

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 090403

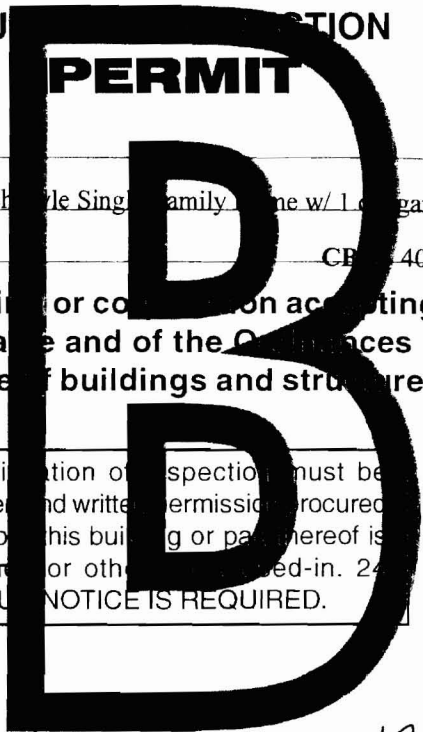
Please Read Application And Notes, If Any, Attached

This is to certify that Wolf James/James Wolf

has permission to New 24' x 36' 2 bedroom Ranch style Single family home w/ 1 car garage

AT 29 DAKOTA ST CB# 407 H016001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise occupied-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED
JUL 28 2009
CITY OF PORTLAND

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas M. Macleay 7/28/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: October 23, 2009

RE: C. of O. for # 29 Dakota Street
(Id#2009-0042) (CBL 407 H 016001)

After visiting the site, I have the following comments:

Site work complete

At this time, I recommend issuing a permanent Certificate of Occupancy.

Cc: Barbara Barhydt, Development Review Services Manager
Tammy Munson, Director of Inspection Services
File: Urban Insight

- 8-24-09 OK - backfill foundation, waterproof + drainage.
- 9-10-09 OK - ...
- 9-11-09 NOT OK - ...
- 9-11-09 OK - ...

10/22/09 Final - all set
 JAR

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date _____

Permit # 2009-4511

CBL# 407-H-16

LOCATION: 29 Dakota St METER MAKE & # _____
 CMP ACCOUNT # 441829221001 OWNER B. B.
 TENANT _____ PHONE # _____

TOTAL EACH FEE

OUTLETS	<u>40</u>	Receptacles	<u>20</u>	Switches	<u>7</u>	Smoke Detector		.20	
FIXTURES	<u>20</u>	Incandescent		Fluorescent		Strips		.20	
SERVICES	<u>1</u>	Overhead		Underground		TTL AMPS <800		15.00	
		Overhead		Underground		>800		25.00	
Temporary Service		Overhead		Underground		TTL AMPS		25.00	
								25.00	
METERS	<u>1</u>	(number of)						1.00	
MOTORS		(number of)						2.00	
RESID/COM		Electric units						1.00	
HEATING		oil/gas units		Interior		Exterior		5.00	
APPLIANCES	<u>1</u>	Ranges		Cook Tops		Wall Ovens		2.00	
		Insta-Hot		Water heaters	<u>3</u>	Fans		2.00	
	<u>1</u>	Dryers	<u>1</u>	Disposals	<u>1</u>	Dishwasher		2.00	
		Compactors		Spa	<u>1</u>	Washing Machine		2.00	
		Others (denote)						2.00	
MISC. (number of)		Air Cond/win						3.00	
		Air Cond/cent				Pools		10.00	
		HVAC		EMS		Thermostat		5.00	
		Signs						10.00	
		Alarms/res						5.00	
		Alarms/com						15.00	
		Heavy Duty(CRKT)						2.00	
		Circus/Carnv						25.00	
		Alterations						5.00	
		Fire Repairs						15.00	
		E Lights						1.00	
		E Generators						20.00	
	PANELS		Service		Remote	<u>1</u>	Main		4.00
TRANSFORMER		0-25 Kva						5.00	
		25-200 Kva						8.00	
		Over 200 Kva						10.00	
							TOTAL AMOUNT DUE		
							MINIMUM FEE/COMMERCIAL 55.00	MINIMUM FEE 45.00	<u>53.40</u>

CONTRACTORS NAME ABL Electric LLC MASTER LIC. # MS60019505
 ADDRESS 13 Wilson St LIMITED LIC. # _____
 TELEPHONE 207-504-1994

SIGNATURE OF CONTRACTOR [Signature]

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0403	Issue Date:	CBL: 407 H016001 ¹ / ₁₇
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Location of Construction: 29 DAKOTA ST	Owner Name: Wolf James	Owner Address: P O Box 10127	Phone: 773-4988
Business Name:	Contractor Name: James Wolf	Contractor Address: P.O. Box 10127 Portland	Phone: 2077734988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

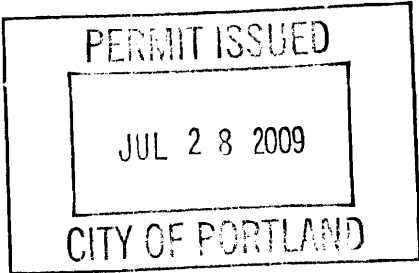
Past Use: Vacant Land	Proposed Use: Single Family - New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage	Permit Fee: \$1,045.00	Cost of Work: \$95,000.00	CEO District: 4
Proposed Project Description: New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB JRC 2003 Signature: <i>Jm</i> 7/28/09	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Ldobson	Date Applied For: 05/01/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2009-0042</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/conditions</i> Date: <i>7/28/09</i> <i>ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>29 Dakota Street</u>		
Total Square Footage of Proposed Structure/Area <u>564</u>		Square Footage of Lot <u>9,189</u>
Tax Assessor's Chart, Block & Lot Chart# <u>407</u> Block# <u>H</u> Lot# <u>16-17 and a portion of 18</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>James Wolf</u> Address <u>P.O. Box 10127</u> City, State & Zip <u>Portland, ME 04114</u>	Telephone: <u>773-4988</u> <u>831-4988</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Mary Beth Walsh</u> Address <u>121 Maine Ave.</u> City, State & Zip <u>Portland, ME</u> <u>ret. by James Wolf</u>	Cost Of Work: \$ <u>95,000⁰⁰</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>1,345</u>
Current legal use (i.e. single family) <u>VACANT land</u>		
If vacant, what was the previous use? _____		<u>970</u>
Proposed Specific use: <u>Single family home</u>		<u>300</u>
Is property part of a subdivision? <u>No</u> If yes, please name _____		<u>75</u>
Project description: <u>24x36 - 2 BEDROOM R+LCH 1 car garage</u> <u>1 Bath -</u>		<u>1,345</u>
Contractor's name: <u>CB Properties</u>		
Address: <u>84 Country Lane</u>		
City, State & Zip: <u>Portland ME 04103</u>		Telephone: <u>756-0687</u>
Who should we contact when the permit is ready: <u>Dwight Brackett</u>		Telephone: _____
Mailing address: <u>84 Country Lane</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 4-13-09

This is not a permit; you may not commence ANY work until the permit is issued

MAY - 1 2009

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0403	Date Applied For: 05/01/2009	CBL: 407 H016001
-----------------------	---------------------------------	---------------------

Location of Construction: 29 DAKOTA ST	Owner Name: Wolf James	Owner Address: P O Box 10127	Phone: () 773-4988
Business Name:	Contractor Name: James Wolf	Contractor Address: P.O. Box 10127 Portland	Phone (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family - New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage	Proposed Project Description: New 24' x 36' 2 bedroom Ranch style Single Family Home w/ 1 car garage
---	---

Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 07/28/2009

Note: Ok to Issue:

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Tom Markley Approval Date: 06/29/2009

Note: Ok to Issue:

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: DRC Status: Approved with Conditions Reviewer: Jean Fraser Approval Date:

Note: Ok to Issue:

Comments:

5/13/2009-amachado: Email from Jean Fraser to Jim Wolf saying that the Planning Division has the siteplan for the single family home on Dalkota on hold pending some issues.

6/23/2009-amachado: Received scalable siteplan.

6/24/2009-amachado: Zoning review is complete. Moving permit forward in the system to be reviewed by building. Not signing off until I get the OK from Planning about the conditions on the site plan and the deed.

6/18/2009-amachado: Received email from Jean that the review could move forward once the revised siteplan & deed are received. I called Jim Wolf. The siteplan on the PDF does not scale. The required notes are not included and there is no deed. I need a full size plan of A2(elevations) and I need an elevation that shows the average grade in relation to the basement - Is more than half above grade?

6/19/2009-amachado: Dwight Brackett brought in a revised elevation plan both full size & 11" x 17" which shows only a partial daylight basement.

6/29/2009-tm: Building review completed and waiting for legal/zoning issues to be resolved before issuance. Returned to Ann.

Location of Construction: 29 DAKOTA ST	Owner Name: Wolf James	Owner Address: P O Box 10127	Phone: () 773-4988
Business Name:	Contractor Name: James Wolf	Contractor Address: P.O. Box 10127 Portland	Phone (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

7/28/2009-amachado: Received final siteplan approval & deeds from Planning.

From: Jean Fraser
To: Wolf, Jim
Date: 7/28/2009 2:38:20 PM
Subject: RE: FW: Lot 1, Dakota

Jim,

I confirm that the Planning Division has "signed off" on the submitted plan set (Figs 1-4, dated 7.23.09) and the revised Statutory Warranty Deed (as received yesterday), subject to a condition that requires the recorded copy of the Trustees Deed Corrective Deed (language as sent to me yesterday) to be sent to me by the end of July 29, 2009 (along with the recorded copy of the Warranty Deed when it is available).

Please note that Building Inspections (Ann Machado) will be giving this plan set and the deeds one last check before authorizing the issue of the building permit, but if there have not been any changes and the plans are to scale I do not anticipate any issues arising.

Jean

Jean Fraser
Planner, City of Portland
874 8728

>>> "Jim Wolf" <jmw1@maine.rr.com> 7/28/2009 1:25:37 PM >>>
Do we have a timeframe??

Can we have the permit processed so that it can be issued once Danielle gives it her blessing?

James M. Wolf
Diversified Properties, Inc.
Post Office Box 10127
Portland, Maine 04104
1-207-773-4988
1-207-773-6875 fax

This electronic transmission may be privileged and contain confidential information. It is not intended nor may it be received by any unauthorized persons. If you have received this transmission in error, please destroy without copying it and notify the sender by calling sender at 207-773-4988 or reply to sender of this email. Thank you.

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Tuesday, July 28, 2009 1:03 PM
To: jmw1@maine.rr.com
Subject: RE: FW: Lot 1, Dakota

No; Legal can not do the final review in that timescale.

>>> "Jim Wolf" <jmw1@maine.rr.com> 7/28/2009 11:46:34 AM >>>
Hi Jean

Do you have an update for me? The buyer was hoping to have the permit to

Applicant: James Wolf

Date: 6/23/09

Address: 29 Dakota St.

C-B-L: 407-H-016

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build one story, 24x36 single family w/ 14'x22" single car garage.

Sewage Disposal - City

Lot Street Frontage - 50' min - 54' scaled

Front Yard - 25' min - 30' scaled given

Rear Yard - 25' min - 73' scaled

Side Yard - 1 story 8' min - 3' scaled on left
14' scaled on right

Projections -

Width of Lot - 65' min - 72' scaled

Height - 35' max - 20.25' scaled from lowest grade in rear.

Lot Area - 6500 ϕ min. - 9189 given

Lot Coverage/Impervious Surface - 35% = 2275 ϕ OK

24 x 36 = 864
14 x 22 = 308

Area per Family - 6,500 ϕ OK

1172 ϕ

Off-street Parking - 2 spaces required - 1 in garage, one beside garage.

Loading Bays - N/A

Site Plan - minor/mirror 2009-0042

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - zone X.

* partial day light basement

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2009-0042

Application I. D. Number

5/1/2009

Application Date

Marge Schmuckal

Wolf James M

Applicant

Po Box 10127, Portland , ME 04104

Applicant's Mailing Address

Dwight Brackett

Consultant/Agent

Agent Ph: (207)772-8629

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

29 - 29 Dakota St , Portland, Maine

Address of Proposed Site

407 H016001

Assessor's Reference: Chart-Block-Lot

Single Family Home

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Site Location |
| <input type="checkbox"/> After the Fact - Major | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> After the Fact - Minor | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision Engineer Review \$250.00 Date 5/4/2009

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

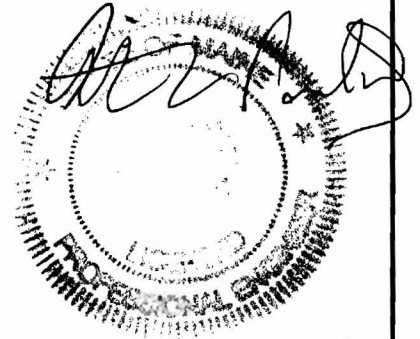
RECEIVED

JUL 24 2009

City of Portland

SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	65 FT.



7-23-09

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7-28-2009

NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
5. THE DRIVEWAY ON LOT 1 IS DIRECTLY IN FRONT OF DAKOTA STREET AND/OR ABUTTING THE FORMER MICHIGAN AVENUE (OTHERWISE MAY BE KNOWN AS "BURNSIDE AVENUE"). NO PERMANENT STRUCTURE SHALL BE BUILT ON OR NEAR SAID DRIVEWAY OR THE FORMER MICHIGAN AVENUE WHICH WOULD OBSTRUCT ACCESS TO THE FORMER MICHIGAN AVENUE. PRIVATE RIGHTS TO USE THE FORMER MICHIGAN AVENUE MAY EXIST WHICH MAY ALLOW OTHERS TO TRAVEL/ACCESS THE FORMER MICHIGAN AVENUE AND A PORTION OF THE LOT 1 DRIVEWAY. AS SUCH, ALL PRESENT AND FUTURE OWNERS OF LOT 1 AGREE THAT THE LOT 1 DRIVEWAY MAY BE ALTERED BY THE CITY OF PORTLAND OR ANY OTHER PARTY TO ALLOW FOR TRAVEL/ACCESS OVER AND ON THE FORMER MICHIGAN AVENUE AND/OR DAKOTA STREET.
6. THAT THE HOUSE AND DRIVE SHALL BE BUILT AS DEPICTED ON THE APPROVED SITE PLAN.
7. THIS LOT IS SUBJECT TO A 25' WIDE 'NO CUT' BUFFER AREA ALONG THE ENTIRE NORTHERLY SIDELINE OF LOT 1 AS SHOWN ON THE PLAN. THE 'NO CUT BUFFER AREA' IS FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA. NO TREES SHALL BE CUT OR REMOVED FROM THE 'NO CUT BUFFER AREA', EXCEPT THAT DEAD, DISEASED OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE 'NO CUT BUFFER AREA'. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE 'NO CUT BUFFER AREA' EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

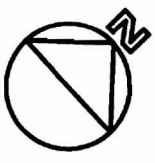
Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name: Space & Bulk Requirements
Project: LOT 1 DAKOTA STREET

Figure No. 1



RECEIVED
JUL 24 2009
8' SIDE SETBACK

City of Portland
Planning Division

25' WIDE 'NO CUT'
BUFFER AREA (SEE
NOTES ON FIGURE
#1 REGARDING
BUFFER
RESTRICTIONS)

5' DRAINAGE
EASEMENT

5' DRAINAGE
EASEMENT

LOT 1
9,189 SF

LOT 2
30,270 SF

8' SIDE
SETBACK

Used for
Zoning

TEMPORARY
GRADING
EASEMENT

14'x22'
GARAGE

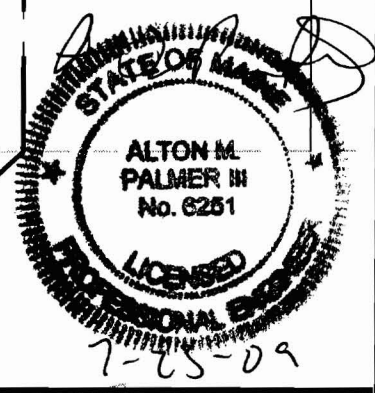
24'x36'
1-1/2 STORY
SINGLE FAMILY
RESIDENCE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 7-28-2009

SANITARY EXIT
POINT, MIN.
INV. 103.90

RED MAPLE
2-1/2" CAL.
OR EQUIVALENT.
TWO REQUIRED
PER LOT

UTILITY
EASEMENT TO
BENEFIT LOT 2



6" SAN
L=66'
S=0.0700

SEE NOTES ON
FIGURE #1
REGARDING
DRIVEWAY

1" CURB STOP

SEE ALL NOTES LISTED
ON FIGURE #1

1" DOMESTIC
WATER



1 inch = 20 ft.

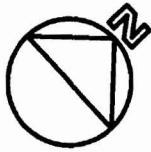
Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
15 Shaker Road Fax: 207-657-6912
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:	Site & Utility Plan
Project:	LOT 1 DAKOTA STREET

Figure No.	2
------------	----------



SIL FENCE (TYP.)

25' WIDE 'NO CUT' BUFFER AREA (SEE NOTES ON FIGURE #1 REGARDING BUFFER RESTRICTIONS)

5' DRAINAGE EASEMENT

5' DRAINAGE EASEMENT

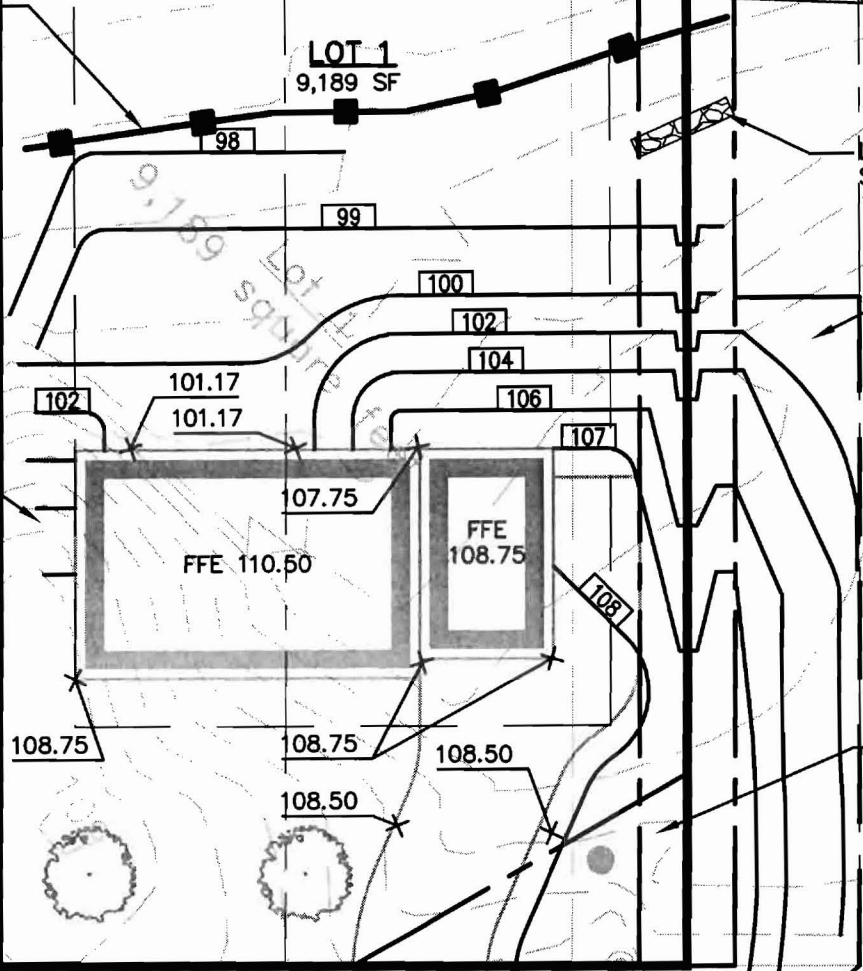
LOT 1
9,189 SF

LOT 2
30,270 SF

LEVEL-LIP SPREADER

TEMPORARY GRADING EASEMENT

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

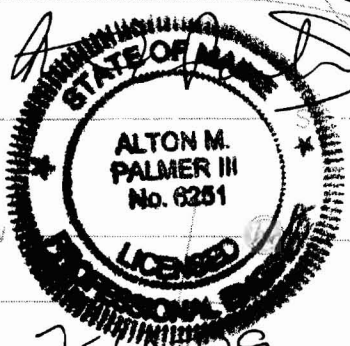


UTILITY EASEMENT TO BENEFIT LOT 2

RECEIVED

JUL 24 2009

City of Portland
Planning Division



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 7-28-2009

SEE ALL NOTES LISTED ON FIGURE #1



1 inch = 20 ft.

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

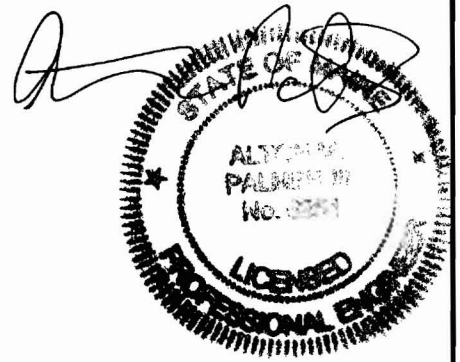
GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
15 Shaker Road Fax: 207-657-6912
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:
Grading & Drainage Plan

Project:
LOT 1 DAKOTA STREET

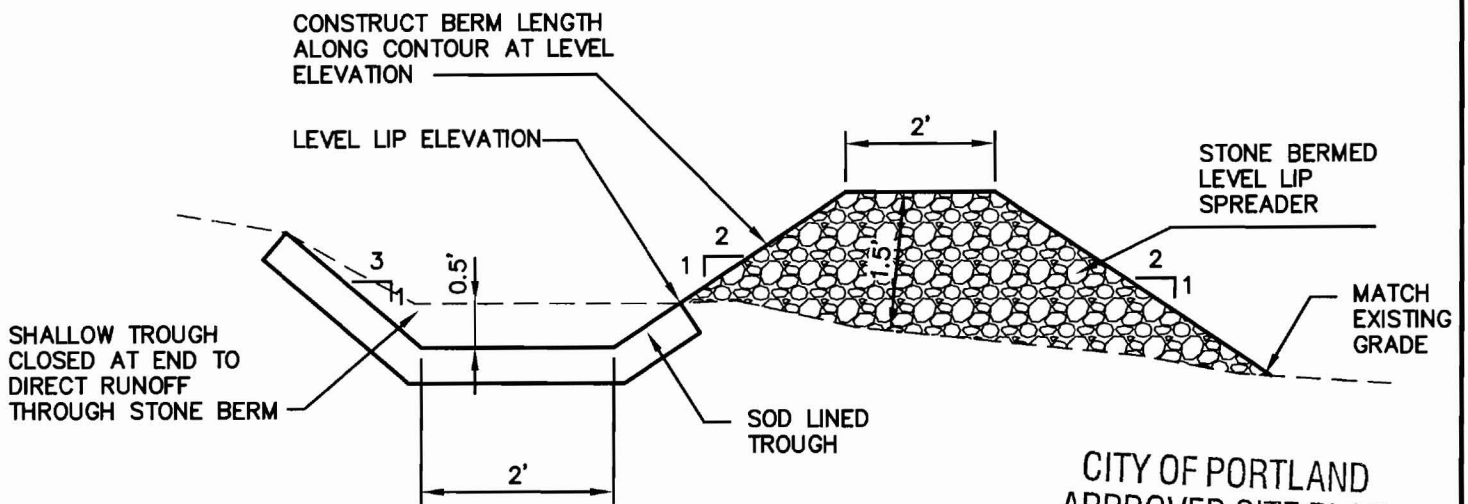
Figure No.
3



7-23-09

BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12

LEVEL LIP SPREADER		
LEVEL LIP	ELEVATION (A)	LENGTH
1	98.0'	10'



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7-28-2009

RECEIVED

JUL 24 2009

City of Portland
 Planning Division

STONE BERM LEVEL LIP SPREADER

NOT TO SCALE

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

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 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name: Details
Project: LOT 1 DAKOTA STREET

Figure No. 4

29 DAKOTA ST

407-A-01601

9-0403

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)	OK			
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8x16 Footings w/ 8" concrete wall	OK		
? Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Filter fabric - stone perimeter for piping -	per Dwight Braker 6/29/19		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	OK		
Anchor Bolts/Straps, spacing (Section R403.1.6)	per IRC 2103	OK		
Lally Column Type (Section R407) Girder & Header Spans (Table R 502.5(2))	12 inch concrete Footings 3/12 lally -	OK		
Built-Up Wood Center Girder Dimension/Type	3 (2x10)	OK		
Sill/Band Joist Type & Dimensions	2x6 pt sill	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 Joists 16" OC	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NA	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Roof Trusses -	OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	6/12 pitch pre-engineered trusses 24" o c	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	7/16 waks 5/8 ceiling	
Fastener Schedule (Table R602.3(1) & (2))	per IRC	203
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	no 1 hr Rated wall	
Emergency Escape and Rescue Openings (Section R310)	Egress windows	OK
Roof Covering (Chapter 9)	shingles - 5/8 sheathing Felt paper waterproofing	OK
Safety Glazing (Section R308)		
Attic Access (Section R807)	NA	
Chimney Clearances/Fire Blocking (Chap. 10)	NA	
Header Schedule (Section 502.5(1) & (2))	see plans w/schedule note	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U- Factor Fenestration	R21 walls - R38 ceilings R21 floor	OK

Type of Heating System	Forced Hot Water system per D. Brachert	
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways	1	OK
Interior	1	
Exterior	0	
Treads and Risers (Section R311.5.3)	max rise - 10 inch tread	
Width (Section R311.5.1)	3 FT min.	
Headroom (Section R311.5.2)	6' 8"	per D. Brachert
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	34-38 Handrail	
Smoke Detectors (Section R313) Location and type/Interconnected	each Bedroom - Hardwired Battery Back up - interconnected	OK per D. Brachert
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	per IRC 2103	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NA	
Deck Construction (Section R502.2.1)	NA	

JUL 22 2009

STATUTORY WARRANTY DEED

I, **Mary Beth Walsh**, of 121 Maine Avenue, in the City of Portland, County of Cumberland and State of Maine,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

Certain lots or parcels of land, with the buildings and improvements thereon, situated in the City of Portland, County of Cumberland and State of Maine, and being Lots 266 and 267 as shown on plan entitled "The Pines, Portland, Maine, Owned by the A.H. Chapman Land Co., Portland, Maine", dated April 1925, and recorded at the Cumberland County Registry of Deeds in Plan Book 16, Page 29

Being a portion of the premises conveyed to Grantor herein by deed of Carol K. Wallace dated October 13, 1995, and recorded at the Cumberland County Registry of Deeds in Book 12162, Page 205.

Also conveying all of my right, title, and interest in and to "Michigan Avenue".

WITNESS my hand this 21 day of July, 2009.

Mary Beth Walsh

Mary Beth Walsh
Mary Beth Walsh

STATE OF MAINE
CUMBERLAND, SS.

Date: 7/21/09, 2009

Then personally appeared the above-named MARY BETH WALSH and acknowledged the foregoing instrument to be her free act and deed.

Before me,

Darcy L. Needham
Attorney at Law/Notary Public

Print Name: _____
My Commission Expires: _____

Received
Recorded Register of Deeds
Jul 21, 2009 03:31:16P
Cumberland County
Pamela E. Lovley

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

MAINE REAL ESTATE TAX PAID

JUL 22 2009

TRUSTEE'S DEED

(Quitclaim Deed with Covenant)

WE, **Alan E. Wolf**, of Falmouth, County of Cumberland and State of Maine and **Terry N. Snow**, of Cumberland, County of Cumberland and State of Maine, **Trustees of the James M. Wolf Revocable Intervivos Trust**, under trust instrument dated November 13, 2007, by the power conferred by law, and every other power, for One Dollar and other valuable consideration paid, GRANTS TO:

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, and described in Exhibit A annexed hereto and made a part hereof

WITNESS our hands this 21st day of JULY, 2009.

By: [Signature]
Alan E. Wolf, Trustee of the James M. Wolf Revocable Intervivos Trust

[Signature]

By: [Signature]
Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust

STATE OF MAINE
CUMBERLAND, SS.

Date: July 21, 2009

Then personally appeared the above-named Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust, as aforesaid and acknowledged the foregoing instrument to be his free act and deed and in his said capacity and the free act and deed of said Trust.

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

Before me,
[Signature]
Notary Public
Commission Expires: _____
Printed Name: _____

Exhibit A

A certain lot or parcel of land situated on the northerly side of Burnside Avenue, formerly known as Michigan Avenue, in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at the southerly corner of Lot 265 (depicted as the westerly most lot of "Parcel One") as shown on plan entitled "Standard Boundary Survey at Burnside Avenue, Portland, for REV, INC./Record Owner: The Burnside Real Estate Trust", prepared by Back Bay Boundary, Inc. Land Surveying, dated October 25, 2004, as revised through November 19, 2004, and recorded at the Cumberland County Registry of Deeds in Plan Book 204, Page 848 (the "Plan"); thence N 56° 21' 37" E along the northerly side of said Burnside Avenue a distance of 12', more or less, to a point; thence N 33° 38' 22" W running parallel with and maintaining a distance of 12' from the westerly sideline of said Lot 265 a distance of 126.60', more or less, to the southerly boundary of land "N/F Michael Alan Perry 14927/6" as shown on said Plan; thence S 58° 49' 31" W along the northerly boundary of said Lot 265 and the southerly boundary of land of said Perry a distance of 12' feet, more or less, to the westerly sideline of said Lot 265 and the easterly sideline of land shown on said Plan as "N/F Mary Beth Walsh 12162/205"; thence S 33° 38' 22" E along the easterly sideline of said Walsh a distance of 126.76', more or less, to the point of beginning.

Being a portion of the premises conveyed to Grantors herein by quitclaim deed of Deutsche Bank National Trust Company, as Trustee under the pooling and servicing agreement series ITF Lot Loans 2005-11 dated September 29, 2008, and recorded at the Cumberland County Registry of Deeds in Book 26381, Page 15.

This conveyance, being the transfer of an interest in land to the owner of land abutting that land, described in a deed from Mary Beth Walsh to Grantee of even date and recorded at the Cumberland County Registry of Deeds in Book 27110, Page 365, is made further SUBJECT, however to the restriction that the above-described real estate shall not be transferred within five (5) years of the date of this conveyance to another person or entity without all of the merged land, within the meaning of 30-A MRSA § 4401(4)(D-6). By acceptance of this deed, the Grantee covenants and agrees with Grantor that the Grantee will not transfer less than the entire merged parcel within the period of five (5) years commencing on the date of this conveyance. The provisions of this paragraph shall run with the land and bind the heirs, personal representatives, and assigns of the Grantee and shall be enforceable by the grantor, his heirs, personal representatives, and assigns.

EXCEPTING AND RESERVING to the Grantors, their successors and assigns, all right, title and interest in and to the fee interest in "Michigan Avenue", so-called. The purpose of this reservation is to preserve the Grantors' rights in and to such way pursuant to 23 M.R.S.A. § 3031(4) and 33 M.R.S.A. § 460 et seq., together with the right to convey said fee interest.

Received
Recorded Register of Deeds
Jul 21, 2009 03:33:24P
Cumberland County
Pamela E. Lovley

JUL 29 2009

TRUSTEE'S DEED
(Quitclaim Deed with Covenant)
CORRECTIVE DEED

WE, **Alan E. Wolf**, of Falmouth, County of Cumberland and State of Maine and **Terry N. Snow**, of Cumberland, County of Cumberland and State of Maine, **Trustees of the James M. Wolf Revocable Intervivos Trust**, under trust instrument dated November 13, 2007, by the power conferred by law, and every other power, for One Dollar and other valuable consideration paid, GRANTS TO:

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, and described in Exhibit A annexed hereto and made a part hereof

WITNESS our hands this 28th day of JULY, 2009.

By: [Signature]
Alan E. Wolf, Trustee of the James M. Wolf Revocable Intervivos Trust

[Signature]

By: [Signature]
Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust

STATE OF MAINE
CUMBERLAND, SS.

Date: July 28, 2009

Then personally appeared the above-named Terry N. Snow, Trustee of the James M. Wolf Revocable Intervivos Trust, as aforesaid and acknowledged the foregoing instrument to be his free act and deed and in his said capacity and the free act and deed of said Trust.

Before me,

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

[Signature]
Notary Public
Commission Expires: _____
Printed Name: _____

Exhibit A

A certain lot or parcel of land situated on the northerly side of Michigan Avenue (otherwise may be known as "Burnside Avenue"), in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at the southerly corner of Lot 265 (depicted as the westerly most lot of "Parcel One") as shown on plan entitled "Standard Boundary Survey at Burnside Avenue, Portland, for REV, INC./Record Owner: The Burnside Real Estate Trust", prepared by Back Bay Boundary, Inc. Land Surveying, dated October 25, 2004, as revised through November 19, 2004, and recorded at the Cumberland County Registry of Deeds in Plan Book 204, Page 848 (the "Plan"); thence N 56° 21' 37" E along the northerly side of said Burnside Avenue a distance of 12', more or less, to a point; thence N 33° 38' 22" W running parallel with and maintaining a distance of 12' from the westerly sideline of said Lot 265 a distance of 126.60', more or less, to the southerly boundary of land "N/F Michael Alan Perry 14927/6" as shown on said Plan; thence S 58° 49' 31" W along the northerly boundary of said Lot 265 and the southerly boundary of land of said Perry a distance of 12' feet, more or less, to the westerly sideline of said Lot 265 and the easterly sideline of land shown on said Plan as "N/F Mary Beth Walsh 12162/205"; thence S 33° 38' 22" E along the easterly sideline of said Walsh a distance of 126.76', more or less, to the point of beginning.

Being a portion of the premises conveyed to Grantors herein by quitclaim deed of Deutsche Bank National Trust Company, as Trustee under the pooling and servicing agreement series ITF Lot Loans 2005-11 dated September 29, 2008, and recorded at the Cumberland County Registry of Deeds in Book 26381, Page 15.

This conveyance, being the transfer of an interest in land to the owner of land abutting that land, described in a deed from Mary Beth Walsh to Grantee of even date and recorded at the Cumberland County Registry of Deeds in Book 27110, Page 265, is made further SUBJECT, however to the restriction that the above-described real estate shall not be transferred within five (5) years of the date of this conveyance to another person or entity without all of the merged land, within the meaning of 30-A MRSA § 4401(4)(D-6). By acceptance of this deed, the Grantee covenants and agrees with Grantor that the Grantee will not transfer less than the entire merged parcel within the period of five (5) years commencing on the date of this conveyance. The provisions of this paragraph shall run with the land and bind the heirs, personal representatives, and assigns of the Grantee and shall be enforceable by the grantor, his heirs, personal representatives, and assigns.

EXCEPTING AND RESERVING to the Grantors, their successors and assigns, all right, title and interest in and to the fee interest in "Michigan Avenue", so-called. The purpose of this reservation is to preserve the Grantors' rights in and to such way pursuant to 23 M.R.S.A. § 3031(4) and 33 M.R.S.A. § 460 et seq., together with the right to convey said fee interest.

The premises are conveyed subject to and together with the following easements:

A. Together with a five foot (5') wide drainage easement located upon and running the entire length of the westerly boundary of Grantor's retained premises (being referred to as Lot 2 on Exhibit A), and the easterly boundary of the premises herein conveyed as shown on the Site & Utility Plan annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lot 1 as shown on said Plan. This easement shall permit the owners of Lot 1 and the owner of Grantor's remaining land to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

B. Excepting and Reserving a five foot (5') wide drainage easement, located upon Lot 1 as depicted on Exhibit A and running the entire length of the easterly boundary of Lot 1 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of remaining land of Grantor as shown on the Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 1. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

C. Also conveying a temporary grading easement located on the westerly boundary of Lot 2, along a portion of the easterly boundary of the premises herein conveyed, and shown as "Temporary Grading Easement" on the Site & Utility and Grading & Drainage Plans annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lots 1 and 2 as shown on said Plan. This easement shall permit the owner of Lot 1 to grade the lot pursuant to the grading and drainage plan annexed hereto, as it may be amended, which temporary grading easement shall terminate one (1) year from the date of this deed or upon issuance of a final certificate of occupancy for Lot 1, whichever

sooner occurs. The owner of Lot 2 shall cooperate with the owner of Lot 1 for said purposes including access for personnel and equipment on Lot 2 to construct said grading and drainage area in accordance with Exhibit A grading and easement plan. This easement right is not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such grading, construction, maintenance and/or repair of Lot 1 shall be borne by the owner of Lot 1.

This conveyance is subject to a 25' Wide 'No Cut' Buffer Area along the entire northerly sideline of Lot 2 as shown on the Plan. The 'no cut buffer area' is forever restricted to the present use as a wooded area. No trees shall be cut or removed from the 'no cut buffer area', except that dead, diseased or damaged trees may be removed. No buildings or structures shall be located in the 'no cut buffer area'. No motorized vehicles shall be permitted in the 'no cut buffer area' except as needed for the removal of dead, diseased or damaged trees.

This conveyance is further together with and subject to the terms and conditions of the Notes and other Requirements as shown on Exhibit A.

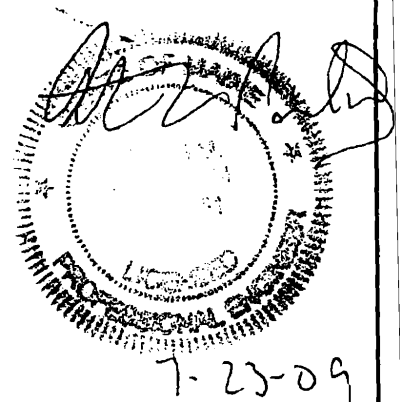
Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the respective premises, and this easement with the covenants therein shall be binding on the respective successors, heirs, devisees and assigns of the parties herein.

The purpose of this corrective deed is to include certain easement rights and grants as was previously omitted from the deed from Grantors to Grantee dated July 21, 2009, and recorded at said Registry in Book 27110, Page 266.

SPACE AND BULK REQUIREMENTS - R-3 ZONE

- MINIMUM LOT SIZE: 6,500 S.F.
- MINIMUM FRONTAGE: 50 FT.
- MINIMUM SETBACKS:
 - FRONT YARD 25 FT.
 - REAR YARD 25 FT.
 - SIDE YARD*
 - 1 STORY 8 FT.
 - 1 1/2 STORY 8 FT.
 - 2 STORY 14 FT.
 - 2 1/2 STORY 16 FT.
- MINIMUM LOT WIDTH: 65 FT.
- OTHER USES:



* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

NOTES:

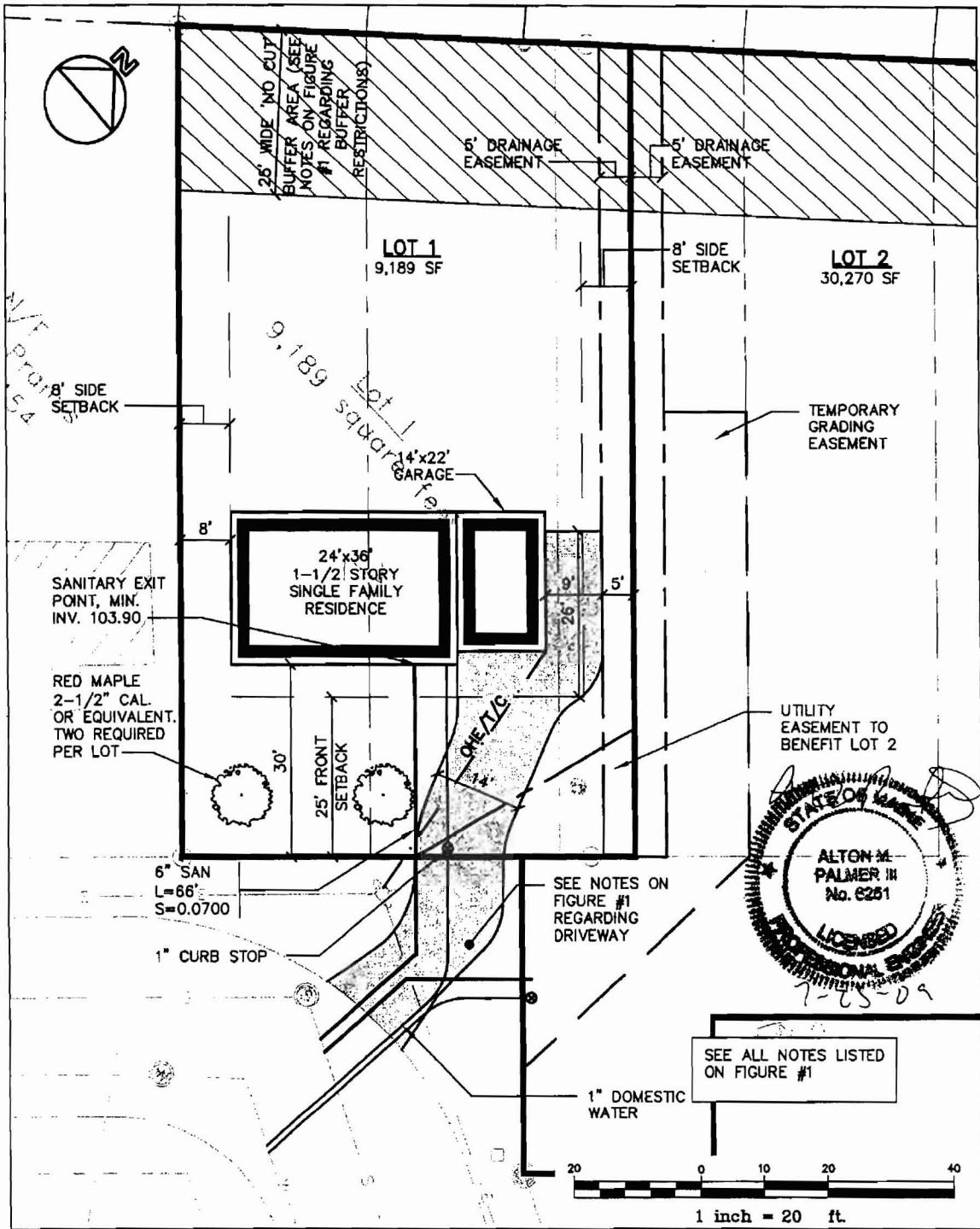
1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
5. THE DRIVEWAY ON LOT 1 IS DIRECTLY IN FRONT OF DAKOTA STREET AND/OR ABUTTING THE FORMER MICHIGAN AVENUE (OTHERWISE MAY BE KNOWN AS "BURNSIDE AVENUE"). NO PERMANENT STRUCTURE SHALL BE BUILT ON OR NEAR SAID DRIVEWAY OR THE FORMER MICHIGAN AVENUE WHICH WOULD OBSTRUCT ACCESS TO THE FORMER MICHIGAN AVENUE. PRIVATE RIGHTS TO USE THE FORMER MICHIGAN AVENUE MAY EXIST WHICH MAY ALLOW OTHERS TO TRAVEL/ACCESS THE FORMER MICHIGAN AVENUE AND A PORTION OF THE LOT 1 DRIVEWAY. AS SUCH, ALL PRESENT AND FUTURE OWNERS OF LOT 1 AGREE THAT THE LOT 1 DRIVEWAY MAY BE ALTERED BY THE CITY OF PORTLAND OR ANY OTHER PARTY TO ALLOW FOR TRAVEL/ACCESS OVER AND ON THE FORMER MICHIGAN AVENUE AND/OR DAKOTA STREET.
6. THAT THE HOUSE AND DRIVE SHALL BE BUILT AS DEPICTED ON THE APPROVED SITE PLAN.
7. THIS LOT IS SUBJECT TO A 25' WIDE 'NO CUT' BUFFER AREA ALONG THE ENTIRE NORTHERLY SIDELINE OF LOT 1 AS SHOWN ON THE PLAN. THE 'NO CUT BUFFER AREA' IS FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA. NO TREES SHALL BE CUT OR REMOVED FROM THE 'NO CUT BUFFER AREA', EXCEPT THAT DEAD, DISEASED OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE 'NO CUT BUFFER AREA'. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE 'NO CUT BUFFER AREA' EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

Design: JWA Date: 4/09
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149-LOT1.dwg

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:
Space & Bulk Requirements
 Project:
LOT 1 DAKOTA STREET

Figure No.
1



Design: JWA Date: 4/06
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149-LOT1.dwg

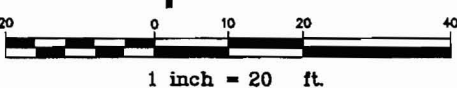
GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1988
 PO Box 1237 Phone: 207-657-8910
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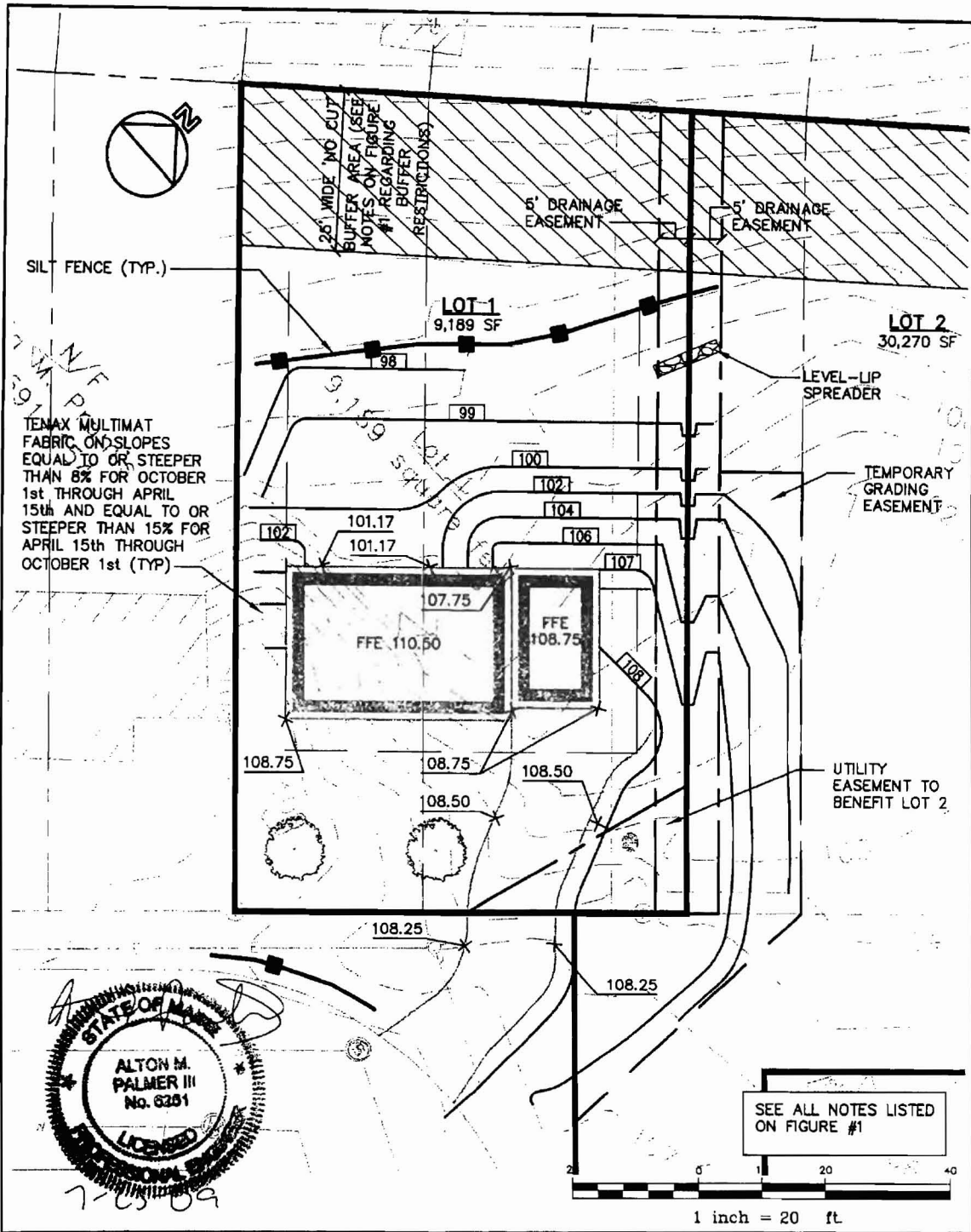
Drawing Name: **Site & Utility Plan**
 Project: **LOT 1 DAKOTA STREET**

Figure No. **2**



SEE ALL NOTES LISTED ON FIGURE #1



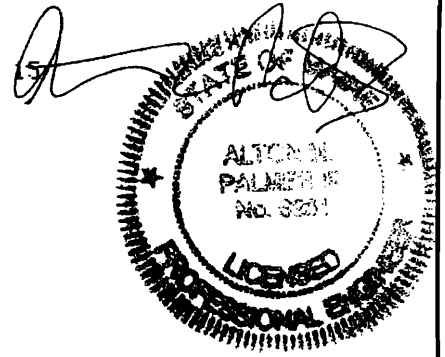


Design: JWA Date: 4/09
 Draft: CAG Job No.: 2149
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GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998
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 15 Shaker Road Fax: 207-857-8912
 Gray, ME 04039 Email: molbox@gorrilpalmer.com

Drawing Name:
Grading & Drainage Plan
 Project:
LOT 1 DAKOTA STREET

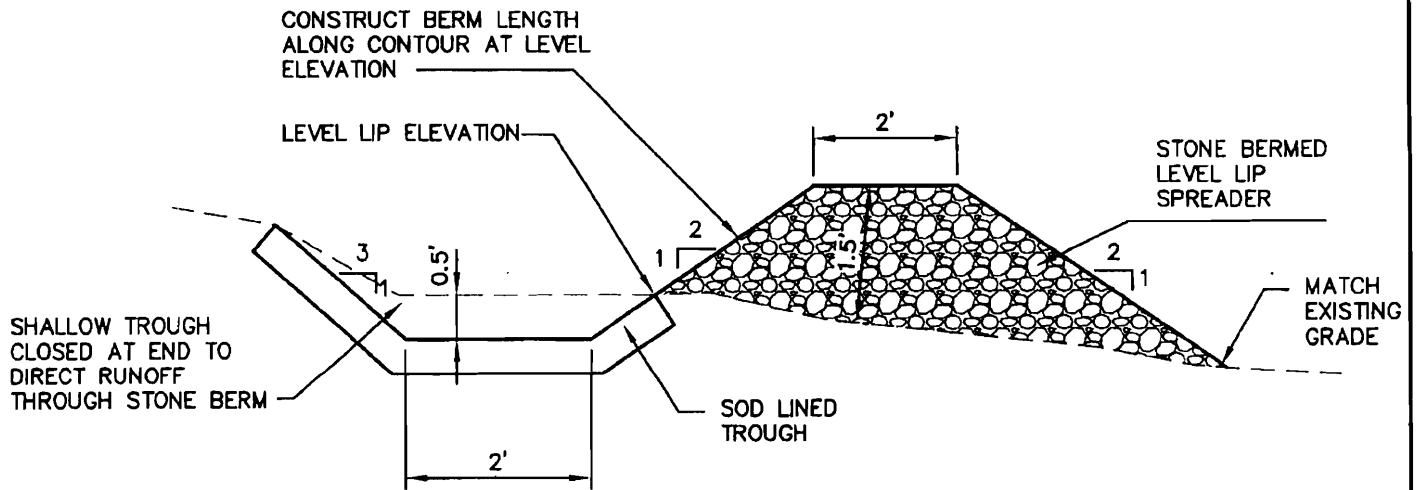
Figure No
3



7-23-09

BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12

LEVEL LIP SPREADER		
LEVEL LIP	ELEVATION (A)	LENGTH
1	98.0'	10'



Received
 Recorded Register of Deeds
 Jul 29, 2009 11:27:42A
 Cumberland County
 Pamela E. Lovley

STONE BERM LEVEL LIP SPREADER

NOT TO SCALE

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:	Details
Project:	LOT 1 DAKOTA STREET

Figure No.	4
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JUL 29 2009

STATUTORY WARRANTY DEED

Diversified Properties, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of Post Office Box 10127, Portland, Maine 04104,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

Elizabeth R. Brackett, of 84 Country Lane, in the City of Portland, County of Cumberland and State of Maine,

A certain lot or parcel of land situated on the northwesterly side of Michigan Avenue (otherwise may be known as "Burnside Avenue"), in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at the easterly corner of land now or formerly of Rita M. Pramis (25591/154) and the southerly corner of Lot 267 as shown on as shown on plan entitled "The Pines, Portland, Maine, Owned by the A.H. Chapman Land Co., Portland, Maine", dated April 1925, and recorded at the Cumberland County Registry of Deeds in Plan Book 16, Page 29; thence N 47° 03' 50" W along land of said Pramis a distance of 129.18', more or less, to land now or formerly of Mary Beth Walsh (12162/205); thence N 45° 24' 03" E along the southerly sideline of said Walsh and the southerly sideline of land now or formerly of James O. Samman (24195/87) a distance of 72.07', more or less, to a point, being the northerly corner of the land conveyed to Grantor by deed dated July 21, 2009, and recorded at said Registry in Book 27110, Page 266; thence S 47° 03' 50" E along the easterly sideline of said land recorded in Book 27110, Page 266, a distance of 126.08' to the northwesterly sideline of Michigan Avenue, being the easterly corner of said land described in Book 27110, Page 266; thence S 42° 56' 10" W along the northwesterly sideline of Michigan Avenue (also known as Burnside Avenue) and Dakota Street a distance of 72.00', more or less, to the point of beginning.

For Grantor's source of title, reference can be made to deed of Mary Beth Walsh dated July 21, 2009, and recorded at the Cumberland County Registry of Deeds in Book 27110, Page 265; by deed of Alan E. Wolf and Terry N. Snow, Trustees of the James M. Wolf Revocable Intervivos Trust dated July 21, 2009, and recorded at said Registry in Book 27110, Page 266; and by Corrective Deed from Alan E. Wolf and Terry N. Snow, Trustees of the James M. Wolf Revocable Intervivos Trust dated July 28, 2009, and recorded at said Registry in Book 27134, Page 208. Further reference is made to drawings entitled Space & Bulk Requirements, Site & Utility Plan, Grading & Drainage Plan, and Details, prepared by Gorrill-Palmer Consulting Engineers, Inc., dated April 2009, which drawings are on file with the City of Portland and annexed hereto as **Exhibit A**, the lot herein conveyed being depicted as Lot 1.

MAINE REAL ESTATE TAX PAID

The premises are conveyed subject to and together with the following easements:

A. Subject to a five foot (5') wide drainage easement located upon Lot 1 and running the entire length of the easterly boundary of the premises herein, shown as Lot 1 on the Site & Utility Plan annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lot 2 in common with Lot 1 as shown on said Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 1. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

B. Also conveying a five foot (5') wide drainage easement, located upon Lot 2 and running the entire length of the westerly boundary of Lot 2 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 1 in common with Lot 2 as shown on the Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

C. Also subject to a utility easement located on the southerly corner of Lot 1 as shown on the Plan, which easement is appurtenant to and for the benefit of Lot 2 as shown on the Plan. This easement shall permit the owners of Lot 2 to construct and perpetually maintain through, under, across and upon said parcel, utility posts, wires, equipment or the like, for conveying utilities upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said

parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 1. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

D. Also conveying a temporary grading easement located on the westerly boundary of Lot 2, along a portion of the easterly boundary of the premises herein conveyed, and shown as "Temporary Grading Easement" on the Site & Utility and Grading & Drainage Plans annexed hereto as Exhibit A (hereinafter "Plan"), which easement is appurtenant to, in common with and for the benefit of Lots 1 and 2 as shown on said Plan. This easement shall permit the owner of Lot 1 to grade the lot pursuant to the grading and drainage plan annexed hereto, as it may be amended, which temporary grading easement shall terminate one (1) year from the date of this deed or upon issuance of a final certificate of occupancy for Lot 1, whichever sooner occurs. The owner of Lot 2 shall cooperate with the owner of Lot 1 for said purposes including access for personnel and equipment on Lot 2 to construct said grading and drainage area in accordance with Exhibit A grading and easement plan. This easement right is not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such grading, construction, maintenance and/or repair of Lot 1 shall be borne by the owner of Lot 1.

This conveyance is subject to a 25' Wide 'No Cut' Buffer Area along the entire northerly sideline of Lot 1 as shown on the Plan. The 'no cut buffer area' is forever restricted to the present use as a wooded area. No trees shall be cut or removed from the 'no cut buffer area', except that dead, diseased or damaged trees may be removed. No buildings or structures shall be located in the 'no cut buffer area'. No motorized vehicles shall be permitted in the 'no cut buffer area' except as needed for the removal of dead, diseased or damaged trees.

This conveyance is further together with and subject to the terms and conditions of the Notes and other Requirements as shown on the Plan, specifically, but not limited to the following:

1. The house and drive shall be built as depicted on the approved site plan filed with the City of Portland shown on Exhibit A; and
2. The driveway on Lot 1 is directly in front of Dakota Street and/or abutting the former Michigan Avenue (otherwise may be known as "Burnside Avenue"). No permanent structure shall be built on or near said driveway or the former Michigan Avenue which would obstruct access to the former Michigan Avenue. Private rights to use the former

Michigan Avenue may exist which may allow others to travel/access the former Michigan Avenue and a portion of the Lot 1 driveway. As such, all present and future owners of Lot 1 agree that the Lot 1 driveway may be altered by the City of Portland or any other party to allow for travel/access over and on the former Michigan Avenue and/or Dakota Street.

Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the respective premises, and this easement with the covenants therein shall be binding on the respective successors, heirs, devisees and assigns of the parties herein.

IN WITNESS WHEREOF, the said Diversified Properties, Inc. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President, thereunto duly authorized this 28th day of July, 2009.

Darcy L. Needham

Diversified Properties, Inc.

By: [Signature]
James M. Wolf, Its President

STATE OF MAINE
CUMBERLAND, SS.

Date: July 28, 2009

Then personally appeared the above-named JAMES M. WOLF, President of Diversified Properties, Inc., as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

[Signature]
~~Attorney at Law/Notary Public~~
Print Name: _____

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

Exhibit A

Doc#: 45836 Bk:27134 Pg: 225

SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE: 6,500 S.F.

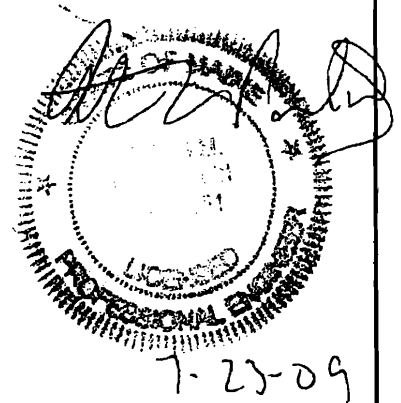
MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.

MINIMUM LOT WIDTH: 65 FT.

OTHER USES:



* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
5. THE DRIVEWAY ON LOT 1 IS DIRECTLY IN FRONT OF DAKOTA STREET AND/OR ABUTTING THE FORMER MICHIGAN AVENUE (OTHERWISE MAY BE KNOWN AS "BURNSIDE AVENUE"). NO PERMANENT STRUCTURE SHALL BE BUILT ON OR NEAR SAID DRIVEWAY OR THE FORMER MICHIGAN AVENUE WHICH WOULD OBSTRUCT ACCESS TO THE FORMER MICHIGAN AVENUE. PRIVATE RIGHTS TO USE THE FORMER MICHIGAN AVENUE MAY EXIST WHICH MAY ALLOW OTHERS TO TRAVEL/ACCESS THE FORMER MICHIGAN AVENUE AND A PORTION OF THE LOT 1 DRIVEWAY. AS SUCH, ALL PRESENT AND FUTURE OWNERS OF LOT 1 AGREE THAT THE LOT 1 DRIVEWAY MAY BE ALTERED BY THE CITY OF PORTLAND OR ANY OTHER PARTY TO ALLOW FOR TRAVEL/ACCESS OVER AND ON THE FORMER MICHIGAN AVENUE AND/OR DAKOTA STREET.
6. THAT THE HOUSE AND DRIVE SHALL BE BUILT AS DEPICTED ON THE APPROVED SITE PLAN.
7. THIS LOT IS SUBJECT TO A 25' WIDE 'NO CUT' BUFFER AREA ALONG THE ENTIRE NORTHERLY SIDELINE OF LOT 1 AS SHOWN ON THE PLAN. THE 'NO CUT BUFFER AREA' IS FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA. NO TREES SHALL BE CUT OR REMOVED FROM THE 'NO CUT BUFFER AREA', EXCEPT THAT DEAD, DISEASED OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE 'NO CUT BUFFER AREA'. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE 'NO CUT BUFFER AREA' EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

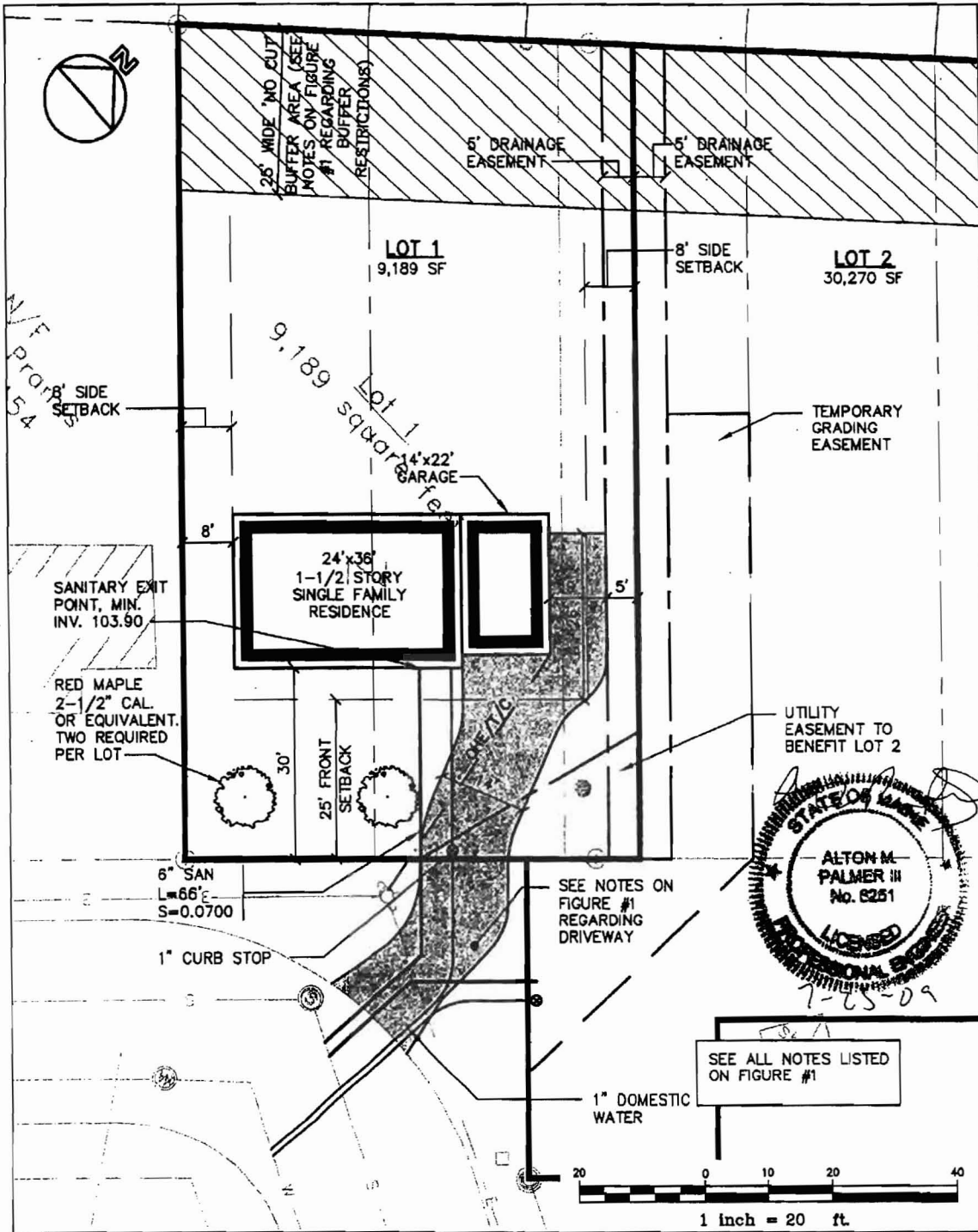
GP Corroll-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
13 Shaker Road Fax: 207-657-6912
Gray, ME 04039 Email: mailbox@gorrpalmer.com

Drawing Name:
Space & Bulk Requirements

Project:
LOT 1 DAKOTA STREET

Figure No.
1

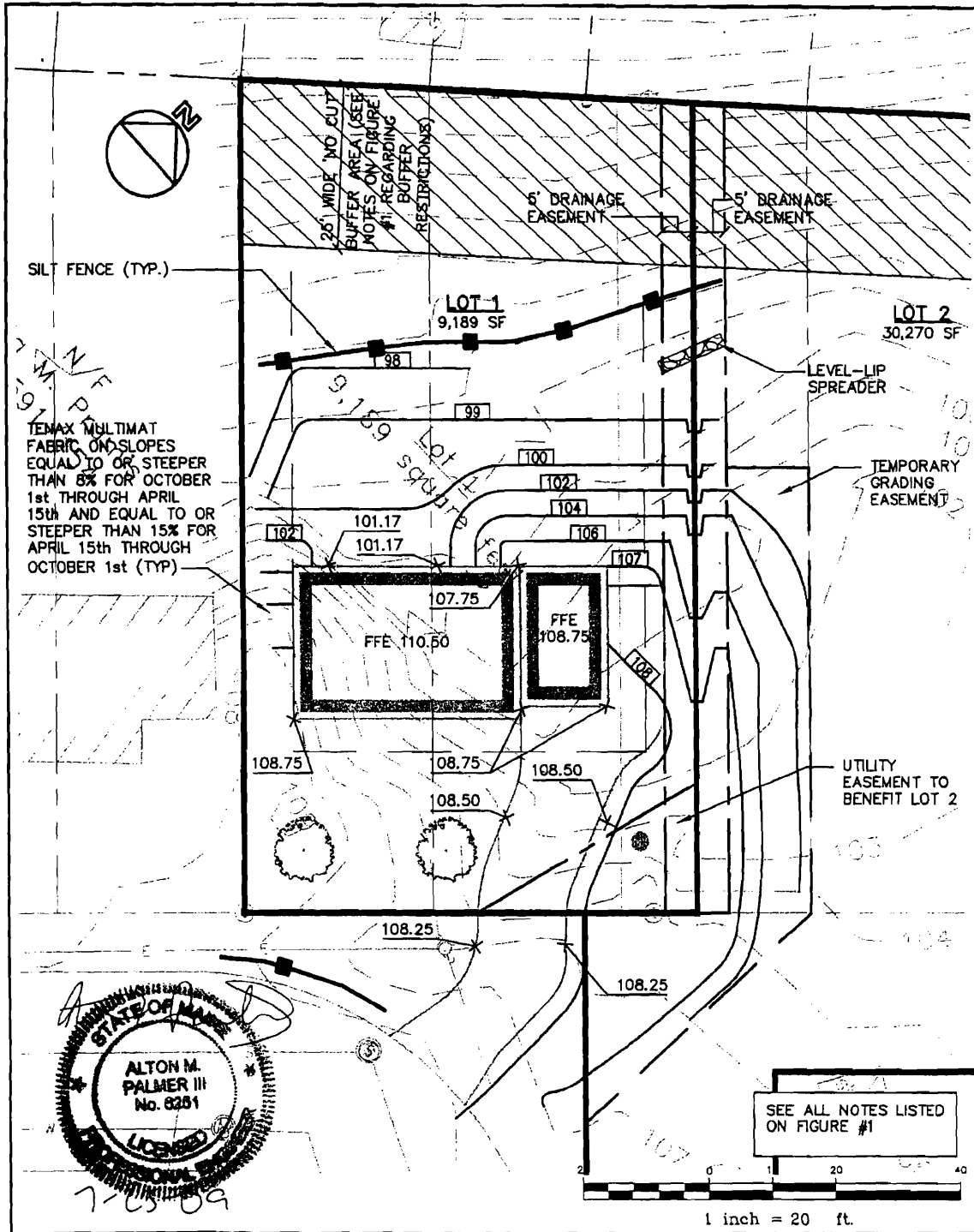


Design: JWA Date: 4/09
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149--LOT1.dwg

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1898
 PO Box 1237 Phone: 207-657-8910
 15 Shaker Road Fax: 207-657-8912
 Gray, ME 04039 Email: mailbox@gorrilpalmer.com

Drawing Name: **Site & Utility Plan**
 Project: **LOT 1 DAKOTA STREET**

Figure No. **2**

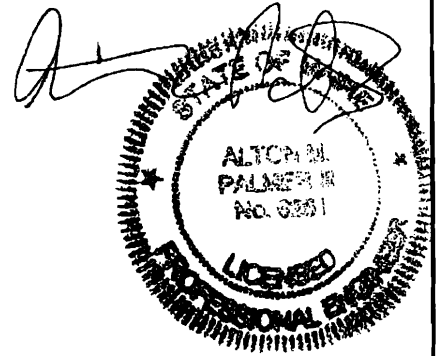


Design: JWA Date: 4/09
 Draft: CAG Job No.: 2149
 Checked: AMP Scale: 1"=20'
 File Name: 2149-L01.dwg

GP Gorrill-Palmer Consulting Engineers, Inc.
 Engineering Excellence Since 1998
 PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name: **Grading & Drainage Plan**
 Project: **LOT 1 DAKOTA STREET**

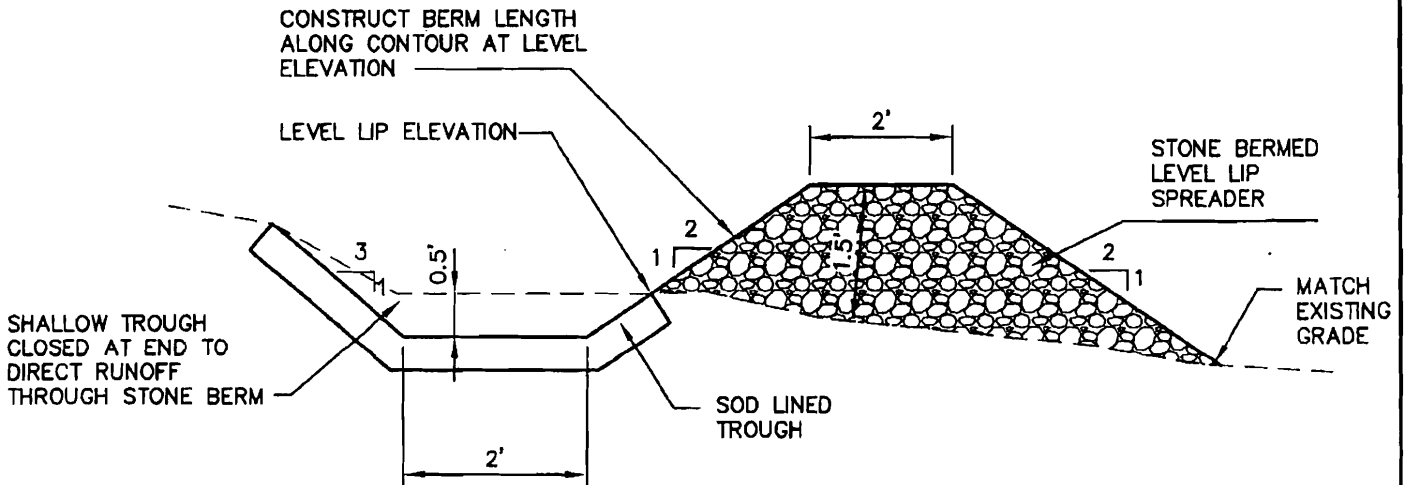
Figure No. **3**



7-23-09

BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12

LEVEL LIP SPREADER		
LEVEL LIP	ELEVATION (A)	LENGTH
1	98.0'	10'



Received
Recorded Register of Deeds
Jul 29, 2009 11:32:52A
Cumberland County
Famela E. Lovley

STONE BERM LEVEL LIP SPREADER

NOT TO SCALE

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2149
Checked: AMP	Scale: 1"=20'
File Name: 2149-LOT1.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-6910
15 Shaker Road Fax: 207-657-6912
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:	Details
Project:	LOT 1 DAKOTA STREET

Figure No.	4
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City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

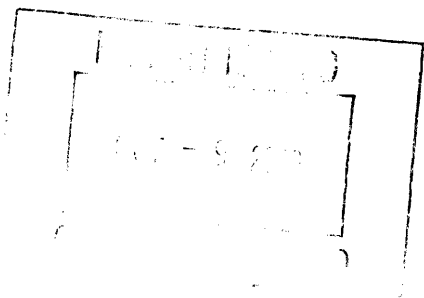
Permit No: 09-1126	Issue Date:	CBL: 407 H016001
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Location of Construction: 29 DAKOTA ST	Owner Name: WALSH MARY BETH	Owner Address: 121 MAINE AVE	Phone:
Business Name:	Contractor Name: Dead River Company	Contractor Address: PO Box 467 Scarborough	Phone 2078839515
Lessee/Buyer's Name	Phone:	Permit Type: Tanks - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - install (2) 120 Gallon propane tank	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 4
Proposed Project Description: install (2) 120 Gallon propane tank		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: HVAC IRC 2003 STME GAS REGS Signature: Jm 10/13/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Ldobson	Date Applied For: 10/08/2009	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: <i>10/9/09</i>	Date:	Date:

CERTIFICATION

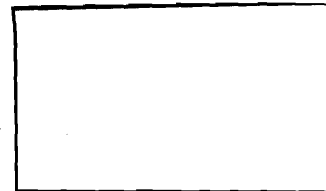
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 407-H-14 Use of Building RESIDENCE Date 10-6-09

Name and address of owner of appliance DWIGHT BRACKETT
29 DAKOTA STREET

Installer's name and address DEAD RIVER CO.
73 PRESANI HILL RD SCARBOROUGH Telephone 883-9515

Location of appliance:

- Basement
- Floor
- Attic
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name:

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # _____
- Oil # _____
- Gas # _____
- Other _____

Type of Chimney:

- Masonry Lined
Factory built _____
- Metal
Factory Built U.L. Listing # _____
- Direct Vent
Type _____ UL# _____

Type of Fuel Tank

- Oil
- Gas

Size of Tank 23-120

Number of Tanks 2

Distance from Tank to Center of Flame + 30 feet.

Cost of Work: \$ 0-

Permit Fee: \$ 30

Approved

Fire: _____
Ele.: _____
Bldg.: _____

Approved with Conditions

- See attached letter or requirement

Signature of Installer DEAD RIVER CO. BY [Signature] Inspector's Signature _____ Date Approved _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

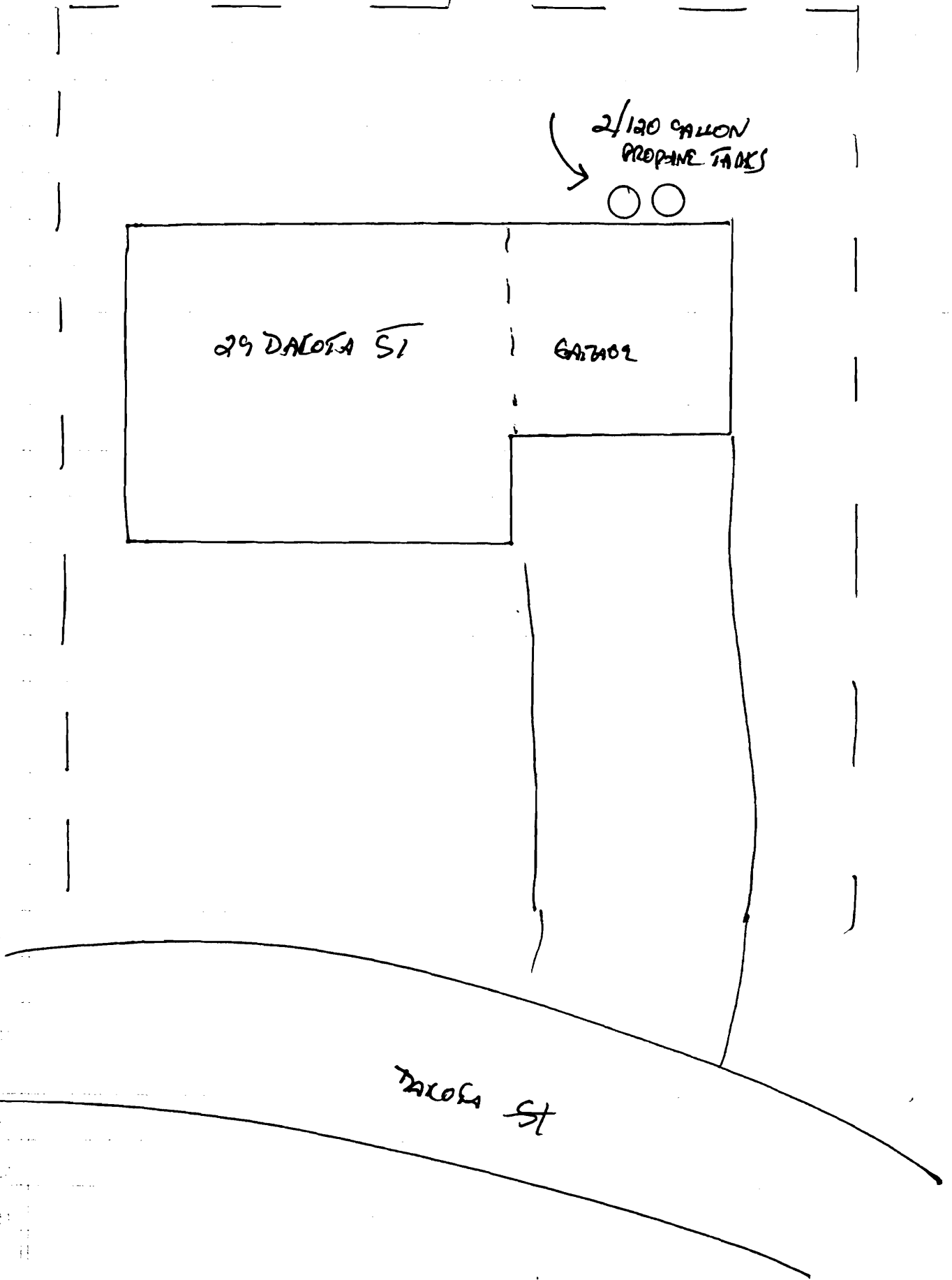
Permit No: 09-1126	Date Applied For: 10/08/2009	CBL: 407 H016001
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Location of Construction: 29 DAKOTA ST	Owner Name: WALSH MARY BETH	Owner Address: 121 MAINE AVE	Phone:
Business Name:	Contractor Name: Dead River Company	Contractor Address: PO Box 467 Scarborough	Phone (207) 883-9515
Lessee/Buyer's Name	Phone:	Permit Type: Tanks - Dwellings	

Proposed Use: Single Family Home - install (2) 120 Gallon propane tank	Proposed Project Description: install (2) 120 Gallon propane tank
--	---

Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 10/09/2009
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 10/13/2009
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) The installation must comply with the State of Maine Gas Regulations. 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

DWIGHT BRACKET
29 DAKOTA ST



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

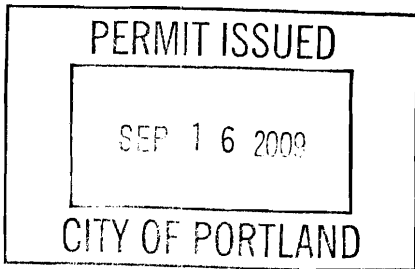
Permit No: 09-0985	Issue Date:	CBL: 407 H016001
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Location of Construction: 29 Dakota St	Owner Name: Walsh Mary Beth	Owner Address: 121 Maine Ave	Phone:
Business Name:	Contractor Name: Jerrys Plumbing & Heating	Contractor Address: 22 Ridgeview Drive Biddeford	Phone 2072822319
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Install direct vent gas tank in the basement.	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 4
Proposed Project Description: Install direct vent gas tank in the basement.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>123</i> Type: <i>SB</i> <i>IRC 2003</i> <i>ST ME GAS REG</i> Signature: <i>mm 9/16/09</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 09/04/2009	Zoning Approval	
------------------------	---------------------------------	------------------------	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>9/16/09</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: _____</p>
---	---	--	---



SCANNED

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

PERMIT ISSUED

407-11016

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 5 Use of Building Residential Date 9/4/09
 Name and address of owner of appliance Brackett Construction
22 Dakota St.
 Installer's name and address Jerry's Plbg + Htg 22 Ridgeview Dr. Biddeford, ME
 Telephone _____

Location of appliance:
 Basement Floor
 Attic Roof

Type of Fuel:
 Gas Oil Solid

Appliance Name: Baxi
 U.L. Approved Yes No
ACA approved

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

Type of Chimney:
 Masonry Lined
 Factory built _____

Metal
 Factory Built U.L. Listing # _____

Direct Vent
 Type _____ U.L.# SEP - 4 2009

Type of Fuel Tank
 Oil
 Gas

Size of Tank By gas co.

The Type of License of Installer:
 Master Plumber # _____
 Solid Fuel # _____
 Oil # _____
 Gas # PJT 1262
 Other _____

Number of Tanks 1

Distance from Tank to Center of Flame _____ feet.

Cost of Work: \$ 5,000.-

Permit Fee: \$ 70.00

Approved

Approved with Conditions

See attached letter or requirement

Fire: _____
 Ele.: _____
 Bldg.: _____

Inspector's Signature _____ Date Approved _____

Signature of Installer Jerry's Plbg + Htg

White - Inspection Yellow - File Pink - Applicant's Gold - Assessor's Copy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0981	Date Applied For: 09/08/2009	CBL: 407 H016001
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Location of Construction: 29 Dakota St	Owner Name: Brackett Construction	Owner Address: 121 Maine Ave	Phone:
Business Name:	Contractor Name: Jerrys Plumbing & Heating	Contractor Address: 22 Ridgeview Drive Biddeford	Phone (207) 282-2319
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	

Proposed Use:	Proposed Project Description:
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Dept: Zoning **Status:** Approved **Reviewer:** Tom Markley **Approval Date:** 09/16/2009

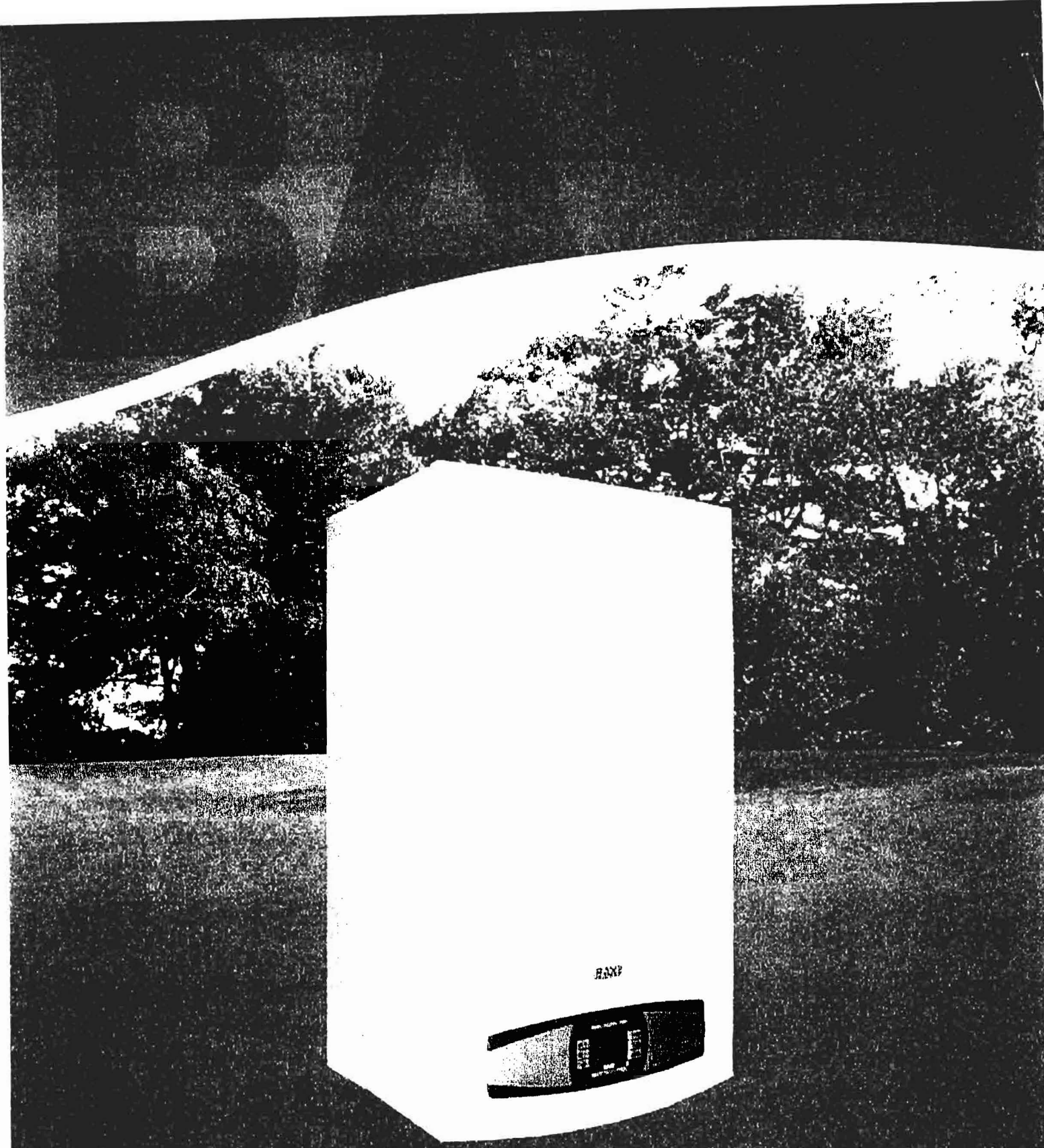
Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 09/16/2009

Note: **Ok to Issue:**

- 1) The installation must comply with the State of Maine Gas Regulations.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



BAXI LUNA)3 Comfort
Modulating Wallhung Boiler

