

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2009-0042

Application I. D. Number

DRC Copy

5/1/2009

Application Date

Wolf James M

Phil DiPierro

Applicant

Po Box 10127, Portland , ME 04104

Applicant's Mailing Address

Dwight Brackett

Consultant/Agent

Agent Ph: (207)772-8629

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

29 - 29 Dakota St , Portland, Maine

Address of Proposed Site

407 H016001

Assessor's Reference: Chart-Block-Lot

Single Family Home

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Proposed Total Disturbed Area of the Site _____ Zoning _____

Check Review Required:

- | | | | |
|-----------------------------------------------------------|---------------------------------------------------|------------------------------------------------------|--------------------------------------------------|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Amendment to Plan - Staff Review | | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> After the Fact - Major | | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Flood Hazard |
| <input type="checkbox"/> After the Fact - Minor | | <input type="checkbox"/> PAD Review | <input type="checkbox"/> Traffic Movement |
| | | <input type="checkbox"/> 14-403 Streets Review | <input type="checkbox"/> Housing Replacement |
| | | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/4/2009

DRC Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: October 23, 2009

RE: C. of O. for # 29 Dakota Street
(Id#2009-0042) (CBL 407 H 016001)

After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Tammy Munson, Director of Inspection Services
File: Urban Insight

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City of Portland
Planning Division

SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE: 6,500 S.F.

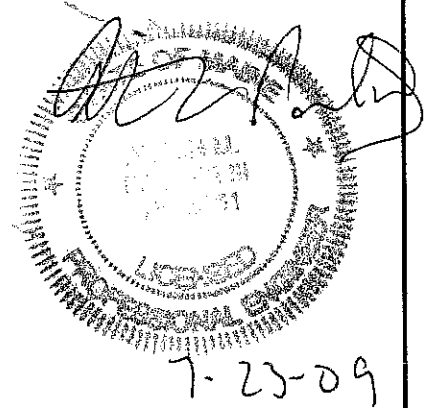
MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.

MINIMUM LOT WIDTH: 65 FT.

OTHER USES: 65 FT.



* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 7-28-2009

NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
5. THE DRIVEWAY ON LOT 1 IS DIRECTLY IN FRONT OF DAKOTA STREET AND/OR ABUTTING THE FORMER MICHIGAN AVENUE (OTHERWISE MAY BE KNOWN AS "BURNSIDE AVENUE"). NO PERMANENT STRUCTURE SHALL BE BUILT ON OR NEAR SAID DRIVEWAY OR THE FORMER MICHIGAN AVENUE WHICH WOULD OBSTRUCT ACCESS TO THE FORMER MICHIGAN AVENUE. PRIVATE RIGHTS TO USE THE FORMER MICHIGAN AVENUE MAY EXIST WHICH MAY ALLOW OTHERS TO TRAVEL/ACCESS THE FORMER MICHIGAN AVENUE AND A PORTION OF THE LOT 1 DRIVEWAY. AS SUCH, ALL PRESENT AND FUTURE OWNERS OF LOT 1 AGREE THAT THE LOT 1 DRIVEWAY MAY BE ALTERED BY THE CITY OF PORTLAND OR ANY OTHER PARTY TO ALLOW FOR TRAVEL/ACCESS OVER AND ON THE FORMER MICHIGAN AVENUE AND/OR DAKOTA STREET.
6. THAT THE HOUSE AND DRIVE SHALL BE BUILT AS DEPICTED ON THE APPROVED SITE PLAN.
7. THIS LOT IS SUBJECT TO A 25' WIDE 'NO CUT' BUFFER AREA ALONG THE ENTIRE NORTHERLY SIDELINE OF LOT 1 AS SHOWN ON THE PLAN. THE 'NO CUT BUFFER AREA' IS FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA. NO TREES SHALL BE CUT OR REMOVED FROM THE 'NO CUT BUFFER AREA', EXCEPT THAT DEAD, DISEASED OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE 'NO CUT BUFFER AREA'. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE 'NO CUT BUFFER AREA' EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

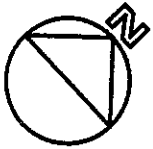
GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
15 Shaker Road Fax: 207-657-6912
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:
Space & Bulk Requirements

Project:
LOT 1 DAKOTA STREET

Figure No.
1



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54 7/24/09

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25' WIDE 'NO CUT'
BUFFER AREA (SEE
NOTES ON FIGURE
#1 REGARDING
BUFFER
RESTRICTIONS)

5' DRAINAGE
EASEMENT

5' DRAINAGE
EASEMENT

LOT 1
9,189 SF

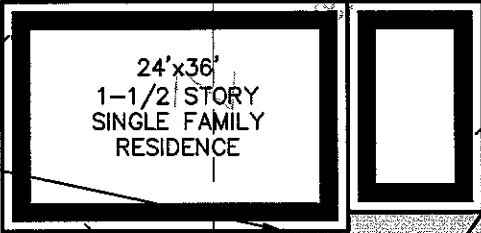
LOT 2
30,270 SF

8' SIDE
SETBACK

8' SIDE
SETBACK

TEMPORARY
GRADING
EASEMENT

14'x22'
GARAGE

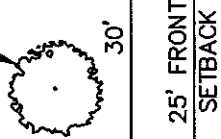


SANITARY EXIT
POINT, MIN.
INV. 103.90

CITY OF PORTLAND
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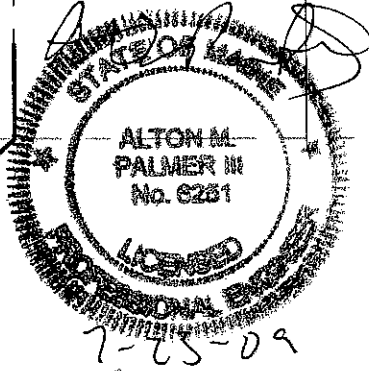
RED MAPLE
2-1/2" CAL.
OR EQUIVALENT.
TWO REQUIRED
PER LOT

UTILITY
EASEMENT TO
BENEFIT LOT 2



6" SAN
L=66'
S=0.0700

SEE NOTES ON
FIGURE #1
REGARDING
DRIVEWAY



1" CURB STOP

SEE ALL NOTES LISTED
ON FIGURE #1

1" DOMESTIC
WATER



1 inch = 20 ft.

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149--LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237
15 Shaker Road
Gray, ME 04039

Phone: 207-657-6910
Fax: 207-657-6912
Email: mailbox@gorrillpalmer.com

Drawing Name:
Site & Utility Plan

Project:
LOT 1 DAKOTA STREET

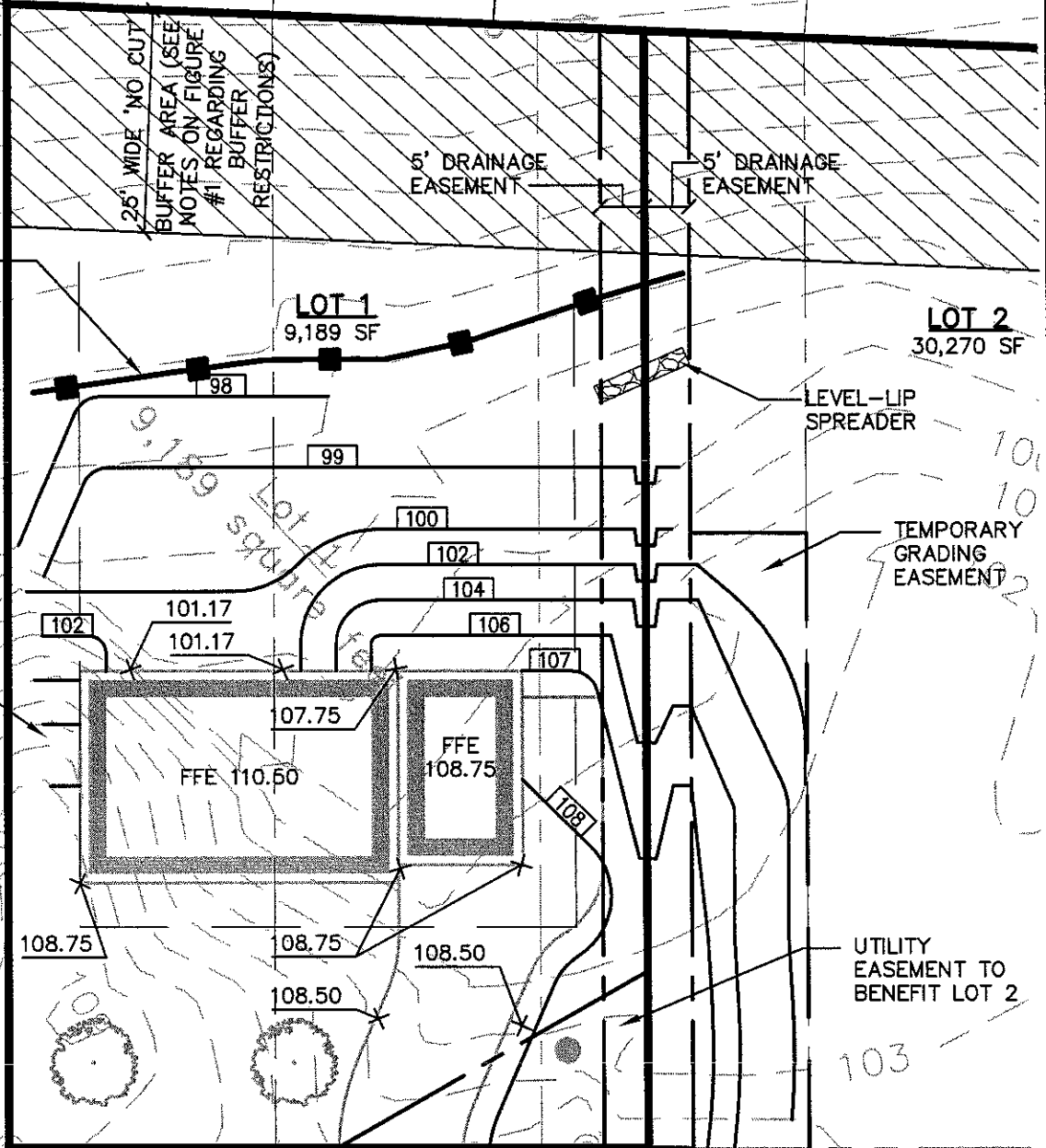
Figure No.
2

RECEIVED

JUL 24 2009

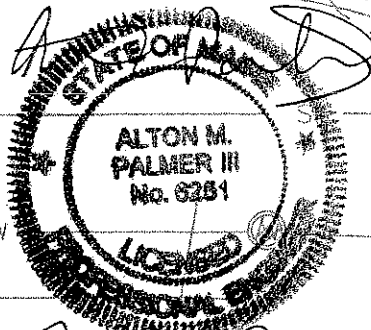


CITY OF PORTLAND
Planning Division

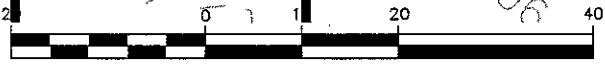


TENAX MULTIMAT
FABRIC ON SLOPES
EQUAL TO OR STEEPER
THAN 8% FOR OCTOBER
1st THROUGH APRIL
15th AND EQUAL TO OR
STEPPER THAN 15% FOR
APRIL 15th THROUGH
OCTOBER 1st (TYP)

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 7-28-2009



SEE ALL NOTES LISTED
ON FIGURE #1



Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237
15 Shaker Road
Gray, ME 04039

Phone: 207-657-6910
Fax: 207-657-6912
Email: mailbox@gorrillpalmer.com

Drawing Name:
Grading & Drainage Plan

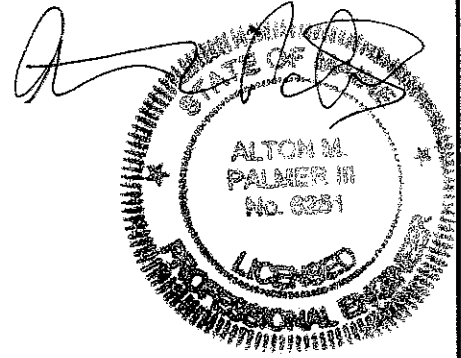
Project:
LOT 1 DAKOTA STREET

Figure No.
3

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JUL 24 2009

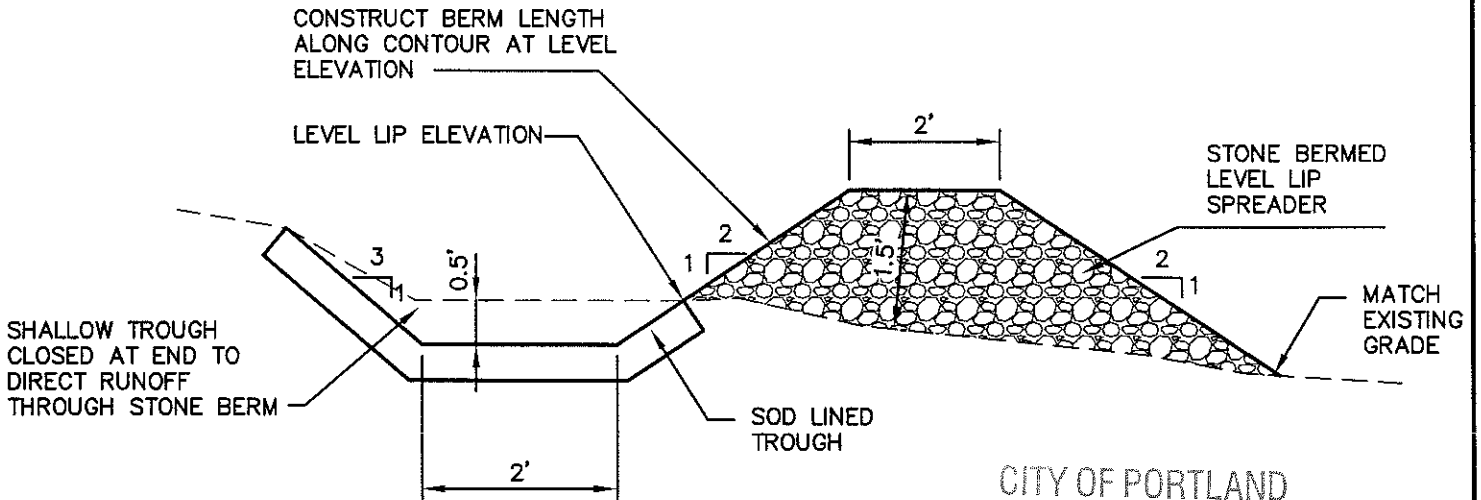
City of Portland
Planning Division



7-23-09

BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12

LEVEL LIP SPREADER		
LEVEL LIP	ELEVATION (A)	LENGTH
1	98.0'	10'



CITY OF PORTLAND
 APPROVED SITE PLAN
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STONE BERM LEVEL LIP SPREADER

NOT TO SCALE

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:	Details
Project:	LOT 1 DAKOTA STREET

Figure No.	4
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Phil

To: Tom Errico, Marge Schmuckal; David Margolis-Pineo; Keith Gautreaux; Danielle West-Chuhta; Phil diPierro
From: Jean Fraser
Date: March 18, 2009

Additional information submitted for the following project:

Application ID #: 2008-0154

Project Name: Burnside Ave subdivision: 2 lot alternative

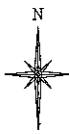
Project Address: Burnside Ave

Current situation:

1. Jim Wolf is abandoning the 5-lot subdivision (due to the assumption that Burnside/Michigan is vacated) - although a letter confirming that is awaited;
2. He is drafting a revised survey to show what now appears to be the current position re the street and the land transfers that he has achieved to create 2 lots which conform to zoning requirements (R-3). The draft survey incorporating concept plan and information relating to the location of driveways is attached (note that the driveways but not the building footprints would be on the recorded plan).
3. Transfer of land docs are included for Marge and Danielle.
4. Please note that the driveway access for Parcel "A" is partially on Parcel B's land. This is Jim Wolf's explanation:

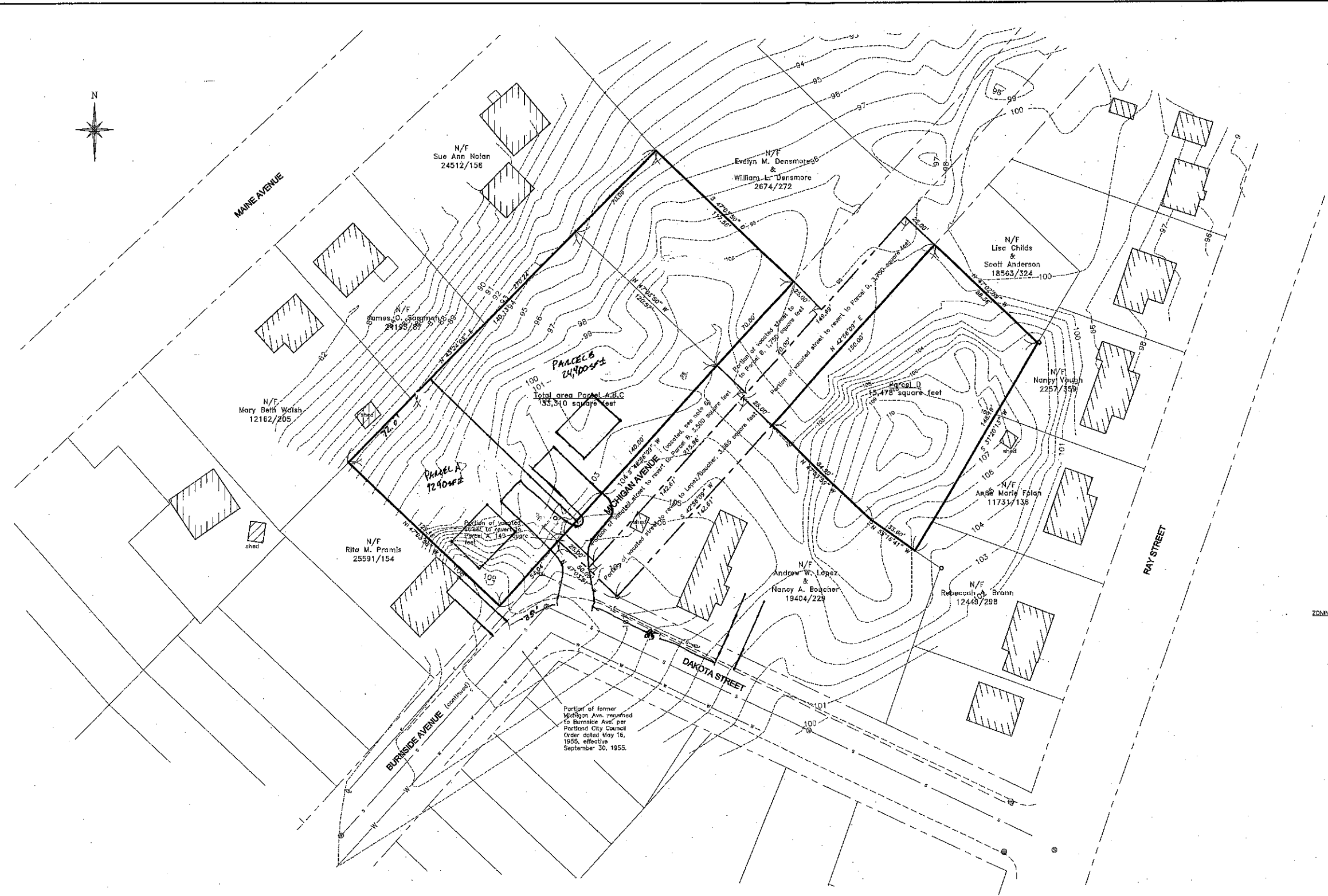
These are draft plans to show the concept for two lots with a common driveway entrance. If the concept is acceptable we will then prepare a plan to be recorded after property transfers, showing the two lots with a common drive entrance, however, no house footprints. Footprints, grading, etc would be part of the building permit application.

There is no lot line within the private drive area for lot 1. The lot has 54 feet of street frontage and then continues down the former Michigan another 18 feet giving the lot the 72 feet of width shown on the back of the lot. After the 54 feet of frontage Parcel A does require an easement to drive on Parcel B's property (driveway easement).



LEGEND

□	Monument - found
■	Monument - set
○	Iron marker - found
●	Iron marker - set (#5 rebar)
—	Property line (locus)
- - -	Property line (abutter)
- - -	Right of way line
- - -	Edge of pavement
- - -	Easement line
—	Utility pole
⊙	Sewer manhole
⊕	Catch basin (round)
—	Overhead utility line
—	Sewer line
—	Underground water line
▨	Existing building

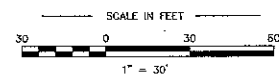


ZONING REQUIREMENTS, R-3

Minimum Lot Size	6,500 S.F.
Minimum Frontage	50 FT
Minimum Setbacks:	
Front Yard	25 FT
Rear Yard	25 FT
Side Yard *	8 FT
1 Story	8 FT
1 1/2 Stories	8 FT
2 Stories	14 FT
2 1/2 Stories	16 FT
Side Yard * on Side Streets	20 FT
Minimum Lot Width	Multiplex Other Uses
	N/A 85 FT

*The width of one (1) side yard may be reduced one (1) foot for every foot that the other side yard is correspondingly increased, but no side yard shall be less than eight (8) feet in width. Said reduction does not require an amended recording plat.

PRELIMINARY PLAN



- NOTES**
- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
 - (2) Bearings are referenced to grid north Maine State Coordinate System West Zone (NAD83). Proposed monument coordinates are based on Maine State Coordinate System West Zone (NAD83).
 - (3) All utility locations shown hereon are approximate, based on location of visible features and information provided by others. The appropriate utilities should be contacted prior to any construction.
 - (4) These parcels located in flood zone C (areas of minimal flooding). See plan reference 2.
 - (5) Existing buildings, utilities and fence locations are based on reference 1.
 - (6) That portion of Michigan Avenue not renamed to Burnside Avenue is not listed in a Notice recorded in the Cumberland County Registry of Deeds in Book 13328, Page 19, as a street to be exempted from deeded vacation by the City of Portland as set forth in 23 M.R.S.A. 3032.

- REFERENCES**
- (1) Plan entitled "Standard Boundary Survey" made for REV, Inc. by Beck Bay Boundary, Inc. dated October 25, 2004 and revised November 19, 2004, recorded in Plan Book 204, Page 848.
 - (2) Flood Insurance Rate Map Community Panel Number 230051 007 B City of Portland, Maine. Effective date: July 17, 1988.
 - (3) City of Portland, Maine Tax Map 407.

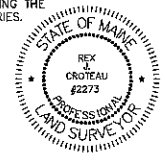
- OWNERS OF RECORD**
- Parcel A: Mary Beth Walsh Book (portion of) 12182, Page 205
 - Parcel B: Trustees of the James M. Wolf Intervivors Trust Book 26381, Page 15
 - Parcel C: Diversified Properties, Inc. Book 25381, page 29
 - Parcel D: Diversified Properties, Inc. Book 25381, Page 61

AREAS
As shown on plan

State of Maine, Cumberland ss
Registry of Deeds
Received _____ 20
at _____ m _____ and recorded in _____
Plan Book _____ Page _____
Attest: _____
Register

SURVEYOR'S SEAL IS FOR THE INTERNAL DIVISION LINES ONLY. THE BOUNDARY PERIMETERS ARE BASED ON INFORMATION PROVIDED BY THE OWNER AND INFORMATION SHOWN ON A STANDARD BOUNDARY SURVEY MADE FOR REV, INC BY ROBERT T. GREENLAW DATED OCTOBER 25, 2004 AND REVISED NOVEMBER 19, 2004 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204 PAGE 848. NO CERTIFICATIONS ARE STATED OR IMPLIED REGARDING THE ACCURACY OR VALIDITY OF THE PERIMETER BOUNDARIES.

Rex J. Croteau MAINE PLS #2273

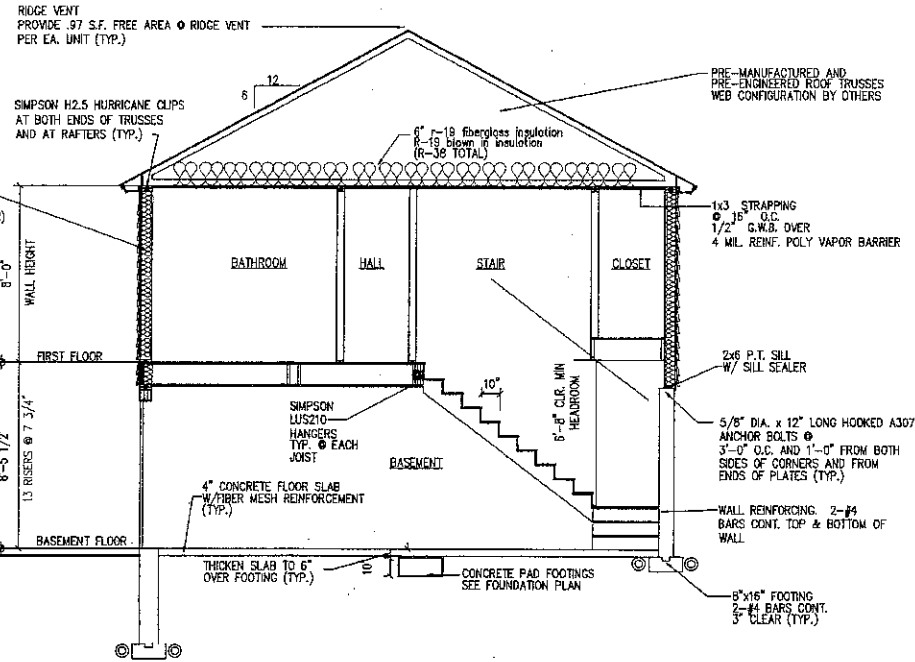


NO.	REVISIONS	DATE
PLAN OF BOUNDARY PLAT		
Burnside Avenue Portland, Maine		
MADE FOR		
DIVERSIFIED PROPERTIES		
P.O. Box 10127 Portland, Maine		
CP\208075 Sub.dwg	DATE: October 21, 2008	SCALE: 1"=30'
BOOK# E39	Titcomb Associates 133 Gray Road Falmouth, Maine 04105 (207) 797-9199	
JOB# 208075		
FILE#		

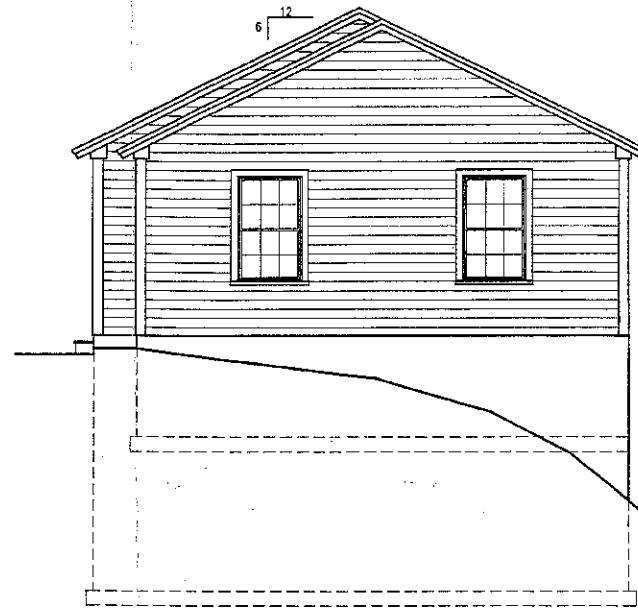
TYPICAL ROOF CONSTRUCTION

RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/ 10d NAILS, RING SHANK @ 8" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE
 #15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.

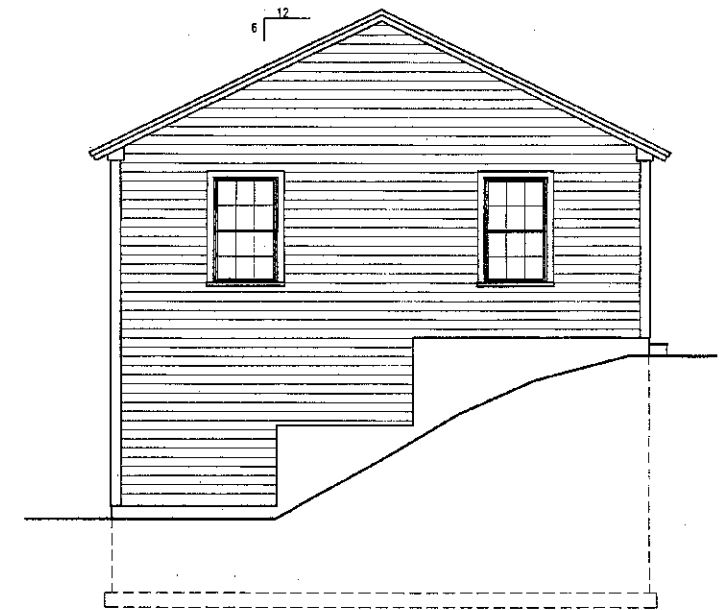
TYP. EXTERIOR WALL:
 1/2" G.W.B. OVER
 4 ML. REINF. POLY VAPOR BARRIER
 2x6 STUDS @ 24" O.C. (@ 16" O.C. AT FIRST FLOOR)
 W/SOLID 2x BLOCKING AT ALL SHEATHING PANEL EDGES
 7/16" APA RATED SHEATHING
 10d NAILS - RING SHANK @ 4" O.C. INTERMEDIATE (TYP.) OVER CONT. BLDG. WRAP UNDER VINYL SIDING



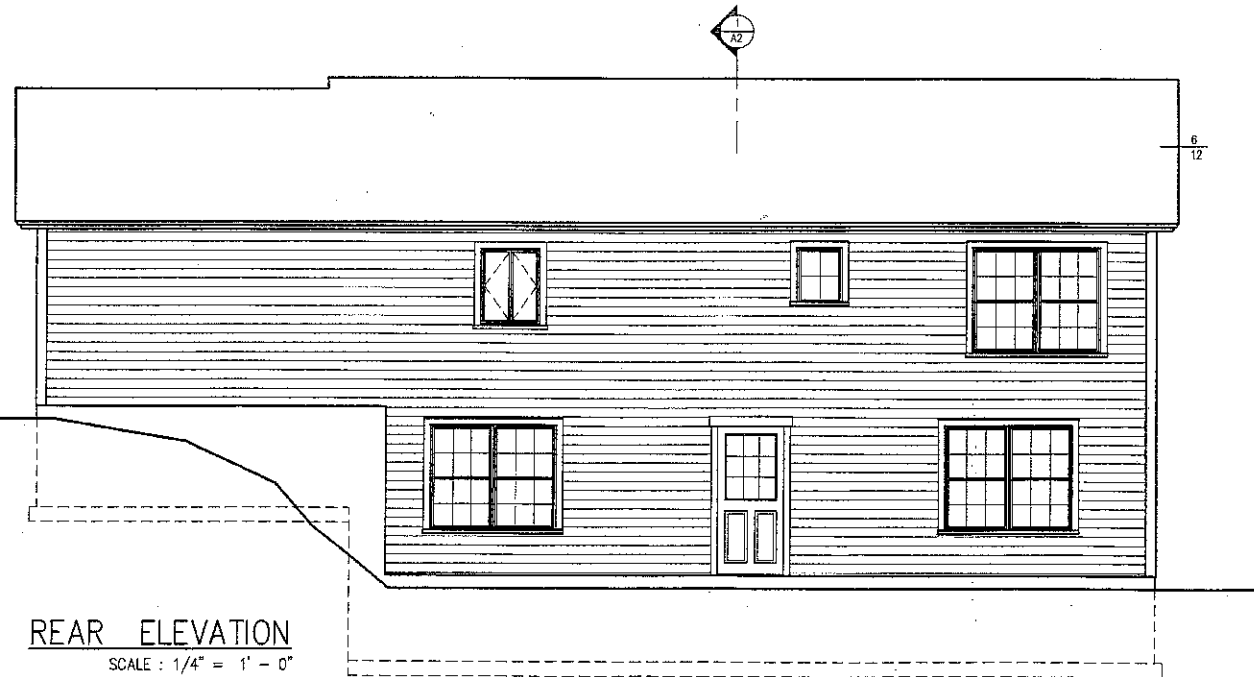
SECTION THRU HOUSE
 SCALE : 1/4" = 1' - 0"



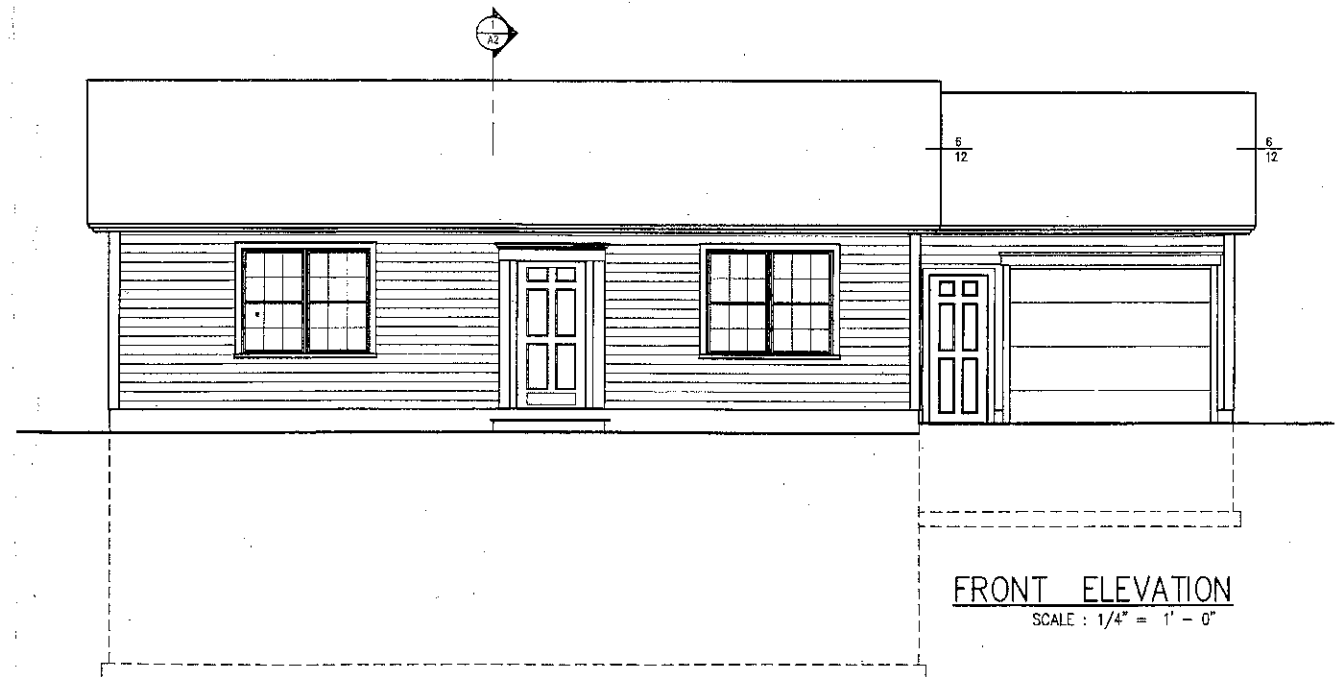
RIGHT SIDE ELEVATION
 SCALE : 1/4" = 1' - 0"



LEFT SIDE ELEVATION
 SCALE : 1/4" = 1' - 0"



REAR ELEVATION
 SCALE : 1/4" = 1' - 0"



FRONT ELEVATION
 SCALE : 1/4" = 1' - 0"

29 DAKOTA - 24x36 RANCH

DRAWINGS THIS SHEET
 FOUNDATION & FLOOR PLAN

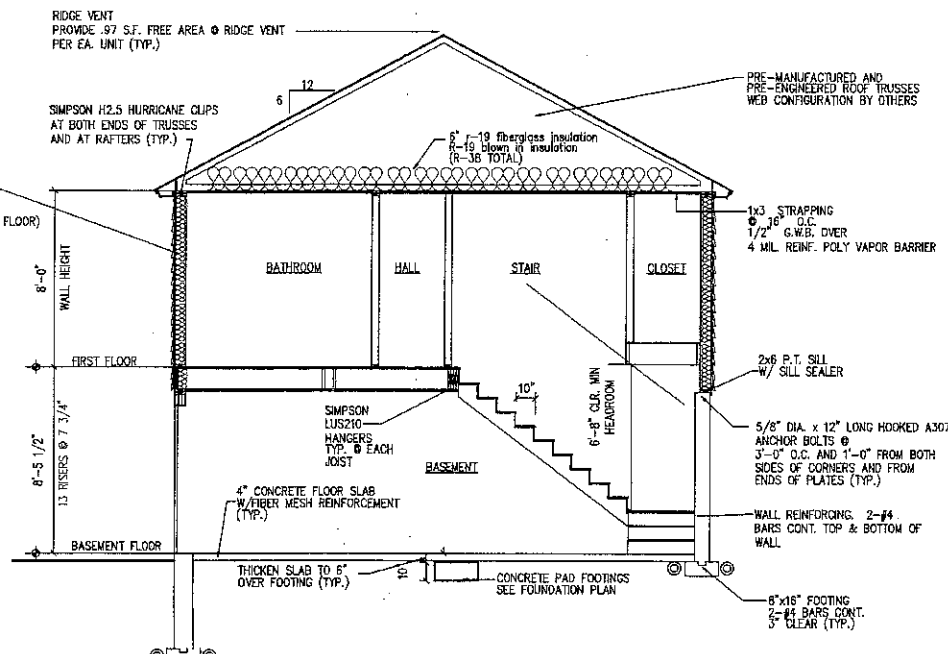
DATE
 04/27/09

A2

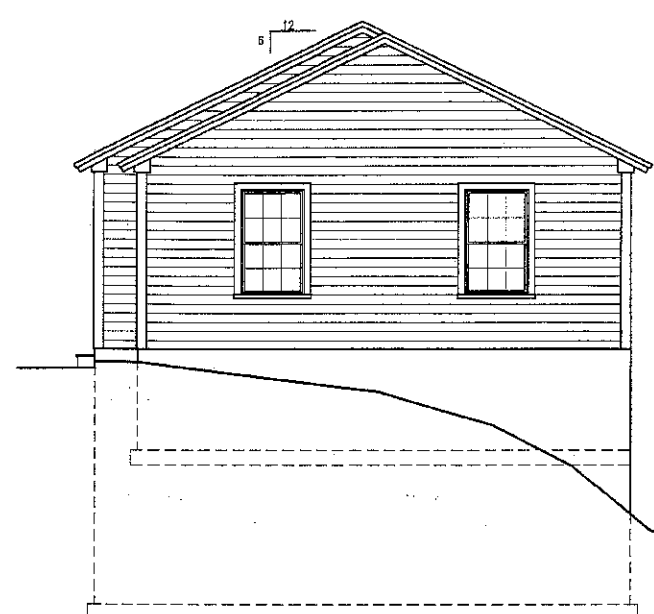
TYPICAL ROOF CONSTRUCTION

RIDGE VENT
 PRE-MANUFACTURED ROOF
 TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/
 10d NAILS, RING SHANK @ 8" O.C.
 PANEL EDGES AND 6" O.C. INTERMEDIATE
 #15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE
 @ EAVES

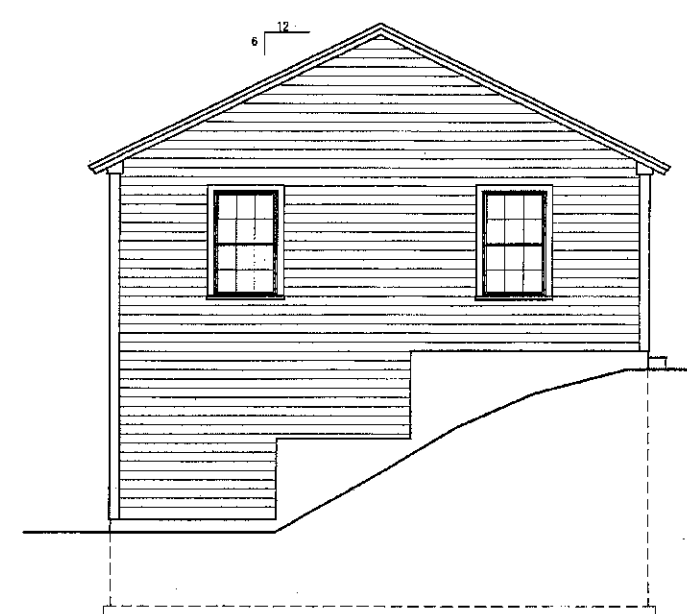
TYP. EXTERIOR WALL:
 1/2" G.W.B. OVER
 4 ML. REIN. POLY VAPOR BARRIER
 2x6 STUDS @ 24" O.C. @ 16" O.C. AT FIRST FLOOR
 W/SOLID 2x BLOCKING AT ALL SHEATHING
 PANEL EDGES
 7/16" APA RATED SHEATHING
 10d NAILS - RING SHANK @ 4" O.C.
 PANEL EDGES AND 6" O.C.
 INTERMEDIATE (TYP.) OVER CONT.
 BLDG. WRAP UNDER VINYL SIDING



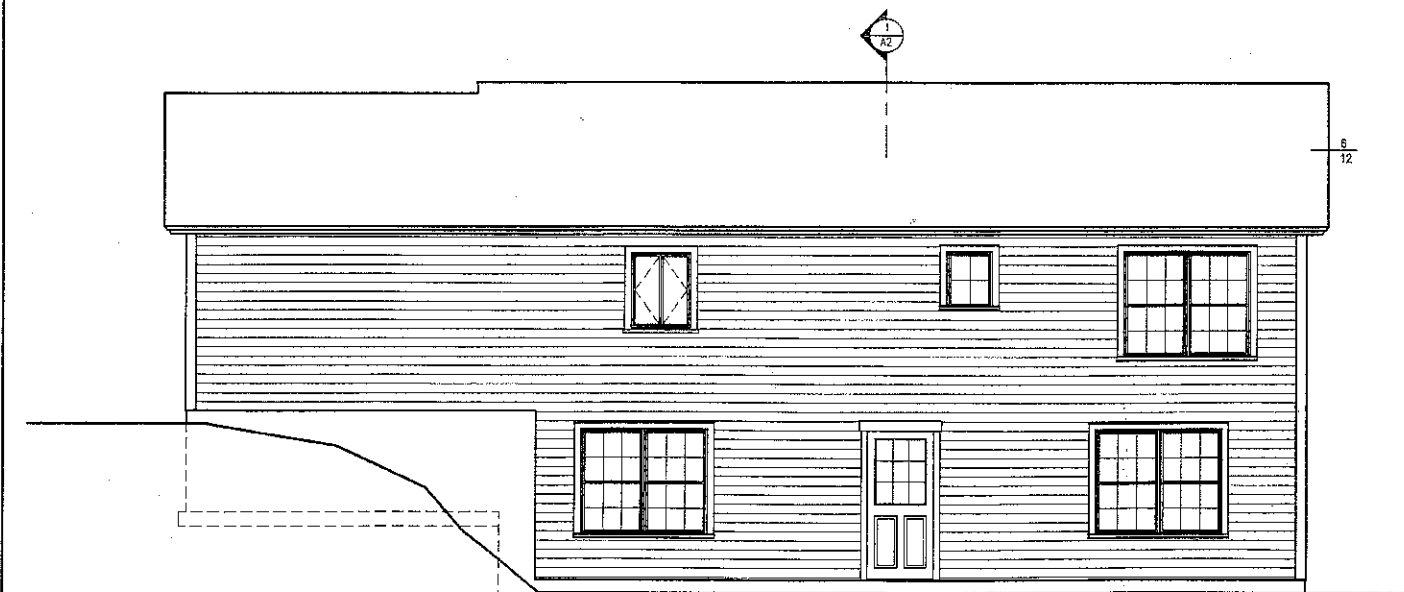
SECTION THRU HOUSE
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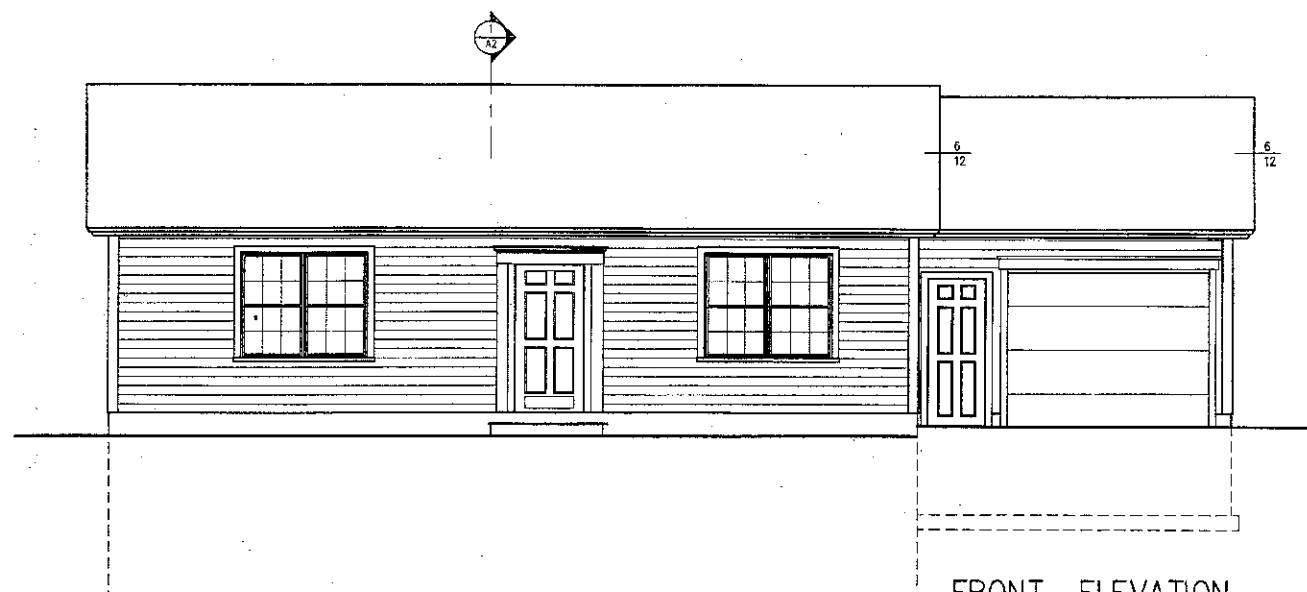
RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1' - 0"



REAR ELEVATION
 SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
 SCALE: 1/4" = 1' - 0"

29 DAKOTA RANCH
 24x36 RANCH

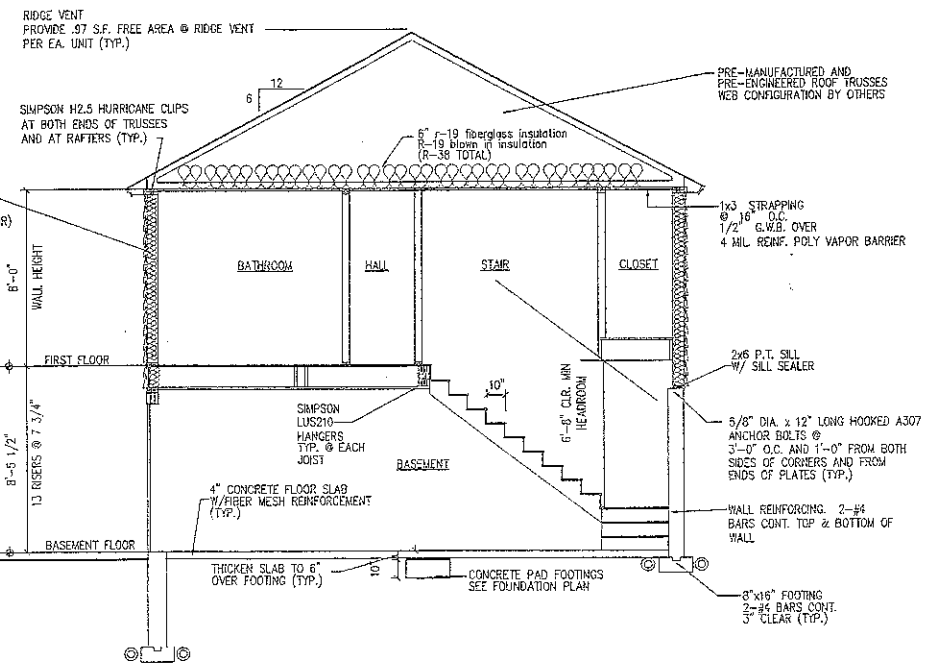
DRAWINGS THIS SHEET
 FOUNDATION & FLOOR PLAN
 DATE
 04/27/06

A2

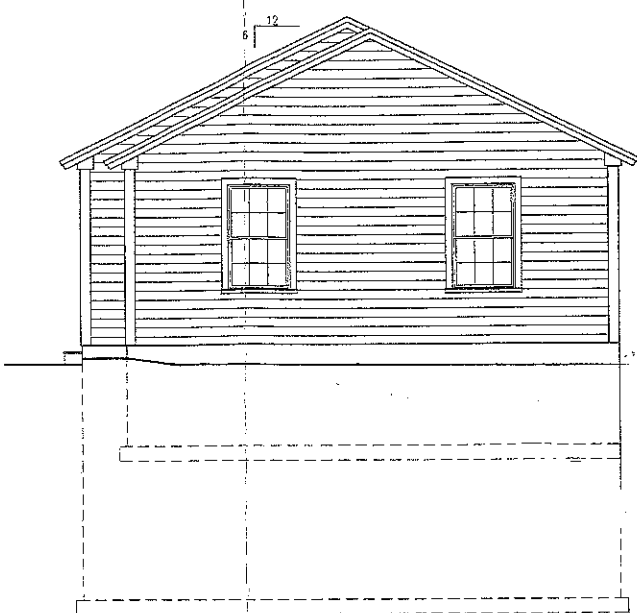
JUN 19 2009

TYPICAL ROOF CONSTRUCTION

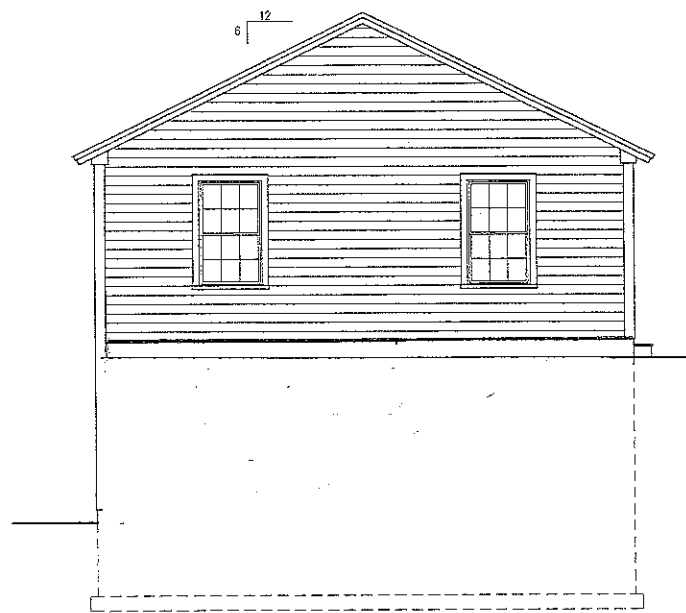
RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/ 10d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE
 #15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.



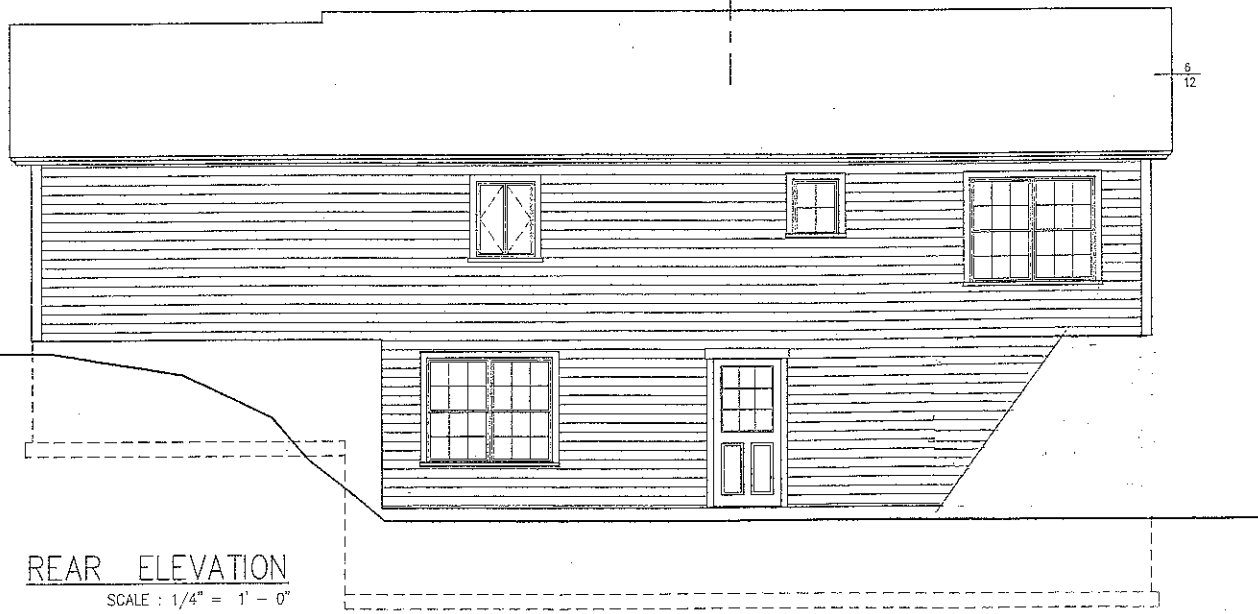
SECTION THRU HOUSE
 SCALE : 1/4" = 1' - 0"



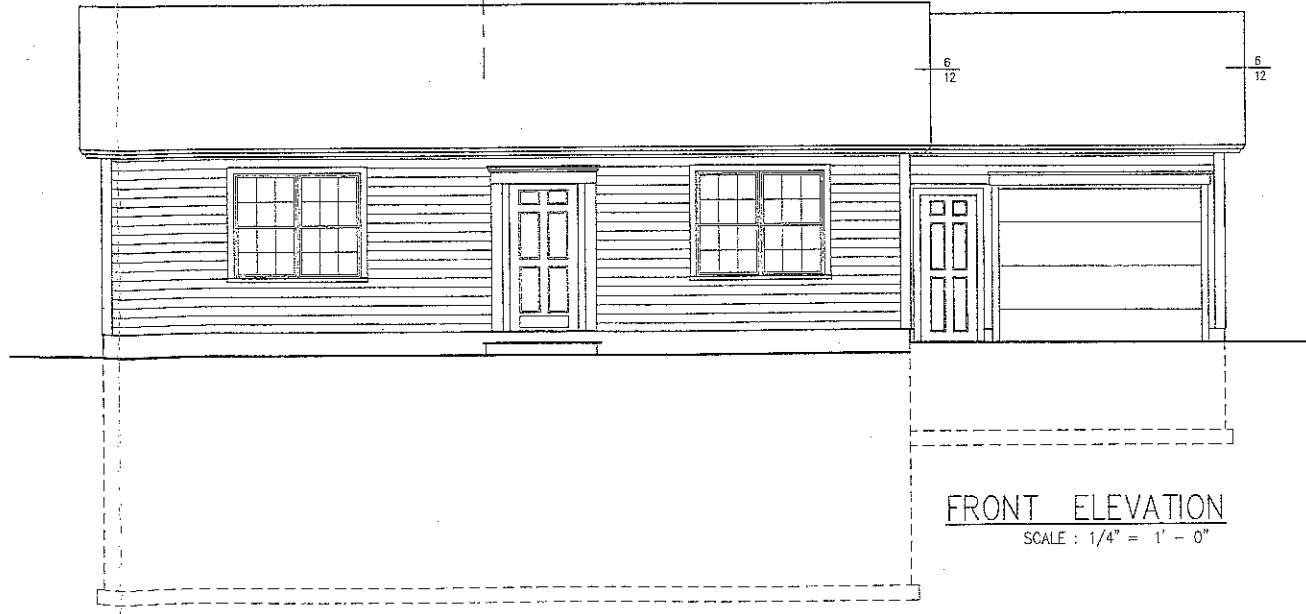
RIGHT SIDE ELEVATION
 SCALE : 1/4" = 1' - 0"



LEFT SIDE ELEVATION
 SCALE : 1/4" = 1' - 0"



REAR ELEVATION
 SCALE : 1/4" = 1' - 0"



FRONT ELEVATION
 SCALE : 1/4" = 1' - 0"

24x36 RANCH

DRAWINGS THIS SHEET
 FOUNDATION & FLOOR PLAN

DATE
 04/27/09

A2