be responsible for the cost of any testing or monitoring required to verify the effectiveness of the control measures.
- 1.12. The contractor shall be responsible for the cost of any training or education required for the implementation and maintenance of the control measures.
- 1.13. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of this plan.
- 1.14. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of the applicable regulatory agencies.
- 1.15. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of all applicable laws and regulations.

2. EROSION CONTROL MEASURES:

- 2.1. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.2. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.3. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.4. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.5. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.6. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.7. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.8. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.9. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.
- 2.10. All exposed soil shall be covered with an approved erosion control mat or mulch within 14 days of exposure.

3. SEDIMENTATION CONTROL MEASURES:

- 3.1. All sedimentation control measures shall be installed and maintained in accordance with the requirements of this plan and the applicable regulatory agencies.
- 3.2. All sedimentation control measures shall be installed prior to the commencement of any earthmoving or construction activities.
- 3.3. The contractor shall maintain all sedimentation control measures in good working order throughout the duration of the project.
- 3.4. All sedimentation control measures shall be removed and the site restored to its original condition upon completion of the project.
- 3.5. The contractor shall provide a daily log of all activities related to the implementation and maintenance of the sedimentation control measures.
- 3.6. The contractor shall be responsible for the cost of all sedimentation control measures and their maintenance.
- 3.7. The contractor shall be responsible for the cost of any fines or penalties incurred due to non-compliance with the requirements of this plan.
- 3.8. The contractor shall be responsible for the cost of any damage to adjacent property caused by the implementation or maintenance of the sedimentation control measures.
- 3.9. The contractor shall be responsible for the cost of any cleanup or remediation required due to the implementation or maintenance of the sedimentation control measures.
- 3.10. The contractor shall be responsible for the cost of any testing or monitoring required to verify the effectiveness of the sedimentation control measures.
- 3.11. The contractor shall be responsible for the cost of any training or education required for the implementation and maintenance of the sedimentation control measures.
- 3.12. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of this plan.
- 3.13. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of the applicable regulatory agencies.
- 3.14. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of all applicable laws and regulations.

4. MULCH BERM:

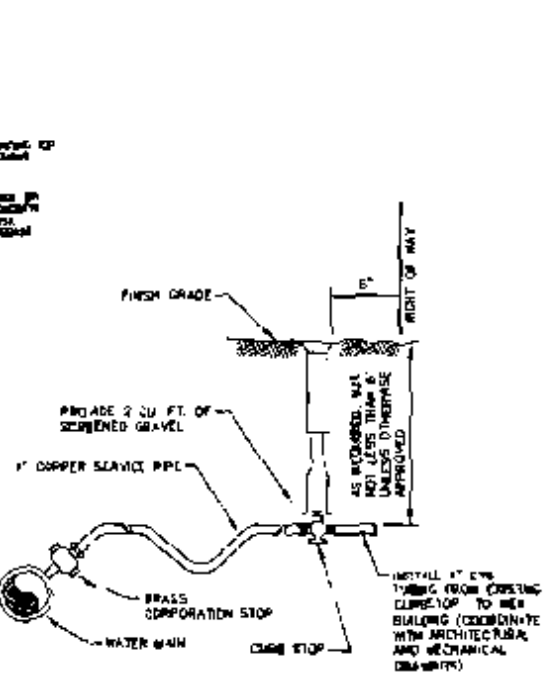
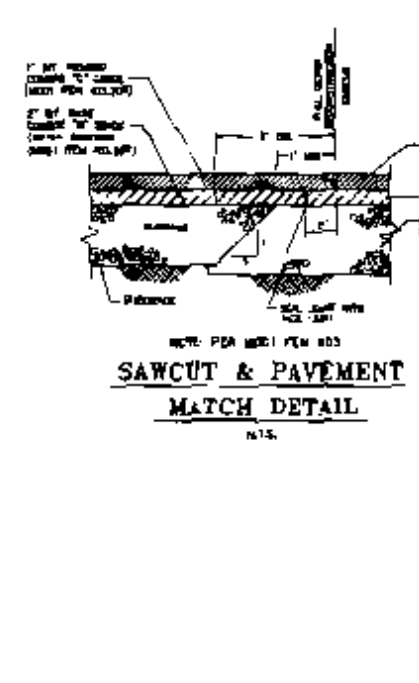
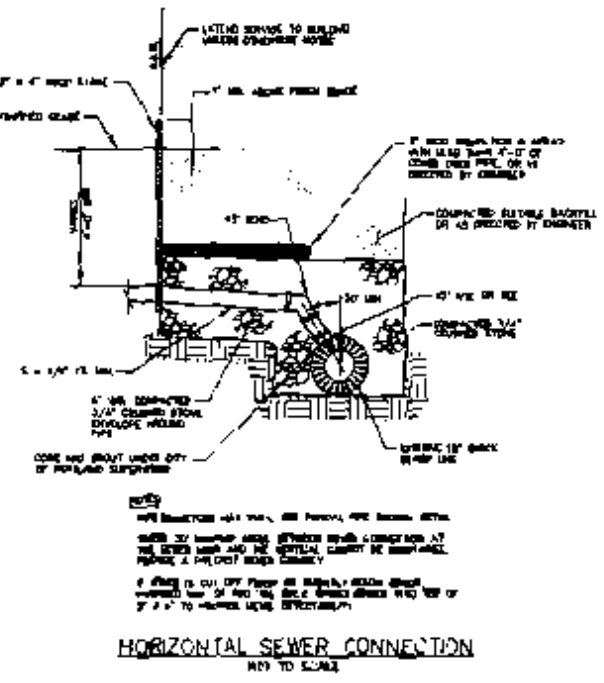
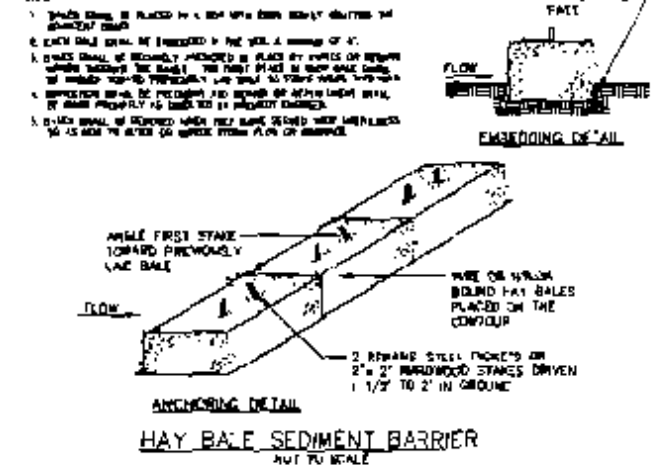
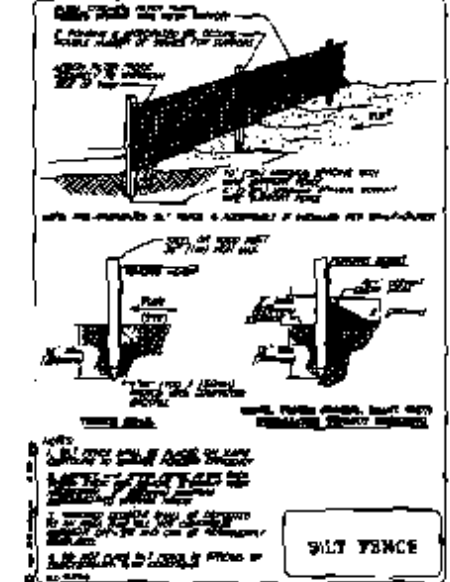
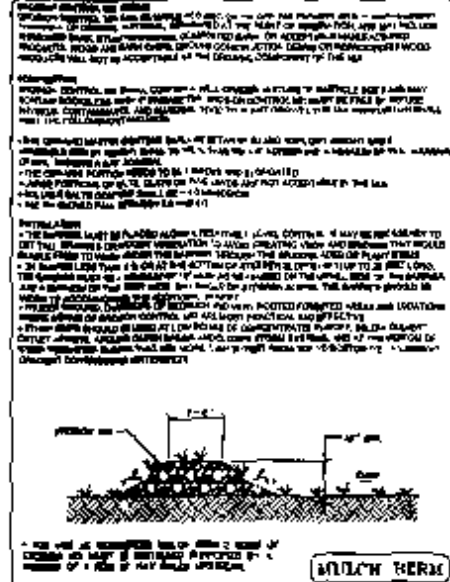
- 4.1. The mulch berm shall be installed in accordance with the requirements of this plan and the applicable regulatory agencies.
- 4.2. The mulch berm shall be installed prior to the commencement of any earthmoving or construction activities.
- 4.3. The contractor shall maintain the mulch berm in good working order throughout the duration of the project.
- 4.4. The mulch berm shall be removed and the site restored to its original condition upon completion of the project.
- 4.5. The contractor shall provide a daily log of all activities related to the implementation and maintenance of the mulch berm.
- 4.6. The contractor shall be responsible for the cost of the mulch berm and its maintenance.
- 4.7. The contractor shall be responsible for the cost of any fines or penalties incurred due to non-compliance with the requirements of this plan.
- 4.8. The contractor shall be responsible for the cost of any damage to adjacent property caused by the implementation or maintenance of the mulch berm.
- 4.9. The contractor shall be responsible for the cost of any cleanup or remediation required due to the implementation or maintenance of the mulch berm.
- 4.10. The contractor shall be responsible for the cost of any testing or monitoring required to verify the effectiveness of the mulch berm.
- 4.11. The contractor shall be responsible for the cost of any training or education required for the implementation and maintenance of the mulch berm.
- 4.12. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of this plan.
- 4.13. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of the applicable regulatory agencies.
- 4.14. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of all applicable laws and regulations.

5. SILT FENCE:

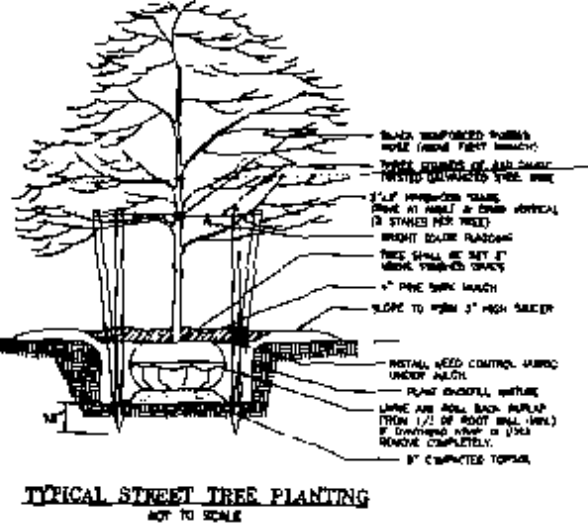
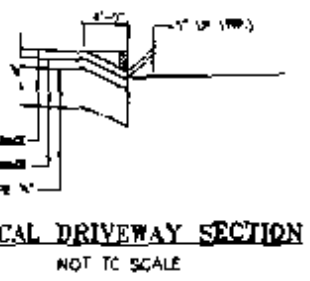
- 5.1. The silt fence shall be installed in accordance with the requirements of this plan and the applicable regulatory agencies.
- 5.2. The silt fence shall be installed prior to the commencement of any earthmoving or construction activities.
- 5.3. The contractor shall maintain the silt fence in good working order throughout the duration of the project.
- 5.4. The silt fence shall be removed and the site restored to its original condition upon completion of the project.
- 5.5. The contractor shall provide a daily log of all activities related to the implementation and maintenance of the silt fence.
- 5.6. The contractor shall be responsible for the cost of the silt fence and its maintenance.
- 5.7. The contractor shall be responsible for the cost of any fines or penalties incurred due to non-compliance with the requirements of this plan.
- 5.8. The contractor shall be responsible for the cost of any damage to adjacent property caused by the implementation or maintenance of the silt fence.
- 5.9. The contractor shall be responsible for the cost of any cleanup or remediation required due to the implementation or maintenance of the silt fence.
- 5.10. The contractor shall be responsible for the cost of any testing or monitoring required to verify the effectiveness of the silt fence.
- 5.11. The contractor shall be responsible for the cost of any training or education required for the implementation and maintenance of the silt fence.
- 5.12. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of this plan.
- 5.13. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of the applicable regulatory agencies.
- 5.14. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of all applicable laws and regulations.

6. HAY BALE SEDIMENT BARRIER:

- 6.1. The hay bale sediment barrier shall be installed in accordance with the requirements of this plan and the applicable regulatory agencies.
- 6.2. The hay bale sediment barrier shall be installed prior to the commencement of any earthmoving or construction activities.
- 6.3. The contractor shall maintain the hay bale sediment barrier in good working order throughout the duration of the project.
- 6.4. The hay bale sediment barrier shall be removed and the site restored to its original condition upon completion of the project.
- 6.5. The contractor shall provide a daily log of all activities related to the implementation and maintenance of the hay bale sediment barrier.
- 6.6. The contractor shall be responsible for the cost of the hay bale sediment barrier and its maintenance.
- 6.7. The contractor shall be responsible for the cost of any fines or penalties incurred due to non-compliance with the requirements of this plan.
- 6.8. The contractor shall be responsible for the cost of any damage to adjacent property caused by the implementation or maintenance of the hay bale sediment barrier.
- 6.9. The contractor shall be responsible for the cost of any cleanup or remediation required due to the implementation or maintenance of the hay bale sediment barrier.
- 6.10. The contractor shall be responsible for the cost of any testing or monitoring required to verify the effectiveness of the hay bale sediment barrier.
- 6.11. The contractor shall be responsible for the cost of any training or education required for the implementation and maintenance of the hay bale sediment barrier.
- 6.12. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of this plan.
- 6.13. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of the applicable regulatory agencies.
- 6.14. The contractor shall be responsible for the cost of any other measures required to ensure compliance with the requirements of all applicable laws and regulations.



ORIGINAL SIZE
AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED



THIS PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION OR RECORDING.

PROJECT NUMBER	DATE	SCALE	DATE	BY

EROSION & SEDIMENTATION CONTROL NOTES AND CONSTRUCTION DETAILS

FOR
SINGLE FAMILY RESIDENCE
15 BARNETT STREET, PORTLAND, MAINE 04107

DESIGNED BY
CHASE CUSTOM HOMES & FINANCE, INC.
1 POND HAVEN ROAD, VINTAGE, MAINE 04982

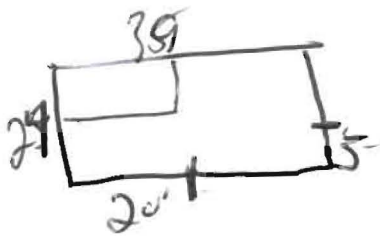
PREPARED BY
Northeast Civil Solutions
INCORPORATED
151 US ROUTE 1, SCARBOROUGH, MAINE 04074

DATE
2/17/2010

BY
[Signature]

PROJECT NUMBER





Northwest end solution
Pinned fabric will sort later

2 #4 Rebar in Fabric continuous Keyway
 okay to pave when We receive ledger
 N/A

11/6/0

Course sand use to bring to grade compacted in 8" lifts
 3/4 crushed stone, with 4" Perfor pipe, cover in fabric for drainage
 Positive drainage will extend out back left side at a 45° to
 drop off per plan
 Damp problem done okay to backfill
 N/A

2-3-11

Not Rebar No Plum Post

3-22-11 ok to close in N/A

went over Frost Protect and Stance with contractor
 N/A



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

_____ 10-22 20 10 _____

Received from Edward Wambush

Location of Work 13 Duggett St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 30

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 409-E-33

Check #: CC Total Collected \$ 30

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy