

12 DAKOTA STREET, 107-F-16



Full cut #920R - Half cut #9202R - Third cut #9203R - Fifth cut #9205R

P. 407-F-16 (called 12) Dakota St.

Sept. 28, 1966

Gerald Woodrow
12 Dakota Street

cc to: Corporation Counsel

Dear Mr. Woodrow:

Building permit to construct 6'x8' roof over existing platform and enclose with glass at the above named location is not issuable under the Zoning Ordinance because an enclosed entrance porch projecting six feet into the required front yard of this dwelling is not allowable in the R-3 Residence Zone in which this property is located nor may it project more than 5 feet from the front of this building under Section 19-D of the Ordinance.

We understand that you would like to exercise your appeal rights in this matter. Accordingly you should come to this office (Room 33), City Hall, to file the appeal on forms which are available here. A fee of \$5.00 shall be paid at this office at the time the appeal is filed.

Very truly yours,

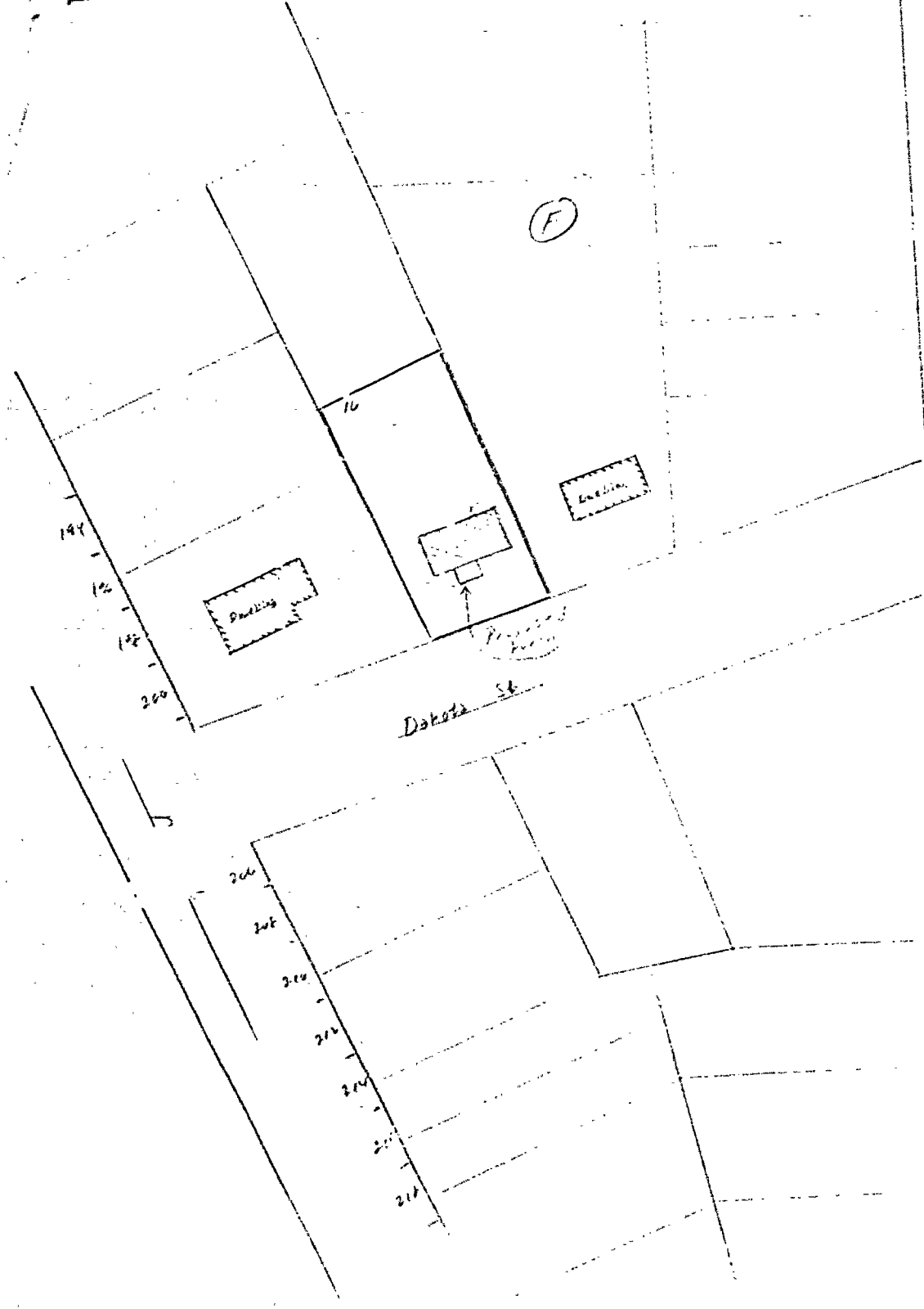
Gerald E. Hayberry
Building Inspection Director

GE:ra

407-117 Dakota St

6-10-11

407-117





APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, September 21, 1966

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 12 Dakota St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Gerald Woodrow, 12 Dakota St. Telephone 797-2204
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building Dwelling No. families 1
Last use _____ " _____ No. families 1
Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 50.00 Fee \$ 2.00

General Description of New Work

To construct 6' x 8' roof over existing front platform and enclose with glass.
Approx. 15' to front lot line.

15' height or 4'10' for needed. 2,100 sq ft
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate 7'11" Height average grade to highest point of roof 7'6"
Size, front 8' depth 6' No. stories _____ Solid or filled land? _____ earth or rock? _____
Material of foundation existing Thickness, top _____ bottom _____ cellar _____
Kind of roof shed Rise per foot 1" Roof covering Asphalt Class C Unl. Label.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x8 Sills existing
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 12"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 5'6"
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner by:

Gerald Woodrow

Gerald Woodrow

M

Permit No. 261
Location 1st Lakota View
Owner Bill Thompson
Date of permit
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued
Staking Out Notice
Form Check Notice

NOTES

Not done



(RC) GENERAL RESIDENCE ZONE - C
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 244

Class of Building or Type of Structure Third Class

Portland, Maine, April 4, 1945 APR 4 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 12 Dakota Street Lot 245 Within Fire Limits? PC Dist. No. _____
Owner's or-Lessee's name and address George A. Albert, 12 Dakota Street Telephone _____
Contractor's name and address Owner Telephone _____
Architect _____ Plans filed no. _____ No. of sheets _____
Proposed use of building Dwelling No. families 1
Other buildings on same lot _____
Estimated cost \$ 100. Fee \$ 1.00

Description of Present Building to be Altered

Material frame No. stories 1 Heat stove Style of roof _____ Roofing _____
Last use Dwelling No. families 1

General Description of New Work

To construct side brick chimney
To change existing window to door

CERTIFICATE OF COMPLETANCE
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken over separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation concrete Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys 1 Material of chimneys brick of lining tile
Kind of heat stove Type of fuel coal Is gas fitting involved? _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girders or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

Stamp
ORIGINAL

Signature of owner George A. Albert

Permit No. 45/248 407-1-16

Location 12 Dakota St.

Owner George A. Albert

Date of permit 4/4/45

Notif. closing-in

Inspn. closing-in

Final Notif.

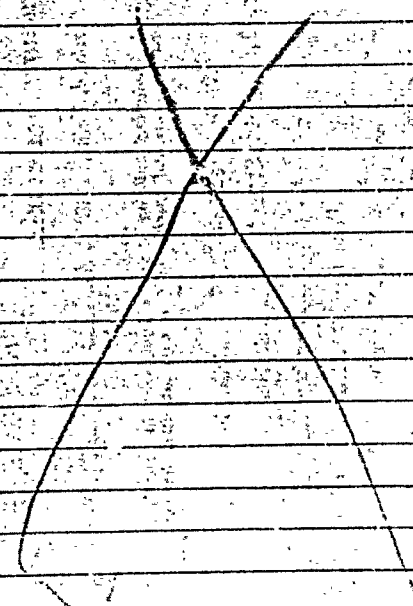
Final Inspn. 5/29/46

Cert. of Occupancy issued NAME

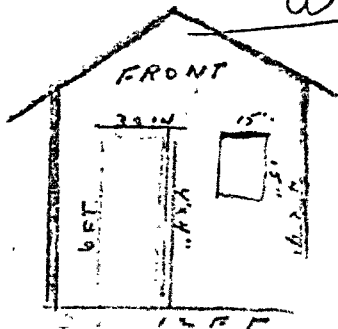
NOTES

5/29/46

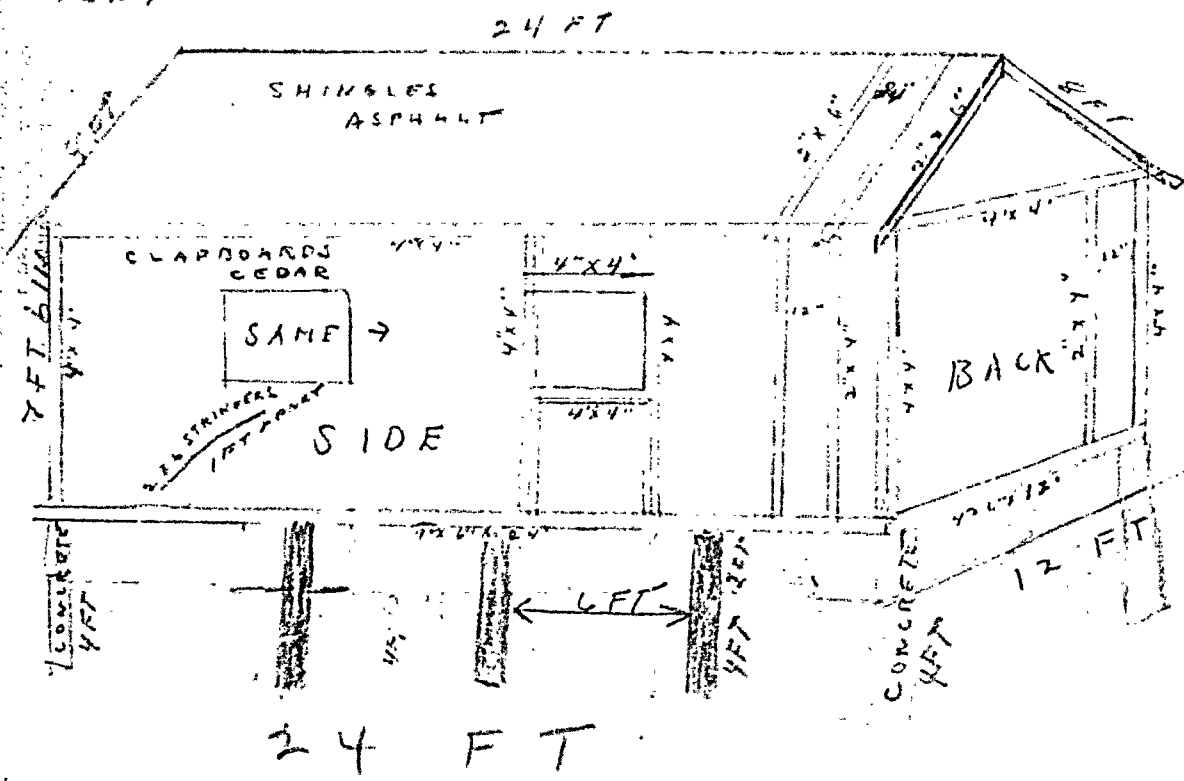
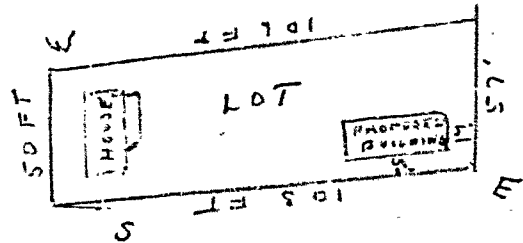
WORK FINIS. ELL



WOOD & STORAGE PLACE



RECEIVED
APR - 4 1945
DEPT. OF PLANNING
CITY OF BOSTON



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for storage shed for household goods and fuel
at 12 DAKOTA ST Date 1/11/15

1. In whose name is the title of the property now recorded? Mr & Mrs Geo. A. Albert
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? STAKES
3. Is the outline of the proposed work now staked out upon the ground? Yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? YES
4. What is to be maximum projection or overhang of eaves or drip? 6 IN
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? _____
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? YES
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? YES

George A. Albert

AP 12 Dakota St.

ATH
RMT
PH
AJS
ES

April 7, 1915

Mr. George A. Albert
12 Dakota Street
Portland, Maine

Subject: Building permit for construction of building for storage of household goods and fuel as an accessory use to the dwelling house on the lot.

Dear Sir:

Above permit is herewith subject to the following:

The Zoning Law does not allow the issuance of this permit except for a building accessory to your dwelling house or commonly incident to the dwelling house use. I am issuing the permit because it seems fair to say that the use for storage of household goods and for storage of fuel is commonly incident to a dwelling house. Likewise the use of the building for a garage would be an accessory use to the dwelling house, commonly incident to a dwelling house use.

You should bear in mind however that neither this building nor the open land may be used under the Zoning Ordinance for keeping poultry or like birds or animals. Even though some of the lots in the neighborhood may be now used for such purposes, the Board of Appeals has interpreted the Zoning Ordinance to mean that such uses are not allowable as accessory to dwelling houses. In event some of your neighbors may be keeping hens or the like, it is probable that they are doing so under either the provision of the Ordinance which allows such a use to be continued having been in existence in 1908 when the Zoning Law was adopted, or else the use may have been established inadvertently in non-compliance with the Ordinance.

This letter is written so that you may not misunderstand the situation and be led inadvertently into violation of the Zoning Ordinance through some change of your plans.

Very truly yours,

Inspector of Buildings

RMd/S



(RC) GENERAL RESIDENCE ZONE - C
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. 258

Portland, Maine, April 4, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 12 Dakota Street (Lot 345-Section A) Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address George A. Albert, 12 Dakota Street Telephone 2-9590

Contractor's name and address Owner Telephone _____

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Storage shed for household goods and fuel No. families _____

Other buildings on same lot dwelling

Estimated cost \$ 150. Fee \$ 1.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To construct 1 story storage shed 12' x 24'

NOTIFICATION BEFORE WORKING
OR CLOSING IN IS

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

2-2x4 plate

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no

Is any electrical work involved in this work? no Height average grade to top of plate 7'6"

Size, front 12' depth 24' No. stories 1 Height average grade to highest point of roof 10'6"

To be erected on solid or fill land? solid earth or rock? earth

Material of foundation concrete at least 4' below grade of ground

Material of underpinning _____ Height _____ Thickness _____

Kind of roof pitch Rise per foot 6" Roof covering asphalt roofing Class C Und. Lab.

No. of chimneys none Material of chimneys _____ of lining _____

Kind of heat none Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind second-hand Dressed or full size? full size

Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x6

On centers: 1st floor 12", 2nd _____, 3rd _____, roof 12"x11"

Maximum span: 1st floor 6', 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? 4x6 thru center height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade trees on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner George A. Albert

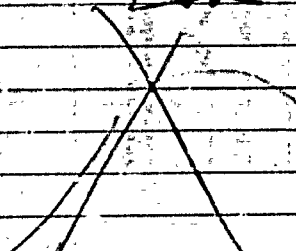
ORIGINAL

Permit No. 45/258
Location: 12 Dakota St.
Owner George A. Clark
Date of permit 4/7/45
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 4/29/46
Cert. of Occupancy issued NONE

NOTES

4/5/45 - Location OK - OK
4/16/45 - Little change in
done - OK
4/20/45 - Unshowered - OK
5/7/45 - Little change in
4/5/45 - Same - OK
5/25/45 - Fraying well
along - OK
6/11/45 - Little change in
OK

4/29/46
WORK FINISHED
E.R.



Warren McDonald
Inspector of Buildings

9-1342

5/20/43

Dear Sir:

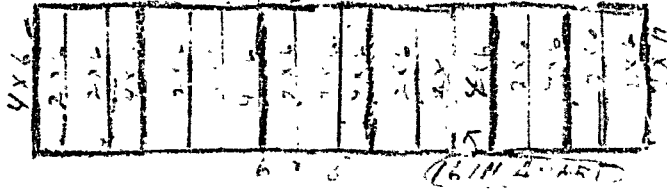
Having a full understanding of the application of
FEDERAL WAR PRODUCTION BOARD CONSERVATION ORDER L-41 to the
construction work which I propose at 12 Babota St.
in the City of Portland, I DESIRE THAT YOU ISSUE THE
BUILDING PERMIT to cover that work.

Wm. George Albert

WIDTH OF PORCH 8 FT

LENGTH OF PORCH 24 FT

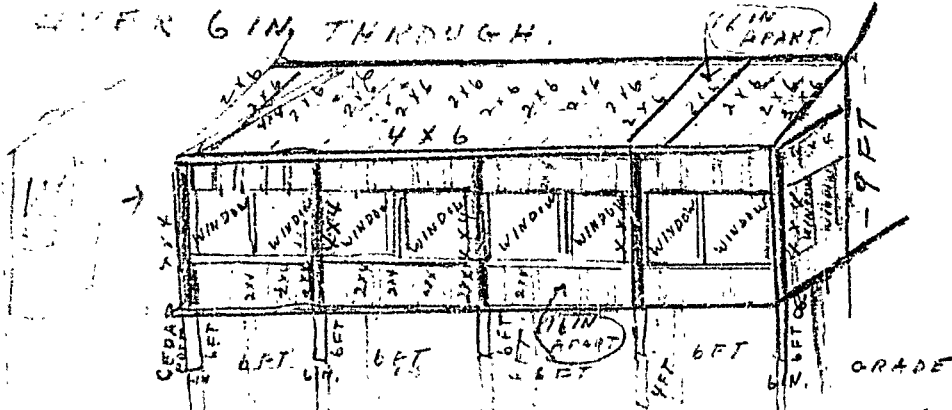
4 X 6 (PORCH FLOOR)



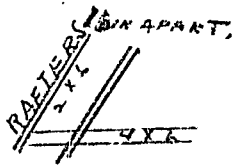
HOUSE

RECEIVED
 JUN 1 1943
 U.S. DEPT. OF AGRICULTURE
 FOREST SERVICE

CEDAR POSTS 10 - LESS 7 IN. SPACING
 BUILT ON CEDAR POST 4 FT BELOW GRADE
 EVERY 6 IN. THROUGH.

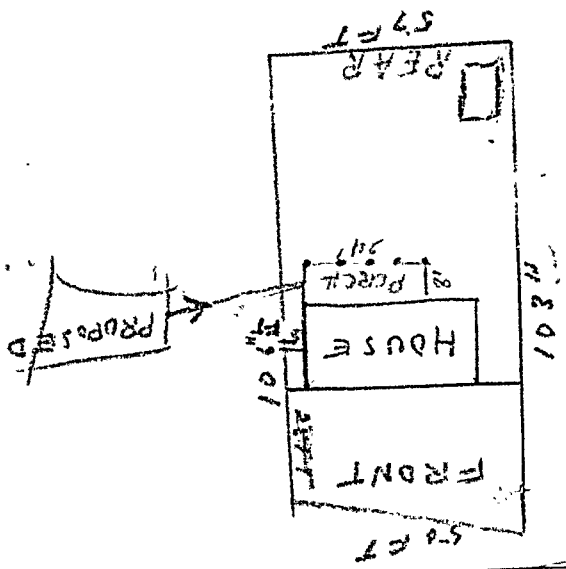


WALL STUDS 18 IN APART 2 X 4 X 8 FT NO. IN. HT
 RAFTERS " " " 2 X 6 X 8 FT 5 IN. LONG
 ROOF SUPPORTS 4 X 4 EVERY 6 FT.
 FLOOR SPANS 18 IN. APART 2 X 6 X 8 FT. LONG
 4 X 6 SILLS SET WITH SIX INCH DIMENSION UPRIGHT



PITCH OF ROOF
 1 1/2 IN TO THE FOOT.

RECEIVED
MAY 20 1943
DEPT. OF CLERK. INSP.
CITY OF FORT LAUD.



Wabarta St

Rept. 3236D-I

May 26, 1945

Mr. George A. Albert,
12 Dakota Street,
Portland, Maine

Subject: Application for building permit
to cover construction of glass enclosed
piazza at 12 Dakota Street

Dear Sir:

We must have more information before we can tell whether or not the proposed construction of the piazza will comply with Building Law requirements.

It is necessary that you furnish a framing plan and foundation plan of the proposed piazza, showing the size, spacing and spans of all framing members, posts, in first floor and in roof; also the precise location of the foundation posts and the fact that the 4x6 sills will be set with the six inch dimension upright; also that the cedar posts will extend at least four feet below the grade of the ground.

It is particularly important to show which way the floor joists will run. If the floor joists are to run the direction of the 24 foot dimension of the piazza, then it will be necessary to show the size and location of the beams supporting the floor joists which would run from the house out to the outside edge of the piazza. It is also particularly necessary to show the size and spans of the members running across the posts to support the outside ends of the roof joists.

The law requires that both first floor and roof of the piazza be designed for a combined live and dead load of no less than 45 pounds per square foot.

Please let us have this information promptly and in such a clear way that it may be understood and be filed away with the application for the permit. In the meantime it is not lawful for you to start with any of the work until the permit card is actually in your possession and posted upon the premises.

Very truly yours,

W McD/H

Inspector of Buildings



GENERAL RESIDENCE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 10578

Class of Building or Type of Structure Third Class

Portland, Maine, May 27, 1943 JUN 22 1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 12 Dakota Street Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address George A. Albert, 12 Dakota St. Telephone no
Contractor's name and address Owner Telephone _____
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Dwelling No. families 1
Other buildings on same lot Tool house
Estimated cost \$ 150. Fee \$ 1.00

Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine

12 Dakota St.-----Construction of one-story enclosed porch for and by Mr. George A. Albe.
6/21/43

To Owner:

Wall studs are to be no more than 16 inches from center to center which would make them 14 inches apart instead of the 18 inches apart shown on your sketch,

(Signed) Warren McDonald
Inspector of Buildings

Details of New Work

Is any plumbing work involved in this work? no
Is any electrical work involved in this work? no Height average grade to top of plate 8'
Size, front 24' depth 8' No. stories 1 Height average grade to highest point of roof 12'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation cedar posts Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof shed Rise per foot 1 1/2" Roof covering asphalt roofing Class C 1/2"
No. of chimneys none Material of chimneys _____ of lining _____
Kind of heat none Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor 8', 2nd _____, 3rd _____, roof 8'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs on cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Mr. George Albert

INSPECTION COPY

37

P. 33/488-I

7-1-33-5

June 14, 1933

A. H. Chapman, Inc.
278 Ray Street
Portland, Maine

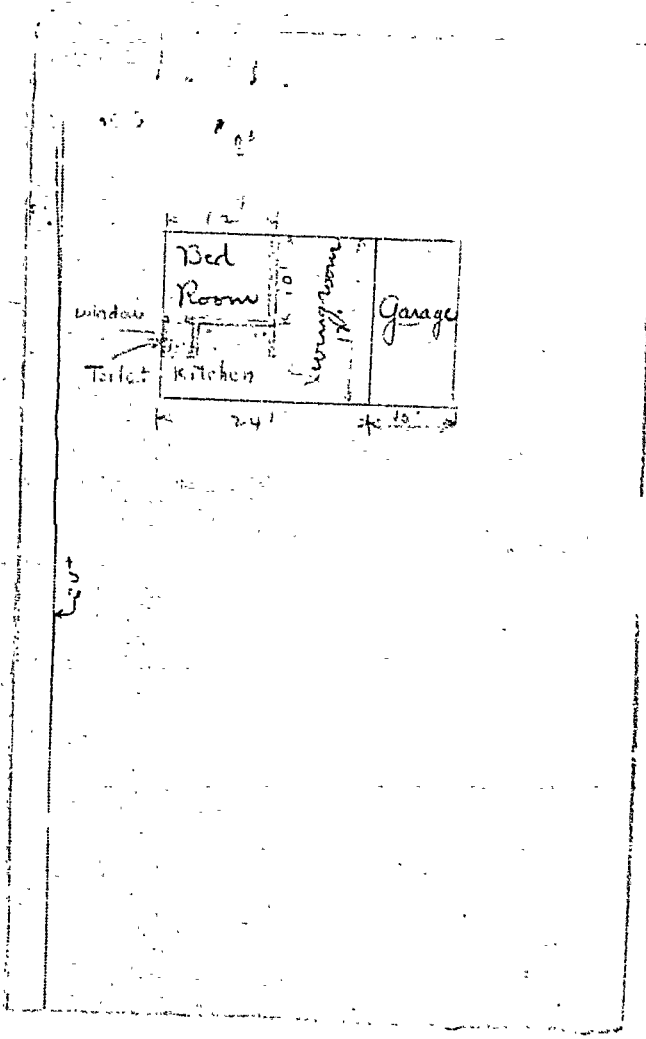
Gentlemen:

We could issue the certificate of occupancy required by the State Law for the use of the dwelling house and garage which you have built on lot 345 Dakota Street, if it were not for the fact that the foundation wall on the rear and end toward Ray Street has not sufficient earth cover on the outside to place it at least four feet below the grade of the ground and thus below the frost line as required by law.

Please have this ground graded up permanently so that all parts of the foundation wall will be at least four feet below the finished grade of the ground at least by June 30, 1933 and notify us for another inspection, so that the required certificate of occupancy may be issued.

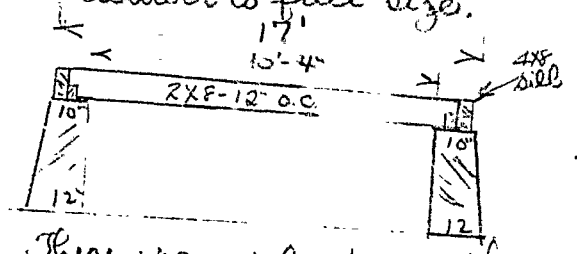
Very truly yours,

Inspector of buildings



2015

Mr. Chapman asked me if 2x8-12" o.c. would be O.K. here + I told him to so put in application + we would check up. There will be no ceiling of course on underside of joists. Actual span will be a little over 15'. Ceiling timber will be 2x4 running to rafters at ridge. All lumber is full size.



There is no plaster in these houses except on wall between house + garage, the walls + ceiling are covered with some sort of pressed composition board. Mr. Chapman says + is planning to sell these (lot + all) for 1000.00. See over for floor plan.

Sept. 42200-I
41210-I

A. H. Chapman, Inc.
278 My Street
Portland, Maine

April 22, 1950

Gentlemen:

Referring to the two proposed dwellings on lots 345 and 353 Lakota Street, the arrangement of the 2x4 floor joists, 12 inches from center to center, appears to work out all right where partitions come. I know these partitions are to be covered only with wallboard, but whatever the weight of them is must be taken care of.

As I understand the floor arrangement only one room is to be partitioned off and that a bedroom in the rear corner. The one partition which runs the same way of the floor joists may be easily taken care of by doubling the joists under it. In the case of the partition which runs across the floor joists something else will have to be done.

I am not satisfied that the proposed arrangement for supporting the ceilings will comply with the spirit of the Building Code as regards stiffness. I understand that you are to run 2x4 ceiling joists one length clear across the building, to be supported on the plate on either side and in the middle by a rafter from the rafters where they rest at the ridge. There is to be no floor on these 2x4's and no opportunity to store anything up there, except that we will, of course, require a hatchway to give access to the otherwise blind attic. I would like to have a sketch showing this arrangement of ceiling in detail as to the size and precise location of the hangers, the fact that the 2x4's are continuous from plate to plate, what size strapping is to be used and what spacing of it. It seems to me that this arrangement leaves something to be desired in stiffness the length of the building.

While we do not intend to insist upon any change in the detail proposed at the sill, I am sure you would get a very much better structural job if you would lay the sill flat, rest the floor joists on the top of it and spike them to the studs as well as the sills. I am aware of the fact that this suggested detail would cause some additional shrinkage in the inside partitions over that which would take place under the outside walls, but since you are not using plaster, and this is only a one story house, I doubt if that would make any difference. I know also that it is very much easier to form the fire stops around the outside by the detail which you show, but I think the probability of the house remaining plain and square through the years with this suggested detail would warrant spending a little more money to cut in the fire stops.

Since these two houses are of a new type of which you try build several, I think it best that you clear up these details before any permits are issued.

I am sure that no one desires to find a low cost home for people in very moderate circumstances, but at the same time be sure not neglect the features of reasonable prospect for maintenance and durability.

Very truly yours,

Inspector of Buildings

WHD/H

CC: A. O. Soule, 15 Dudley Street

These sketches (3 sheets) are to be filed with the proposed dwg house and garage for A. H. Chapman, Inc. on Lot 345 Dakota St. and to be considered and referred to as standard framing plans for this particular type of low-cost house.

wmc 5/1/39

Rec'd 4/28/39
wmc

Concrete pier

Concrete pier

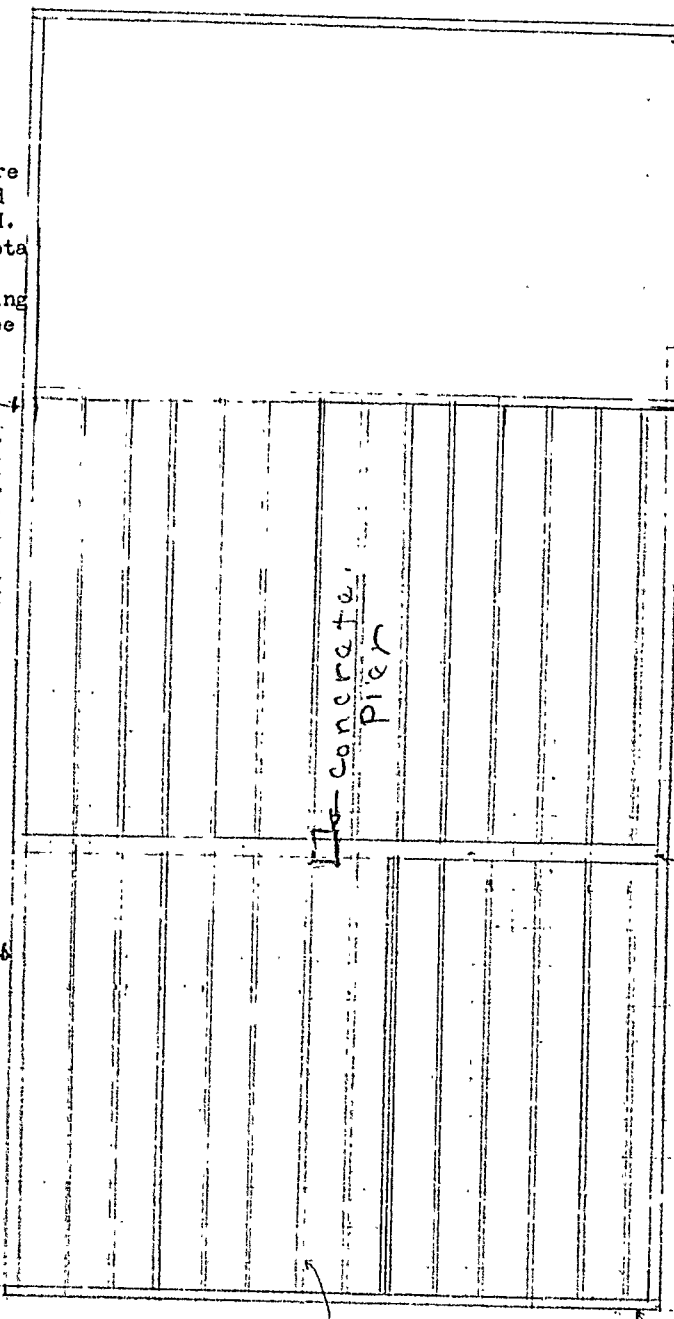
6x8 girders

1/4" x 1/2" joist

Sheet 1 of 3 1st Floor
Scale 1/4" = 1'-0"

2x8
3/4" joint
16" on centers

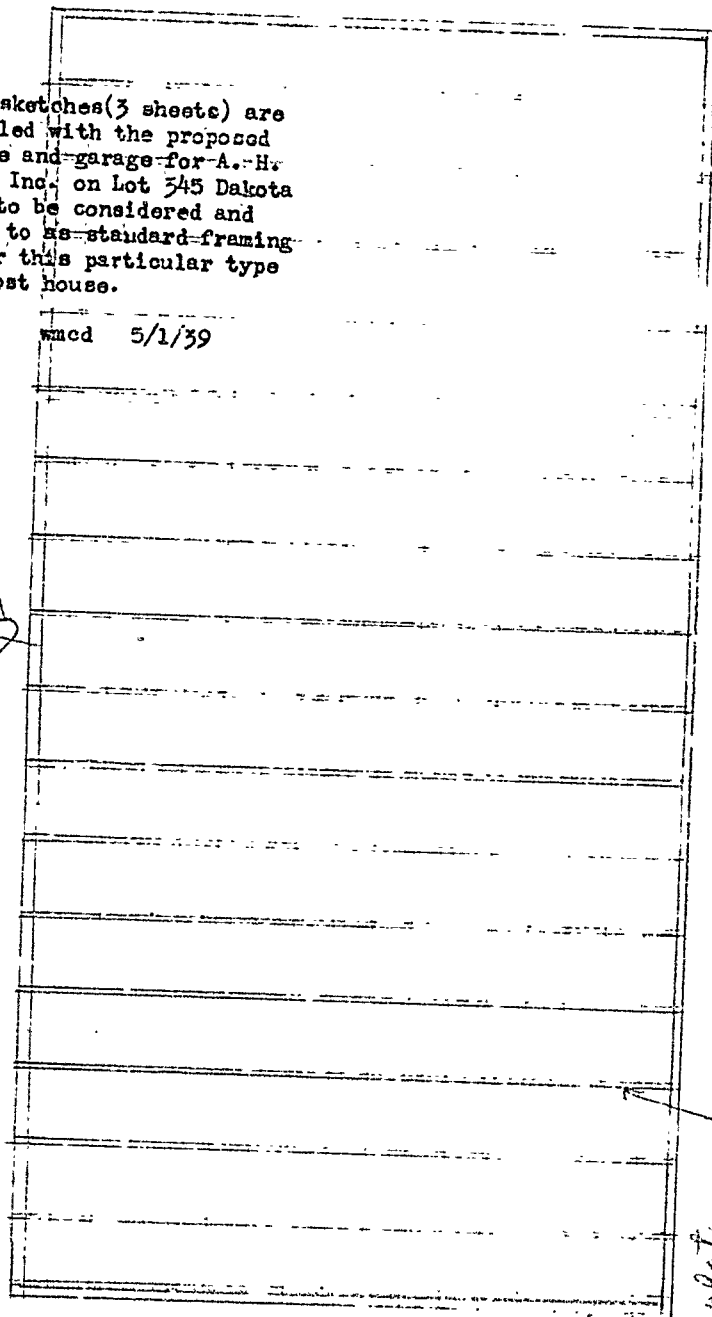
4x8
Bills



These sketches (3 sheets) are to be filed with the proposed dwg house and garage for A. H. Chapman, Inc. on Lot 345 Dakota St. and to be considered and referred to as standard framing plans for this particular type of low-cost house.

smcd 5/1/39

Rec'd
4/28/39
mm

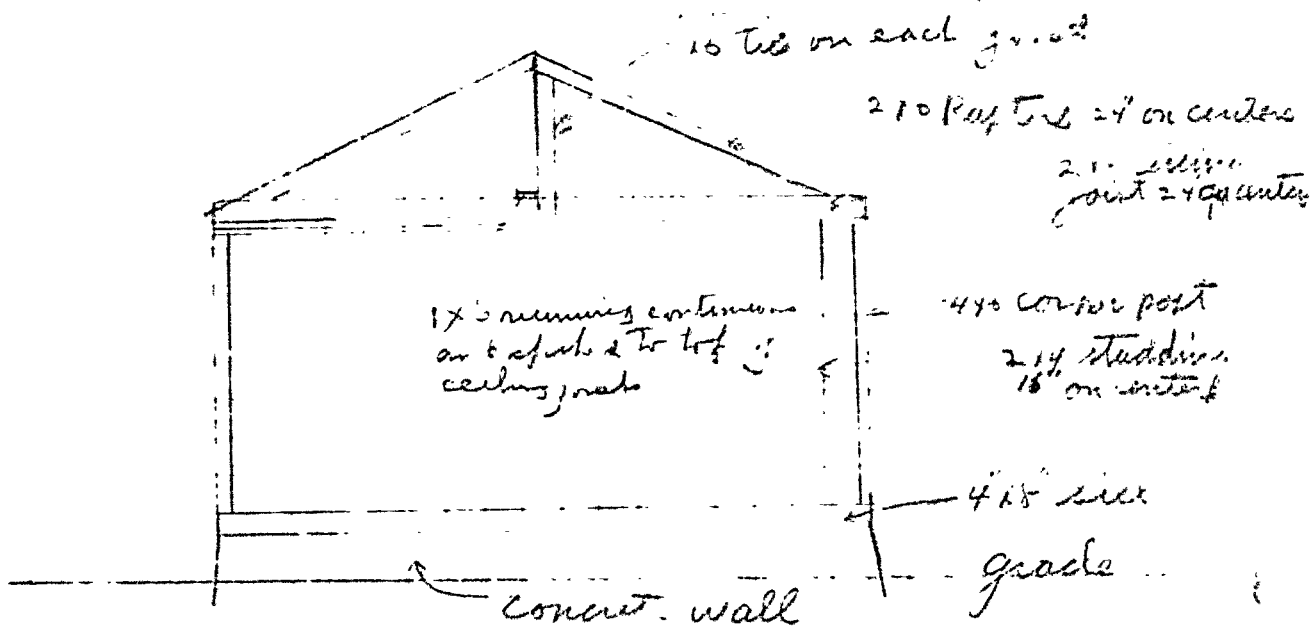


Sheet 2 of 3. Ceiling
Scale 1/4" = 1'-0"

These sketches (3 sheets) are to be filed with the proposed dog house and garage for A. H. Chapman, Inc. on Lot 343 Dakota St. and to be considered and referred to as standard framing plans for this particular type of low-cost house.

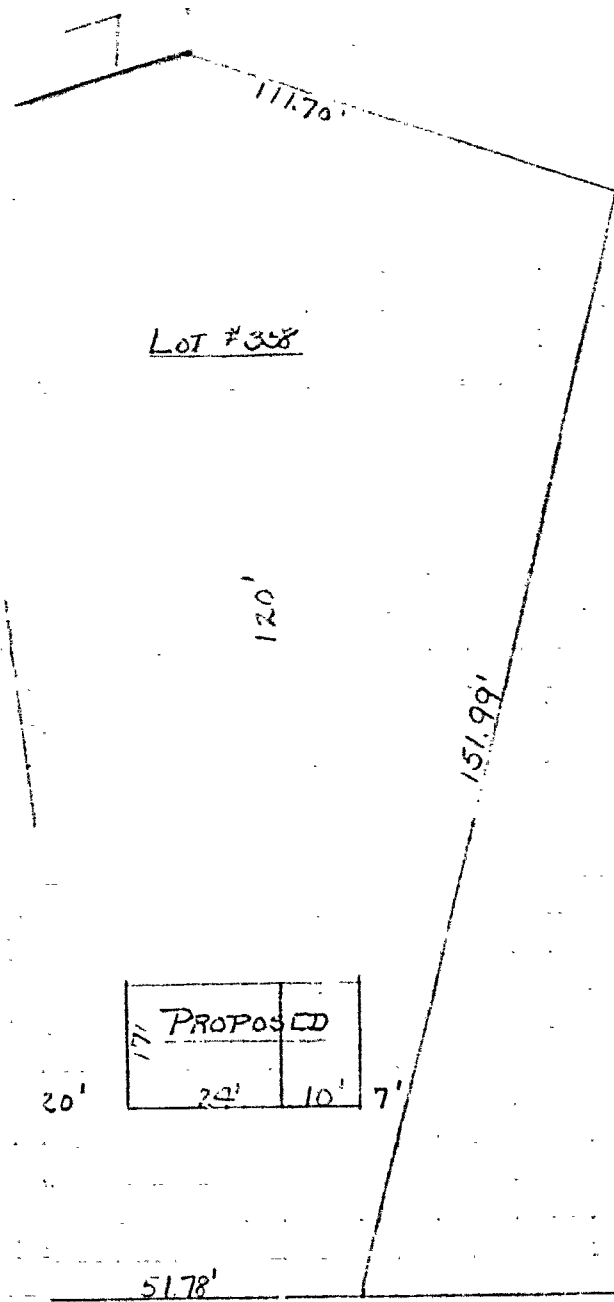
mcd 5/1/39

Rec'd 4/28/39



cross section
 scale 1/4" = 1'-0"

Sheet 30 of 3



LOT #358

120'

151.99'

111.70'

PROPOSED

20'

17'

24'

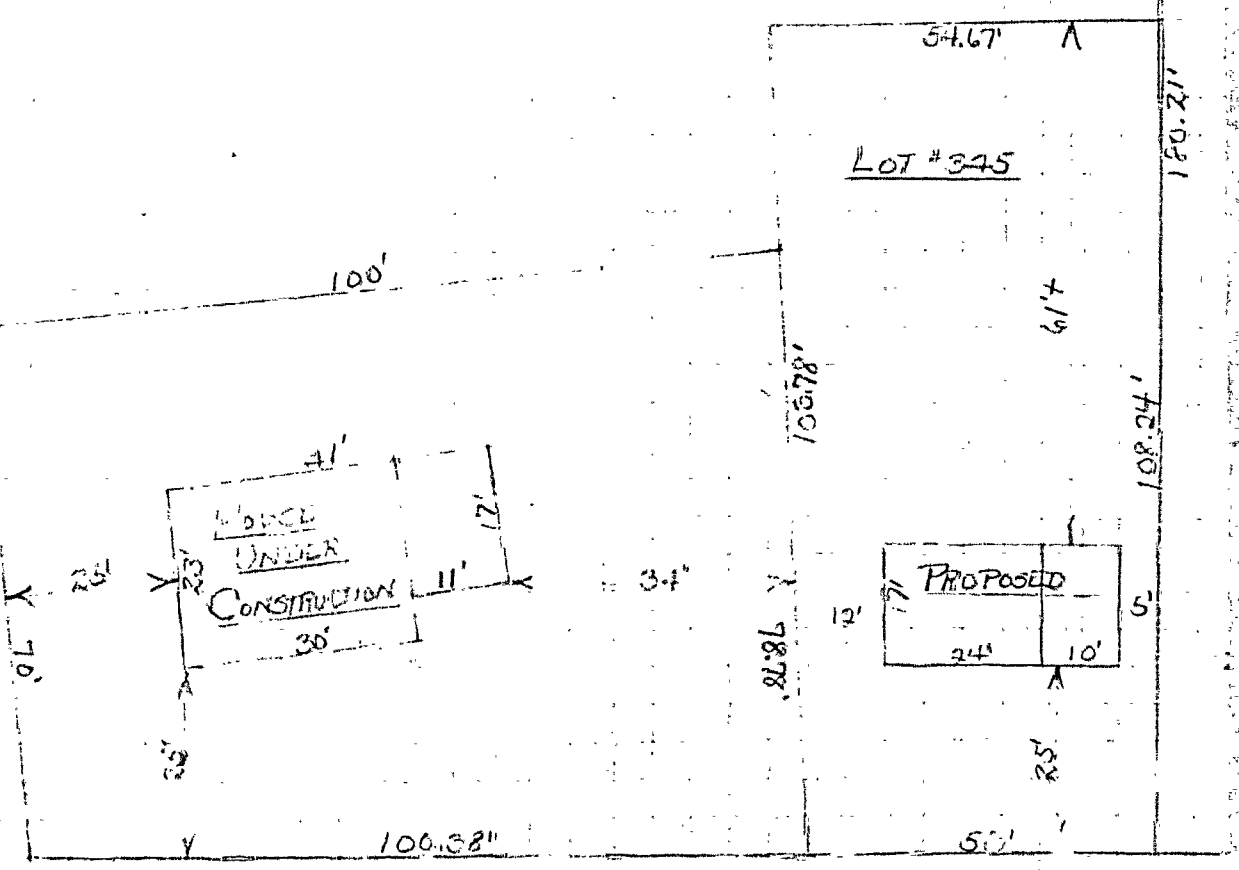
10'

7'

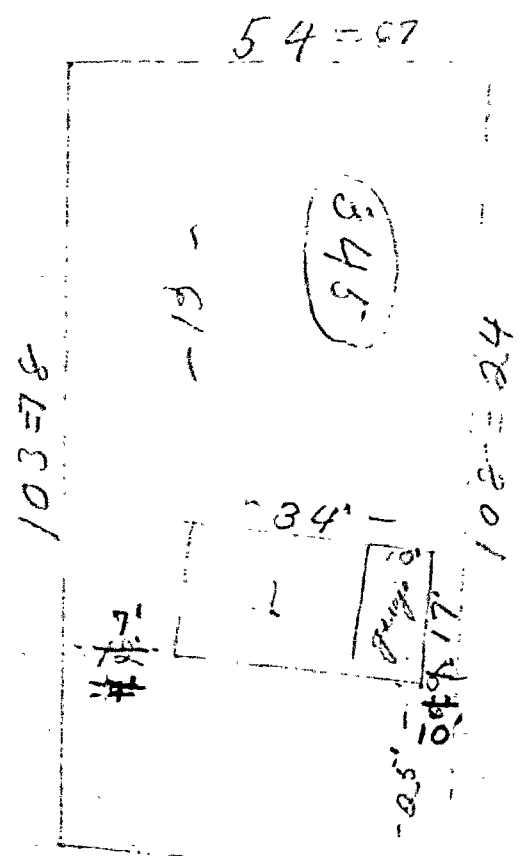
51.78'

STREET

FRY STREET



DAKOTA



345

RECEIVED
 APR 20 1939
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND

5'-0"
 DAKOTA ST

STATEMENT AND DECLARATION FOR BUILDING PERMIT

for one family dwelling house with 1 car garage attached
at Lot 345 Dakota Street Date 4/20/39

1. In whose name is the title of the property now recorded? A. H. Chapman, Inc.
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? by iron stakes
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? 6"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to the office before the changes are made? yes

A. H. Chapman

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

yes yes

Height average grade to top of plate 8'6"

Size, front 24' depth 17' No. stories 1 Height average grade to highest point of roof 22'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation concrete trench wall Thickness, top 10" bottom 12" cellar no

Material of underpinning no sill under garage Height sill at least 8" above grade Thickness

Kind of Roof pitch Rise per foot 5" Roof covering asphalt roofing, Class C kind, Lab.

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat stove Type of fuel gas Is gas fitting involved? no

Plumbing Lumber—Kind bracket and spurs Dressed or Full Size? dressed

Corner posts 2x6 Sills 4x4 Girt or ledger board? none Size

Material columns under girders concrete piers Size 8 ft Max. on centers

Joists (outside walls and carrying partitions) 2x12 O. C. Girders 6x8 or larger. Bridging in every floor and flat roof over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x8, 2nd 2x6, 3rd 2x6, roof 2x8

(On centers: 1st floor 16", 2nd 2', 3rd 2', roof 2'

Maximum span: 1st floor 12'2", 2nd 8', 3rd 8', roof 8'

One-story building with masonry walls, thickness of walls? 12" floor in garage height?

If a Garage

Cars now accommodated on same lot none, to be accommodated 1

Number commercial cars to be accommodated none

Automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Does work require removal or disturbing of any shade tree on a public street? no

Who will be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

A. H. Chapman, Inc.

ON COPY

Signature of owner

A. H. Chapman



GENERAL RESIDENCE ZONE
APPLICATION FOR PERMIT
 Class of Building or Type of Structure _____

Portland, Maine, April 20, 1937 MAY 7 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect also install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lot 515 Dakota Street Within Fire Limits? no Dist. No. _____
 Owner's or lessee's name and address L. H. Chapman, Inc., 272 Foy St. Telephone 4-2727
 Contractor's name and address A. G. Soule, 15 Dudley St. Telephone _____
 Architect _____ Plans filed yes No. of sheets 1
 Proposed use of building dwelling house with 1 car garage attached No. families 1
 Other buildings on same lot _____
 Estimated cost \$ 1,221.00 Fee \$ 1.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect one family frame dwelling house with one car garage attached

The inside of the garage will be covered, where required by law, with metal lath and plaster

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

yes _____ Height average grade to top of plate 8'6"
 size, from 21' depth 17' No. stories 1 Height average grade to highest point of roof 12'
 to be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete trench wall Thickness, top 10" bottom 12" cellar no
 Material of underpinning to sill Height under garage Thickness _____
 Kind of Roof pitch Rise per foot 5" Roof covering asphalt roofing, class C kind, 1 lb.
 No. of chimneys 1 Material of chimneys brick of lining tile
 Kind of heat stove Type of fuel _____ Is gas fitting involved? no
 Framing Lumber—Kind healer's and spruce Dressed or Full Size? dressed
 Corner posts 2x6 Sills 2x6 Girt or ledger board? none Size _____
 Material columns under girders concrete pier Size _____ Max. on centers 8 ft
 Joists and rafters: 1st floor 2x8 2nd 2x8 3rd _____, roof 2x8
 On centers: 1st floor 16" 2nd 2' 3rd _____, roof 2'
 Maximum span: 1st floor 12'-0" 2nd 2' 3rd _____, roof _____
 One story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

Cars now accommodated on same lot none, to be accommodated 1
 Number commercial cars to be accommodated none
 Automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Above work require removal or disturbing of any shade tree on a public street? no
 Who will be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner A. H. Chapman, Inc.
A. H. Chapman
 ON COPY _____

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3825

PROPERTY ADDRESS

Town/City/Plantation: PORTLAND

Street: 12 DENNIS ST.

Subdivision/Lot #: _____

PROPERTY OWNERS NAME

Last: _____ First: _____

Applicant Name: PAGE, CHELLA - PRIME

Mailing Address of Owner/Applicant (if Different): 21 A St. Lawrence St.

PORTLAND PERMIT # 2,621 TOWN COPY

Date Issued: 01-12-87 \$ 6 FEE (Double Fee Charged)

Local Plumbing Inspector Signature: [Signature] L.P.I. # 123

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: _____ Date: 11/28/87

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: MAR 18 1988

PERMIT INFORMATION

This Application Is for:

1. NEW PLUMBING

2. RELOCATED PLUMBING

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING

2. MODULAR OR MOBILE HOME

3. MULTIPLE FAMILY DWELLING

4. OTHER - SPECIFY: _____

Plumbing To Be Installed By:

1. MASTER PLUMBER

2. OIL BURNERMAN

3. MFG'D. HOUSING DEALER/MECHANIC

4. PUBLIC UTILITY EMPLOYEE

5. PROPERTY OWNER

LICENSE # _____

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
<p>HOO-K-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>OR</p> <p>HOO-K-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p>		Hosebibb / Silcock	0, 1	Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease/Oil Separator		Dish Washer
		Dental C' spider		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
Number of Hook-Ups & Relocations				
Hook-Up & Relocation Fee		Fixtures (Subtotal) Column 2	2	Fixtures (Subtotal) Column 1
				Fixtures (Subtotal) Column 2
				Fee
			\$ 6	
			\$	
			\$ 6	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

PERMIT # 1505 CITY OF PORTLAND BUILDING PERMIT APPLICATION

MAP # _____ LOT # _____
For Official Use Only

Date	November 12, 1987	Subscribed	Yes / No
Inspector	_____	Name	_____
Permit Fee	\$25.00	Address	_____
Value	\$25.00	City	_____
Assessment	_____	State	_____
Other	_____	County	_____

OWNER: Sheila A. Bruce Pace - 772-0561
 ADDRESS: 91A St. Lawrence Street, Portland, Maine 04101
 LOCATION OF CONSTRUCTION: 12 Dakota Street
 CONTRACTOR: CAROL SUBCONTRACTORS

Est. Construction Cost: 1,000.00 Type of Use: Single Family
 Building Directions: L. W. Sq. Ft. # Stories Lot Size
 Proposed Use: Stone Seasonal Condominium Apartment
 COMPLETE ONLY IF TILE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only # of New Dwelling Units

FOUNDATION
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footing Size: _____
 4. Foundation Size: _____
 5. Other: _____

TILES
 1. Sills Size: _____ Sills must be anchored.
 2. Stud Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joist Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Plyer Sheathing Type: _____ Size: _____
 7. Other Material: _____

EXTERIOR WALLS
 1. Studding Size _____ Spacing _____
 2. No. Windows _____
 3. No. Doors _____
 4. Header Size _____ Spacing _____
 5. Breeding: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Material _____
 11. Metal Material _____

INTERIOR
 1. Studding Size _____ Spacing _____
 2. Header Size _____ Spacing _____
 3. Wall Covering Type _____
 4. Fire Wall If required _____
 5. Other Material _____

CEILING
 1. Ceiling Joist Size _____ Spacing _____
 2. Ceiling Strapping Size _____
 3. Type Ceiling _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height _____
 6. Other _____

ROOF
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 4. Other _____

HEATING
 Type of Heat: _____ Number of Fire Places _____
 Electrical: _____
 Service Entrance Size _____ Smoke Detector Required Yes _____ No _____

PLUMBING
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____ Combination tub and shower _____
 3. No. of Fixtures _____
 4. No. of Lavatories _____ mounting side _____
 5. No. of Other Fixtures _____
Swimming Pools:
 1. Type: _____ Square Footage _____
 2. Pool Size: _____
 3. Must conform to National Electrical Code and State Law.

ZONING
 District: _____ Street Frontage Req: _____ Provided _____
 Required Setback: Front _____ Back _____ Side _____
Review Requirements:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance: _____
 Shore and Floodplain Mgmt: _____
 Other: _____ (Explain) _____
 Date Approved: _____

Permit Received By: Joyce M. Rhoads
 Signature of Applicant: Sheila Pace Date: Nov. 12, 1987
 Signature of CEO: _____ Date: _____
 Inspection Date: _____
 White Tag - CEO _____
 White Tag Assessor _____ Yellow - GPCOG _____

1 wing



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date April 13, 1990
 Receipt and Permit number 01230

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 12 Dakota Street - sin. fam.
 OWNER'S NAME: Gail Everett ADDRESS: same FEES

OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____

FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
 Strip fluorescent _____ ft. _____

SERVICES: Overhead x Underground _____ Temporary _____ TOTAL amperes 100 .. 3.00
 METERS: (number of) 1 .. 50

MOTORS: (number of) Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING: Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of) Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of) Branch Panels _____
 Transformers _____
 Air Conditioners Central Unit _____
 Separate Units (windows) _____
 Signs 20 sq. ft. and under _____
 Over 20 sq. ft. _____
 Swimming Pools Above Ground _____
 In Ground _____
 Fire/Burglar Alarms Residential _____
 Commercial _____
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____
 over 30 amps _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Emergency Lights, battery _____
 Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____
 TOTAL AMOUNT DUE: 5.00 Min.

INSPECTION: 1:30 WILL BE READY
 Will be ready on April 20, 1990; or Will Call _____
 CONTRACTOR'S NAME: Iotfey Elec.
 ADDRESS: 45 Hillside Rd., Portland, ME 04103
 TEL: 773-3400 SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: 8675

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

