City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716 Location of Construction: Owner: Phone: Permit No: 878-0370 3 Huntington Ave Timothy Kinz BusinessName: Owner Address: Lessee/Buyer's Name: Phone: Permit Issued Contractor Name: Address: Phone: JUL 2 8 1997 COST OF WORK: Proposed Use: PERMIT FEE: Past Use: \$ 2,500.00 \$35.00 Single fee same w/deck **FIRE DEPT.** □ Approved INSPECTION: ☐ Denied Use Group: Type: CBL: Zone: Signature: Signature: Zoning Approval: Proposed Project Description: PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved Special Zone or Reviews: Approved with Conditions: ☐ Shoreland Denied □ Wetland Gunstruct deck as per plans ☐ Flood Zone ☐ Subdivision Signature: Date: ☐ Site Plan maj ☐minor ☐mm ☐ Permit Taken By: Date Applied For: 7/24/97 Vicki Dover **Zoning Appeal** □ Variance This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. ☐ Miscellaneous Building permits do not include plumbing, septic or electrical work. ☐ Conditional Use Building permits are void if work is not started within six (6) months of the date of issuance. False informa-☐ Interpretation ☐ Approved tion may invalidate a building permit and stop all work... ☐ Denied 20 hor 5 le Call owner for 2/0 Historic Preservation □ Not in District or Landmark □ Does Not Require Review ☐ Requires Review Action: CERTIFICATION ☐ Appoved I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been □ Approved with Conditions □ Denied authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit SIGNATURE OF APPLICANT ADDRESS: PHONE: RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE: **CEO DISTRICT** White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

COMMENTS						
7/3//97	Work	Was Started.	D			
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	Inspection Record	
Туре		Date
Foundation:		
Framing:		
Plumbing:		
Final:		
Other:		

BUILDING PERMIT REPORT

DATE: 28 July 97	ADDRESS: 3 Hun Ting Ton	AVR
REASON FOR PERMIT:	Construct deck	
BUILDING OWNER: 71m	King	
CONTRACTOR: Owne	n	
PERMIT APPLICANT:	APPROVAL: KAY 8 X 10	DENIED

CONDITION(S) OF APPROVAL

1.

- This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- Precaution must be taken to protect concrete from freezing.
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
- 9. Headroom in habitable space is a minimum of 7'6".
- Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
- 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at lest one (1)hour, including fire doors with self closer's.
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.

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Samuel Horses Chief of Code Enforcement

cc: Lt. McDougall, PFD Marge Schmuckal

Applicant: TimoThy King Date: 7/25/97
Address: 3 Huntigton AVC C-B-L: 409-C-17
CHECK-LIST AGAINST ZONING ORDINANCE
Date - EX (St) 1978
Zone Location - R-3
Interior or corner lot - 21-27 halborough Rd Proposed Use/Work - Con Struct Deck As per plans
Sewage Disposal -
Lot Street Frontage -
Front Yard -
Rear Yard - 25 (reg - 52 8hom
Rear Yard - 25 (reg - 32 Shown Side Yard - 20 sideydon Side St - 30 Shown
Projections -
Width of Lot -
Height -
Lot Area - 9264#
Lot Area - 82644 Lot Coverage/Impervious Surface - 25 g may = 2066 pmax
Area per Family -
Off-street Parking -
Loading Bays - $25 \times 36 = 900$
Loading Bays - Site Plan - Shoreland Zoning/ Stream Protection - 25 \ 36 = 900 6 \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
Shoreland Zoning/Stream Protection -
Flood Plains -
984

Timothy J. King 3 Huntington AUE Portland, ME 04103

Huntington Ave MARBOTOWAH 3 Huntington AvE. proposed

BILL OF MATERIALS --- LUMBER

CUSTOMER: E A K

DATE: 07/14/97

REF: EAK52222

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SALESMAN # WADE

COMPONENT	MOTETE	SKU	QUANTITY	DESCRIPTION	WOOD TYPE
DECKING	111 1	2106326	23 EA	2X6 16'	PT PINE
DECKING	100	2001642	16 EA	2X6 10'	PT PINE
DECKING	(5. f 1.) v	2001634	4 EA	2X6 8'	PT PINE
DECKING		2001659	10 EA	2X6 12'	PT PINE
RAIL CAP	Wr _{th}	2001634	3 EA	2X6 8'	PT PINE
RAIL CAP		2001659	2 EA	2X6 12'	PT PINE
HORIZONTAL RAILS	West Con.	2106300	10 EA	2X4 16'	PT PINE (()
VERTICAL RAILS		2143279	21 EA	1X4 12'	PT PINEGAS
RAIL POST	the state of the s	2001535	6 EA	4X4 16'	SPTAPINETWONE
STAIR POST	18.1	2001519	2 EA	4X4 124	PT PINE ACTUAL
STAIR STRINGER	Karamatan Santa	2001451	4 EA	2X12 12'	PTIPINE
STAIR TREAD		2001659	6 EA	2X6 12'	PT PINE
BEAMS AMAG THE	$A(\mathcal{G}_{p_{p_{p_{p_{p_{p_{p_{p_{p_{p_{p_{p_{p_$	2001428	4 EA	2X10 16'	PT PINE
BEAMS SALES TO	1 . J . 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	2001394	2 EA	2X10 10'	PT PINE
BEAMS TATE THE	18 571	2001402	1 EA	S2X10 12'	PT PINE
JOISTS HILLS TO	1 % C 1 %	2001394	21 EA	2X10 10'	PT PINE
JOISTS WATER TO	1 () T - 1 - 1	2001386	6 EA	2X10 8'	PT PINE
FASCIA TOTAL TOTAL	1000	2001394	ു ^ച ് 3 EA ്	2X10 10'	PT PINE
FASCIA THE TENT	1 1	2001428	3 EA	<pre>%2X10 16'</pre>	PT PINE
FASCIA THE CONTRACT	1 2 2	2001402	2 EA	2X10 12'	PT PINE
LEDGER THE TENT	4	2001394	3 EA	2X10 10'	PT PINE
LEDGER HWITT TO	100	2001428	4 EA	2X10 16'	PT PINE
LEDGER TWITT TO		2001402	2 EA	2X10 12	PT PINE
STAIR HANDRAIL/CA	P	2001659	2 EA	2X6 12'	PT PINE
HORZ. STAIR RAILS	and the state of t	2106300	3 EA	2X4 16'	PT PINE
VERT. STAIR RAILS	Miles Report ()	2143279	29 EA	1X4 12'	PT PINE
GROUND POSTS	Se this to the second	2001519	2 EA	4X4 12'	PT PINE
GROUND POSTS	The state of the s	2001485	7 EA	4X4 6'	PTOPINE

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BILL OF MATERIALS --- OTHER MATERIALS

CUSTOMER: E A K

DATE: 07/14/97 REF: EAK52222

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SALESMAN # WADE

COMPONENT		SKU	QUAI	TITY	DESCRIPTION
JOIST HANGER, 10IN		2273811	40	EA	JOIST HGR 10IN/18G
BEAM BRACKET	C 54		8	EA	4X POST/BEAM
LAG SCREWATER PO	th complete.	4164414	19	EA	1/2 X6 LAG SCREW MAG
WASHER AND COMME	N(i	4163911	223	EA	1/2IN WASHER TO CAN JAME
TIE-DOWN STRAP	War.	2020261	12	EA	RAFTER TIE 100000
JOIST HANGER NAILS	3 21 6	4164414 4163911 2020261 2273654	1	EA	10D X1-1/2IN 150/BX 409
RAILING BOLT, 8IN	(7)	4164331	58	EA	1/2 X8 GALV BOLT MARRA
NUT MARKET TO	Fig. 1	4163978	102	EA	1/2IN NUT
ANCHOR BOLT quarte	10 to 1	4055943	11	EA	8IN ANCHOR BOLT
FOUNDATION BRKT, 4X		2025823	, e 11 1 1	EA	4X4 ADJ POST BASE
BEAM BOLT, 8IN 90	121 012	4164315	44	EA	8IN CARRIAGE BOLT
SONO TUBERTY TY	131 011	1001601	10	EA	8"X48" SONOTUBE
CONCRETE 380LB		1001726	22	EA	CONCRETE 80LB
8D NAILS LLBS	() (des Sept "	4230330	2	EA	8D NAILS 1LB
16D NAILS 5LBS	A Company of the Comp	4230439			16D NAILS 5LBS
16D NAILS 1LBS	,	4230421	3		16D NAILS 1LB
3 SCREWS 5LBS		4262176	7	EA	3 SCREWS 5LBS
3 SCREWS 1LBS	()	4262168	4	EA	3 SCREWS 1LB

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CUSTOMER: E A K

DATE: 07/14/97 REF: EAK52222

SALESMAN # WADE

LUMBER MATERIALS

S 1868.19

OTHER MATERIALS

\$ 639.34

TOTAL

\$ 2507.53

(315.50 SQ FT, \$7.95 PER SQ FT)

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WOOD TYPES USED IN DECK

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DECK PLANKS	PRESSURE-TREATED	PINE
STAIR TREAD	PRESSURE-TREATED	PINE
STRINGERS	PRESSURE-TREATED	PINE
JOISTS	PRESSURE-TREATED	PINE
FASCIA	PRESSURE-TREATED	PINE
LEDGERS	PRESSURE-TREATED	PINE
BEAMS	PRESSURE-TREATED	PINE
GROUND POSTS	PRESSURE-TREATED	PINE
RAIL POSTS	PRESSURE-TREATED	PINE
RAIL CAPS	PRESSURE-TREATED	PINE
RAIL SPINDLES	PRESSURE-TREATED	PINE
OTHER RAIL MEMBERS	PRESSURE-TREATED	PINE

TO COMPLETE YOUR DECK THE FOLLOWING TOOLS ARE REQUIRED:

CIRCULAR SAW HAMMER CRESCENT WRENCH

CHALK LINE CHALK LINE RAFTER SQUARE

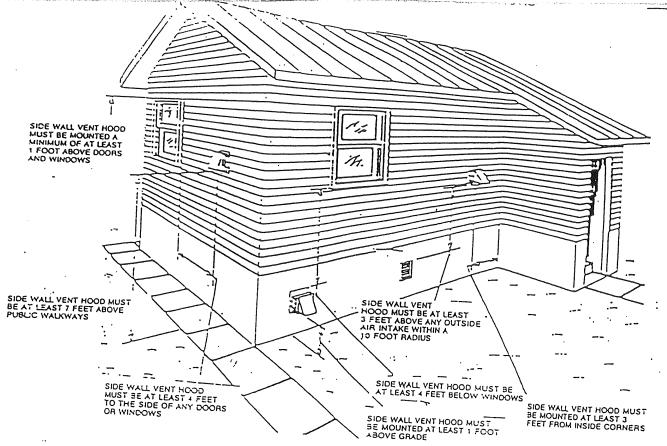
CEMENT TROWEL MEASURING TAPE
WHEEL BARROW BRACE & BITS

RAFTER SQUARE

2' LEVEL

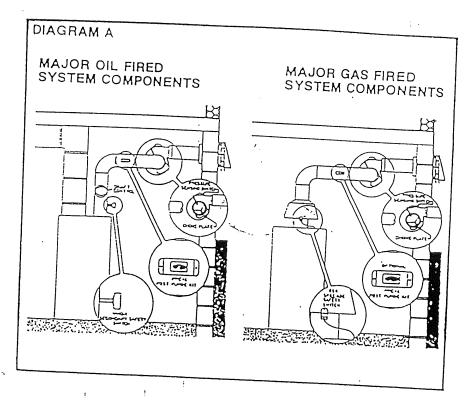
SHOVEL

TOMASSA BACK

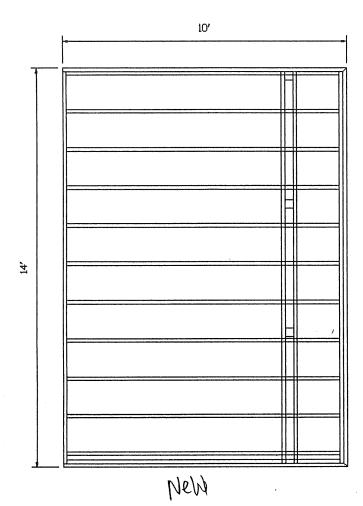


CAUTION:

The power venter should never be installed with the venter motor in the vertical position, because this position traps heat in the venter housing and this WILL cause damage to the motor. The venter should be installed with at least a 90 deg. elbow off the heating appliance. For maximum bearing life, install in the horizontal position. For a typical installation See Diagram A.



2027 July 15.00



LOAD AND SUPPORT: Your deck will support a 125 PSF live load. Posts have 36" below-ground post support.

DECK AND POST HEIGHT: You selected a height of 79" from the top of decking to level ground. The top of the deck support posts will therefore be 68.25" above ground level. Your salesperson can provide information for uneven or sloped ground.

JOISTS: Set joists on top of beams, 16" center to center.

NOTE: The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure.

Be sure to follow the deck construction detail available from your store salesperson.

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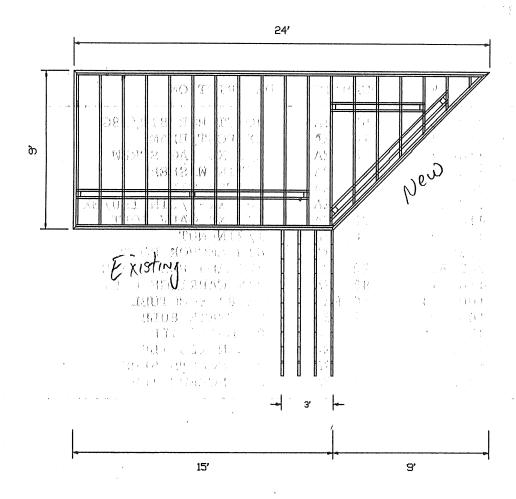
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- Martin Martin (1816) - Albert Martin

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LOAD AND SUPPORT: Your deck will support a 79 PSF live load. Posts have 36" below-ground post support.

DECK AND POST HEIGHT: You selected a height of 72" from the top of decking to level ground. The top of the deck support posts will therefore be 61.25" above ground level. Your salesperson can provide information for uneven or sloped ground.

JOISTS: Set joists on top of beams, 16" center to center.

NOTE: The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure.

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