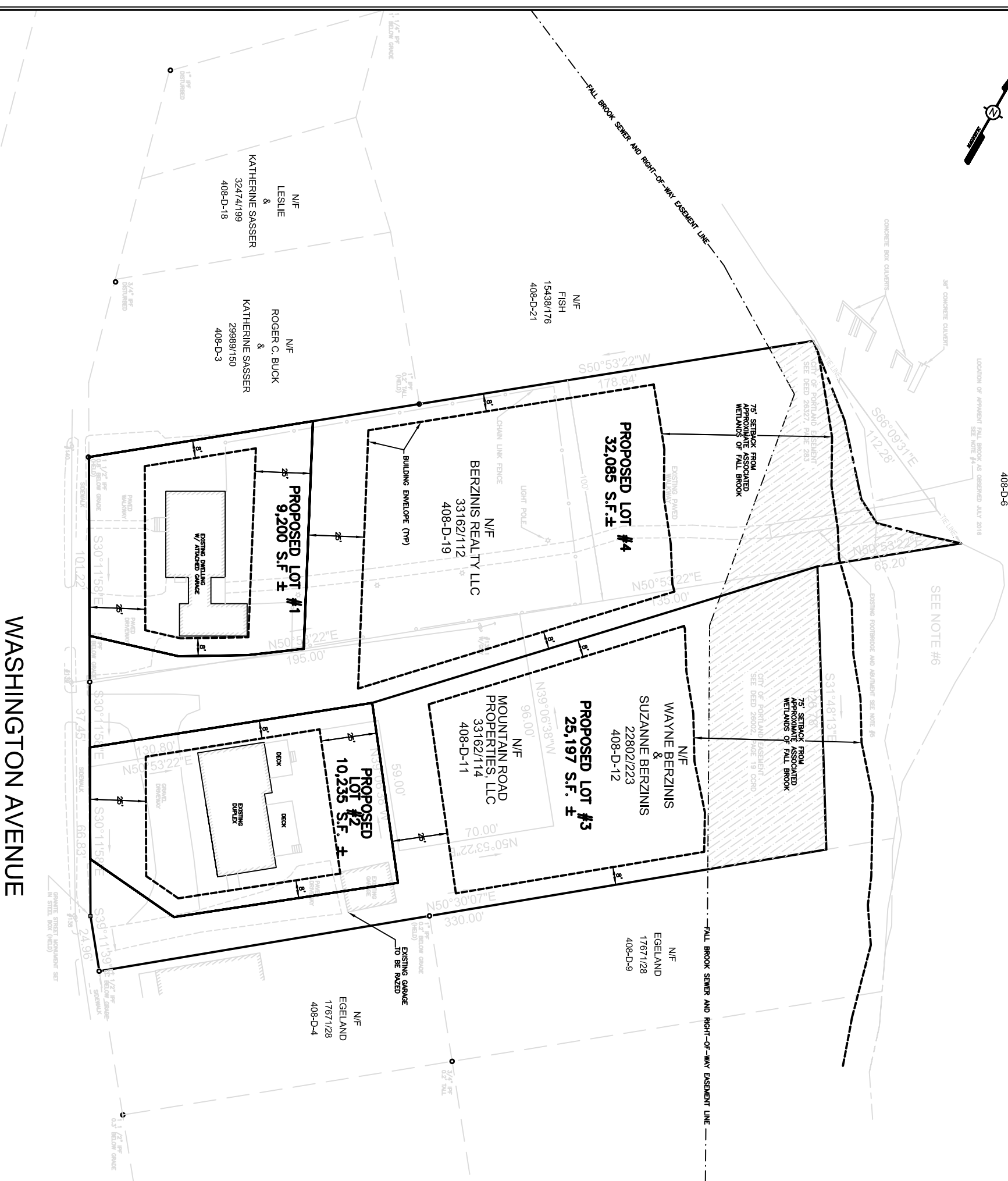




N/F  
ST JOSEPH'S MANOR  
3617309 & 3602294 & 8172759  
408-D-6



WASHINGTON AVENUE

**NOTES**

1. BEARINGS BASED UPON MAGNETIC NORTH AS OBSERVED IN MAY 2016 WITH HAND HELD COMPASS
2. OWNERSHIP OF THE PROPERTIES SHOWN CAN BE FOUND IN THE FOLLOWING DEEDS OF RECORD:  
BERZINS REALTY LLC - DEED OF SAINT JOSEPH'S MANOR TO BERZINS REALTY LLC DATED MAY 31, 2016 AND RECORDED IN DEED BOOK 33162, PAGE 112 AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD).  
MOUNTAIN ROAD PROPERTIES LLC - DEED OF SAINT JOSEPH'S MANOR TO MOUNTAIN ROAD PROPERTIES LLC DATED MAY 31, 2016 AND RECORDED IN DEED BOOK 33162, PAGE 114 CORD.  
WAYNE AND SUZANNE BERZINS - DEED OF BERZINS REALTY LLC TO WAYNE AND SUZANNE BERZINS DATED JUNE 24, 2005 AND RECORDED IN DEED BOOK 228020, PAGE 223 CORD.
- 3- PLAN REFERENCES:  
a. PLAN ENTITLED FALL BROOK SEWER AND DRAINAGE RIGHT-OF-WAY PHASE II OF IV BETWEEN MAINE AVENUE AND RAY STREET, DATED MARCH 7, 2011, PREPARED BY THE CITY OF PORTLAND ENGINEERING DIVISION, ON FILE AT THE CITY OF PORTLAND ENGINEERING OFFICE.  
b. PLAN ENTITLED PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR THE ROMAN CATHOLIC BISHOP OF PORTLAND, THIS PLAN HAS MULTIPLE DATES AND REVISIONS FROM JANUARY 1974 THRU JUNE 1976, PREPARED BY H.I. & E.C. JORDAN, ON FILE AT THE CITY OF PORTLAND'S ENGINEERING OFFICE  
c. PLAN ENTITLED BOUNDARY SURVEY ON WASHINGTON AVENUE IN PORTLAND CUMBERLAND COUNTY MAINE, DATED JULY 28, 2016, PREPARED BY BOUNDARY ENGINEERING SURVEY TECHNOLOGY, INC. UNRECORDED.
- 4- THE PROPERTIES AS SHOWN ARE SUBJECT TO THE FOLLOWING EASEMENTS OF RECORD:  
a- BERZINS REALTY LLC - EASEMENT AND RIGHT OF WAY AS DESCRIBED IN THE DEED GRANTED BY SAINT JOSEPH'S MANOR TO THE CITY OF PORTLAND, DATED AUGUST 28, 2008 AND RECORDED IN DEED BOOK 26327, PAGE 283 CORD.  
b- WAYNE AND SUZANNE BERZINS - EASEMENT AND RIGHT OF WAY AS DESCRIBED IN THE GRANTED BY WAYNE AND SUZANNE BERZINS TO THE CITY OF PORTLAND, DATED APRIL 12, 2008 AND RECORDED IN DEED BOOK 28002, PAGE 19 CORD.
- 5- THE PROPERTIES SHOWN ARE LOCATED WITHIN THE R3 ZONE AS DEFINED BY THE CITY OF PORTLAND'S ZONING ORDINANCE.
- 6- LOT DIMENSIONS AND STRUCTURAL SETBACKS FOR THE R3 ZONE ARE AS FOLLOWS:  
MINIMUM LOT SIZE 6,500 SF  
MINIMUM ROAD FRONTAGE 50'  
SETBACKS  
FRONT 25'  
SIDE 8'  
REAR 25'

SKETCH PLAN OF  
PROPOSED LOT RECONFIGURATION  
**PORTLAND**  
CUMBERLAND COUNTY MAINE

PREPARED FOR: BERZINS REALTY LLC  
483 ROOSEVELT TRAIL  
WINDHAM, MAINE 04062

DATE: AUGUST 2, 2016  
SCALE: 1"=100'

**BOUNDARY ENGINEERING SURVEY TECHNOLOGY**  
25 TUBBROS LANE  
BUXTON, MAINE 04093  
TELEPHONE 929-BEST  
FAX 929-2379

JOB NUMBER: 016025BERZINS DRAWING FILE: RECONFIGURATION

