

COMMENTS

7/31/97 Work Not Started

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 28 July 97 ADDRESS: 3 Huntington Ave
REASON FOR PERMIT: To Construct deck
BUILDING OWNER: Tim King
CONTRACTOR: Owner
PERMIT APPLICANT: ↑ APPROVAL: KMS X 10 **DENIED**

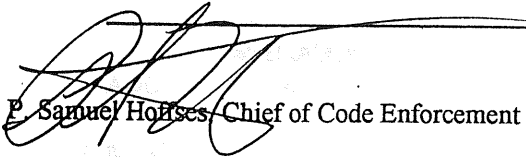
CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the ~~Development Review Coordinator~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 26. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- 27. _____
- 28. _____
- 29. _____


P. Samuel Hobbins Chief of Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal

Applicant: Timothy King
Address: 3 Huntington Ave

Date: 7/25/97
C-B-L: 409-C-17

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing 1978

Zone Location - R-3

Interior or corner lot - 21-27 Marlborough Rd
Proposed Use/Work - Construct Deck as per plan

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard - 25' req - 32' shown

Side Yard - 20' side yard on side st - 30' shown

Projections -

Width of Lot -

Height -

Lot Area -

Lot Coverage/ Impervious Surface - 8264[#] 25% MAX = 2066[#] MAX

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

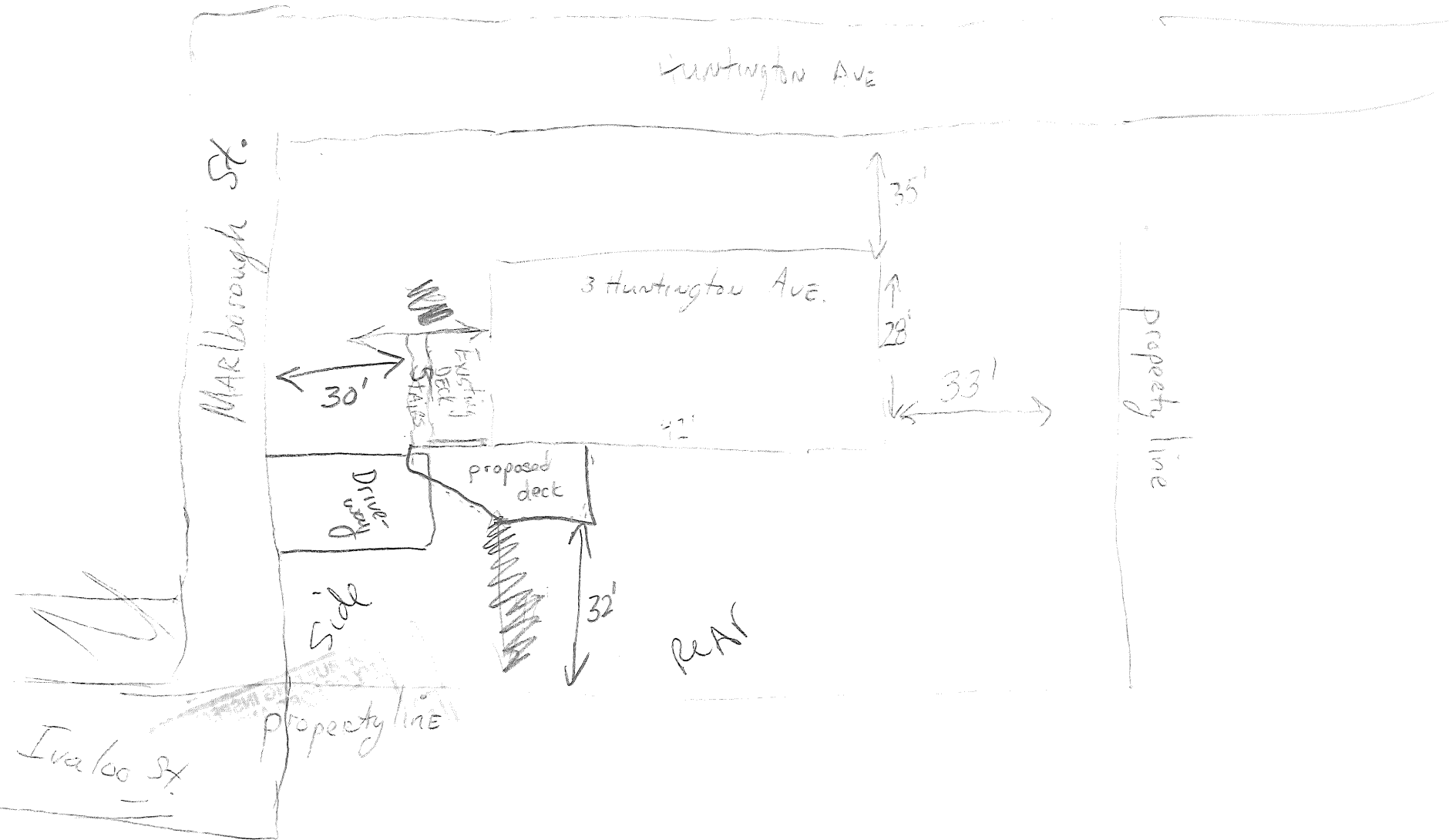
Shoreland Zoning/ Stream Protection -

Flood Plains -

25 x 36 = 900
6 x 12 = 72
3 x 4 = 12

984[#]

Timothy J. King
3 Huntington Ave.
Portland, ME
04103



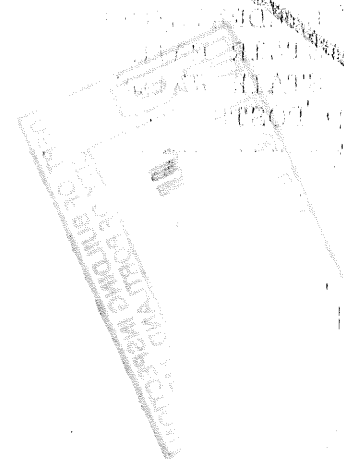
BILL OF MATERIALS --- LUMBER

CUSTOMER: E A K

DATE: 07/14/97 REF: EAK52222

SALESMAN # WADE

COMPONENT	SKU	QUANTITY	DESCRIPTION	WOOD TYPE
DECKING	2106326	23 EA	2X6 16'	PT PINE
DECKING	2001642	16 EA	2X6 10'	PT PINE
DECKING	2001634	4 EA	2X6 8'	PT PINE
DECKING	2001659	10 EA	2X6 12'	PT PINE
RAIL CAP	2001634	3 EA	2X6 8'	PT PINE
RAIL CAP	2001659	2 EA	2X6 12'	PT PINE
HORIZONTAL RAILS	2106300	10 EA	2X4 16'	PT PINE
VERTICAL RAILS	2143279	21 EA	1X4 12'	PT PINE
RAIL POST	2001535	6 EA	4X4 16'	PT PINE
STAIR POST	2001519	2 EA	4X4 12'	PT PINE
STAIR STRINGER	2001451	4 EA	2X12 12'	PT PINE
STAIR TREAD	2001659	6 EA	2X6 12'	PT PINE
BEAMS	2001428	4 EA	2X10 16'	PT PINE
BEAMS	2001394	2 EA	2X10 10'	PT PINE
BEAMS	2001402	1 EA	2X10 12'	PT PINE
JOISTS	2001394	21 EA	2X10 10'	PT PINE
JOISTS	2001386	6 EA	2X10 8'	PT PINE
FASCIA	2001394	3 EA	2X10 10'	PT PINE
FASCIA	2001428	3 EA	2X10 16'	PT PINE
FASCIA	2001402	2 EA	2X10 12'	PT PINE
LEDGER	2001394	3 EA	2X10 10'	PT PINE
LEDGER	2001428	4 EA	2X10 16'	PT PINE
LEDGER	2001402	2 EA	2X10 12'	PT PINE
STAIR HANDRAIL/CAP	2001659	2 EA	2X6 12'	PT PINE
HORZ. STAIR RAILS	2106300	3 EA	2X4 16'	PT PINE
VERT. STAIR RAILS	2143279	29 EA	1X4 12'	PT PINE
GROUND POSTS	2001519	2 EA	4X4 12'	PT PINE
GROUND POSTS	2001485	7 EA	4X4 6'	PT PINE

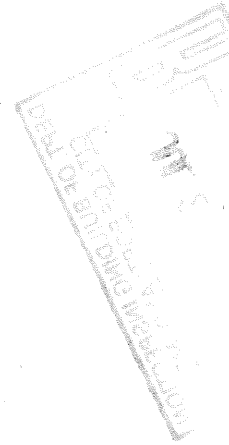


Handwritten signature: G. E. Wade

BILL OF MATERIALS --- OTHER MATERIALS

CUSTOMER: E A K
 DATE: 07/14/97 REF: EAK52222
 SALESMAN # WADE

COMPONENT	SKU	QUANTITY	DESCRIPTION
JOIST HANGER, 10IN	2273811	40 EA	JOIST HGR 10IN/18G
BEAM BRACKET	2273613	8 EA	4X POST/BEAM
LAG SCREW	4164414	19 EA	1/2 X6 LAG SCREW
WASHER	4163911	223 EA	1/2IN WASHER
TIE-DOWN STRAP	2020261	12 EA	RAFTER TIE
JOIST HANGER NAILS	2273654	1 EA	10D X1-1/2IN 150/BX
RAILING BOLT, 8IN	4164331	58 EA	1/2 X8 GALV BOLT
NUT	4163978	102 EA	1/2IN NUT
ANCHOR BOLT	4055943	11 EA	8IN ANCHOR BOLT
FOUNDATION BRKT, 4X4	2025823	11 EA	4X4 ADJ POST BASE
BEAM BOLT, 8IN	4164315	44 EA	8IN CARRIAGE BOLT
SONO TUBE	1001601	10 EA	8"X48" SONOTUBE
CONCRETE, 80LB	1001726	22 EA	CONCRETE 80LB
8D NAILS 1LBS	4230330	2 EA	8D NAILS 1LB
16D NAILS 5LBS	4230439	3 EA	16D NAILS 5LBS
16D NAILS 1LBS	4230421	3 EA	16D NAILS 1LB
3 SCREWS 5LBS	4262176	7 EA	3 SCREWS 5LBS
3 SCREWS 1LBS	4262168	4 EA	3 SCREWS 1LB



BILL OF MATERIALS

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SALESMAN # WADE

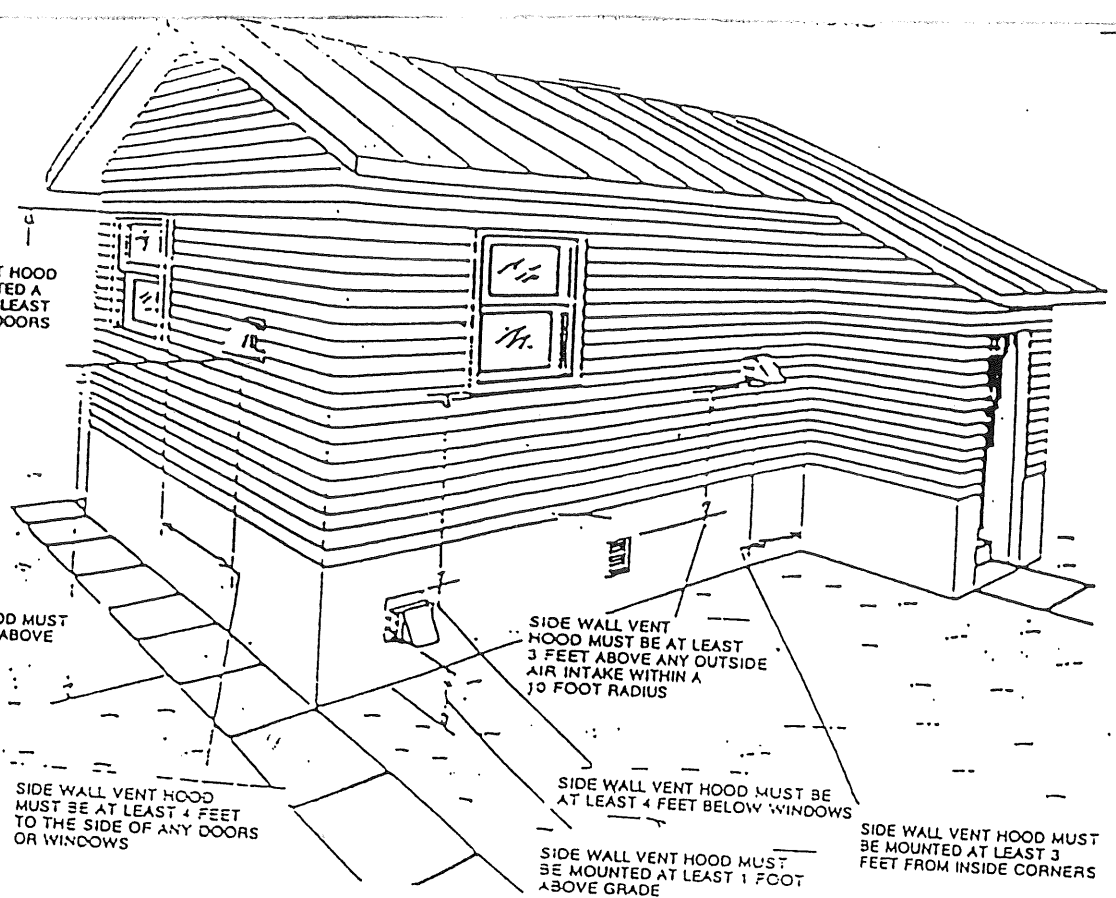
SUMMARY

LUMBER MATERIALS \$ 1868.19
OTHER MATERIALS \$ 639.34
TOTAL \$ 2507.53 (315.50 SQ FT, \$7.95 PER SQ FT)

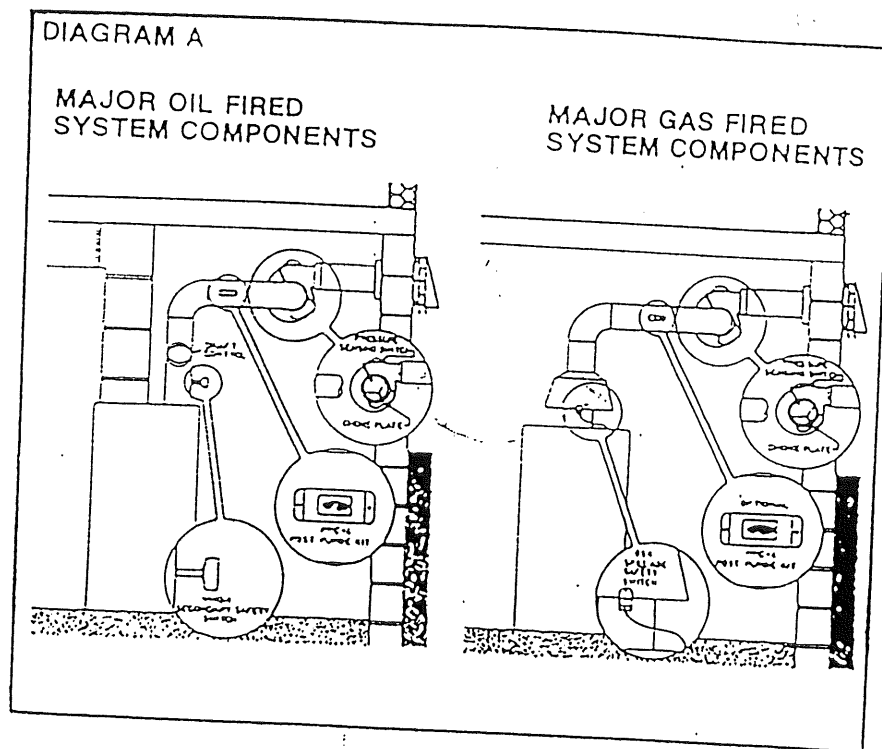
WOOD TYPES USED IN DECK

DECK PLANKS	PRESSURE-TREATED PINE
STAIR TREAD	PRESSURE-TREATED PINE
STRINGERS	PRESSURE-TREATED PINE
JOISTS	PRESSURE-TREATED PINE
FASCIA	PRESSURE-TREATED PINE
LEDGERS	PRESSURE-TREATED PINE
BEAMS	PRESSURE-TREATED PINE
GROUND POSTS	PRESSURE-TREATED PINE
RAIL POSTS	PRESSURE-TREATED PINE
RAIL CAPS	PRESSURE-TREATED PINE
RAIL SPINDLES	PRESSURE-TREATED PINE
OTHER RAIL MEMBERS	PRESSURE-TREATED PINE

TO COMPLETE YOUR DECK THE FOLLOWING TOOLS ARE REQUIRED:
CIRCULAR SAW HAMMER CRESCENT WRENCH
CHALK LINE RAFTER SQUARE 2' LEVEL
CEMENT TROWEL MEASURING TAPE SHOVEL
WHEEL BARROW BRACE & BITS



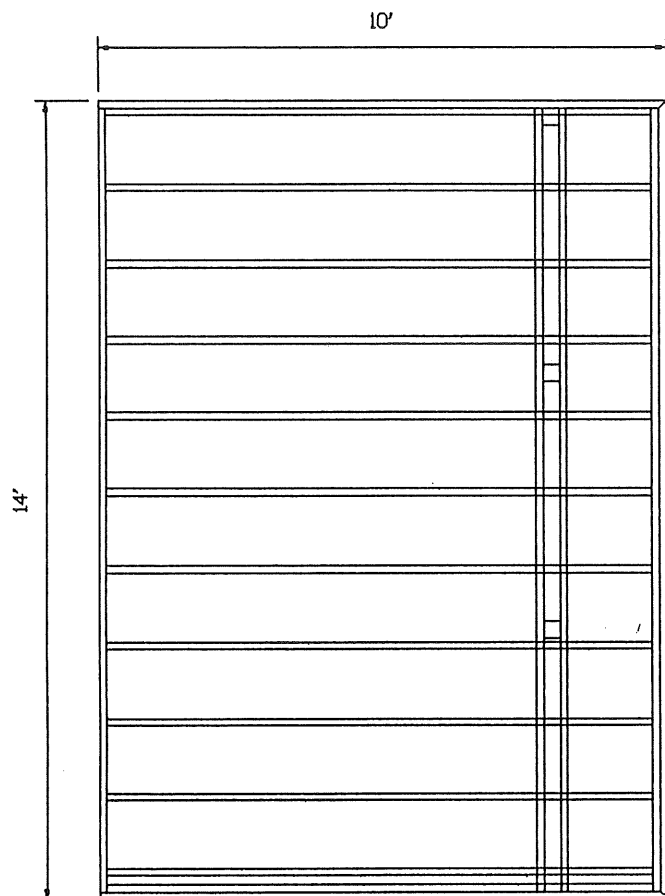
CAUTION: The power venter should never be installed with the venter motor in the vertical position, because this position traps heat in the venter housing and this WILL cause damage to the motor. The venter should be installed with at least a 90 deg. elbow off the heating appliance. For maximum bearing life, install in the horizontal position. For a typical installation See Diagram A.



7000/5,000
4/10

PLAN VIEW FOR LEVEL 2
CUSTOMER -- E A K
DATE 07/14/97 REF EAK52222

HOME QUARTERS
300 CLARKS POND ROAD
SOUTH PORTLAND



New

LOAD AND SUPPORT: Your deck will support a 125 PSF live load. Posts have 36" below-ground post support.

DECK AND POST HEIGHT: You selected a height of 79" from the top of decking to level ground. The top of the deck support posts will therefore be 68.25" above ground level. Your salesperson can provide information for uneven or sloped ground.

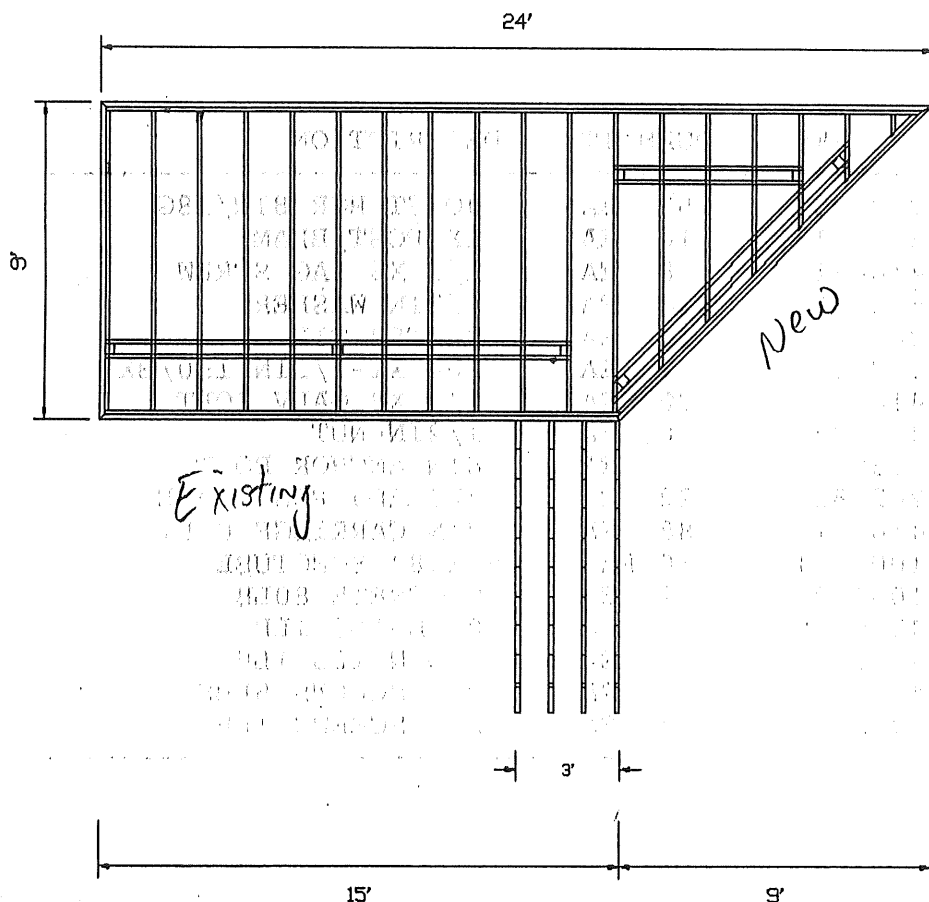
JOISTS: Set joists on top of beams, 16" center to center.

NOTE: The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure.

Be sure to follow the deck construction detail available from your store salesperson.

PLAN VIEW FOR LEVEL 1
CUSTOMER -- E A K
DATE 07/14/97 REF EAK52222

HOME QUARTERS
300 CLARKS POND ROAD
SOUTH PORTLAND



LOAD AND SUPPORT: Your deck will support a 79 PSF live load. Posts have 36" below-ground post support.

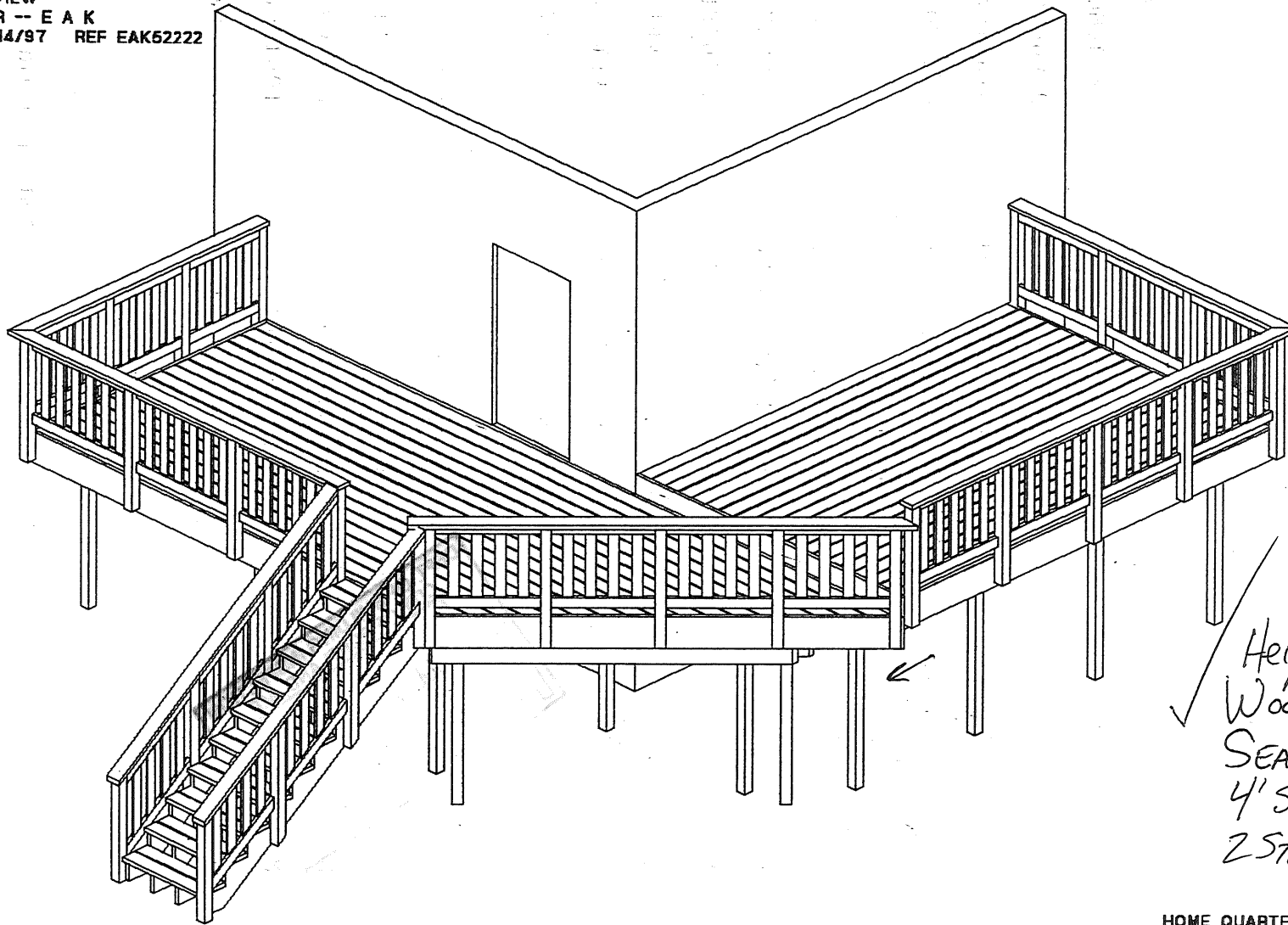
DECK AND POST HEIGHT: You selected a height of 72" from the top of decking to level ground. The top of the deck support posts will therefore be 61.25" above ground level. Your salesperson can provide information for uneven or sloped ground.

JOISTS: Set joists on top of beams, 16" center to center.

NOTE: The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure.

Be sure to follow the deck construction detail available from your store salesperson.

CUSTOM VIEW
CUSTOMER -- E A K
DATE 07/14/97 REF EAK52222



✓ Height off Ground
Wood Direction?
Seat?
4' steps?
2 Steps vs 1 Step (3)

HOME QUARTERS
300 CLARKS POND ROAD
SOUTH PORTLAND