

**DRAWING SCHEDULE**

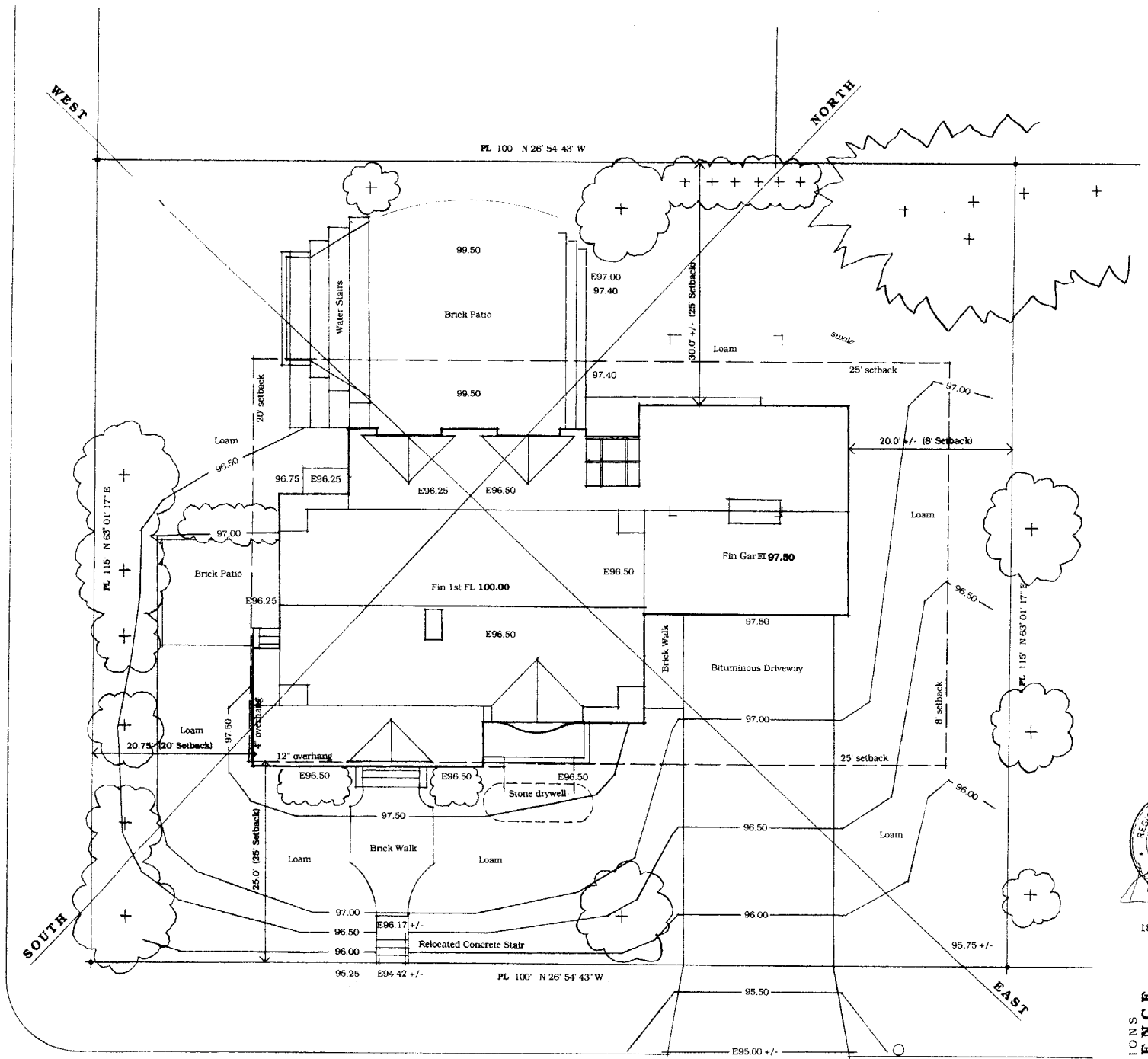
Permit & Construction

- L 1 Site & Grading Plan
- A 1 First Flr Plan
- A 2 Second Flr Plan
- A 3 SE Elev. SW Elevs
- A 4 NE Elevs NW Elev
- A S Sections & Details
- S 1 Foundation Plan
- S 2 First Flr Framing Plan
- S 3 Second Flr Framing Plan
- S 4 Root Framing Plan

Construction

- E 1 Basement Elect Plan
- E 2 First Flr Elect Plan
- E 3 Second Flr Elect Plan
- M 1 Basement Mech Plan
- M 2 First Flr Mech Plan
- M 3 Second Flr Mech Plan

OHIO STREET



MAINE AVENUE

**68 MAINE AVENUE**

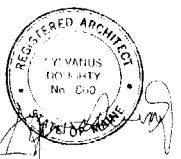
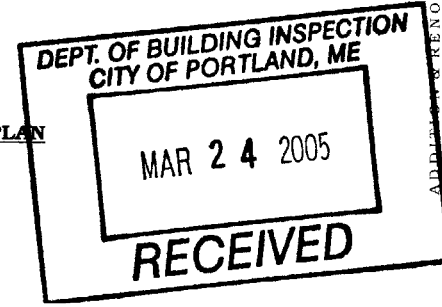
Chart/Block/Lot 407 J001001

**LAND USE REQUIREMENTS**

Zone R-3 Residential  
 Lot Size 115 x 100 11,500 Sq Ft  
 Bldg Footprint 2,270 Sq Ft

	Required	Proposed
Lot Width	min 50 Ft	115 Ft
Front Yard	min 25 Ft	25 Ft
Rear Yard	min 25 Ft	31 Ft
Side Yard / 1/2 story	min 8 Ft	20 Ft
Side Yard side street	min 20 Ft	20 Ft
Lot Coverage	max 25 %	19.7 %
Bldg Height	max 35 Ft	26 Ft

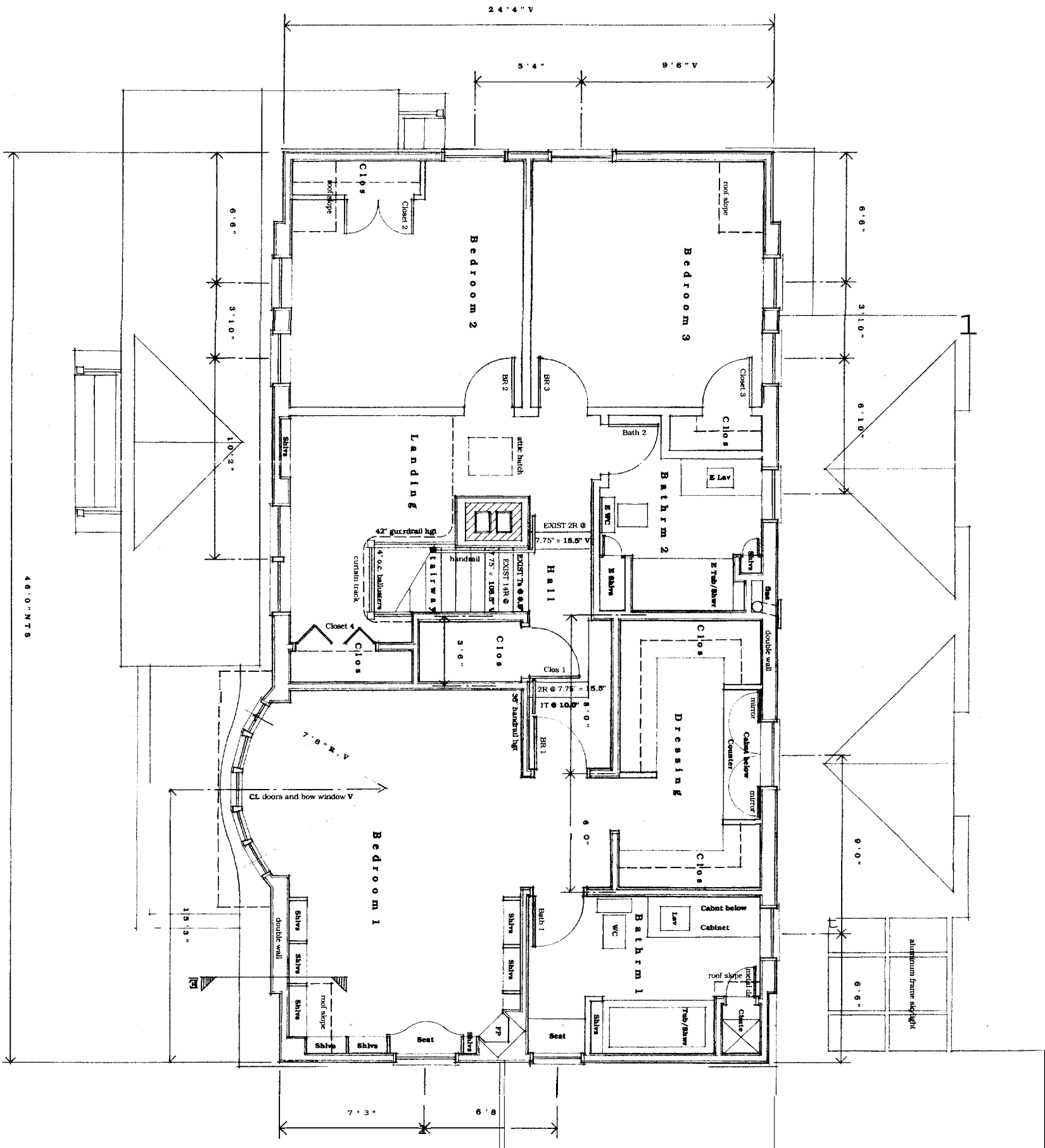
**SITE & GRADING PLAN**  
 Scale 1/8" = 1'-0"



18 Mar 2005

ADDRESSES/NOTATIONS  
**DOUGHTY RESIDENCE**  
 68 Maine Avenue Portland, Maine 04103  
 SYLVANUS DOUGHTY • ARCHITECT  
 68 Maine Avenue Portland, Maine 04103  
 Office • (207) 797-3240 e-mail • svd@sdgw.net  
 LI ARCH. DESIGN © 2005 SYLVANUS DOUGHTY, ARCHITECT

**L1**



**DOOR SCHEDULE**  
 Brass Doors or Approved Equal

ROOM	NO.	DESCRIPTION	TYPE
SECOND FLOOR	BR 1	2 pml lock	Foyer 1 lock / deadbolt
	BR 2*	2 pml latch	Foyer 2 2-2068 8 1/4 latch
	BR 3*	2 pml latch	Entry 1 3088 6 1/4 lock / deadbolt
	Bath 1	2 pml safety lock	Entry 2 3088 8 1/4 latch
FIRST FLOOR	Bath 2*	2 pml safety lock	Laundry 2968 6 1/4 deadbolt
	Office	2 pml lock	Office 2968 2 pml lock
	Kitchen 1	2 pml latch	Kitchen 1 2-2068 8 1/4 latch
	Kitchen 2	2 pml latch	Kitchen 2 2-2068 8 1/4 latch
BASEMENT	Basement 1	2 pml holding	Basement 2988 2 pml lock / 1 hr
	Basement 2	2 pml flush deadbolt	Toilet 2668 2 pml safety lock
	Basement 3	2 pml reuse lock * BR 3	Closet 2668 2 pml latch
	Basement 4	2 pml reuse lock * Bath 2	Closet 2668 2 pml latch
GARAGE	Garage 1	2 pml flush deadbolt / 1 hr	Garage 1 2988 flush deadbolt / 1 hr
	Garage 2	2 pml flush deadbolt	Garage 2 2988 flush deadbolt

**WINDOW SCHEDULE**  
 Anderson Windows & Doors

ROOM	NO.	DESCRIPTION	TYPE
SECOND FLOOR	BR 1 bow	Unit Slits	Anderson Windows & Doors
	BR 1	WDH30046	WDH30046
	BR 2	WDH30046	WDH2436
	BR 3	WDH30046	WDH2436
FIRST FLOOR	Bath 1	WDH2432	WDH2432
	Bath 2	WDH2432	WDH2432
	Dressing	WDH3436	WDH3436
	Landing	WDH2436	WDH2436
BASEMENT	Basement 1	WDH1842	WDH1842
	Basement 2	WDH1842	WDH1842
	Basement 3	WDH1842	WDH1842
	Basement 4	WDH1842	WDH1842

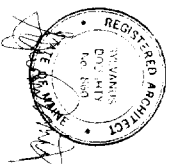
**FINISH SCHEDULE**

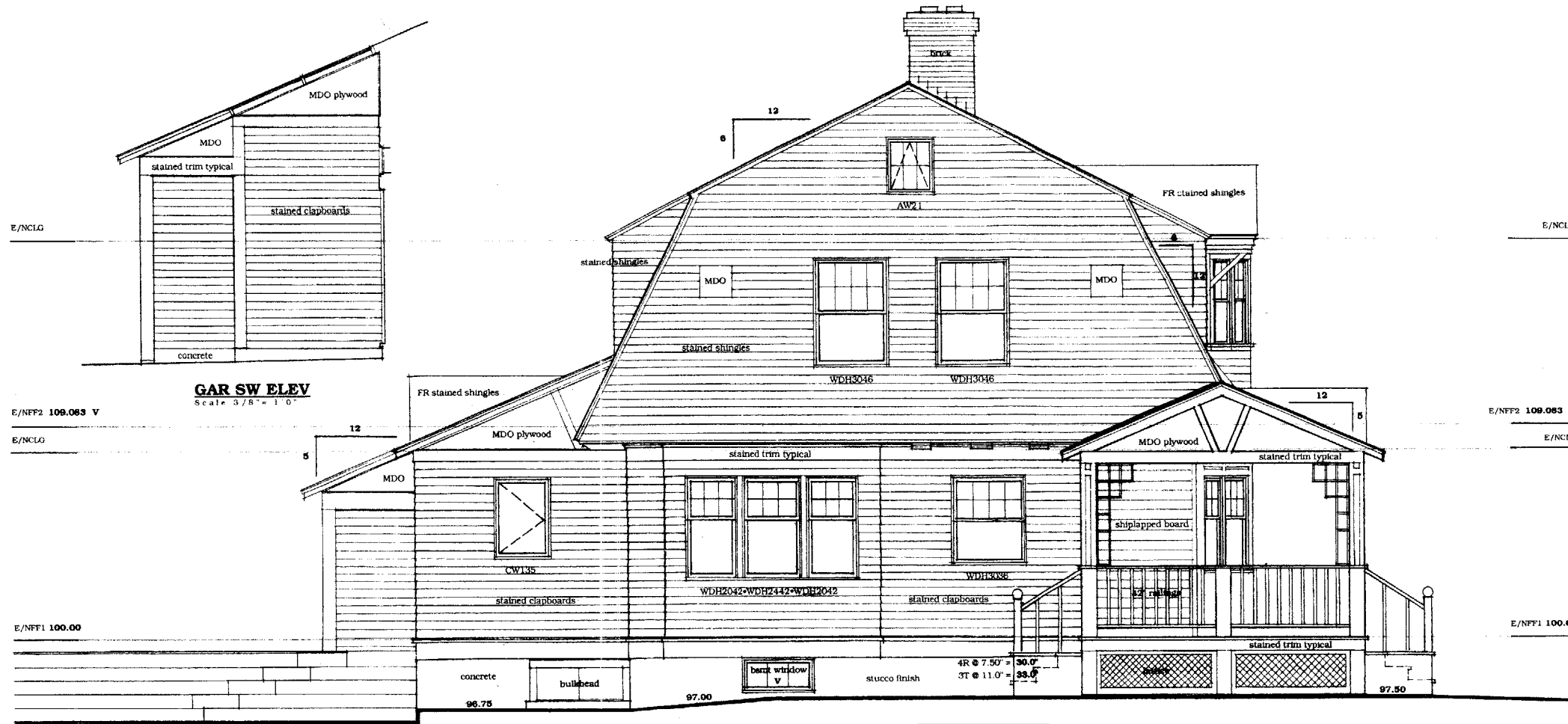
ROOM	NO.	DESCRIPTION	TYPE
FIRST FLOOR	DR art	CV135	CV135
	Foyer art	FC065	FC065
	Office bay	WDH2042	WDH2042
	Office	WDH3006	WDH18210
BASEMENT	Basement 1	CR135	CR135
	Basement 2	CR135	CR135
	Basement 3	CR135	CR135
	Basement 4	CR135	CR135

Fin Sec FL 109.0834 V  
**SECOND FLOOR PLAN**  
 SCALE 3/8" = 1'-0"

remove existing walls as required

18 Mar 2005





**GAR SW ELEV**  
Scale: 3/8" = 1'-0"

**SW ELEVATION**  
Scale: 3/8" = 1'-0"

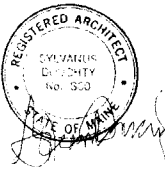
**FINISH SCHEDULE**

Area	Floor	Walls	Ceiling	Appl Hgt	Notes
<b>SECOND FLOOR</b>					
Bath 1	cer tile	MR gyp pt	MR gyp pt	7'9"	tub/van cer tile
Bath 2	E shi vin	E gyp	E gyp	7'9"	wall rebld pt, tub/van cer tile
Bedrm 1	hdwd	gyp pt	gyp pt	7'9"	
Bedrm 2	E hdwd	E gyp	E gyp pt	7'9"	wall/clg/flr extd
Bedrm 3	E hdwd	E gyp pt	gyp pt	7'9"	wall/clg/flr extd
Dressing	hdwd	gyp pt	gyp pt	7'9"	
Hall	hdwd	gyp pt	gyp pt	7'9"	wall/clg/flr extd/salvage flr *
Landing	hdwd	E gyp pt	gyp pt	7'9"	wall/clg/flr rebld/salvage flr *
New Closets	hdwd	gyp pt	gyp pt	7'9"	
Stairway	E hdwd	gyp pt	gyp pt	varies	
<b>FIRST FLOOR</b>					
Breakfast	cork	gyp pt	gyp pt	7'10"	
Closets	hdwd	gyp pt	gyp pt	7'11"	
Diningrm	hdwd	gyp pt	gyp pt	7'11"	curved clg to 9'-4"
Entry 1	cer tile	MR gyp pt	MR gyp pt	9'0"	
Entry 2	conc hdnr	MDO ply	MDO ply	8'0"	
Foyer	cer tile	gyp pt	gyp pt	7'11"	salvage flr *
Hall	hdwd	gyp pt	gyp pt	7'4"	curve clg to 7'-10"
Kitchen	cork	MR gyp pt	MR gyp pt	7'10"	splash cer tile
Laundry	cer tile	MR gyp pt	MR gyp pt	9'0"	
Livingrm	hdwd	gyp pt	gyp pt	7'10"	to 7'-4" / curve clg to 9'-4"
Office	E hdwd	gyp pt	gyp pt	7'11"	wall/clg/flr rebld
Porch 1	stwd	open	wd	7'6"	
Stairway	E hdwd	gyp pt	gyp pt	vanes	step rebld
Inlet	cer tile	MR gyp pt	MR gyp pt	7'10"	van cer tile
<b>UTILITY</b>					
Garage	conc hdnr	open	open	8' +	
Porch 2	conc hdnr	clapbd	MDO ply	8' +	
Basement 1	conc hdnr	E	E	7'4"	
Basement 2	conc hdnr	open	open	7'4"	
Basement 3	conc hdnr	open	open	7'4"	

\* use salvaged flr for Bedrm 2, Bedrm 3, and Office repair



**SE ELEVATION**  
Scale: 3/8" = 1'-0"

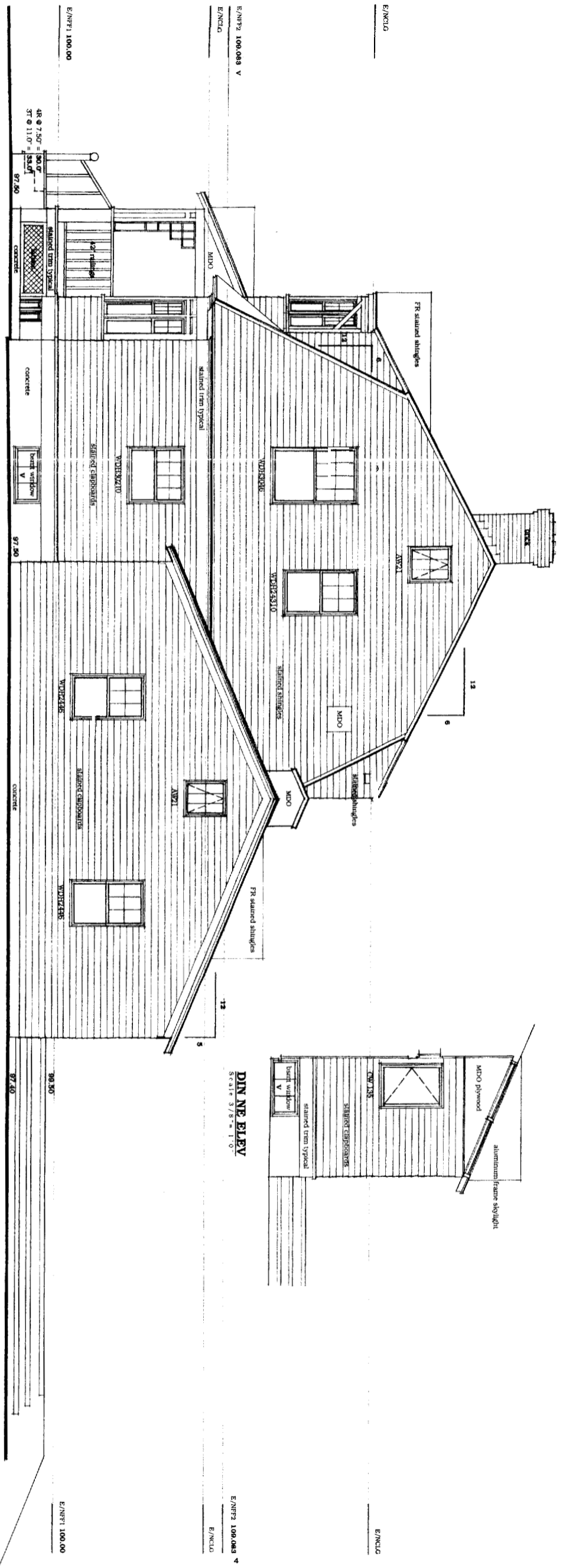


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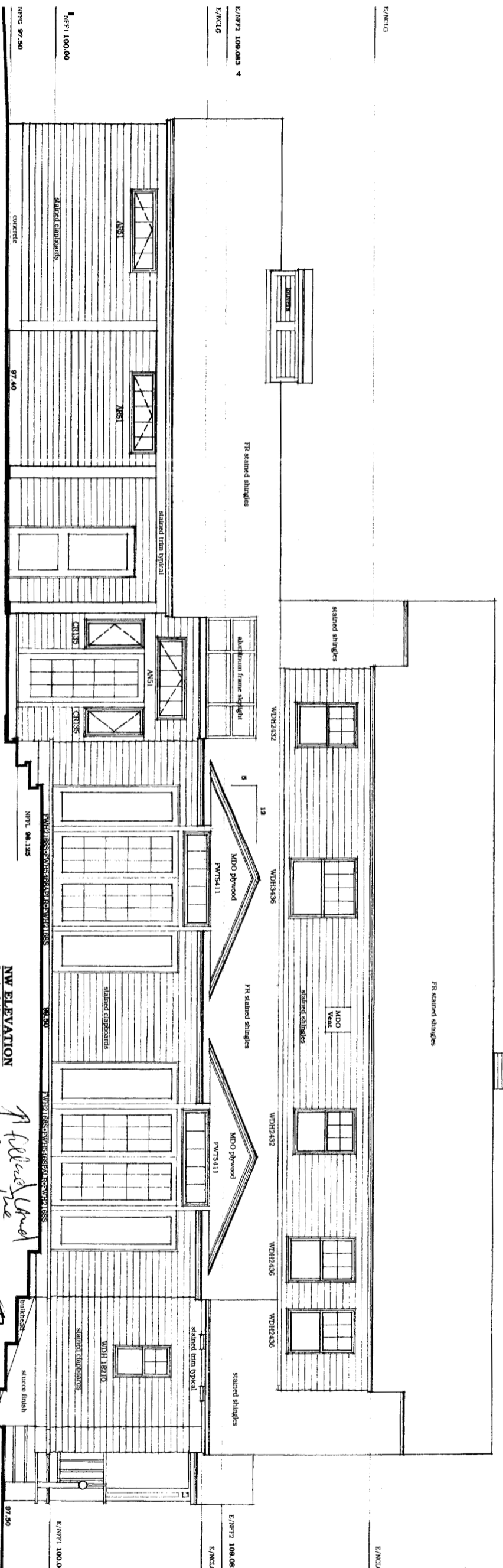
ADDITION & RENOVATIONS  
**DOUGHTY RESIDENCE**  
68 Maine Avenue, Portland, Maine 04103  
SYLVANUS DOUGHTY • ARCHITECT  
68 Maine Avenue, Portland, Maine 04103  
office • (207) 797-4240 • e mail • sylvan@dohty.net

**A3**

AS ARCH. DESIGN © 2005 SYLVANUS DOUGHTY, ARCHITECT



**NE ELEVATION**  
Scale: 3/8" = 1'-0"  
Flashings all locations typical



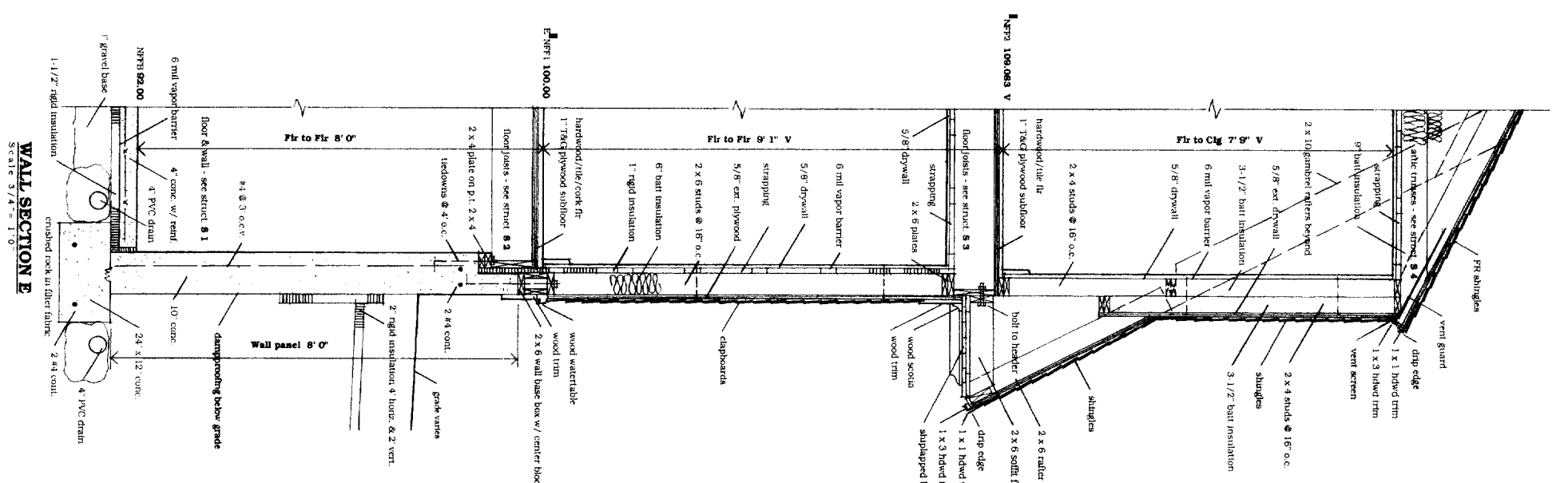
**NW ELEVATION**  
Scale: 3/8" = 1'-0"  
Flashings all locations typical

*Handwritten notes:*  
 - **A1**  
 - **ADDITION & RENOVATIONS DOUGHTY RESIDENCE**  
 - **SYLVANUS DOUGHTY • ARCHITECT**  
 - **18 Mar 2005**  
 - **44 ARCH DESIGN © 2005 SYLVANUS DOUGHTY, ARCHITECT**  
 - **new digging for new foundation**  
 - **from kitchen**  
 - **entrance proposed**  
 - **for new foundation**



**ADDITION & RENOVATIONS DOUGHTY RESIDENCE**  
58 Maine Avenue Portland Maine 04103  
**SYLVANUS DOUGHTY • ARCHITECT**  
68 Maine Avenue Portland Maine 04103  
office • (207) 797 4240 e mail • volute@twi.net

**A1**



**WALL SECTION E**

Scale 3/4" = 1'-0"

ADDITION & RENOVATIONS  
**DOUGHTY RESIDENCE**  
 618 Maine Avenue Portland Maine 04103

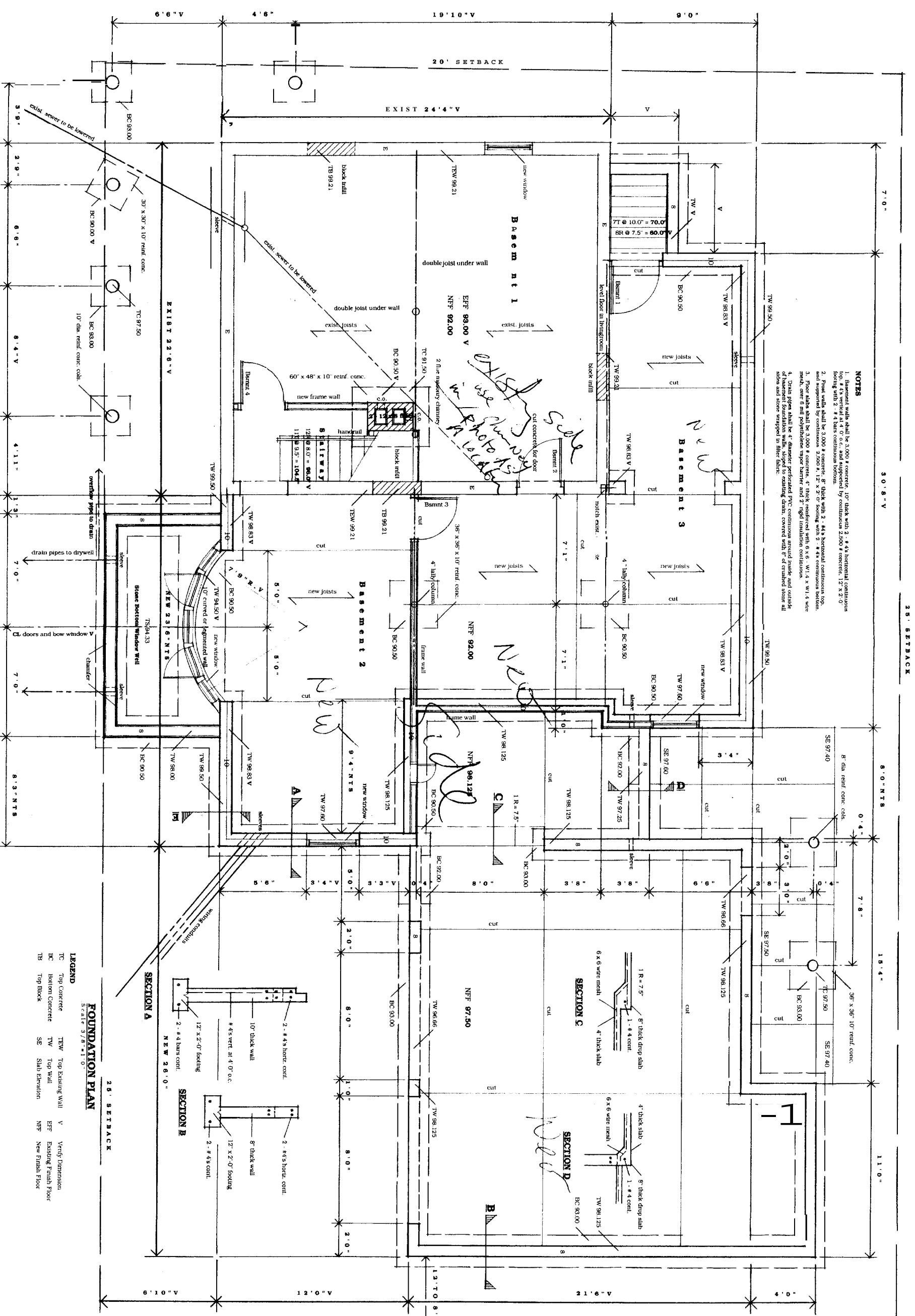
SYLVANUS DOUGHTY • ARCHITECT  
 6515 Main Avenue Portland Maine 04103  
 office • (207) 797-4240 e-mail • vd@sdwi.net

18 Mar 2005

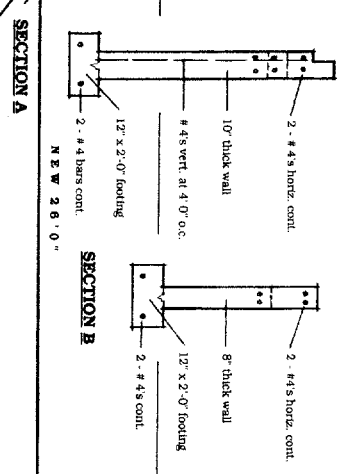


**A5**

A5 ARCH DESIGN © 2005 SYLVANUS DOUGHTY, ARCHITECT



- NOTES**
- Basement walls shall be 3,000 psi concrete, 10" thick with 2 #4 horizontal continuous footing with 2 #4 bars continuous bottom.
  - Floor walls shall be 3,000 psi concrete, 8" thick with 2 #4 horizontal continuous top and supported by continuous 2,000 psi concrete 12" x 2'0".
  - Floor slabs shall be 3,000 psi concrete, 4" thick reinforced with 6 #6, W1.4 x W1.4 wire mesh, over 8 mil polyethylene vapor barrier and 2" rigid insulation continuous.
  - Drain pipes shall be 4" diameter perforated PVC continuous around inside and outside of basement foundation walls, sloped to existing drain, covered with 6" of crushed stone all sides and stone wrapped in filter fabric.



- FOUNDATION PLAN**  
Scale 3/8" = 1'-0"
- LEGEND**
- TC Top Concrete
  - BC Bottom Concrete
  - TB Top Block
  - TEW Top Existing Wall
  - TW Top Wall
  - SE Slab Elevation
  - V Ventry Dimension
  - EFF Existing Finish Floor
  - NFF New Finish Floor

ADDITION & RENOVATIONS  
**DOUGHTY RESIDENCE**  
68 Maine Avenue Portland Maine 04103

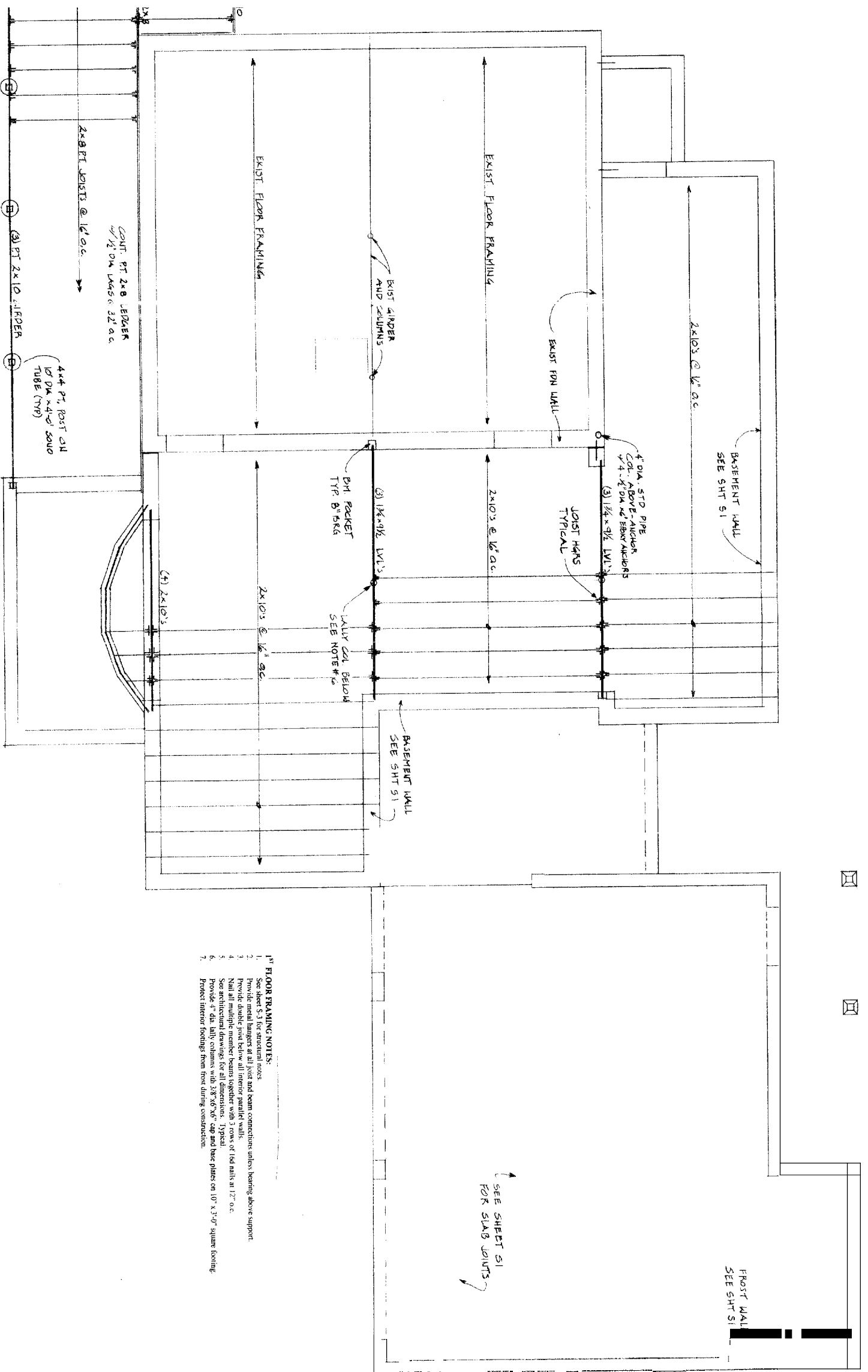
Sylvanus Doughty • ARCHITECT  
68 Maine Avenue Portland Maine 04103  
office • (207) 797-1249 e mail • volute@gw.net

18 Mar 2005

REGISTERED ARCHITECT  
SYLVANUS DOUGHTY  
NO. 020

51 ARCH. DESIGN © 2005 SYLVANUS DOUGHTY, ARCHITECT

**S1**



- 1<sup>ST</sup> FLOOR FRAMING NOTES:**
1. See sheet S-3 for structural notes
  2. Provide metal hangers at all joist and beam connections unless bearing above support.
  3. Provide double joist below all interior parallel walls.
  4. Nail all multiple member beams together with 3 rows of 16d nails at 12" o.c.
  5. See architectural drawings for all dimensions. Typical.
  6. Provide 4" dia. lally columns with 3/8" x 6" cap and base plates on 10' x 3'-0" square footing.
  7. Protect interior footings from frost during construction.

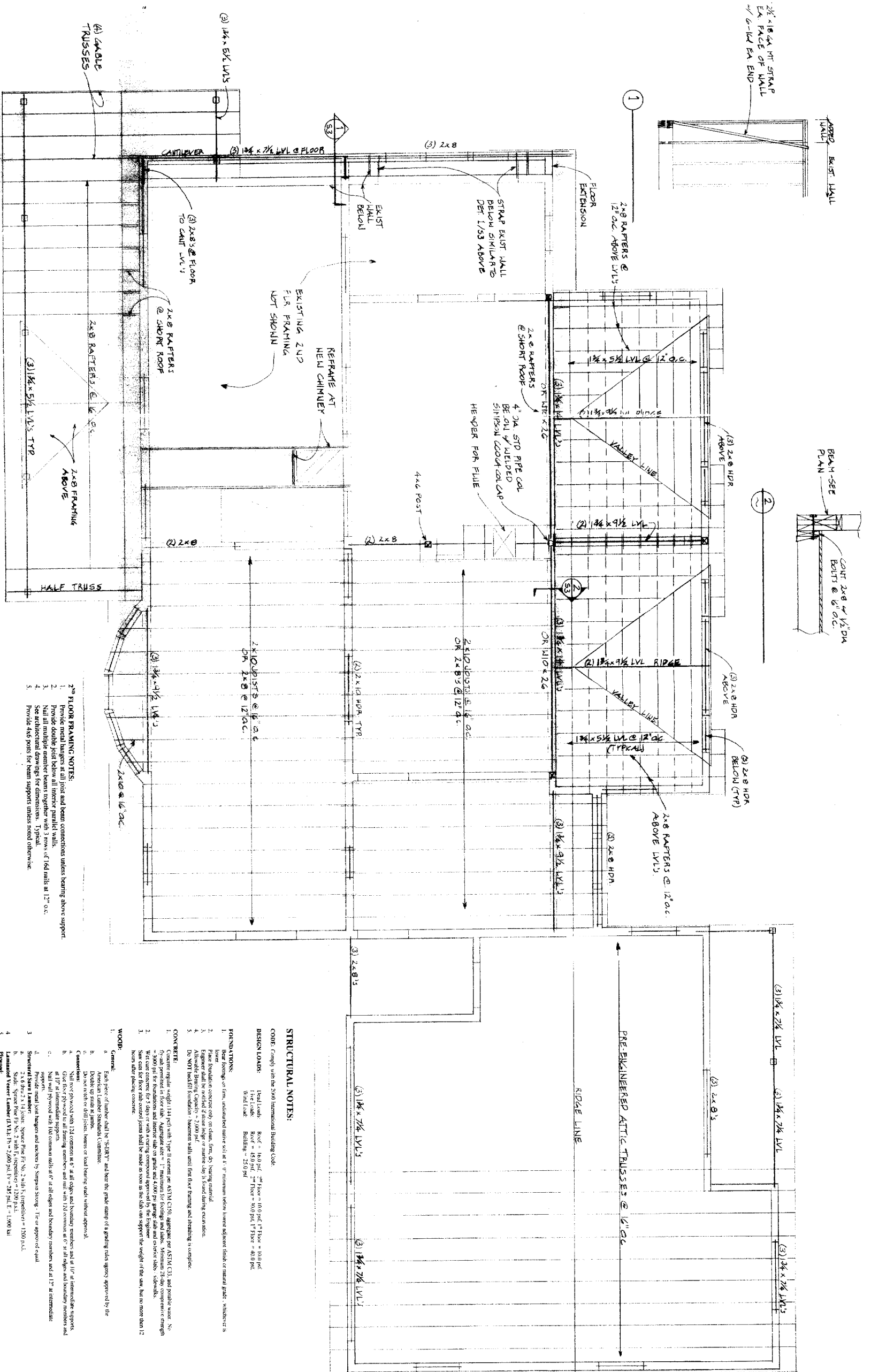
FIRST FLOOR FRAMING PLAN

1/8" = 1'-0"

	DESIGNED BY:	LAM
	DRAWN BY:	LAM
JOB #:	51104	
DATE:	1-28-05	
REVISIONS:		
SHEET:	S2	

PROJECT:	DOUGHTY RESIDENCE ADDN 68 MAINE AVE. PORTLAND, ME
DRAWING:	FIRST FLOOR FRAMING PLAN

	S2 ARCH DESIGN © 2005 SYLVANUS DOUGHTY ARCHITECT <b>ENGINEERING DESIGN PROFESSIONALS</b> Consulting Engineers P O BOX 575, FREEPORT, MAINE 04032 • (207) 865-9505
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**2ND FLOOR & LOW ROOF FRAMING PLAN**  
3/8" = 1'-0"

- 2<sup>ND</sup> FLOOR FRAMING NOTES:**
1. Provide metal hangers at all joist and beam connections unless bearing above support.
  2. Provide double joist hangers all interior parallel walls.
  3. Nail all multiple member beams together with 3 rows of 16d nails at 12" o.c.
  4. See architectural drawings for dimensions. Typical.
  5. Provide 4x6 posts for beam supports unless noted otherwise.

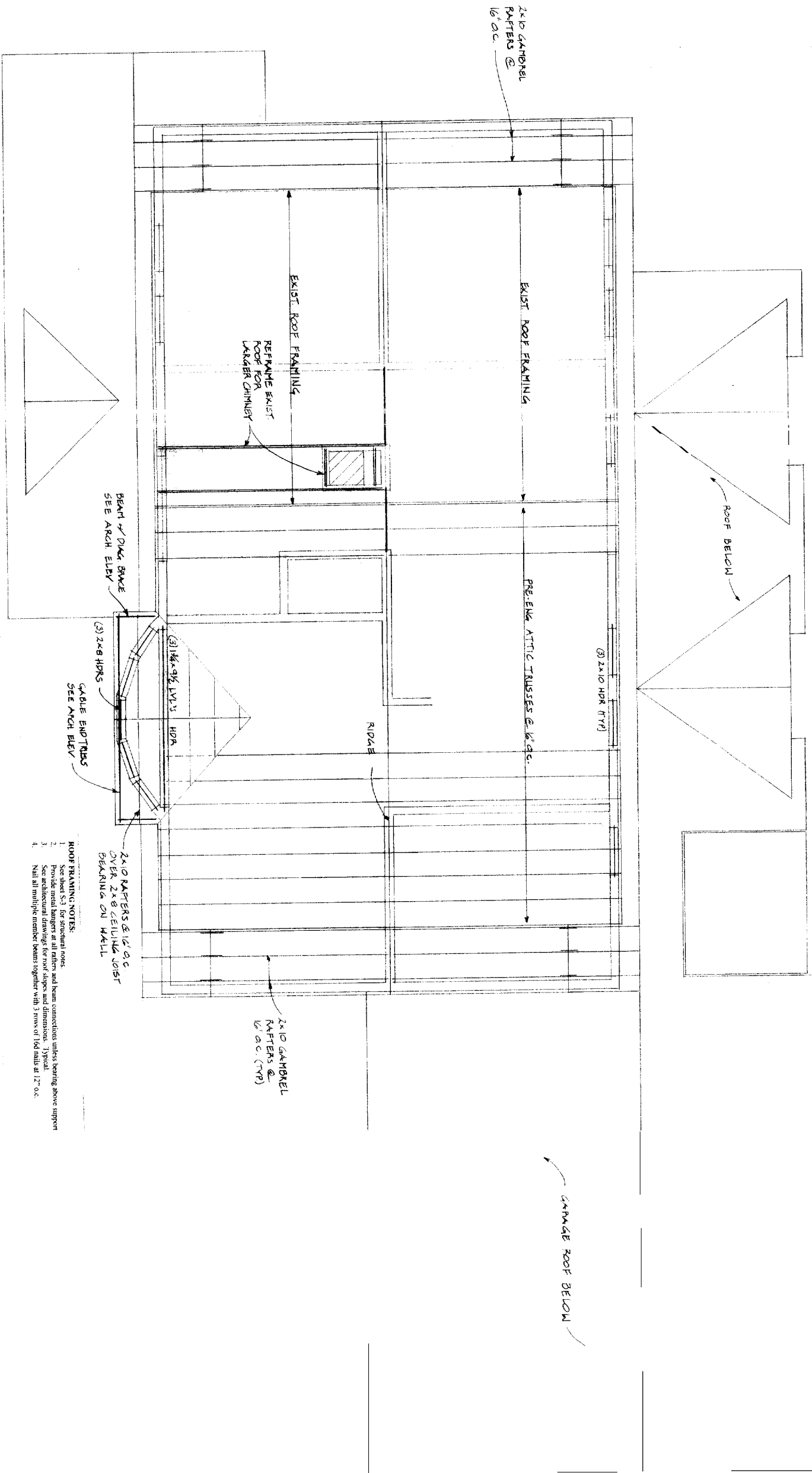
**STRUCTURAL NOTES:**

- FOUNDATION:**
1. Footings or firm, undisturbed native soil at 1' or minimum below lowest adjacent finish or natural grade, whichever is lower.
  2. Place foundation concrete only on clean, firm, dry bearing material.
  3. Engineer shall be notified of lower edge or nature logs is found during excavation.
  4. All foundation work shall be in accordance with the approved plans.
  5. Do NOT backfill foundation - basement walls until floor framing and sheathing is complete.
- CONCRETE:**
1. Concrete shall be 114 psi with Type I cement per ASTM C150, aggregate per ASTM C33 and potable water. No admixtures or other materials shall be used.
  2. Wet cure concrete for 5 days or with a curing compound approved by the Engineer.
  3. Saw cut for floor slab control joints shall be made as soon as the slab can support the weight of the saw but no more than 12 hours after placing concrete.
- WOOD:**
1. Each piece of lumber shall be "S-P-F" and bear the grade stamp of a grading rules agency approved by the American Lumber Standards Committee.
  2. Double up studs at joints.
  3. Do not notch or drill joists, beams or load bearing studs without approval.
  4. All wood shall be protected with 1/2" minimum of 6" at all edges and boundary members and at 12" at intermediate supports.
  5. Nail all multiple member beams together with 3 rows of 16d nails at 12" o.c.
  6. Nail wall plywood with 16d common nails at 6" at all edges and boundary members and at 12" at intermediate supports.
  7. Provide metal joist hangers and anchors by Simpson Strong-Tie or approved equal.

- SELEMENTARY NOTES:**
1. Verify all dimensions and conditions with architectural drawings prior to starting work. Field verify all dimensions and conditions shown on drawings. Notify the Engineer of any discrepancies or inconsistencies.
  2. All work shall be in accordance with the approved plans and specifications. All work shall be done in place during construction.

	<p>PROJECT: <b>DOUGHTY RESIDENCE ADDN</b> 62 MAINE AVE, PORTLAND, ME</p> <p>DRAWING: <b>2ND FLOOR &amp; LOW ROOF FRAMING PLAN</b></p>	<p>S3 ARCH DESIGN © 2005 SYLVANUS DOUGHTY ARCHITECT</p> <p><b>ENGINEERING DESIGN PROFESSIONALS</b> Consulting Engineers</p> <p>PO. BOX 575. FREEPORT, MAINE 04032 • (207) 865-9505</p>
<p>DESIGNED BY: <b>LDW</b></p> <p>DRAWN BY: <b>LDW</b></p> <p>JOB #: <b>B1104</b></p> <p>DATE: <b>1-28-05</b></p> <p>REVISIONS:</p>	<p>EDP</p>	<p><b>S3</b></p>





ROOF FRAMING PLAN

- ROOF FRAMING NOTES:
1. See sheet S-3 for structural notes.
  2. Provide metal hangers at all rafters and beam connections unless bearing above support.
  3. See architectural drawings for roof slopes and dimensions. Typical.
  4. Nail all multiple member beams together with 3 rows of 16d nails at 12" o.c.

3/8" = 1'-0"



PROJECT: DOUGHTY RESIDENCE ADDN  
68 MAINE AVE. PORTLAND, ME

DRAWING: ROOF FRAMING PLAN

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Consulting Engineers

P O BOX 575. FREEPORT. MAINE 04032 • (207) 865-9505

DESIGNED BY: LAM

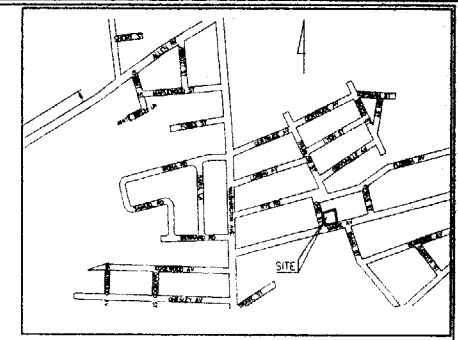
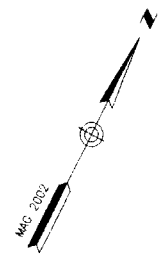
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JOB #: B104

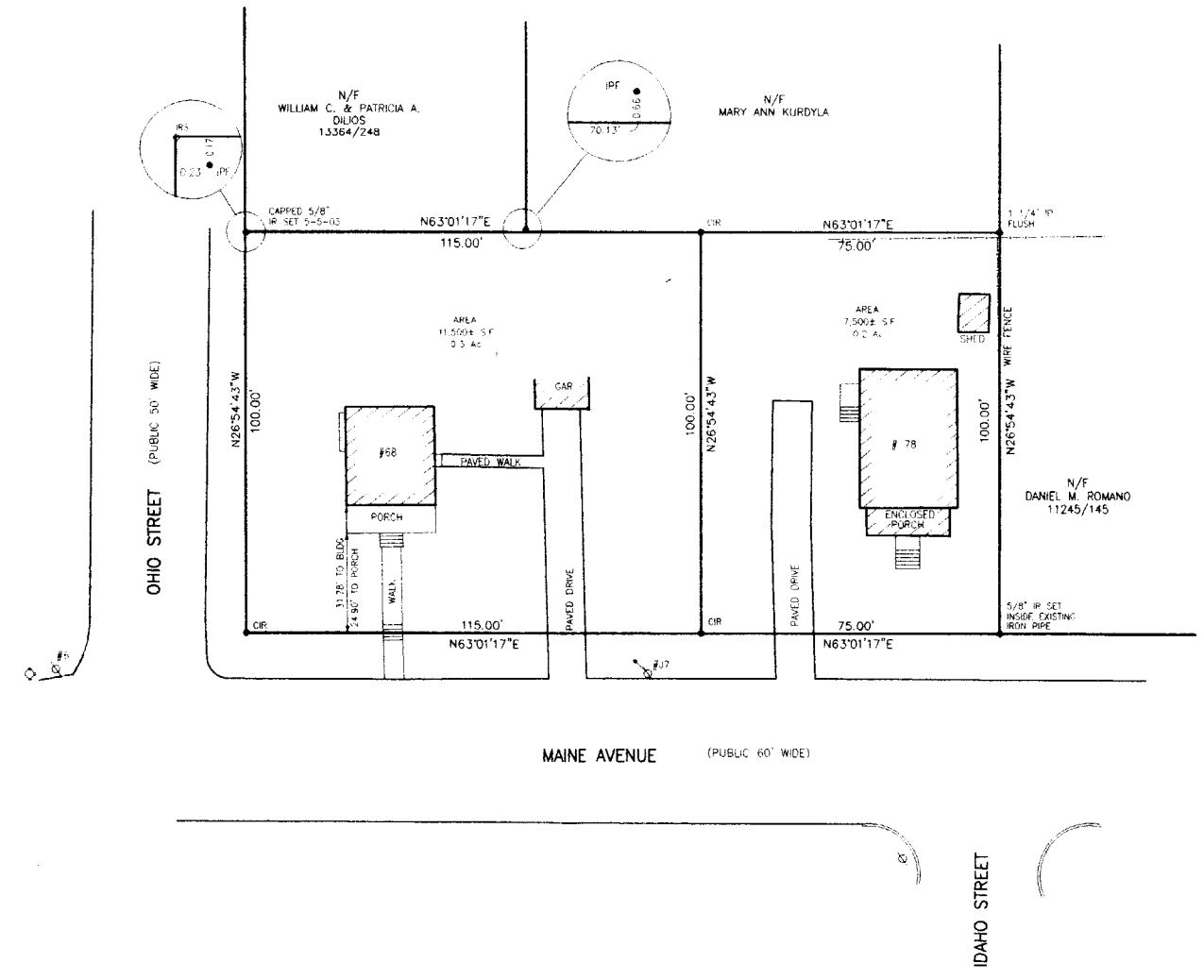
DATE: 1-28-05

REVISIONS:

SHEET: S4



LOCATION MAP N.T.S.



**LEGEND:**

- IRON PIPE OR ROD FOUND
- IRON ROD SET
- HYDRANT
- UTILITY POLE
- FENCE
- CURB
- OVERHEAD UTILITIES

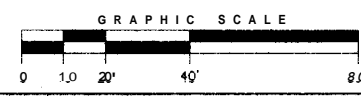
**PLAN REFERENCES:**

1. PLAN OF THE FINES SUBDIVISION SECTION A' DATED APR. 1925 RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 16 PAGE 29.
2. CITY OF PORTLAND BLUE SHEETS FOR MAINE AVENUE AND OHIO STREETS.
3. PROPERTY IS SHOWN AS LOTS 3 & 4 IN BLK. C. CITY OF PORTLAND TAX MAP 402 AND LOTS 1, 2, 3, 4 IN BLK. UN MAP 437.
4. OWNERS OF RECORD SYLVANUS DOUGHTY 16871/159 68 MAINE AVE. (ENGINEER M. FURUTSU 1946/716 TR. MAINE AVE.

**CERTIFICATION:**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE: 1/19/08  
 JOHN W. SWAN PLS NO. 1038



REV 2-05-14-03	IRONS SET
REV 1-02-18-03	MISC. CHANGES

**BOUNDARY SURVEY**  
 68 & 78 MAINE AVENUE, PORTLAND, MAINE  
 MADE FOR  
**SYLVANUS DOUGHTY**  
 68 MAINE AVENUE, PORTLAND, MAINE  
**OWEN HASKELL, INC.**  
 16 CASCO STREET, PORTLAND, MAINE 04103 (603) 774-0424

Drwn By	JD	Date	JANUARY 19, 2008	Job No.	2002-320 P
Trace By	RWC	Scale	1" = 20'	Drwg. No.	1
Check By	JWG				
Book No.	962				

1:2002-320-2002-320.DWG Wed May 14 10:45:32 2008