

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ICTION

Permit Number: 090403

This is to certify that Wolf James/James Wolf
has permission to New 24' x 36' 2 bedroom Ranch style Single family home w/ 1 car garage
AT 29 DAKOTA ST CP 407 H016001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or other work is done-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

PERMIT ISSUED
JUL 28 2009
CITY OF PORTLAND
Department Name

Thomas M. Macleay 7/28/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

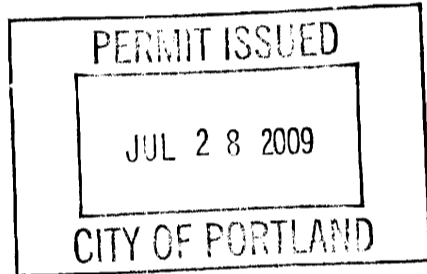
Permit No: 09-0403 Issue Date: CBL: 407 H016001-17

Location of Construction: 29 DAKOTA ST	Owner Name: Wolf James	Owner Address: P O Box 10127	Phone: 773-4988
Business Name:	Contractor Name: James Wolf	Contractor Address: P.O. Box 10127 Portland	Phone: 2077734988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family - New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage	Permit Fee: \$1,045.00	Cost of Work: \$95,000.00	CEO District: 4
Proposed Project Description: New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: <i>Jm</i> 7/28/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Ldobson	Date Applied For: 05/01/2009	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone parcel 7-Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2009-0042 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM OK w/conditions Date: 7/28/09 ABM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied ABM Date:
--	--	---	---



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>29 Dakota Street</u>		
Total Square Footage of Proposed Structure/Area <u>564</u>		Square Footage of Lot <u>9,189</u>
Tax Assessor's Chart, Block & Lot Chart# <u>407</u> Block# <u>H</u> Lot# <u>16-17 and a portion of 18</u>	Applicant *must be owner, Lessee or Buyer* Name <u>James Wolf</u> Address <u>P.O. Box 10127</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>773-4988</u> <u>831-4988</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Mary Beth Walsh</u> Address <u>121 Maine Ave.</u> City, State & Zip <u>Portland, ME</u> <u>ret. by James Wolf</u>	Cost Of Work: \$ <u>95,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>1,345</u>
Current legal use (i.e. single family) <u>VACANT land</u>		
If vacant, what was the previous use? <u>"</u>		<u>970</u>
Proposed Specific use: <u>Single family home</u>		<u>300</u>
Is property part of a subdivision? <u>NO</u> If yes, please name _____		<u>75</u>
Project description: <u>24x36 - 2 BEDROOM R + C/H 1 car garage</u> <u>1 Bath -</u>		<u>\$1,345</u>
Contractor's name: <u>CB Properties</u>		
Address: <u>84 Country Lane</u>		
City, State & Zip <u>Portland ME 04103</u>		Telephone: <u>756-0687</u>
Who should we contact when the permit is ready: <u>Dwight Brackett</u>		Telephone: _____
Mailing address: <u>84 Country Lane</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 4-13-09

This is not a permit; you may not commence ANY work until the permit is issue

MAY - 1 2009

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0403	Date Applied For: 05/01/2009	CBL: 407 H016001
------------------------------	--	----------------------------

Location of Construction: 29 DAKOTA ST	Owner Name: Wolf James	Owner Address: P O Box 10127	Phone: () 773-4988
Business Name:	Contractor Name: James Wolf	Contractor Address: P.O. Box 10127 Portland	Phone: (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family - New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage	Proposed Project Description: New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/28/2009

Note: **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/29/2009

Note: **Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jean Fraser **Approval Date:**

Note: **Ok to Issue:**

Comments:

5/13/2009-amachado: Email from Jean Fraser to Jim Wolf saying that the Planning Division has the siteplan for the single family home on Dalkota on hold pending some issues.

6/23/2009-amachado: Received scalable siteplan.

6/24/2009-amachado: Zoning review is complete. Moving permit forward in the system to be reviewed by building. Not signing off until I get the OK from Planning about the conditions on the site plan and the deed.

6/18/2009-amachado: Received email from Jean that the review could move forward once the revised siteplan & deed are received. I called Jim Wolf. The siteplan on the PDF does not scale. The required notes are not included and there is no deed. I need a full size plan of A2(elevations) and I need an elevation that shows the average grade in relation to the basement - Is more than half above grade?

6/19/2009-amachado: Dwight Brackett brought in a revised elevation plan both full size & 11" x 17" which shows only a partial daylight basement.

6/29/2009-tm: Building review completed and waiting for legal/zoning issues to be resolved before issuance. Returned to Ann.

Location of Construction: 29 DAKOTA ST	Owner Name: Wolf James	Owner Address: P O Box 10127	Phone: () 773-4988
Business Name:	Contractor Name: James Wolf	Contractor Address: P.O. Box 10127 Portland	Phone (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	
7/28/2009-amachado: Received final siteplan approval & deeds from Planning.			

From: Jean Fraser
To: Wolf, Jim
Date: 7/28/2009 2:38:20 PM
Subject: RE: FW: Lot 1, Dakota

Jim,

I confirm that the Planning Division has "signed off" on the submitted plan set (Figs 1-4, dated 7.23.09) and the revised Statutory Warranty Deed (as received yesterday), subject to a condition that requires the recorded copy of the Trustees Deed Corrective Deed (language as sent to me yesterday) to be sent to me by the end of July 29, 2009 (along with the recorded copy of the Warranty Deed when it is available).

Please note that Building Inspections (Ann Machado) will be giving this plan set and the deeds one last check before authorizing the issue of the building permit, but if there have not been any changes and the plans are to scale I do not anticipate any issues arising.

Jean

Jean Fraser
Planner, City of Portland
874 8728

>>> "Jim Wolf" <jmw1@maine.rr.com> 7/28/2009 1:25:37 PM >>>
Do we have a timeframe??

Can we have the permit processed so that it can be issued once Danielle gives it her blessing?

James M. Wolf
Diversified Properties, Inc.
Post Office Box 10127
Portland, Maine 04104
1-207-773-4988
1-207-773-6875 fax

This electronic transmission may be privileged and contain confidential information. It is not intended nor may it be received by any unauthorized persons. If you have received this transmission in error, please destroy without copying it and notify the sender by calling sender at 207-773-4988 or reply to sender of this email. Thank you.

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Tuesday, July 28, 2009 1:03 PM
To: jmw1@maine.rr.com
Subject: RE: FW: Lot 1, Dakota

No; Legal can not do the final review in that timescale.

>>> "Jim Wolf" <jmw1@maine.rr.com> 7/28/2009 11:46:34 AM >>>
Hi Jean

Do you have an update for me? The buyer was hoping to have the permit to

Applicant: James Wolf

Date: 6/23/09

Address: 29 Dakota St.

C-B-L: 407-H-016

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build one story, 24x36 single family w/ 14'x22" single car garage.

Sewage Disposal - City

Lot Street Frontage - 50' min - 54' scaled

Front Yard - 25' min - 30' scaled given

Rear Yard - 25' min - 73' scaled

Side Yard - 1 s by 8' min - 3' scaled on left
14' scaled on right

Projections -

Width of Lot - 65' min - 72' scaled

Height - 35' max - 20 25' scaled from lowest scale in rear.

Lot Area - 6500 sq ft min. - 9189 given

Lot Coverage/ Impervious Surface - 35% = 2275 sq ft OK

24 x 36 = 864
14 x 22 = 308

Area per Family - 6,500 sq ft OK

1172 sq ft

Off-street Parking - 2 spaces required - 1 in garage, one beside garage.

Loading Bays - N/A

Site Plan - minor/minor 2009-0042

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X.

* partial day light basement

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 Zoning Copy

2009-0042
 Application I. D. Number

Wolf James M
 Applicant
Po Box 10127, Portland , ME 04104
 Applicant's Mailing Address

Marge Schmuckal

5/1/2009
 Application Date

Dwight Brackett
 Consultant/Agent
Agent Ph: (207)772-8629 Agent Fax:
 Applicant or Agent Daytime Telephone, Fax

29 - 29 Dakota St , Portland, Maine
 Address of Proposed Site
407 H016001
 Assessor's Reference: Chart-Block-Lot

Single Family Home
 Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt **0** Condo **0** Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Proposed Total Disturbed Area of the Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard |
| <input type="checkbox"/> After the Fact - Major | | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement |
| <input type="checkbox"/> After the Fact - Minor | | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **5/4/2009**

Zoning Approval Status:

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

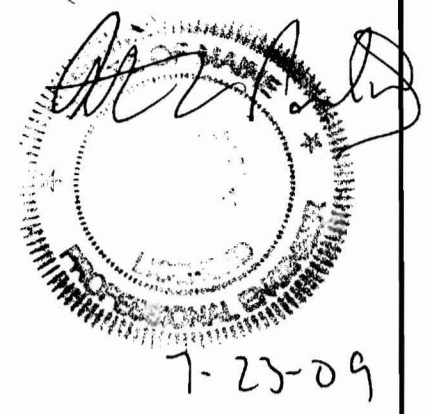
- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | _____ | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

RECEIVED

JUL 24 2009

SPACE AND BULK REQUIREMENTS – R-3 ZONE

MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	65 FT.



* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7-28-2009

NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
5. THE DRIVEWAY ON LOT 1 IS DIRECTLY IN FRONT OF DAKOTA STREET AND/OR ABUTTING THE FORMER MICHIGAN AVENUE (OTHERWISE MAY BE KNOWN AS "BURNSIDE AVENUE"). NO PERMANENT STRUCTURE SHALL BE BUILT ON OR NEAR SAID DRIVEWAY OR THE FORMER MICHIGAN AVENUE WHICH WOULD OBSTRUCT ACCESS TO THE FORMER MICHIGAN AVENUE. PRIVATE RIGHTS TO USE THE FORMER MICHIGAN AVENUE MAY EXIST WHICH MAY ALLOW OTHERS TO TRAVEL/ACCESS THE FORMER MICHIGAN AVENUE AND A PORTION OF THE LOT 1 DRIVEWAY. AS SUCH, ALL PRESENT AND FUTURE OWNERS OF LOT 1 AGREE THAT THE LOT 1 DRIVEWAY MAY BE ALTERED BY THE CITY OF PORTLAND OR ANY OTHER PARTY TO ALLOW FOR TRAVEL/ACCESS OVER AND ON THE FORMER MICHIGAN AVENUE AND/OR DAKOTA STREET.
6. THAT THE HOUSE AND DRIVE SHALL BE BUILT AS DEPICTED ON THE APPROVED SITE PLAN.
7. THIS LOT IS SUBJECT TO A 25' WIDE 'NO CUT' BUFFER AREA ALONG THE ENTIRE NORTHERLY SIDELINE OF LOT 1 AS SHOWN ON THE PLAN. THE 'NO CUT BUFFER AREA' IS FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA. NO TREES SHALL BE CUT OR REMOVED FROM THE 'NO CUT BUFFER AREA', EXCEPT THAT DEAD, DISEASED OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE 'NO CUT BUFFER AREA'. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE 'NO CUT BUFFER AREA' EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

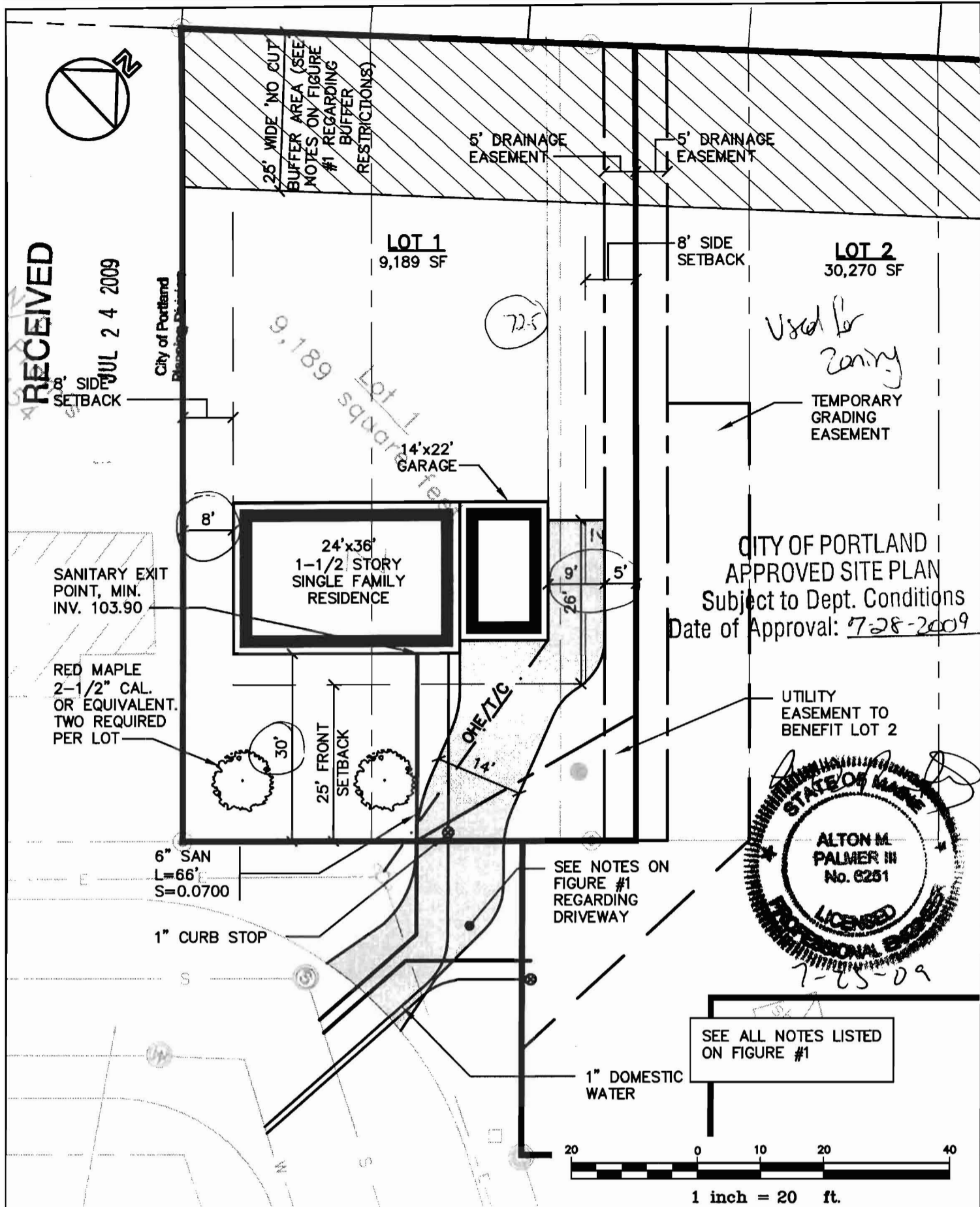
Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:	Space & Bulk Requirements
Project:	LOT 1 DAKOTA STREET

Figure No.	1
------------	----------



Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

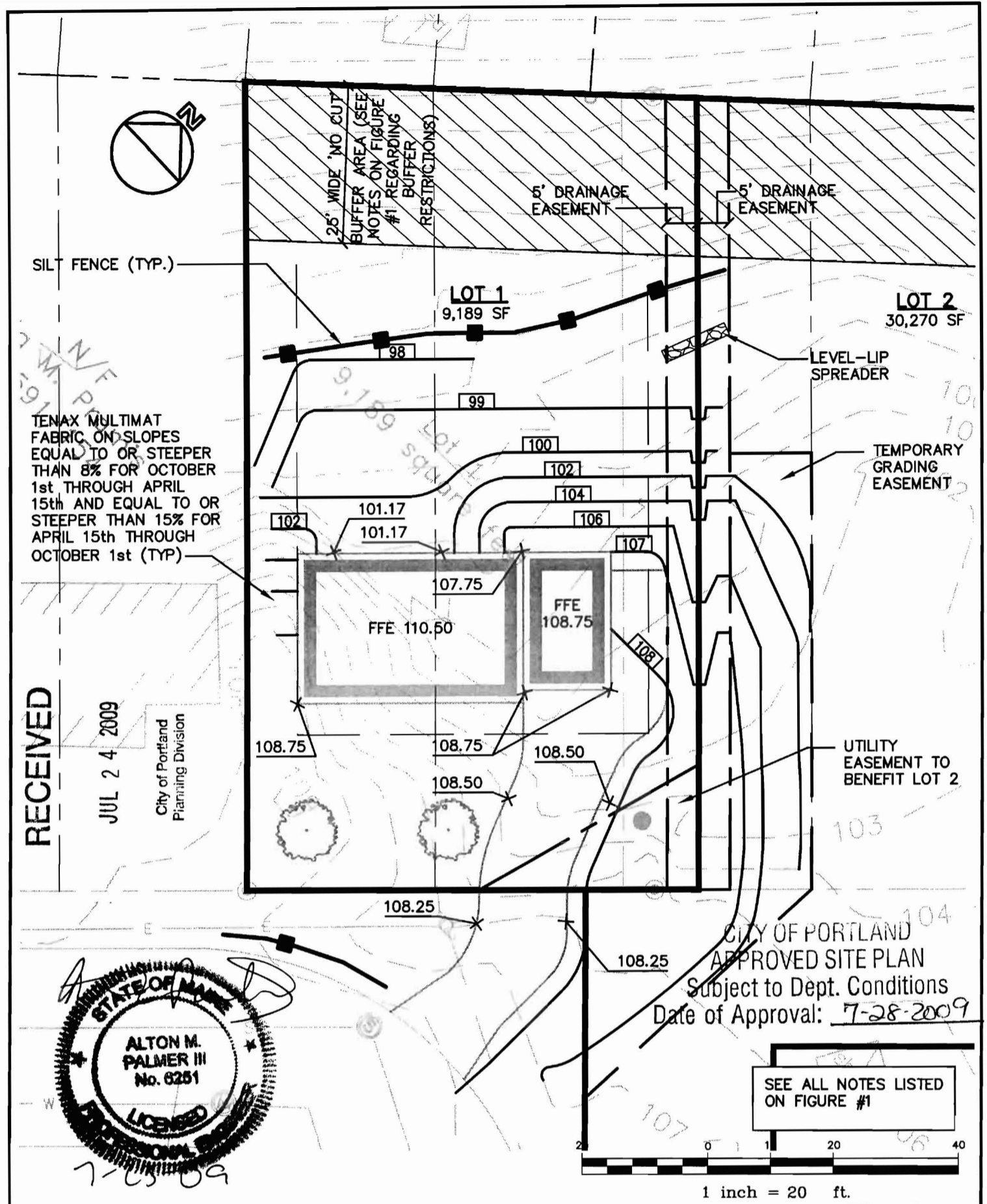
PO Box 1237
15 Shaker Road
Gray, ME 04039

Phone: 207-657-6910
Fax: 207-657-6912
Email: mailbox@gorrillpalmer.com

Drawing Name:
Site & Utility Plan

Project:
LOT 1 DAKOTA STREET

Figure No.
2



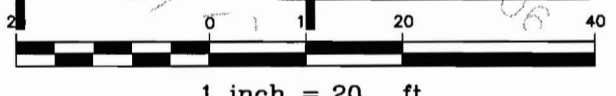
TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

RECEIVED
JUL 24 2009
City of Portland
Planning Division



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 7-28-2009

SEE ALL NOTES LISTED ON FIGURE #1



Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

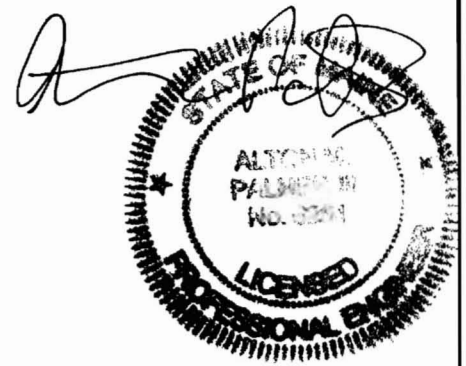
GP Corroll-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

P.O. Box 1237 Phone: 207-657-6910
15 Shaker Road Fax: 207-657-6912
Gray, ME 04039 Email: mailboxes@corrollpalmer.com

Drawing Name:
Grading & Drainage Plan

Project:
LOT 1 DAKOTA STREET

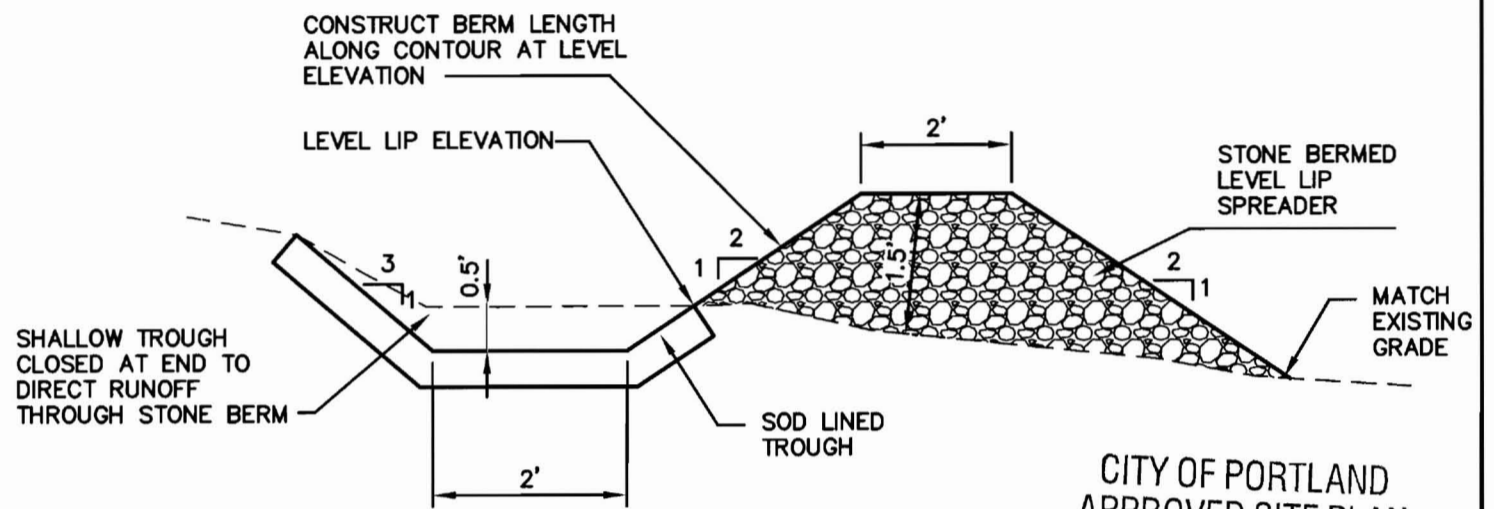
Figure No.
3



7-23-09

BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12

LEVEL LIP SPREADER		
LEVEL LIP	ELEVATION (A)	LENGTH
1	98.0'	10'



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7-28-2009

RECEIVED

JUL 24 2009

City of Portland
 Planning Division

STONE BERM LEVEL LIP SPREADER

NOT TO SCALE

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:	Details
Project:	LOT 1 DAKOTA STREET

Figure No.	4
------------	----------

29 DAKOTA ST

407-H-01601

9-0403

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1) OP				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8x16 Footings w/ 8" concrete wall	OK		
? Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Filter fabric - stone perimeter for piping -	per DWIGHT BRANER 6/29/19		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	OK		
Anchor Bolts/Straps, spacing (Section R403.1.6)	per IRC 2103	OK		
Lally Column Type (Section R407)	12 inch concrete footings 3/4 lally -	OK		
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	3 (2x10)	OK		
Sill/Band Joist Type & Dimensions	2x6 PT S.I.	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 JOISTS 16" OC	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NA	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	ROOF TRUSSES -	OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	6/12 pitch pre-engineered trusses 24" o.c	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	7/16 waks 5/8 ceiling	
Fastener Schedule (Table R602.3(1) & (2))	per IRC	203
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	no 1 hr Rated wall	
Emergency Escape and Rescue Openings (Section R310)	Egress windows	OK
Roof Covering (Chapter 9)	shingles - 5/8 sheathing Felt paper waterproofing	OK
Safety Glazing (Section R308)		
Attic Access (Section R807)	NA	
Chimney Clearances/Fire Blocking (Chap. 10)	NA	
Header Schedule (Section 502.5(1) & (2))	see plans w/schedule n/a	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U- Factor Fenestration	R21 walls - R38 ceilings R21 floors	OK

Type of Heating System	Forced Hot Water per D. Brachet	
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways	1	OK
Interior	1	
Exterior	0	
Treads and Risers (Section R311.5.3)	max rise - 10 inch tread	
Width (Section R311.5.1)	3 FT min.	
Headroom (Section R311.5.2)	6' 8"	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	34-38 Handrail	per D. Brachet
Smoke Detectors (Section R313) Location and type/Interconnected	each Bedroom - Hardwired Battery Back-up - interconnected	OK per D. Brachet
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	per IRC 2103	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NA	
Deck Construction (Section R502.2.1)	NA	

JUL 22 2009

STATUTORY WARRANTY DEED

MAINE REAL ESTATE TAX PAID

I, **Mary Beth Walsh**, of 121 Maine Avenue, in the City of Portland, County of Cumberland and State of Maine,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

Certain lots or parcels of land, with the buildings and improvements thereon, situated in the City of Portland, County of Cumberland and State of Maine, and being Lots 266 and 267 as shown on plan entitled "The Pines, Portland, Maine, Owned by the A.H. Chapman Land Co., Portland, Maine", dated April 1925, and recorded at the Cumberland County Registry of Deeds in Plan Book 16, Page 29

Being a portion of the premises conveyed to Grantor herein by deed of Carol K. Wallace dated October 13, 1995, and recorded at the Cumberland County Registry of Deeds in Book 12162, Page 205.

Also conveying all of my right, title, and interest in and to "Michigan Avenue".

WITNESS my hand this 21 day of July, 2009.

Mary Beth Walsh

Mary Beth Walsh
Mary Beth Walsh

STATE OF MAINE
CUMBERLAND, SS.

Date: 7/21/09, 2009

Then personally appeared the above-named MARY BETH WALSH and acknowledged the foregoing instrument to be her free act and deed.

Before me,

Darcy L. Needham
Attorney at Law/Notary Public

Print Name: _____
My Commission Expires: _____

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

Received
Recorded Register of Deeds
Jul 21, 2009 03:31:16P
Cumberland County
Pamela E. Lovley

JUL 22 2009

WE, **Alan E. Wolf**, of Falmouth, County of Cumberland and State of Maine and **Terry N. Snow**, of Cumberland, County of Cumberland and State of Maine, **Trustees of the James M. Wolf Revocable Intervivos Trust**, under trust instrument dated November 13, 2007, by the power conferred by law, and every other power, for One Dollar and other valuable consideration paid, GRANTS TO:

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, and described in Exhibit A annexed hereto and made a part hereof

WITNESS our hands this 21st day of July, 2009.

By: [Signature]
Alan E. Wolf, Trustee of the James M. Wolf Revocable Intervivos Trust

[Signature]
By: [Signature]
Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust

STATE OF MAINE
CUMBERLAND, SS.

Date: July 21, 2009

Then personally appeared the above-named Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust, as aforesaid and acknowledged the foregoing instrument to be his free act and deed and in his said capacity and the free act and deed of said Trust.

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

Before me,
[Signature]
Notary Public
Commission Expires: _____
Printed Name: _____

Exhibit A

A certain lot or parcel of land situated on the northerly side of Burnside Avenue, formerly known as Michigan Avenue, in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at the southerly corner of Lot 265 (depicted as the westerly most lot of "Parcel One") as shown on plan entitled "Standard Boundary Survey at Burnside Avenue, Portland, for REV, INC./Record Owner: The Burnside Real Estate Trust", prepared by Back Bay Boundary, Inc. Land Surveying, dated October 25, 2004, as revised through November 19, 2004, and recorded at the Cumberland County Registry of Deeds in Plan Book 204, Page 848 (the "Plan"); thence N 56° 21' 37" E along the northerly side of said Burnside Avenue a distance of 12', more or less, to a point; thence N 33° 38' 22" W running parallel with and maintaining a distance of 12' from the westerly sideline of said Lot 265 a distance of 126.60', more or less, to the southerly boundary of land "N/F Michael Alan Perry 14927/6" as shown on said Plan; thence S 58° 49' 31" W along the northerly boundary of said Lot 265 and the southerly boundary of land of said Perry a distance of 12' feet, more or less, to the westerly sideline of said Lot 265 and the easterly sideline of land shown on said Plan as "N/F Mary Beth Walsh 12162/205"; thence S 33° 38' 22" E along the easterly sideline of said Walsh a distance of 126.76', more or less, to the point of beginning.

Being a portion of the premises conveyed to Grantors herein by quitclaim deed of Deutsche Bank National Trust Company, as Trustee under the pooling and servicing agreement series ITF Lot Loans 2005-11 dated September 29, 2008, and recorded at the Cumberland County Registry of Deeds in Book 26381, Page 15.

This conveyance, being the transfer of an interest in land to the owner of land abutting that land, described in a deed from Mary Beth Walsh to Grantee of even date and recorded at the Cumberland County Registry of Deeds in Book 27110, Page 365, is made further SUBJECT, however to the restriction that the above-described real estate shall not be transferred within five (5) years of the date of this conveyance to another person or entity without all of the merged land, within the meaning of 30-A MRSA § 4401(4)(D-6). By acceptance of this deed, the Grantee covenants and agrees with Grantor that the Grantee will not transfer less than the entire merged parcel within the period of five (5) years commencing on the date of this conveyance. The provisions of this paragraph shall run with the land and bind the heirs, personal representatives, and assigns of the Grantee and shall be enforceable by the grantor, his heirs, personal representatives, and assigns.

EXCEPTING AND RESERVING to the Grantors, their successors and assigns, all right, title and interest in and to the fee interest in "Michigan Avenue", so-called. The purpose of this reservation is to preserve the Grantors' rights in and to such way pursuant to 23 M.R.S.A. § 3031(4) and 33 M.R.S.A. § 460 et seq., together with the right to convey said fee interest.

Received
Recorded Register of Deeds
Jul 21, 2009 03:33:24P
Cumberland County
Pamela E. Lovley

JUL 29 2009

TRUSTEE'S DEED
(Quitclaim Deed with Covenant)
CORRECTIVE DEED

WE, **Alan E. Wolf**, of Falmouth, County of Cumberland and State of Maine and **Terry N. Snow**, of Cumberland, County of Cumberland and State of Maine, **Trustees of the James M. Wolf Revocable Intervivos Trust**, under trust instrument dated November 13, 2007, by the power conferred by law, and every other power, for One Dollar and other valuable consideration paid, GRANTS TO:

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, and described in Exhibit A annexed hereto and made a part hereof

WITNESS our hands this 28th day of JULY, 2009.

By: [Signature]
Alan E. Wolf, Trustee of the James M. Wolf Revocable Intervivos Trust

[Signature]
By: [Signature]
Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust

STATE OF MAINE
CUMBERLAND, SS.

Date: July 28, 2009

Then personally appeared the above-named Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust, as aforesaid and acknowledged the foregoing instrument to be his free act and deed and in his said capacity and the free act and deed of said Trust.

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

Before me,
[Signature]
Notary Public
Commission Expires: _____
Printed Name: _____

Exhibit A

A certain lot or parcel of land situated on the northerly side of Michigan Avenue (otherwise may be known as "Burnside Avenue"), in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at the southerly corner of Lot 265 (depicted as the westerly most lot of "Parcel One") as shown on plan entitled "Standard Boundary Survey at Burnside Avenue, Portland, for REV, INC./Record Owner: The Burnside Real Estate Trust", prepared by Back Bay Boundary, Inc. Land Surveying, dated October 25, 2004, as revised through November 19, 2004, and recorded at the Cumberland County Registry of Deeds in Plan Book 204, Page 848 (the "Plan"); thence N 56° 21' 37" E along the northerly side of said Burnside Avenue a distance of 12', more or less, to a point; thence N 33° 38' 22" W running parallel with and maintaining a distance of 12' from the westerly sideline of said Lot 265 a distance of 126.60', more or less, to the southerly boundary of land "N/F Michael Alan Perry 14927/6" as shown on said Plan; thence S 58° 49' 31" W along the northerly boundary of said Lot 265 and the southerly boundary of land of said Perry a distance of 12' feet, more or less, to the westerly sideline of said Lot 265 and the easterly sideline of land shown on said Plan as "N/F Mary Beth Walsh 12162/205"; thence S 33° 38' 22" E along the easterly sideline of said Walsh a distance of 126.76', more or less, to the point of beginning.

Being a portion of the premises conveyed to Grantors herein by quitclaim deed of Deutsche Bank National Trust Company, as Trustee under the pooling and servicing agreement series ITF Lot Loans 2005-11 dated September 29, 2008, and recorded at the Cumberland County Registry of Deeds in Book 26381, Page 15.

This conveyance, being the transfer of an interest in land to the owner of land abutting that land, described in a deed from Mary Beth Walsh to Grantee of even date and recorded at the Cumberland County Registry of Deeds in Book 27110, Page 265, is made further SUBJECT, however to the restriction that the above-described real estate shall not be transferred within five (5) years of the date of this conveyance to another person or entity without all of the merged land, within the meaning of 30-A MRSA § 4401(4)(D-6). By acceptance of this deed, the Grantee covenants and agrees with Grantor that the Grantee will not transfer less than the entire merged parcel within the period of five (5) years commencing on the date of this conveyance. The provisions of this paragraph shall run with the land and bind the heirs, personal representatives, and assigns of the Grantee and shall be enforceable by the grantor, his heirs, personal representatives, and assigns.

EXCEPTING AND RESERVING to the Grantors, their successors and assigns, all right, title and interest in and to the fee interest in "Michigan Avenue", so-called. The purpose of this reservation is to preserve the Grantors' rights in and to such way pursuant to 23 M.R.S.A. § 3031(4) and 33 M.R.S.A. § 460 et seq., together with the right to convey said fee interest.

The premises are conveyed subject to and together with the following easements:

A. Together with a five foot (5') wide drainage easement located upon and running the entire length of the westerly boundary of Grantor's retained premises (being referred to as Lot 2 on Exhibit A), and the easterly boundary of the premises herein conveyed as shown on the Site & Utility Plan annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lot 1 as shown on said Plan. This easement shall permit the owners of Lot 1 and the owner of Grantor's remaining land to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

B. Excepting and Reserving a five foot (5') wide drainage easement, located upon Lot 1 as depicted on Exhibit A and running the entire length of the easterly boundary of Lot 1 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of remaining land of Grantor as shown on the Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 1. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

C. Also conveying a temporary grading easement located on the westerly boundary of Lot 2, along a portion of the easterly boundary of the premises herein conveyed, and shown as "Temporary Grading Easement" on the Site & Utility and Grading & Drainage Plans annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lots 1 and 2 as shown on said Plan. This easement shall permit the owner of Lot 1 to grade the lot pursuant to the grading and drainage plan annexed hereto, as it may be amended, which temporary grading easement shall terminate one (1) year from the date of this deed or upon issuance of a final certificate of occupancy for Lot 1, whichever

sooner occurs. The owner of Lot 2 shall cooperate with the owner of Lot 1 for said purposes including access for personnel and equipment on Lot 2 to construct said grading and drainage area in accordance with Exhibit A grading and easement plan. This easement right is not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such grading, construction, maintenance and/or repair of Lot 1 shall be borne by the owner of Lot 1.

This conveyance is subject to a 25' Wide 'No Cut' Buffer Area along the entire northerly sideline of Lot 2 as shown on the Plan. The 'no cut buffer area' is forever restricted to the present use as a wooded area. No trees shall be cut or removed from the 'no cut buffer area', except that dead, diseased or damaged trees may be removed. No buildings or structures shall be located in the 'no cut buffer area'. No motorized vehicles shall be permitted in the 'no cut buffer area' except as needed for the removal of dead, diseased or damaged trees.

This conveyance is further together with and subject to the terms and conditions of the Notes and other Requirements as shown on Exhibit A.

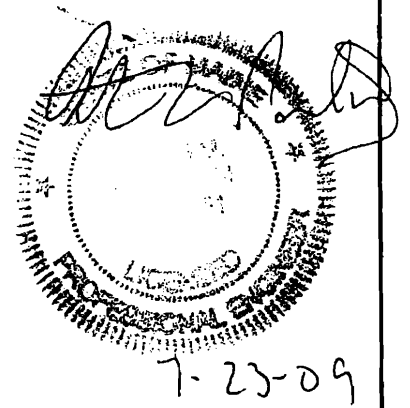
Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the respective premises, and this easement with the covenants therein shall be binding on the respective successors, heirs, devisees and assigns of the parties herein.

The purpose of this corrective deed is to include certain easement rights and grants as was previously omitted from the deed from Grantors to Grantee dated July 21, 2009, and recorded at said Registry in Book 27110, Page 266.

SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE: 6,500 S.F.
 MINIMUM FRONTAGE: 50 FT.
 MINIMUM SETBACKS:
 FRONT YARD 25 FT.
 REAR YARD 25 FT.
 SIDE YARD*
 1 STORY 8 FT.
 1 1/2 STORY 8 FT.
 2 STORY 14 FT.
 2 1/2 STORY 16 FT.
 MINIMUM LOT WIDTH: 65 FT.
 OTHER USES:



* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
5. THE DRIVEWAY ON LOT 1 IS DIRECTLY IN FRONT OF DAKOTA STREET AND/OR ABUTTING THE FORMER MICHIGAN AVENUE (OTHERWISE MAY BE KNOWN AS "BURNSIDE AVENUE"). NO PERMANENT STRUCTURE SHALL BE BUILT ON OR NEAR SAID DRIVEWAY OR THE FORMER MICHIGAN AVENUE WHICH WOULD OBSTRUCT ACCESS TO THE FORMER MICHIGAN AVENUE. PRIVATE RIGHTS TO USE THE FORMER MICHIGAN AVENUE MAY EXIST WHICH MAY ALLOW OTHERS TO TRAVEL/ACCESS THE FORMER MICHIGAN AVENUE AND A PORTION OF THE LOT 1 DRIVEWAY. AS SUCH, ALL PRESENT AND FUTURE OWNERS OF LOT 1 AGREE THAT THE LOT 1 DRIVEWAY MAY BE ALTERED BY THE CITY OF PORTLAND OR ANY OTHER PARTY TO ALLOW FOR TRAVEL/ACCESS OVER AND ON THE FORMER MICHIGAN AVENUE AND/OR DAKOTA STREET.
6. THAT THE HOUSE AND DRIVE SHALL BE BUILT AS DEPICTED ON THE APPROVED SITE PLAN.
7. THIS LOT IS SUBJECT TO A 25' WIDE 'NO CUT' BUFFER AREA ALONG THE ENTIRE NORTHERLY SIDELINE OF LOT 1 AS SHOWN ON THE PLAN. THE 'NO CUT BUFFER AREA' IS FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA. NO TREES SHALL BE CUT OR REMOVED FROM THE 'NO CUT BUFFER AREA', EXCEPT THAT DEAD, DISEASED OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE 'NO CUT BUFFER AREA'. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE 'NO CUT BUFFER AREA' EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

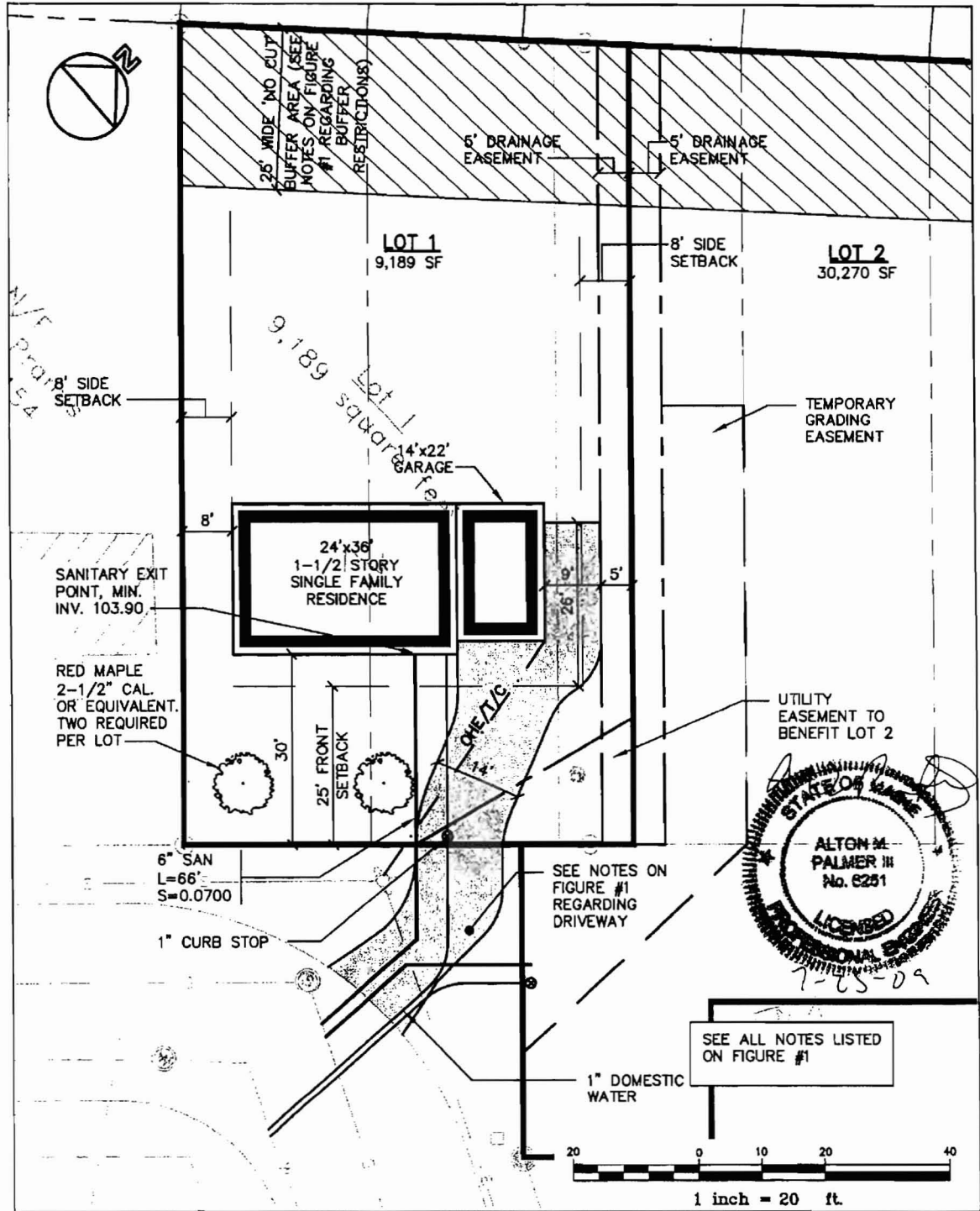
Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name: Space & Bulk Requirements
Project: LOT 1 DAKOTA STREET

Figure No. 1

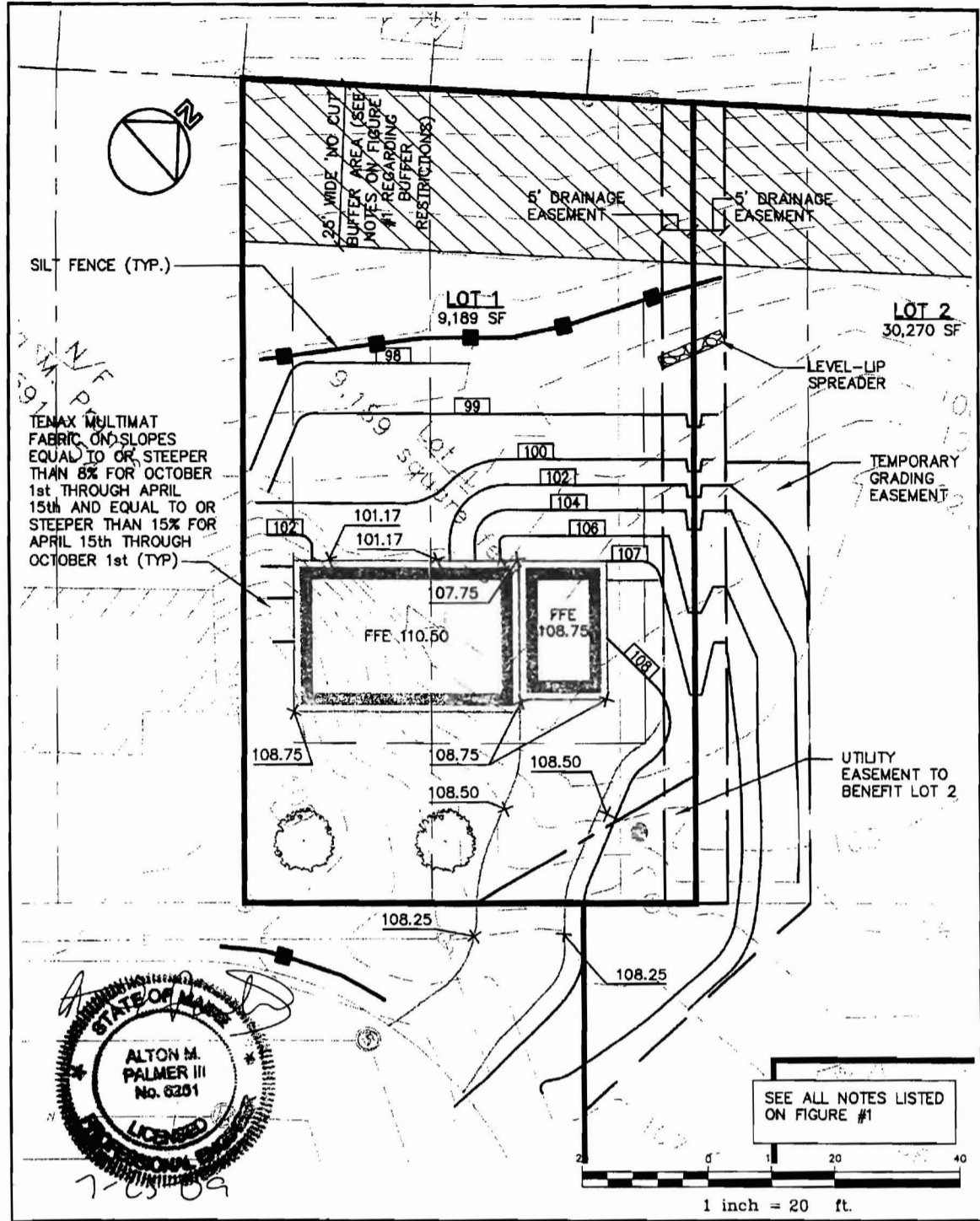


Design: JWA Date: 4/09
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149-LOT1.dwg

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-857-8910
 15 Shaker Road Fax: 207-857-8912
 Gray, ME 04039 Email: malbox@gorrillpalmer.com

Drawing Name:
Site & Utility Plan
 Project:
LOT 1 DAKOTA STREET

Figure No.
2

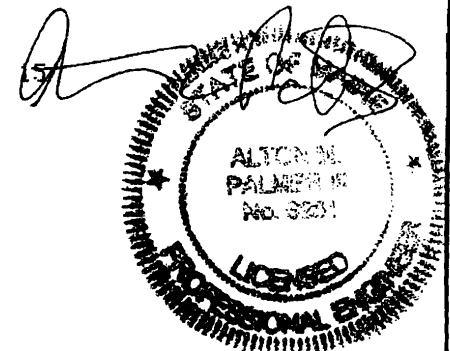


Design: JWA Date: 4/08
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149-LOT1.dwg

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-657-8910
 15 Shaker Road Fax: 207-657-8912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:
Grading & Drainage Plan
 Project:
LOT 1 DAKOTA STREET

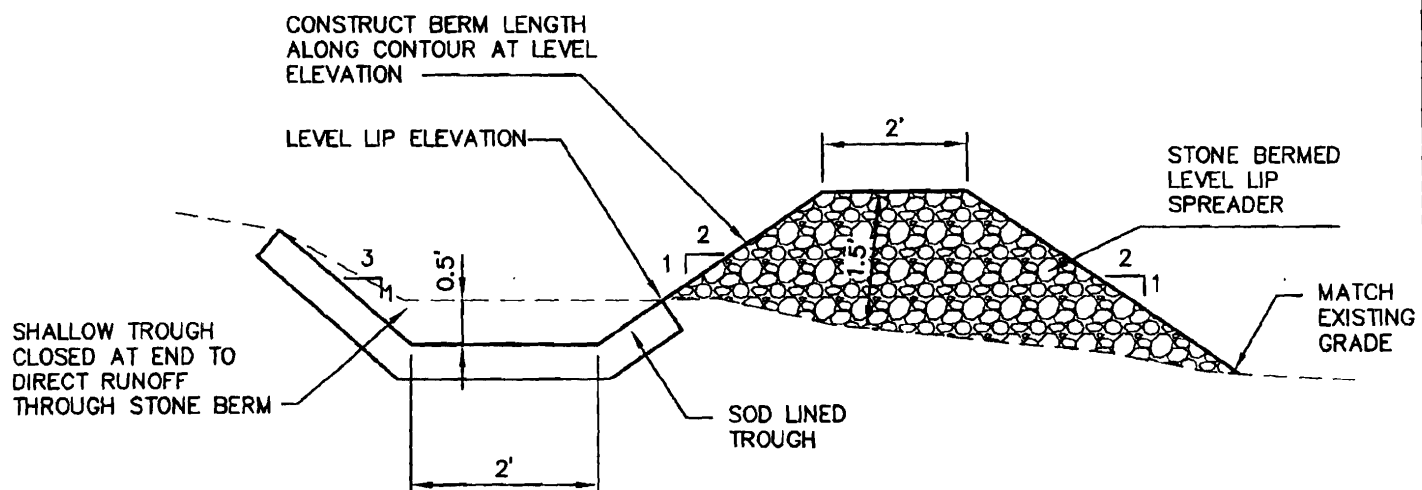
Figure No.
3



7-23-09

BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12

LEVEL LIP SPREADER		
LEVEL LIP	ELEVATION (A)	LENGTH
1	98.0'	10'



Received
 Recorded Register of Deeds
 Jul 29, 2009 11:27:42A
 Cumberland County
 Pamela E. Lovley

STONE BERM LEVEL LIP SPREADER

NOT TO SCALE

Design: JWA	Date: 4/09
Draft: CAG	Job no.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-657-8910
 15 Shaker Road Fax: 207-657-8912
 Gray, ME 04039 Email: mailbox@gorrilpalmer.com

Drawing Name:	Details
Project:	LOT 1 DAKOTA STREET

Figure No.	4
------------	---

JUL 29 2009

STATUTORY WARRANTY DEED

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

Elizabeth R. Brackett, of 84 Country Lane, in the City of Portland, County of Cumberland and State of Maine,

MAINE REAL ESTATE TAX PAID

A certain lot or parcel of land situated on the northwesterly side of Michigan Avenue (otherwise may be known as "Burnside Avenue"), in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at the easterly corner of land now or formerly of Rita M. Pramis (25591/154) and the southerly corner of Lot 267 as shown on as shown on plan entitled "The Pines, Portland, Maine, Owned by the A.H. Chapman Land Co., Portland, Maine", dated April 1925, and recorded at the Cumberland County Registry of Deeds in Plan Book 16, Page 29; thence N 47° 03' 50" W along land of said Pramis a distance of 129.18', more or less, to land now or formerly of Mary Beth Walsh (12162/205); thence N 45° 24' 03" E along the southerly sideline of said Walsh and the southerly sideline of land now or formerly of James O. Samman (24195/87) a distance of 72.07', more or less, to a point, being the northerly corner of the land conveyed to Grantor by deed dated July 21, 2009, and recorded at said Registry in Book 27110, Page 266; thence S 47° 03' 50" E along the easterly sideline of said land recorded in Book 27110, Page 266, a distance of 126.08' to the northwesterly sideline of Michigan Avenue, being the easterly corner of said land described in Book 27110, Page 266; thence S 42° 56' 10" W along the northwesterly sideline of Michigan Avenue (also known as Burnside Avenue) and Dakota Street a distance of 72.00', more or less, to the point of beginning.

For Grantor's source of title, reference can be made to deed of Mary Beth Walsh dated July 21, 2009, and recorded at the Cumberland County Registry of Deeds in Book 27110, Page 265; by deed of Alan E. Wolf and Terry N. Snow, Trustees of the James M. Wolf Revocable Intervivos Trust dated July 21, 2009, and recorded at said Registry in Book 27110, Page 266; and by Corrective Deed from Alan E. Wolf and Terry N. Snow, Trustees of the James M. Wolf Revocable Intervivos Trust dated July 28, 2009, and recorded at said Registry in Book 27134, Page 208. Further reference is made to drawings entitled Space & Bulk Requirements, Site & Utility Plan, Grading & Drainage Plan, and Details, prepared by Gorrill-Palmer Consulting Engineers, Inc., dated April 2009, which drawings are on file with the City of Portland and annexed hereto as **Exhibit A**, the lot herein conveyed being depicted as Lot 1.

The premises are conveyed subject to and together with the following easements:

A. Subject to a five foot (5') wide drainage easement located upon Lot 1 and running the entire length of the easterly boundary of the premises herein, shown as Lot 1 on the Site & Utility Plan annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lot 2 in common with Lot 1 as shown on said Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 1. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

B. Also conveying a five foot (5') wide drainage easement, located upon Lot 2 and running the entire length of the westerly boundary of Lot 2 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 1 in common with Lot 2 as shown on the Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

C. Also subject to a utility easement located on the southerly corner of Lot 1 as shown on the Plan, which easement is appurtenant to and for the benefit of Lot 2 as shown on the Plan. This easement shall permit the owners of Lot 2 to construct and perpetually maintain through, under, across and upon said parcel, utility posts, wires, equipment or the like, for conveying utilities upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said

parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 1. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

D. Also conveying a temporary grading easement located on the westerly boundary of Lot 2, along a portion of the easterly boundary of the premises herein conveyed, and shown as "Temporary Grading Easement" on the Site & Utility and Grading & Drainage Plans annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lots 1 and 2 as shown on said Plan. This easement shall permit the owner of Lot 1 to grade the lot pursuant to the grading and drainage plan annexed hereto, as it may be amended, which temporary grading easement shall terminate one (1) year from the date of this deed or upon issuance of a final certificate of occupancy for Lot 1, whichever sooner occurs. The owner of Lot 2 shall cooperate with the owner of Lot 1 for said purposes including access for personnel and equipment on Lot 2 to construct said grading and drainage area in accordance with Exhibit A grading and easement plan. This easement right is not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such grading, construction, maintenance and/or repair of Lot 1 shall be borne by the owner of Lot 1.

This conveyance is subject to a 25' Wide 'No Cut' Buffer Area along the entire northerly sideline of Lot 1 as shown on the Plan. The 'no cut buffer area' is forever restricted to the present use as a wooded area. No trees shall be cut or removed from the 'no cut buffer area', except that dead, diseased or damaged trees may be removed. No buildings or structures shall be located in the 'no cut buffer area'. No motorized vehicles shall be permitted in the 'no cut buffer area' except as needed for the removal of dead, diseased or damaged trees.

This conveyance is further together with and subject to the terms and conditions of the Notes and other Requirements as shown on the Plan, specifically, but not limited to the following:

1. The house and drive shall be built as depicted on the approved site plan filed with the City of Portland shown on Exhibit A; and
2. The driveway on Lot 1 is directly in front of Dakota Street and/or abutting the former Michigan Avenue (otherwise may be known as "Burnside Avenue"). No permanent structure shall be built on or near said driveway or the former Michigan Avenue which would obstruct access to the former Michigan Avenue. Private rights to use the former

Michigan Avenue may exist which may allow others to travel/access the former Michigan Avenue and a portion of the Lot 1 driveway. As such, all present and future owners of Lot 1 agree that the Lot 1 driveway may be altered by the City of Portland or any other party to allow for travel/access over and on the former Michigan Avenue and/or Dakota Street.

Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the respective premises, and this easement with the covenants therein shall be binding on the respective successors, heirs, devisees and assigns of the parties herein.

IN WITNESS WHEREOF, the said Diversified Properties, Inc. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President, thereunto duly authorized this 28th day of July, 2009.

Darcy L. Needham
STATE OF MAINE
CUMBERLAND, SS.
Diversified Properties, Inc.
By: James M. Wolf
James M. Wolf, Its President

Date: July 28, 2009

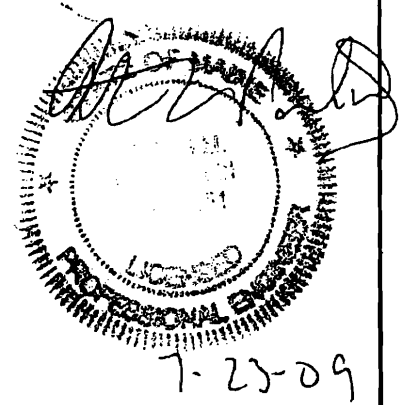
Then personally appeared the above-named JAMES M. WOLF, President of Diversified Properties, Inc., as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,
Darcy L. Needham
Attorney at Law/Notary Public
Print Name: _____

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE: 6,500 S.F.
 MINIMUM FRONTAGE: 50 FT.
 MINIMUM SETBACKS:
 FRONT YARD 25 FT.
 REAR YARD 25 FT.
 SIDE YARD*
 1 STORY 8 FT.
 1 1/2 STORY 8 FT.
 2 STORY 14 FT.
 2 1/2 STORY 16 FT.
 MINIMUM LOT WIDTH: 65 FT.
 OTHER USES:



* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

NOTES:

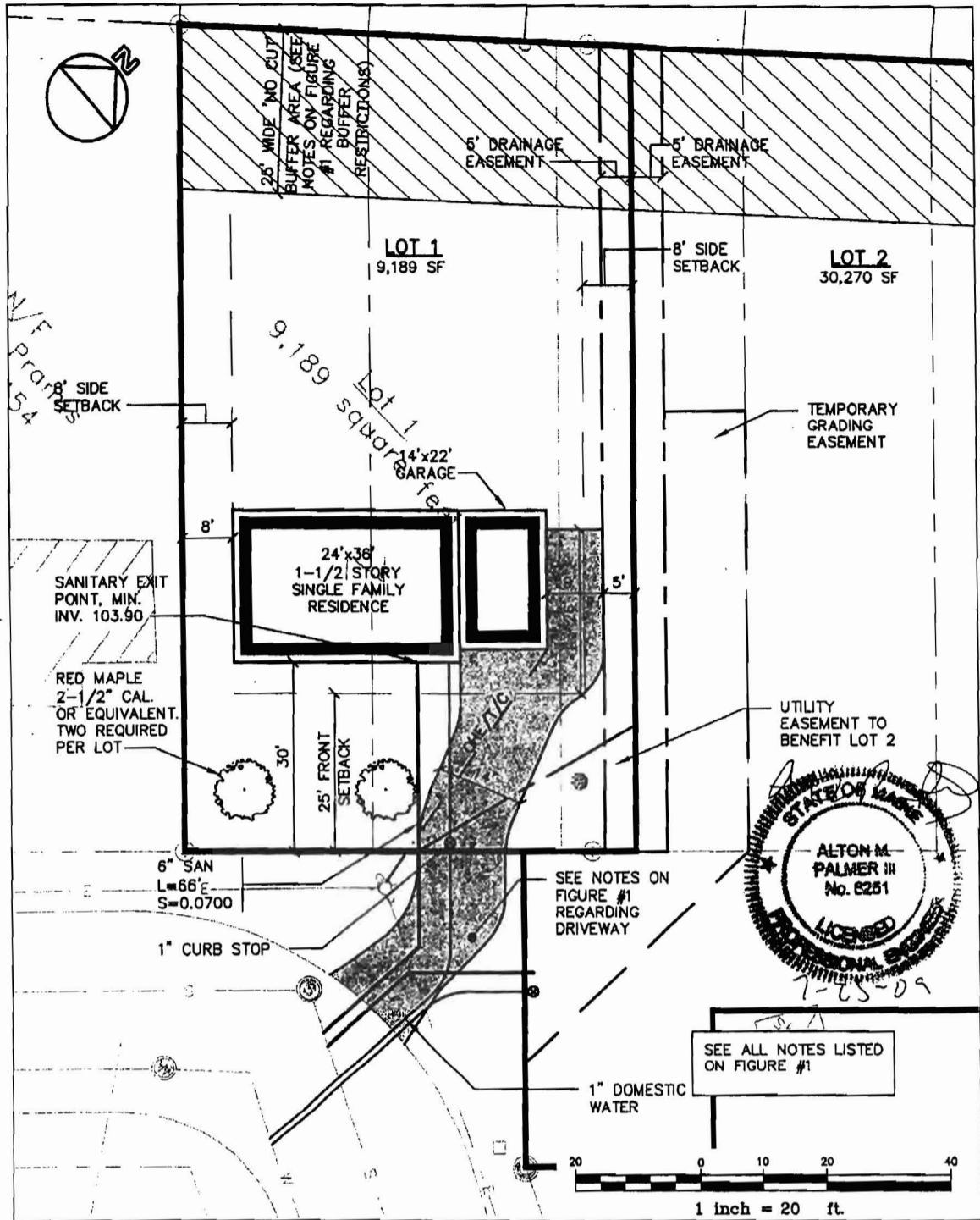
1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
5. THE DRIVEWAY ON LOT 1 IS DIRECTLY IN FRONT OF DAKOTA STREET AND/OR ABUTTING THE FORMER MICHIGAN AVENUE (OTHERWISE MAY BE KNOWN AS "BURNSIDE AVENUE"). NO PERMANENT STRUCTURE SHALL BE BUILT ON OR NEAR SAID DRIVEWAY OR THE FORMER MICHIGAN AVENUE WHICH WOULD OBSTRUCT ACCESS TO THE FORMER MICHIGAN AVENUE. PRIVATE RIGHTS TO USE THE FORMER MICHIGAN AVENUE MAY EXIST WHICH MAY ALLOW OTHERS TO TRAVEL/ACCESS THE FORMER MICHIGAN AVENUE AND A PORTION OF THE LOT 1 DRIVEWAY. AS SUCH, ALL PRESENT AND FUTURE OWNERS OF LOT 1 AGREE THAT THE LOT 1 DRIVEWAY MAY BE ALTERED BY THE CITY OF PORTLAND OR ANY OTHER PARTY TO ALLOW FOR TRAVEL/ACCESS OVER AND ON THE FORMER MICHIGAN AVENUE AND/OR DAKOTA STREET.
6. THAT THE HOUSE AND DRIVE SHALL BE BUILT AS DEPICTED ON THE APPROVED SITE PLAN.
7. THIS LOT IS SUBJECT TO A 25' WIDE 'NO CUT' BUFFER AREA ALONG THE ENTIRE NORTHERLY SIDELINE OF LOT 1 AS SHOWN ON THE PLAN. THE 'NO CUT BUFFER AREA' IS FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA. NO TREES SHALL BE CUT OR REMOVED FROM THE 'NO CUT BUFFER AREA', EXCEPT THAT DEAD, DISEASED OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE 'NO CUT BUFFER AREA'. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE 'NO CUT BUFFER AREA' EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-657-8910
 15 Shaker Road Fax: 207-657-8912
 Gray, ME 04039 Email: mail@gorrpalmar.com

Drawing Name:
Space & Bulk Requirements
 Project:
LOT 1 DAKOTA STREET

Figure No.
1



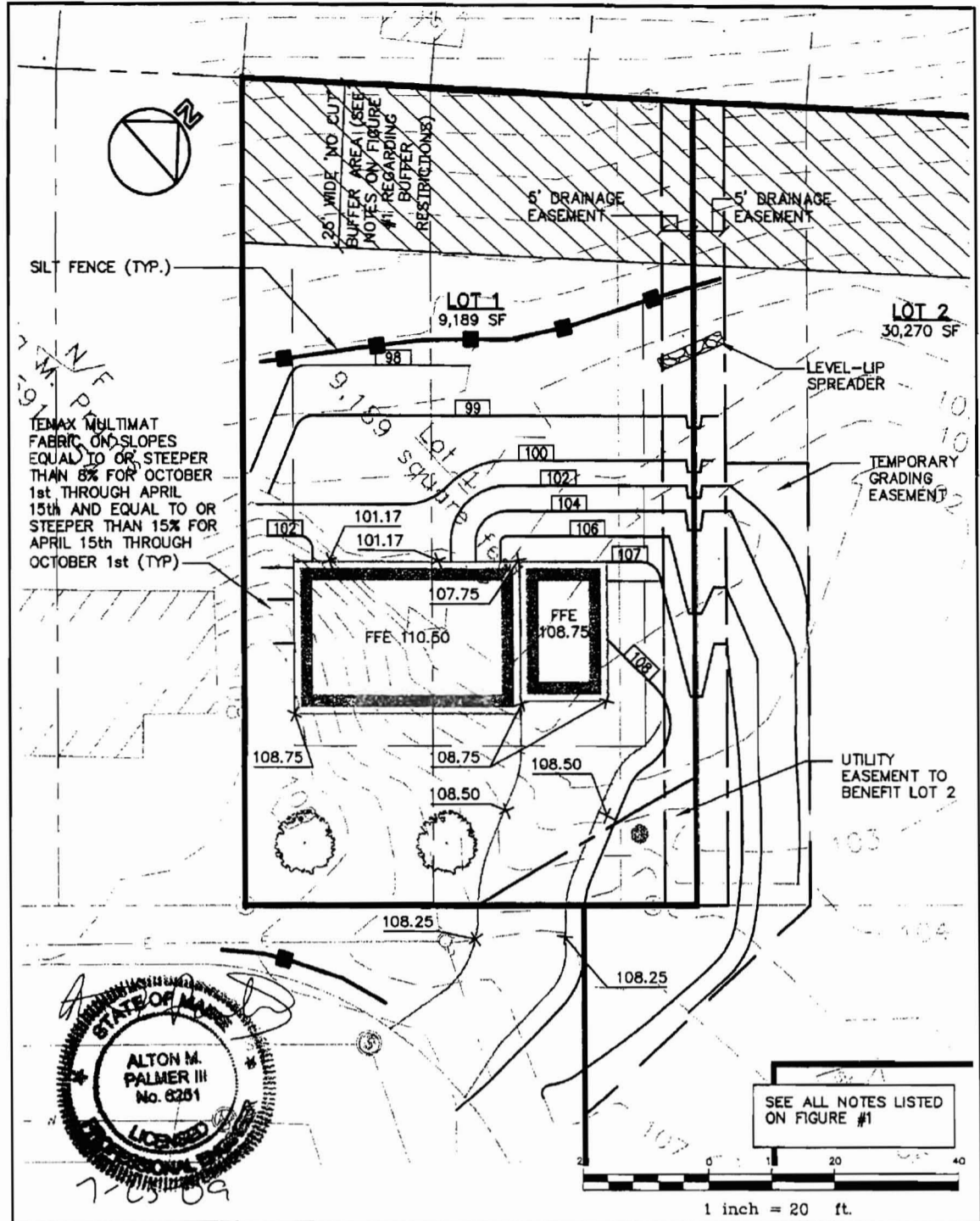
Design: JWA Date: 4/09
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149-L011.dwg

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1898
 PO Box 1237 Phone: 207-657-8910
 15 Shaker Road Fax: 207-657-8912
 Gray, ME 04039 Email: mail@gorrillpalmer.com

Drawing Name: **Site & Utility Plan**
 Project: **LOT 1 DAKOTA STREET**

Figure No. **2**



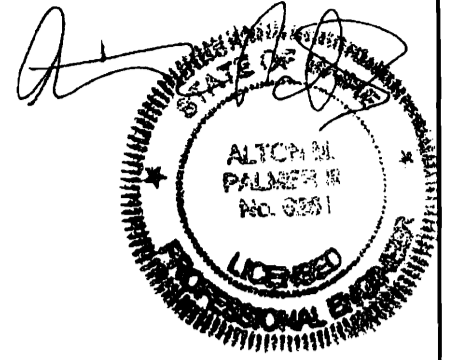


Design: JWA Date: 4/09
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149-LOT1.dwg

GP Corroll-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-657-8910
 15 Shaker Road Fax: 207-657-8912
 Gray, ME 04039 Email: malbox@corrollpalmer.com

Drawing Name:
Grading & Drainage Plan
 Project:
LOT 1 DAKOTA STREET

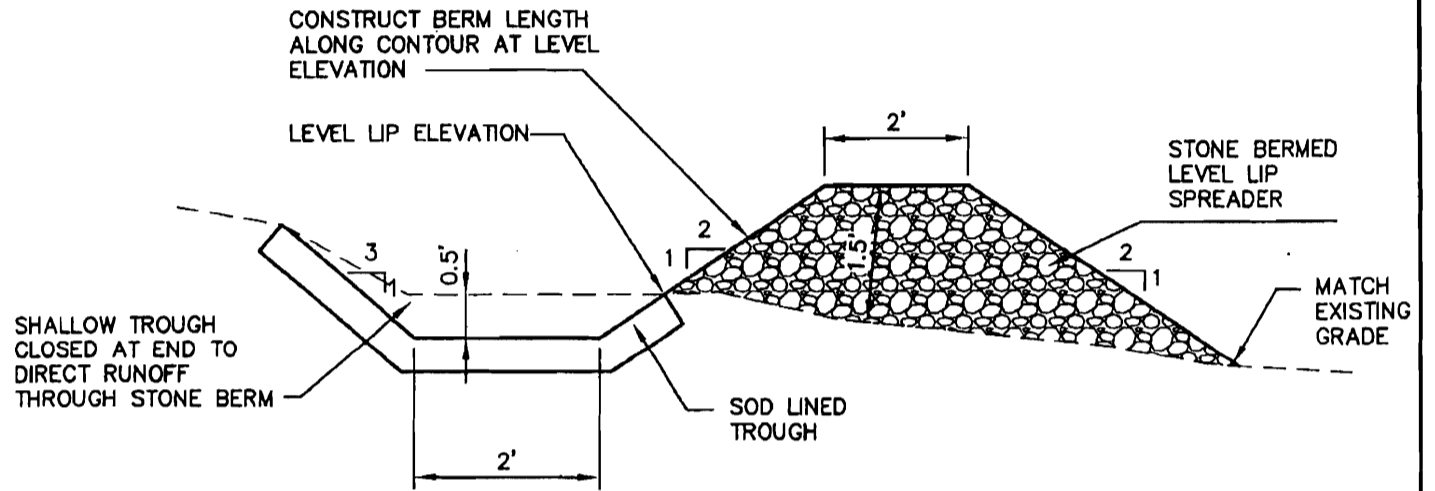
Figure No.
3



7-23-09

BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12

LEVEL LIP SPREADER		
LEVEL LIP	ELEVATION (A)	LENGTH
1	98.0'	10'



Received
 Recorded Register of Deeds
 Jul 29, 2009 11:32:52A
 Cumberland County
 Pamela E. Lovley

STONE BERM LEVEL LIP SPREADER

NOT TO SCALE

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LDT1.dwg	

GP Corrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1988

PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@corrillpalmer.com

Drawing Name:	Details
Project:	LOT 1 DAKOTA STREET

Figure No.	4
------------	---

JUN 19 2009

TYPICAL ROOF CONSTRUCTION

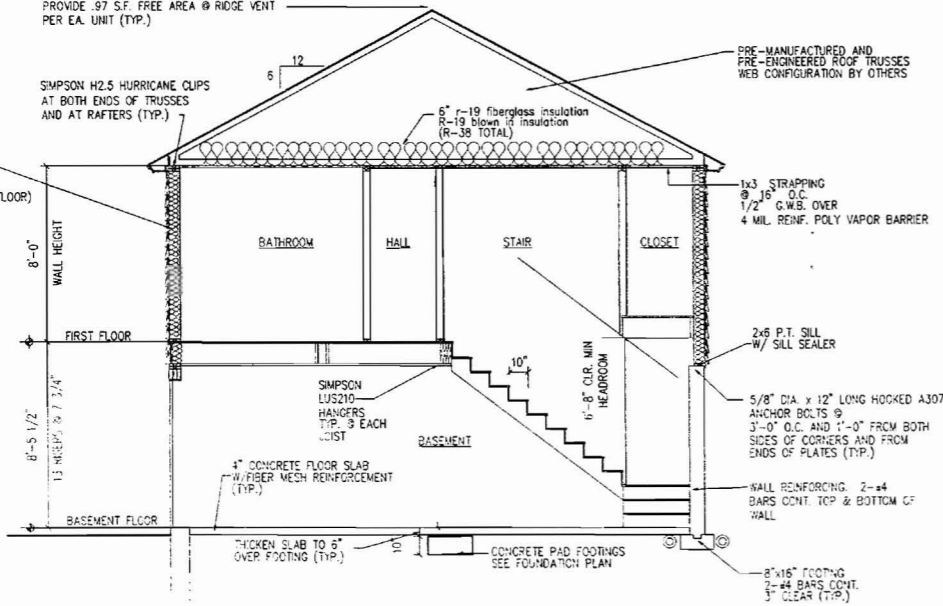
RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/ 10d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE
 #15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.

RIDGE VENT
 PROVIDE .97 S.F. FREE AREA @ RIDGE VENT PER EA. UNIT (TYP.)

SIMPSON H2.5 HURRICANE CLIPS AT BOTH ENDS OF TRUSSES AND AT RAFTERS (TYP.)

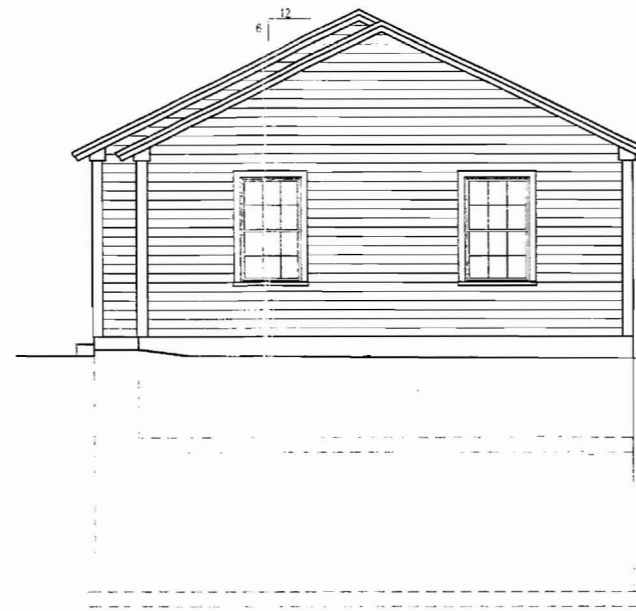
PRE-MANUFACTURED AND PRE-ENGINEERED ROOF TRUSSES WEB CONFIGURATION BY OTHERS

TYP. EXTERIOR WALL:
 1/2" G.W.B. OVER
 4 MIL. REINF. POLY VAPOR BARRIER
 2x6 STUDS @ 24" O.C. @ 16" O.C. AT FIRST FLOOR
 W/SOLID 2x4 BLOCKING AT ALL SHEATHING PANEL EDGES
 7/16" APA RATED SHEATHING
 10d NAILS - RING SHANK @ 4" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE (TYP.) OVER COHT. BLDG. WRAP UNDER VINYL SIDING



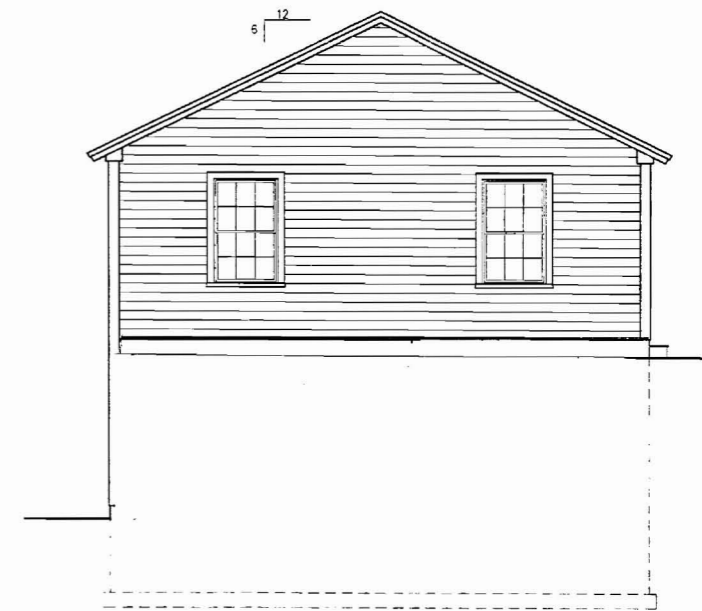
SECTION THRU HOUSE

SCALE : 1/4" = 1' - 0"



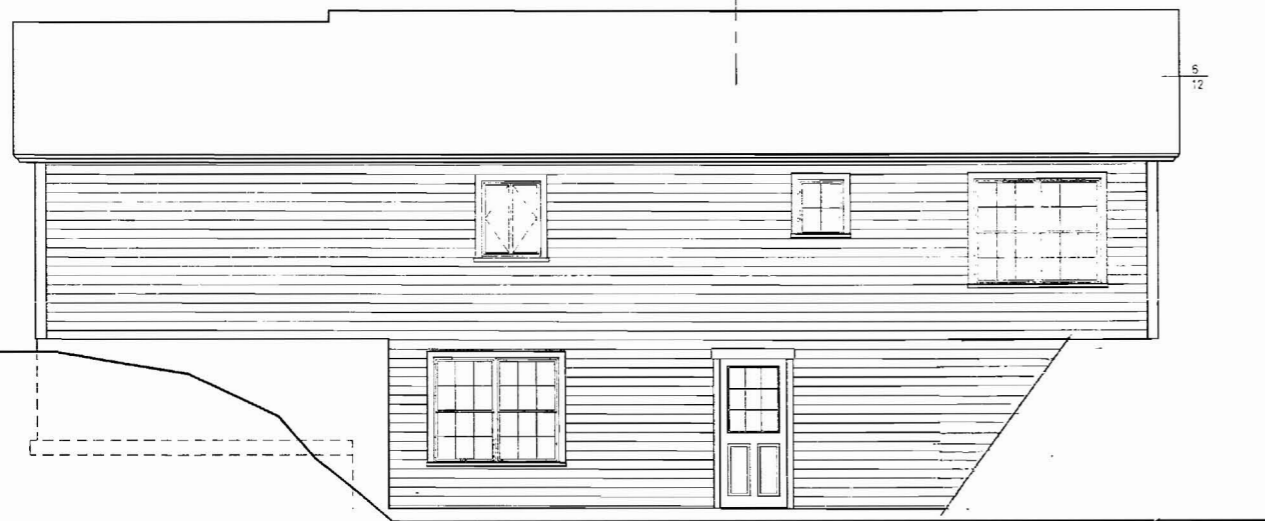
RIGHT SIDE ELEVATION

SCALE : 1/4" = 1' - 0"



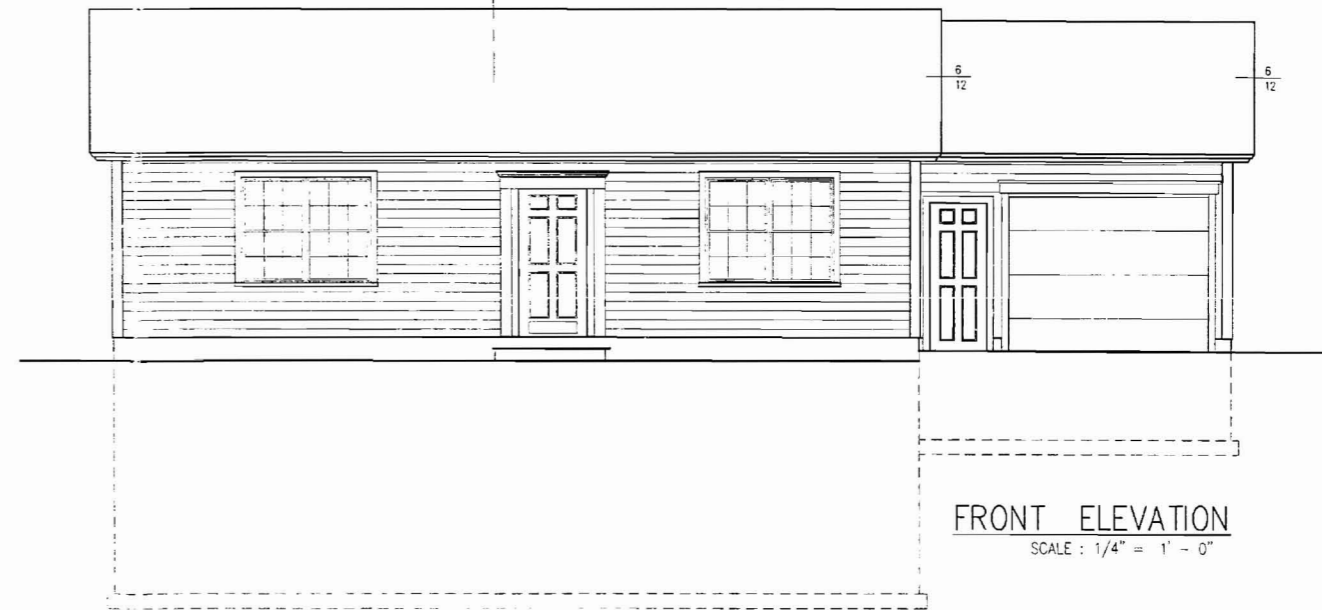
LEFT SIDE ELEVATION

SCALE : 1/4" = 1' - 0"



REAR ELEVATION

SCALE : 1/4" = 1' - 0"



FRONT ELEVATION

SCALE : 1/4" = 1' - 0"

29 Dakota St.
 24x36 RANCH

FOUNDATIONS & FLOOR PLAN

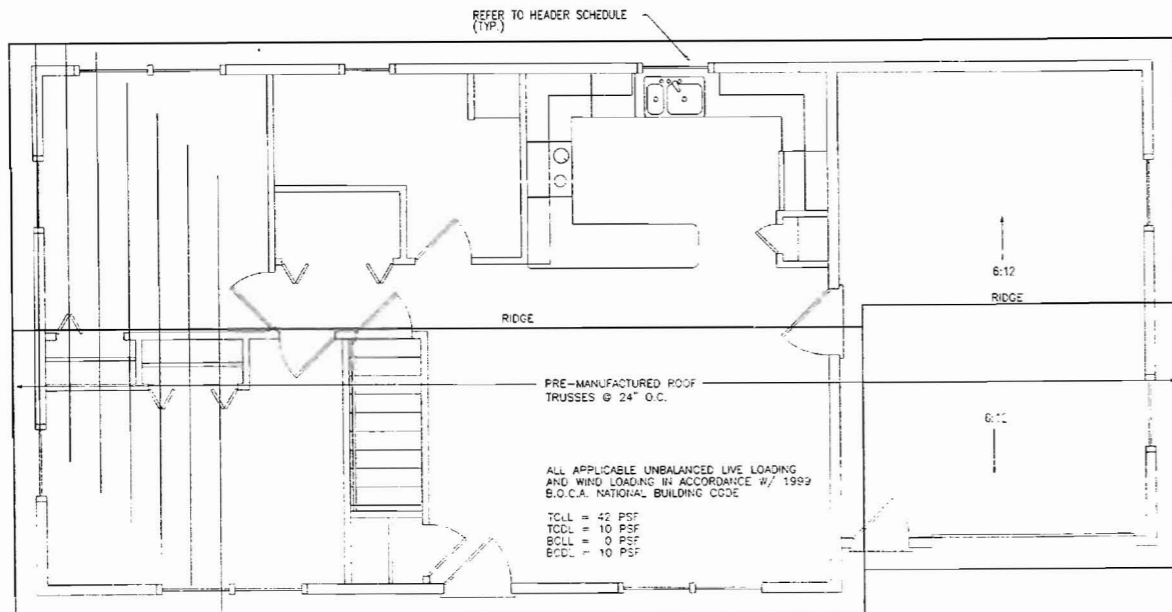
DATE
 04/27/09

A2

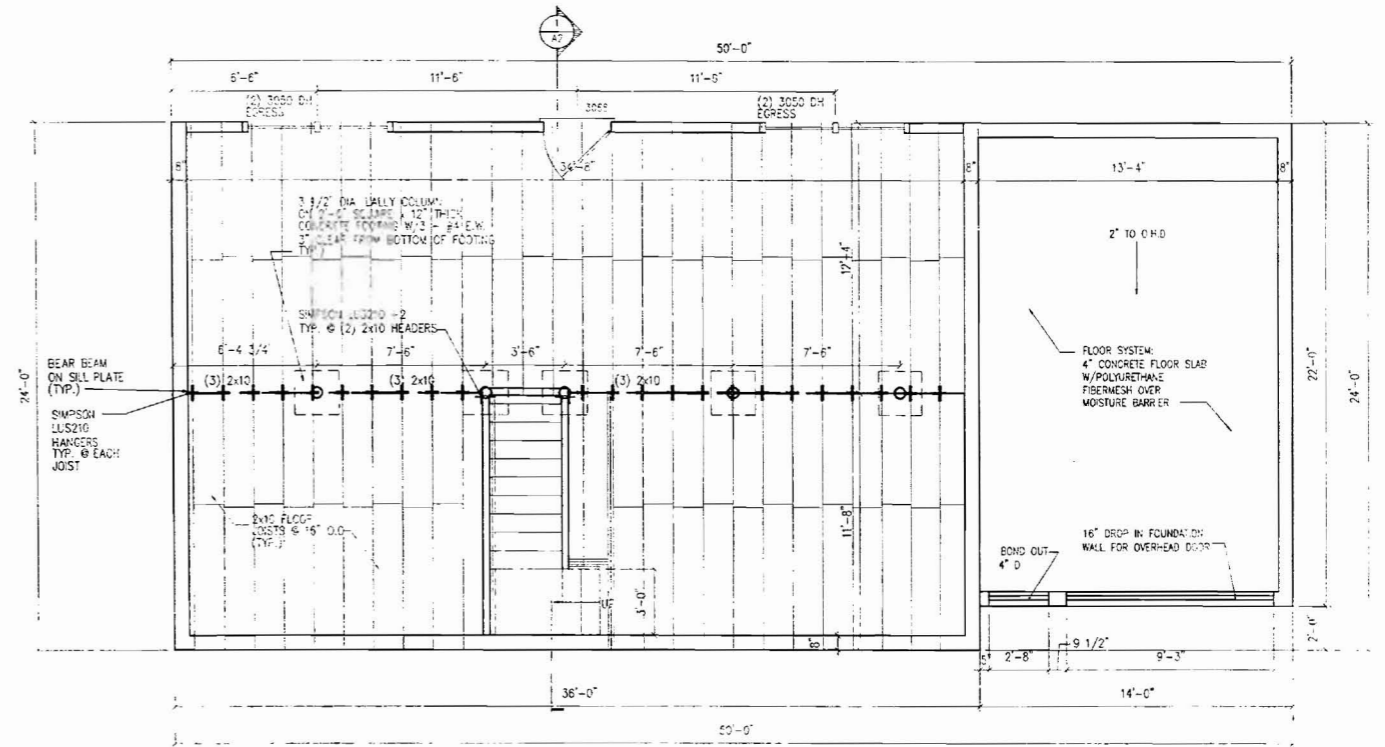
JUN 19 2009

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x5
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

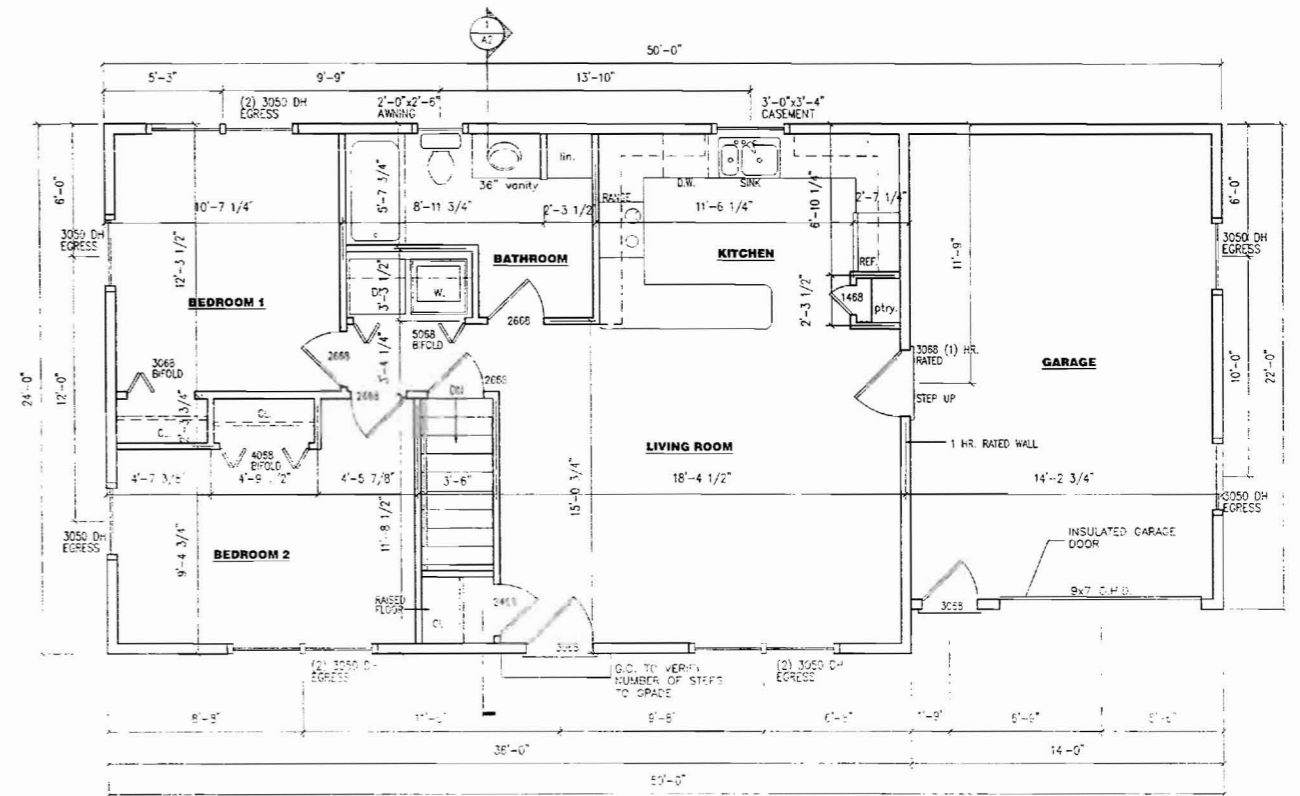
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



ROOF PLAN
 SCALE: 1/4" = 1' - 0"



FOUNDATION PLAN
 SCALE: 1/4" = 1' - 0"



FIRST FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

29 Dakota St

FOUNDATIONS & FLOOR PLAN

A1