

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-08-2037-SF	Date Applied: 8/18/2011	CBL: 406 - - F - 060 - 001 - - - - -	
Location of Construction: 4 STEPPING STONE - Lot 10	Owner Name: King Construction	Owner Address: 6198 Saco Ave. Old Orchard Beach, ME 04064	Phone:
Business Name:	Contractor Name: Thomas Blackburn	Contractor Address: 14 Hanover St., Portland, ME 04101	Phone: 207-232-8134
Lessee/Buyer's Name:	Phone:	Permit Type: Building - New Single Family	Zone: R-3
Past Use: Vacant Land	Proposed Use: New Single family - construct a new, two story (28' x 34'), single family home with 12' x 22' one story attached garage	Cost of Work: 115000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <i>w/ conditions</i> <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>RS</i> Type: <i>SB</i> <i>MUBEC</i>
Proposed Project Description: New single family home - 28' x 34' w/12' x 22' attached garage		Signature: <i>Capt. Perrone 11/8/11</i> Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>V/A</i> <input type="checkbox"/> Wetlands <i>V/A</i> <input type="checkbox"/> Flood Zone <i>panel 7 - zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Level I Minor Residential</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/ cond. here 11/3/11</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>MBM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development Building Inspections Division



Location: 4 STEPPING STONE LN

CBL:

Issued To: King Construction Corp

Issued Date:

This is to certify that the building, premises, or part thereof, at the above location, b
Building Permit No. 201113034/2011-08-2037-SF has had a final inspection, has been found to
requirements of the Building Code and the Land Use Code of the City of Portland, and is here
limited or otherwise, as indicated
below.

closed

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPA

USE GROUP R-3
TYPE 5-B
SINGLE FAMILY I
MUBEC

LIMITING CONDITIONS: THIS IS A TEMPORARY CERTIFICATE OF OCCUPANCY AND IT
PENDING APPROVAL BY THE DEVELOPMENT REVIEW COORD

TEMPORARY

Approved:

[Signature]

[Signature]

Memorandum
Department of Planning and Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: March 18, 2013

RE: C. of O. for # 4 Stepping Stone, King Construction Single Family Home
(Id#2011-08-2037-SF) (CBL 406 F 060001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Finish grading in accordance with the approved site plan, loaming, seeding, and mulching,
2. Shimming driveway with pavement to prevent puddling,

I anticipate this work can be completed by **June 1, 2013**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Tammy Munson, Inspection Services Manager
Barbara Barhydt, Development Review Services Manager
File: UI



KING REAL ESTATE
198 SACO AVENUE
OLD ORCHARD BEACH, ME 04064
T. 207.934.7622 F. 207.934.1566

FACSIMILE TRANSMITTAL LETTER

DATE: 3/22/13

TOTAL NO. OF PAGES: 2

RECIPIENT NAME: Don McPherson

RECIPIENT FAX NO: 207 874-8716

FROM: Ken Allen - King Construction Corp

REGARDING: 4 stepping Stone Lane - Portland

COMMENTS: Safety glazing on 2 Bathroom
Windows

Thank you

IMPORTANT:

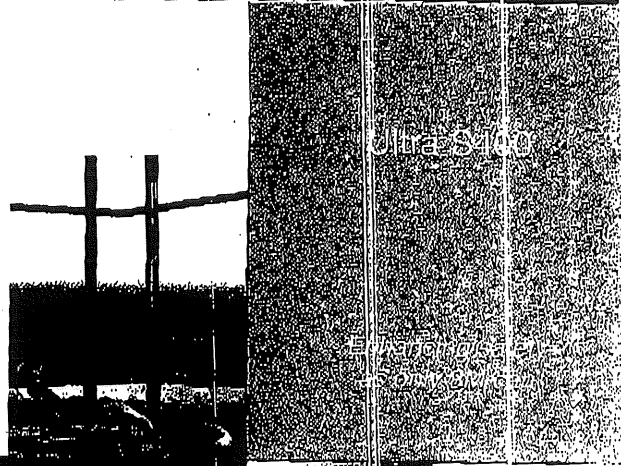
The pages comprising this facsimile are intended only for the use of the individual or entity to which it is addressed & may contain information that is privileged, confidential and/or exempt from disclosure under applicable law. If the reader of this message is not the intended recipient or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution and/or copying of this communication is strictly prohibited. If you have received this communication in error, please notify this office immediately by telephone and return the original message to the above address.



Safety & Security Window Films

Performance Results*:

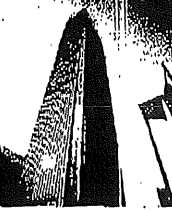
Visible Light Transmitted	86%
Total Solar Energy Rejected	17%
UV Light Rejected	98%
Glare Reduction	2%
Visible Light Reflected	11%



Ultra S400

SCLEARL400

SCLEARL400



Ultra S400 Benefits:

- 3M patented technology utilizes many microlayers in a 4 mil film to provide enormous strength and tear resistance compared to standard PET films
- Improves personal, property and asset protection from hurricanes, blasts and earthquakes
- Comprehensive 3M manufacturer's warranty
- Reduces fading and helps protect furnishings
- Deters smash and grab burglaries
- Meets Safety Glazing Standard CPSC 16 CFR, Category II (400 ft./lb.) and ANSI Z97.1, and passes Intensified Weathering Test

Maine Sun Solutions
 50 Market St.
 #211
 South Portland, ME 04106
 207-831-7722

*Performance data guaranteed for a typical film on 6mm glass using applicable industry test methods and standards.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Job ID: 2011-08-2037-SF

Located At: 4 STEPPING
STONE LN

CBL: 406- F-060-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Submit specifications for Engineered Beams and Trusses.
3. Header and Girder spans must comply with Table R502.5(1).
4. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
5. A code compliant emergency escape shall be provided in the bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
6. **Note: Contractor agreed to submit code compliant deck framing details prior to construction.**
7. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
8. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
9. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
10. Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.

11. R302.6 Dwelling/garage fire separation. The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.

TABLE R302.6
DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2 inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2 inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

2009 INTERNATIONAL RESIDENTIAL CODE®

51

Zoning

1. This permit is being approved on the basis of plans submitted including the site plan received 11/3/11. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Fire

1. All construction shall comply with City Code Chapter 10.
2. A sprinkler system shall be installed.
3. A separate no fee One- or Two-family Fire Sprinkler Permit is required.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
6. **Sprinkler requirements**
7. The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.
8. All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.
9. install an NFPA 13D automatic sprinkler system

Planning Department Conditions of Approval

1. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
2. The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent monumentation/pins identifying property corners.
3. A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
4. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
5. The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
6. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
7. All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions ie., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.
8. Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.
9. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
10. The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
11. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

"4 STEPPING STONE LN"

4/3/2012

King @ 332-7544 for close in. /gg

"W/BKL & JGR Elec OK

Framing failed. Provide:

Basement:

- ✓ Hangers at window seat joists
- Nails in floor joists at beam
- ✓ Framing not per plan. TJIs spec solid sawn lumber installed (Floor framing at steps to garage)
- Fire block soffit
- Drywall under stairs to garage (consulted with the Director)
- Lateral and vertical attachment at deck
- ✓ Lally columns in basement or revised plans
- ✓ Access to attic above garage
- Protect/repair foundation insulation"

~~Deck connection~~

~~Fire separation~~

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-08-2037-SF 2011-144310-amend	Date Applied: 12/28/2011	CBL: 406- F-060-001	
Location of Construction: 4 STEPPING STONE LN	Owner Name: KING CONSTRUCTION	Owner Address: 198 SACO AVE OLD ORCHARD BEACH, ME 04064	Phone:
Business Name:	Contractor Name: King Construction	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Per Bui	Zone: R-3
Past Use: New single family - #2011-08-2037	Proposed Use: Same - new single family - change the foundation & add a bulkhead.	Co 100 Fir	CEO District:
Proposed Project Description: amend permit 2011-08-2037-change foundation		Sig	Inspection: Use Group: Type:
Permit Taken By:	Signature: <i>JAR</i>		

4/13/12

Hold for

MTG

Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building Permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>01/30/12</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that *King Construction*

Located At 4 STEPPING STONE LN

Job ID: 2011-08-2037-SF

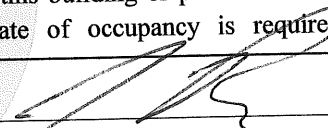
CBL: 406-F-060-001

has permission to Build a new Single Family Residence with an attached garage.
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer


11/15/2011
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

SCANNED



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

_____ 2011

Received from King Construction

Location of Work 4' Apple St. Toward

Cost of Construction \$ _____ Building Fee: 100.00

Permit Fee \$ _____ Site Fee: 300.00

Certificate of Occupancy Fee: 5.00

Total: 1,645.00

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other Law F

CBL: _____

Check #: 9359 Total Collected \$ 1,645.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Foundation prior to backfill
 3. Close In Elec/Plmb/Frame prior to insulate or gypsum
 4. Insulation prior to Close-In.
 5. Final Inspection/ Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



attached to Permit # 201108-3037
new single family

Water-Based Fire Suppression System Permit

If you or the property owner owes real estate or property taxes or user charges on any property within the city, payment arrangements must be made before permits of any kind are accepted.

Installation address: 4 STEPPING STONE LN CBL: 406 F060

Exact location: (within structure) SEE ATTACHED PLANS

Type of occupancy(s) (NFPA & ICC): _____

Building owner: KING CONSTRUCTION

Managing Supervisor (RMS): _____ License No: _____

Supervisor phone: _____ E-mail: _____

Installing contractor: MICHAEL LOCKE License No: _____

Contractor phone: 229-6335 E-mail: _____

The suppression work to be done will be: New: Renovation: Addition to existing system:

This is an amendment to an existing permit: Yes: NO Permit no: _____

NFPA Standard this system is designed to: _____ Edition: _____

*Non-NFPA systems are not approved for use within the City of Portland.

Download a new copy of this document from www.portlandmaine.gov/fire for every submittal. Attach all working documents and complete approved submittals as may be required by the State Fire Marshal's Office on electronic PDF's in addition to full sized plans.

Contractor shall verify location and type of all FDCs shall be approved in writing by the Fire Prevention Bureau.

<p>COST OF WORK: _____</p> <p>PERMIT FEE: <u>0</u></p> <p>(\$10 PER \$1,000 + \$30 FOR THE FIRST \$1,000)</p>

Submit all information to the Building Inspections Department, 389 Congress Street, Room 315, Portland, Maine 04101.

Prior to acceptance of any fire protection system, a complete commissioning and acceptance test must be coordinated with all fire system contractors and the Fire Department, and proper documentation of such test(s) provided.

All installation(s) must comply with NFPA and the Fire Department Technical Standard(s).

Applicant signature: TOR SUPEROWNER Date: 8/18/14



Tsvetelina Bryant <krebkpr1@gmail.com>

Fwd: Fire Sprinkler Permit, Log Book Number: [2111284]

2 messages

krekw1@aol.com <krekw1@aol.com>

Wed, Aug 10, 2011 at 2:54 PM

To: krebkpr1@gmail.com

Tom: for inclusion with the Portland application for Autumn Glen. King

-----Original Message-----

From: Sherri Locke <slocke2@maine.rr.com>

To: King Weinstein <krekw1@aol.com>

Sent: Wed, Aug 10, 2011 2:44 pm

Subject: Fwd: Fire Sprinkler Permit, Log Book Number: [2111284]

FYI

Sent from my iPhone

Begin forwarded message:

From: sfmo.permit@maine.gov

Date: August 8, 2011 11:39:55 AM EDT

To: slocke2@maine.rr.com

Subject: Fire Sprinkler Permit, Log Book Number: [2111284]

Thank you for using the online Fire Sprinkler Permit service. The Log Number for your application is: **2111284**.

The recorded Job Name is: **STEPPING STONES-KINGWEINSTEIN**

Your permit application has been submitted to the State Fire Marshal's Office for review. Once your permit application has been reviewed and accepted, your permit will be sent via email to slocke2@maine.rr.com and devon.huynh@uponor-usa.com. If adjustments need to be made to the fees, the SFMO will contact you.

Once the permit application has been reviewed and the permit has been issued your credit card will be charged and the charge will appear on your statement as DEPT. OF PUBLIC SAFETY.

Questions about this Service? Contact Department of Public Safety, Maine Fire Marshal's Office at: (207) 626-3889

or reply to Email: sfmo.permit@maine.gov

=

Tsvetelina Bryant <krebkpr1@gmail.com>

Wed, Aug 10, 2011 at 3:02 PM

To: krekw1@aol.com

[Quoted text hidden]

entered 8/17/11

2011 08 2037

Location/Address of Site: 4 STEPPING STONE LANE		
Total Square Footage of Proposed Structure/Area: 2048	Area of lot (total square feet): 9894	Number of Stories: 2
Tax Assessor's Chart, Block & Lot(s) Chart# Block # Lot# 406 F 060	Fees Paid: (for Office Use Only) Site Plan _____ Building Permit... _____ Inspection _____	Cost of Work: Work: \$ 115,000 C of O Fee \$ _____
Current Legal Use: Number of residential Units VACANT	If vacant, previous use? VACANT LAND	Is property part of a subdivision? If yes, please name: AUTUMN GLEN
Proposed Use and Project Description: SINGLE FAMILY HOME		
Applicant - must be owner, Lessee or Buyer Name: KING CONSTRUCTION Business Name, if applicable: Address: 198 SALD AVE OLD ORCHARD City/State: BEACH, ME Zip Code: 04004	Applicant Contact Information Work # _____ Home# _____ Cell # _____ e-mail: _____	Bldg Fee \$ 1,170.00 Site \$ 300.00 capo \$ 7500 100.00 total 1,645.00
Owner - (if different from Applicant) Name: _____ Address: _____ City/State : _____ Zip Code: _____	Owner Contact Information Work # _____ Home# _____ Cell # _____ e-mail: _____	RECEIVED AUG 18 2011 Dept. of Building Inspections City of Portland Maine
Agent/ Contractor Name: THOMAS BLACKBURN Address: 14 HANOVER ST City/State : PORT ME Zip Code: 04001	Agent/Contractor Contact Information Work # 207-232-8134 Home# _____ Cell # 207-232-8134 e-mail: TEBLKBURN@MAINE.PRCOM	
Billing Information Name: _____ Address: _____ City/State : _____ Zip Code: _____ Phone Number: _____	Contact when Building Permit is Ready: Name: TOM BLACKBURN Address: _____ City/State : _____ Zip Code: _____ Phone Number: 232-8134	

DEVELOPMENT REVIEW FEES:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

Level I Minor Residential Site Plan ____ Application Fee (\$300.00 flat fee) The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) 	Fees Paid (office use) _____
Inspection Fee: Inspection fee due after approval (for site plan inspection by the Planning Division)	\$100 (flat fee)
Performance Guarantee	Exempt except for those projects that complete construction in the winter and the site work is incomplete.
Building Permit Fee	\$30 for the first \$1,000 construction cost, \$10 per additional \$1,000 cost.

Application Check List:

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

INSPECTIONS
Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.

Property Taxes:

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

Separate Permits:

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of Applicant: 	Date:
--	----------------------

This is not a permit; you may not commence any work until the permit is issued.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	▪ Proposed protections to or alterations of watercourses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	▪ Proposed wetland protections or impacts.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Existing and proposed curb and sidewalk, except for a single family home.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Existing and proposed easements or public or private rights of way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	▪ Show foundation/perimeter drain and outlet.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Additional requirements may apply for lots on unimproved streets.
<input type="checkbox"/>	<input type="checkbox"/>	3 (1 paper copy as of Dec. 1)
		Three sets of the reduced boundary survey/site plan is required if original is larger than 11'x17'

Building Permit Submittal Requirements –Level I: Minor Residential Development

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
		1	One (1) complete set of construction drawings must include:
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Cross section with framing details
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Floor plans and elevations to scale
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Window and door schedules
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Foundation plans w/required drainage and damp proofing , if applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Detail egress requirements and fire separation, if applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"

Reminder: Separate permits are required for internal and external plumbing, HVAC, and electrical installations. Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.

LAWYERS TITLE INSURANCE CORPORATION

Owners Policy

Book 23038 page 1

SCHEDULE A

File No. : 3391
Policy No.: C29-0238681

Address: ~~25~~ Stepping Stone Lane, Portland, Maine

Amount of Insurance: \$205,000
Date of Policy: October 1, 2009 at 2:48 p.m.

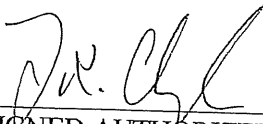
1. NAME OF INSURED: KING CONSTRUCTION CORP.
2. THE ESTATE OR INTEREST IN THE LAND DESCRIBED HEREIN AND WHICH IS COVERED BY THIS POLICY IS:

Fee Simple
3. THE ESTATE OR INTEREST REFERRED TO HEREIN IS AT DATE OF POLICY VESTED IN:

The Insured
4. THE LAND REFERRED TO IN THIS POLICY IS DESCRIBED AS FOLLOWS:

All that certain real estate situated on or about 25 Stepping Stone Lane in the City of Portland, County of Cumberland and State of Maine, all more particularly described on Exhibit A, attached hereto and made a part hereof.

ISSUED AT: PORTLAND, MAINE
TOMPKINS CLOUGH HIRSHON & LANGER, P.A.



COUNTERSIGNED AUTHORIZED OFFICER OR AGENT

THIS POLICY IS INVALID UNLESS THE COVER SHEET AND SCHEDULE B ARE ATTACHED
ALTA Owner's Policy 2006

25 Stepping Stone Lane, Portland, Maine

Exhibit A

A certain lot or parcel of land together with any buildings or improvements thereon in the City of Portland, County of Cumberland and State of Maine, described as follows, to wit:

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine being lot numbered 5 as shown on the subdivision Plan/Recording Plat of Newcomb Glen Subdivision for Gunter Paul, Inc. by Sebago Technics, Inc. dated February 15, 2002, as amended by Subdivision Plan of Autumn Glen Subdivision dated March 17, 2004 and recorded in the Cumberland County Registry of Deeds in Plan Book 204, Page 247 as also further amended by Subdivision Plan/Recording Plat of Autumn Glen Subdivision Plan dated August 30, 2007 recorded in Plan Book 209, Page 249.

Along with a certain easement more particularly described in a deed conveyed by Gunter-Paul, Inc. to Windemere Homes, LLC dated April 2, 2004 and recorded in the Cumberland County Registry of Deeds in Book 21088, Page 312.

EXCEPTING AND RESERVING that parcel of land more particularly described in said deed of Gunter-Paul, Inc. dated April 2, 2004 and recorded in said Registry of Deeds in Book 21088, Page 312.

This property is subject to all covenants, conditions, restrictions and easements of record, to the extent they apply to the property herein conveyed.

(end)



Initial for Identification

"A"

QUITCLAIM (RELEASE) DEED

KNOW ALL MEN BY THESE PRESENTS,

THAT, NORTHEAST TRADING CORP. of Freeport, in the County of Cumberland and State of Maine, Mortgagee and Plaintiff pursuant to a Statutory Power of Sale against Windemere Homes LLC, with a public sale having occurred on July 13, 2005 at the premises described below after Notice of Sale was published in the _____ on _____ 2005, _____ 2005 and _____ 2005, in consideration of ONE DOLLAR (\$1.00) and other valuable consideration, paid by _____ and/or his/her/its heirs/successors and assigns, of _____, County of _____ and State of _____, whose mailing address is: _____, being the highest bidder at the public sale, the receipt whereof he/she/it does hereby acknowledge, does hereby release all of his/her/its right, title, and interest in the following described property unto the said _____ and/or his/her/its heirs/successors and assigns, their heirs and assigns, to wit:

A certain lot or parcel of land situated on the westerly side of Beaugard Street in the City of Portland, County of Cumberland and State of Maine as shown on the Subdivision Plan/Recording Plat of Newcomb Glen Subdivision for Gunter-Paul, Inc. by Sebago Technics, Inc. dated February 15, 2002 and last revised August 4, 2003, bounded and described as follows:

Beginning at a 5/8" rebar to be set at the southeasterly corner of land now or formerly of Gregory McCormack and the southwesterly sideline of Beaugard Street;

Thence S 33°-51'-39" E, by and along the southwesterly sideline of Beaugard Street and the northeasterly sideline of Lot One, Patriot Lane, Lot Ten and Lot Eight, a distance of 394.23 feet to a point near a found loose 5/8" rebar with Cap Number 2063 at the easterly corner of said Lot Eight;

Thence S 57° 25' 55" W, by and along the northerly sideline of remaining land of Dean Cole as shown on said Plan, a distance of 1.06 feet to a point;

Thence S 61°-35'-11" W, by and along the northerly sideline of remaining land of Dean Cole as shown on said plan and land now or formerly of Rocco Joseph Pompeo as described in a deed recorded at Cumberland County Registry of Deeds in Book 2130, Page 386, and the southeasterly sideline of Lot Eight and Lot Seven, a distance of 329.68 feet to a point near a 1" iron pipe crimped and a 1/2" rebar 10 inches high at the most easterly corner of land now or formerly owned by Leighton as described in a deed recorded at Cumberland County Registry of Deeds in Book 6962, Page 349;

Thence N 70°-02'-31" W, by and along the northerly sideline of land of said Leighton and the southerly sideline of Lot Six and Lot Five as shown on said Plan, a distance of 157.26 feet to a 5/8" capped rebar to be set;

Thence N 19°-57'-29" E, by and along the westerly sideline of Lots Five, Four, Three, Two and a portion of Lot One as shown on said Plan, a distance of 430.00 feet to a 5/8" capped rebar to be set;

Thence N 70°-02'-31" W, by and along a portion of Lot One as shown on said Plan, a distance of 100.00 feet to a 5/8" capped rebar to be set near a 1/2" rebar 2 inches underground at the easterly sideline of Ray Street;

Thence N 19°-57'-29" E, by and along the easterly sideline of said Ray Street, a distance of 50.00 feet to a 5/8" capped rebar to be set at land of said McCormack;

Thence S 70°-02'-31" E, by and along land of said McCormack, a distance of 158.70 feet to the Point of Beginning.

Meaning and intending to describe the overall boundary of the area to be subdivided, containing approximately 2.79 acres.

Said parcel being subject to and benefited by all easements as shown on said Plan.

Said bearings are based on Grid north.

Being the same premises conveyed to Windemere Homes LLC, by warranty deed of Gunter-Paul, Inc., dated April 2, 2004, and recorded in Book 21088, Page 312 of the Cumberland County Registry of Deeds.

The above described parcel is conveyed together with a certain pedestrian easement located on the northwesterly side of Marlborough Street in said City of Portland, as shown on said Subdivision Plan/Recording Plat of Newcomb Glen Subdivision for Gunter-Paul, Inc. by Sebago Technics, Inc. dated February 15, 2002 and last revised August 4, 2003 as described in said deed of Gunter-Paul, Inc. to Windemere Homes LLC, dated April 2, 2004, and recorded in Book 21088, Page 312 of the Cumberland County Registry of Deeds.

EXCEPTING AND RESERVING HEREFROM, Lot #4 as depicted on said Plan and being further described in a Partial Release dated August 24, 2004 and recorded in said Registry in Book 21769, Page 319 and Lot #5 as depicted on said Plan and being further described in a Partial Release dated June 24, 2004 and recorded in said Registry in Book 21475, Page 70.

TO HAVE AND TO HOLD the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said _____ and/or his/her/its heirs/successors and assigns, to him/her/its and his/her/their own use and behoof forever.

IN WITNESS WHEREOF, the said George Denney, President of Northeast Trading Corp. has caused these presents to be signed this _____ day of the month of _____, A.D., 2005.

**Signed Sealed and Delivered
in the Presence of:**

NORTHEAST TRADING CORP.

Witness

George Denney, President

STATE OF MAINE
COUNTY OF CUMBERLAND

_____, 2005

Then personally appeared the above named George Denney, President of Northeast Trading Corp. and acknowledged the foregoing instrument to be his own free act in his said capacity.

Before me,

Notary Public/Attorney-at-Law

Print or type name

Applicant: King Construction

Address: Stepping Stone Lane - Lot # 10

CHECK-LIST AGAINST ZONING

Date: 8/26/11

C-B-L: 496-~~RF~~-60
Permit # 2011-08-2037

* Site plan received 11/3/11

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build new 2 story single family home - 34' x ~~36'~~^{28'} ; 12' x 22' 1 story garage.

Sewage Disposal - City - public

Lot Street Frontage - 55' min - 137.14 (just stepping stone frontage) (OK)

Front Yard - 25' min. setbacks @ 26' (OK)

Rear Yard - 25' min - setbacks @ 38' (OK)

Side Yard - 2 stories - 14' min. - 15' for garage setback scaled (OK)

Projections - Side yard, side street - 20' min - 27' on street (OK) scaled

Width of Lot - 65' min - 81' scaled @ rear of duck.

Height - 35' max - 22' 4 1/2" min (OK)

Lot Area - 6500 sq ft min - 9894 sq ft (owner subdivision plat)

Lot Coverage Impervious Surface - 35% = 3462.9 sq ft

Area per Family - 6500 sq ft (OK)

28 x 34 = 952
22 x 12 = 264
7 x 2 = 14
14 x 8 = 112

(1342 sq ft etc)

* Off-street Parking - need 2 spaces - 1 space in garage 12' x 22' need second space beyond front setback.

Loading Bays - N/A

Site Plan - Level I Minor Residential Site Plan

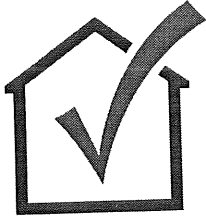
Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 - zone X

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST	
Soil type/Presumptive Load Value (Table R401.4.1)		Findings/Revisions/Dates	
Component	Submitted Plan		
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	2'-0" x 1'-0" w/ 8" Thick Wall 4" slab # Rebar 36" o.c.	(okay)	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	"Perimeter Drainage"		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A		
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 DIA 4x0" Bolts @ 12" on centers	(okay) (2) Specs Needed	
Lally Column Type (Section R407)	3 1/2" Lally 5'-10" Max Vertical or W8 x 18 Steel	(1) Specs Needed	
Girder & Header Spans (Table R 502.5(2)) Built-Up Wood Center Girder Dimension/Type	Per Engineer's Specs		
Sill/Band Joist Type & Dimensions First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	AJS 2 S 9.5 @ 16" o.c.	(okay) (3) Specs Needed	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	" same as 1st flr	(3)	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))		(3)	

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8 ¹² / Truss	Need specs.
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Wall: 1/2" Roof: 5/8"	
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R309) Living Space ? (Above or beside)	yes →	See "Conditions"
Fire separation (Section R309.2)		
Opening Protection (Section R309.1)		
Emergency Escape and Rescue Openings (Section R310)	"Notes"	(5)
Roof Covering (Chapter 9)	Arch. Asphalt	okay
Safety Glazing (Section R308)		
Attic Access (Section R807)	22" x 30" Access	okay
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))	"See Plans"	(4) Not Indicated
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	"Res check" Foundation: 2" Ridges	

Type of Heating System		
Means of Egress (Sec R311 & R312)		
Basement	Day light	
Number of Stairways		
Interior		
Exterior		
Treads and Risers (Section R311.5.3)	7 3/4 x 10" mat	7
Width (Section R311.5.1)	34" composite	
Headroom (Section R311.5.2)		
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	42" Guard	
Smoke Detectors (Section R313)	smoke shown	
Location and type/Interconnected	CO. Req. each bedroom	
Dwelling Unit Separation (Section R317) and IBC - 2009 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	Not Approved	6 Separate Review Required



REScheck Software Version 4.4.1 Compliance Certificate

RECEIVED

OCT - 4 2011

Energy Code: **2009 IECC**
 Location: **Portland, Maine**
 Construction Type: **Single Family**
 Glazing Area Percentage: **7%**
 Heating Degree Days: **7378**
 Climate Zone: **6**

Dept. of Building Inspections
 City of Portland Maine

Construction Site:
 4 STEPPING STONE LANE
 PORTLAND, ME 04102

Owner/Agent:
 KING CONSTRUCTION COMPANY
 198 SACO AVE
 OLD ORCHARD BEACH, ME 04064

Designer/Contractor:
 GLEASON ARCHITECTS
 152 PORTSMOUTH AVE
 STRATHAM, NH 03885

Compliance: Passes using UA trade-off

Compliance: **2.1% Better Than Code** Maximum UA: **823** Your UA: **806**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	884	49.0	0.0		23
Wall 1: Wood Frame, 16" o.c.	616	21.0	0.0		33
Window 1: Vinyl Frame:Double Pane with Low-E	6			0.300	2
Window 2: Vinyl Frame:Double Pane with Low-E	10			0.300	3
Door 2: Solid	20			0.200	4
Wall 2: Wood Frame, 16" o.c.	585	21.0	0.0		32
Window 3: Vinyl Frame:Double Pane with Low-E	4			0.300	1
Door 3: Solid	20			0.290	6
Wall 3: Wood Frame, 16" o.c.	578	21.0	0.0		29
Window 4: Vinyl Frame:Double Pane with Low-E	9			0.300	3
Window 5: Vinyl Frame:Double Pane with Low-E	19			0.300	6
Door 1: Glass	40			0.340	14
Wall 4: Wood Frame, 16" o.c.	585	21.0	0.0		29
Window 6: Vinyl Frame:Double Pane with Low-E	77			0.300	23
Floor 1: Slab-On-Grade:Unheated Insulation depth: 4.0'	884		11.0		598

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version 4.4.1 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

KING CONSTRUCTION
 Name - Title
CONSTRUCTION MANAGER

[Handwritten Signature]
 Signature

9/20/11
 Date



REScheck Software Version 4.4.1 Inspection Checklist

Ceilings:

- Ceiling 1: Flat Ceiling or Scissor Truss, R-49.0 cavity insulation

Comments: _____

Above-Grade Walls:

- Wall 1: Wood Frame, 16" o.c., R-21.0 cavity insulation

Comments: _____

- Wall 2: Wood Frame, 16" o.c., R-21.0 cavity insulation

Comments: _____

- Wall 3: Wood Frame, 16" o.c., R-21.0 cavity insulation

Comments: _____

- Wall 4: Wood Frame, 16" o.c., R-21.0 cavity insulation

Comments: _____

Windows:

- Window 1: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300

For windows without labeled U-factors, describe features:

#Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No

Comments: _____

- Window 2: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300

For windows without labeled U-factors, describe features:

#Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No

Comments: _____

- Window 3: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300

For windows without labeled U-factors, describe features:

#Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No

Comments: _____

- Window 4: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300

For windows without labeled U-factors, describe features:

#Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No

Comments: _____

- Window 5: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300

For windows without labeled U-factors, describe features:

#Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No

Comments: _____

- Window 6: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300

For windows without labeled U-factors, describe features:

#Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No

Comments: _____

Doors:

- Door 2: Solid, U-factor: 0.200

Comments: _____

- Door 3: Solid, U-factor: 0.290

Comments: _____

- Door 1: Glass, U-factor: 0.340

Comments: _____

Floors:

- Floor 1: Slab-On-Grade:Unheated, 4.0' insulation depth, R-11.0 continuous insulation

Comments: _____
Slab insulation extends down from the top of the slab to at least 4.0 ft. OR down to at least the bottom of the slab then horizontally for a total distance of 4.0 ft.

Air Leakage:

- Joints (including rim joist junctions), attic access openings, penetrations, and all other such openings in the building envelope that are sources of air leakage are sealed with caulk, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material.
- Air barrier and sealing exists on common walls between dwelling units, on exterior walls behind tubs/showers, and in openings between window/door jambs and framing.
- Wood-burning fireplaces have gasketed doors and outdoor combustion air.
- Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.
- Recessed lights in the building thermal envelope are 1) type IC rated and ASTM E283 labeled and 2) sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.
- Access doors separating conditioned from unconditioned space are weather-stripped and insulated (without insulation compression or damage) to at least the level of insulation on the surrounding surfaces. Where loose fill insulation exists, a baffle or retainer is installed to maintain insulation application.

Air Sealing and Insulation:

- Building envelope air tightness and insulation installation complies by either 1) a post rough-in blower door test result of less than 7 ACH at 33.5 psf OR 2) the following items have been satisfied:
 - (a) Air barriers and thermal barrier: Installed on outside of air-permeable insulation and breaks or joints in the air barrier are filled or repaired.
 - (b) Ceiling/attic: Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed.
 - (c) Above-grade walls: Insulation is installed in substantial contact and continuous alignment with the building envelope air barrier.
 - (d) Floors: Air barrier is installed at any exposed edge of insulation.
 - (e) Plumbing and wiring: Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
 - (f) Corners, headers, narrow framing cavities, and rim joists are insulated.
 - (g) Shower/tub on exterior wall: Insulation exists between showers/tubs and exterior wall.

Sunrooms:

- Sunrooms that are thermally isolated from the building envelope have a maximum fenestration U-factor of 0.50 and the maximum skylight U-factor of 0.75. New windows and doors separating the sunroom from conditioned space meet the building thermal envelope requirements.

Materials Identification and Installation:

- Materials and equipment are installed in accordance with the manufacturer's installation instructions.
- Insulation is installed in substantial contact with the surface being insulated and in a manner that achieves the rated R-value.
- Materials and equipment are identified so that compliance can be determined.
- Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment have been provided.
- Insulation R-values and glazing U-factors are clearly marked on the building plans or specifications.

Duct Insulation:

- Supply ducts in attics are insulated to a minimum of R-8. All other ducts in unconditioned spaces or outside the building envelope are insulated to at least R-6.

Duct Construction and Testing:

- Building framing cavities are not used as supply ducts.
- All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are substantially airtight by means of tapes, mastics, liquid sealants, gasketing or other approved closure systems. Tapes, mastics, and fasteners are rated UL 181A or UL 181B and are labeled according to the duct construction. Metal duct connections with equipment and/or fittings are mechanically fastened. Crimp joints for round metal ducts have a contact lap of at least 1 1/2 inches and are fastened with a minimum of three equally spaced sheet-metal screws.

Exceptions:

Joint and seams covered with spray polyurethane foam.

Where a partially inaccessible duct connection exists, mechanical fasteners can be equally spaced on the exposed portion of the joint so as to prevent a hinge effect.

Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. w.g. (500 Pa).

- All ducts and air handlers are located within conditioned space.

Heating and Cooling Equipment Sizing:

- Additional requirements for equipment sizing are included by an inspection for compliance with the International Residential Code.
- For systems serving multiple dwelling units documentation has been submitted demonstrating compliance with 2009 IECC Commercial Building Mechanical and/or Service Water Heating (Sections 503 and 504).

Circulating Service Hot Water Systems:

- Circulating service hot water pipes are insulated to R-2.
- Circulating service hot water systems include an automatic or accessible manual switch to turn off the circulating pump when the system is not in use.

Heating and Cooling Piping Insulation:

- HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F are insulated to R-3.

Swimming Pools:

- Heated swimming pools have an on/off heater switch.
- Pool heaters operating on natural gas or LPG have an electronic pilot light.
- Timer switches on pool heaters and pumps are present.

Exceptions:

Where public health standards require continuous pump operation.

Where pumps operate within solar- and/or waste-heat-recovery systems.

- Heated swimming pools have a cover on or at the water surface. For pools heated over 90 degrees F (32 degrees C) the cover has a minimum insulation value of R-12.

Exceptions:

Covers are not required when 60% of the heating energy is from site-recovered energy or solar energy source.

Lighting Requirements:

- A minimum of 50 percent of the lamps in permanently installed lighting fixtures can be categorized as one of the following:
 - (a) Compact fluorescent
 - (b) T-8 or smaller diameter linear fluorescent
 - (c) 40 lumens per watt for lamp wattage <= 15
 - (d) 50 lumens per watt for lamp wattage > 15 and <= 40
 - (e) 60 lumens per watt for lamp wattage > 40

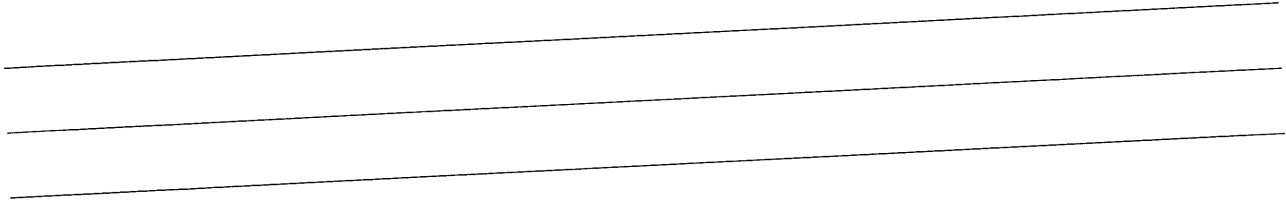
Other Requirements:

- Snow- and ice-melting systems with energy supplied from the service to a building shall include automatic controls capable of shutting off the system when a) the pavement temperature is above 50 degrees F, b) no precipitation is falling, and c) the outdoor temperature is above 40 degrees F (a manual shutoff control is also permitted to satisfy requirement 'c').

Certificate:

- A permanent certificate is provided on or in the electrical distribution panel listing the predominant insulation R-values; window U-factors; type and efficiency of space-conditioning and water heating equipment. The certificate does not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels.

NOTES TO FIELD: (Building Department Use Only)





2009 IECC Energy Efficiency Certificate

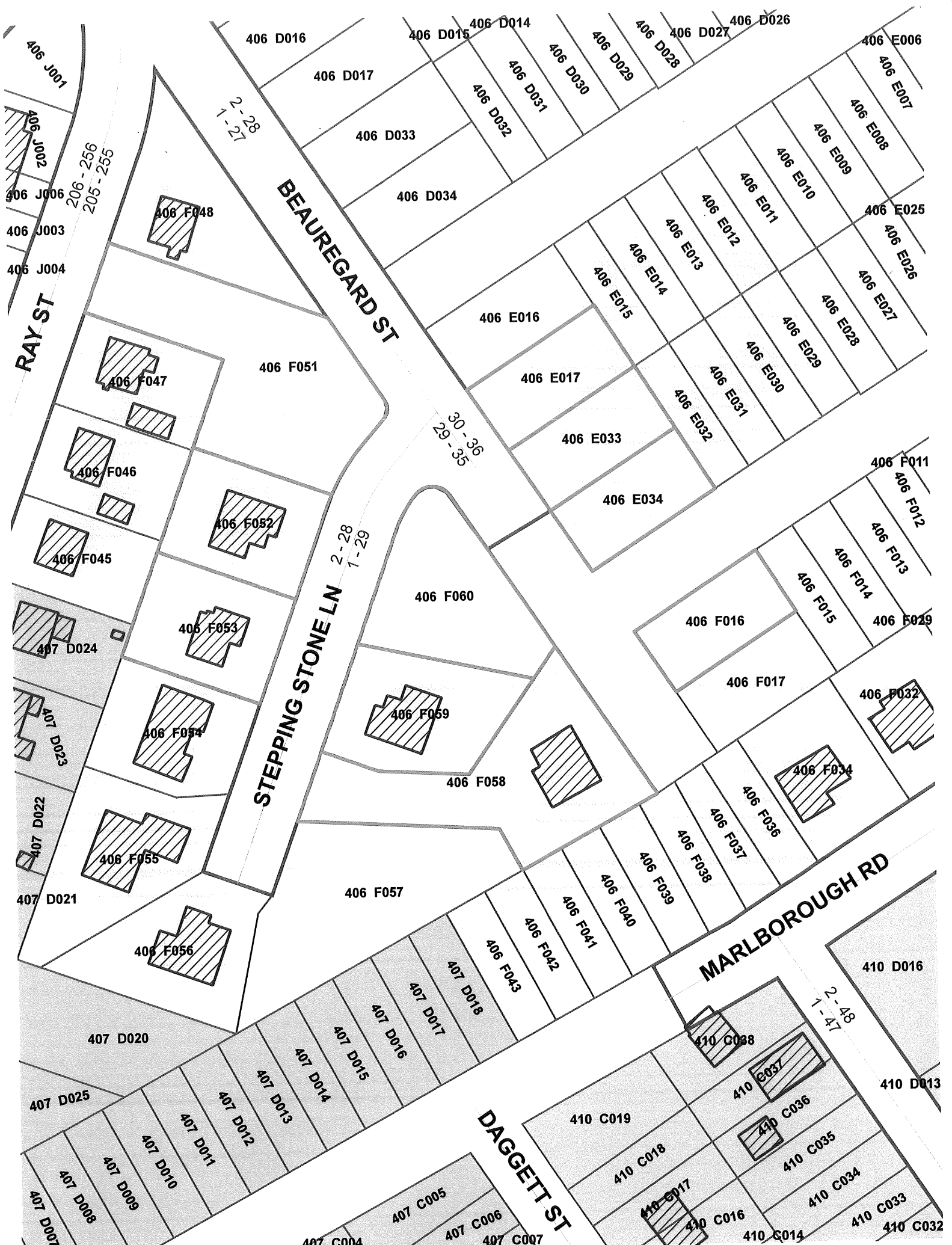
Insulation Rating	R-Value
Ceiling / Roof	49.00
Wall	21.00
Floor / Foundation	11.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
Window	0.30	0.29
Door	0.34	0.29

Heating & Cooling Equipment	Efficiency
Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

Name: _____ Date: _____

Comments:



406 J001

406 J002

406 J006

406 J003

406 J004

RAY ST

206 - 256
205 - 255

406 F048

406 F047

406 F046

406 F045

407 D024

406 F053

406 F054

406 F055

406 F056

406 D016

406 D017

406 D033

406 D034

BEAUREGARD ST

406 D015

406 D014

406 D031

406 D030

406 D029

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29 - 35

406 F051

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407 D018

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407 D007

407 D020

407 D025

MARLBOROUGH RD

410 D016

410 D013

2 - 48
1 - 47

410 C038

410 C037

410 C036

410 C035

410 C034

410 C033

410 C032

410 C019

410 C018

410 C017

410 C016

410 C014

DAGGETT ST

407 C005

407 C006

407 C007

407 C004

10/13/2011

4 STEPPING STONE LANE LOT #10

2:51 PM

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
	INJAC IGOR & TATJANA INGAC JTS	22 STEPPING STONE LN PORTLAND, ME 04101	16 STEPPING STONE LN	0
	INJAC TATJANA & IGOR INJAC JTS	11 HUNTINGTON AVE PORTLAND, ME 04104	22 STEPPING STONE LN	1
	KING CONSTRUCTION CORP	198 SACO AVE OLD ORCHARD BEACH, ME 04064	1 STEPPING STONE LN	0
	KING CONSTRUCTION CORP	198 SACO AVE OLD ORCHARD BEACH, ME 04064	4 STEPPING STONE LN	0
	WEINSTEIN KING H	198 SACO AVE OLD ORCHARD BEACH, ME 04064	9 STEPPING STONE LN	1
	WEINSTEIN KING H	198 SACO AVE OLD ORCHARD BEACH, ME 04064	17 STEPPING STONE LN	1

IMPORTANT NOTICE FROM CITY OF PORTLAND

To residents and property owners: A Level 1: Minor Residential Development application was submitted to the Portland Planning Division by King Construction for a new single family home at 4 Stepping Stone Lane lot #10.

In accordance with the Portland Land Use Ordinance, notices of receipt of a Level I Minor Residential Development application must be sent to neighbors. This application will be reviewed administratively by City Staff.

Plans are available in the Portland Planning Division, 4th Floor, City Hall. If you have any questions or wish to submit comments, contact the Planning Division at 874-8719 or email jmy@portlandmaine.gov

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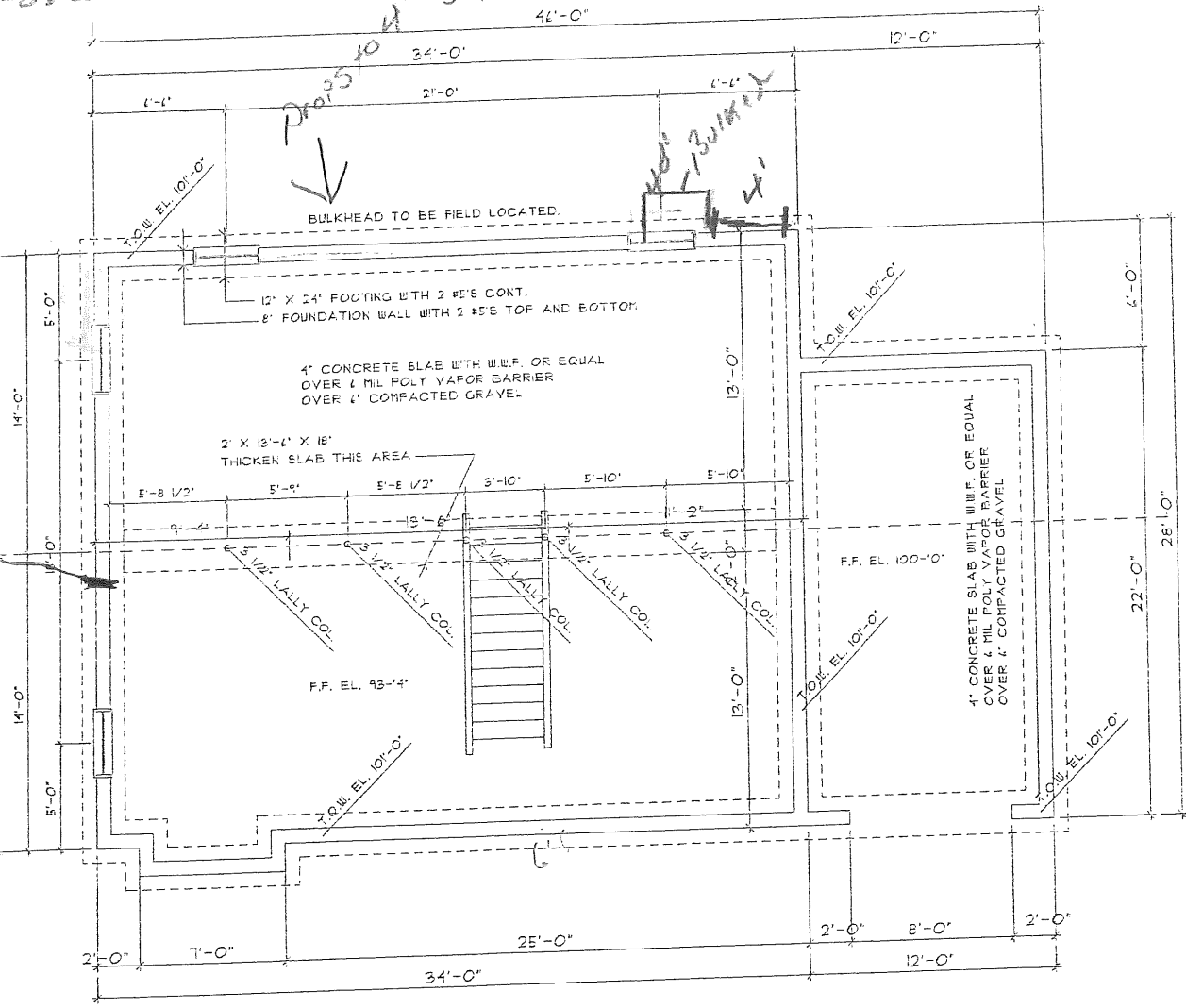
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Lot width 22.5' x 34' Long



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

From Road
Bulkhead comes in with
40" wide 43" High
52" Doors.

NO.	DESCRIPTION OF REVISION	DATE

NEW HOUSE
LOT 10, STEEPING STONE LANE
PORTLAND, MAINE

Gleason Architects
P.O. BOX 596, 152 PORTSMOUTH AVENUE
STRATHAM, NEW HAMPSHIRE 03865
603 772-7370 FAX. NO. 603 772-6044

ARCHITECT

RECEIVED

DEC 15 2011

Dept. of Building Inspections
City of Portland Maine

ENGINEER
DATE: 07/21/11
PROJECT NO. 201014
SHEET NO.
A-1
OF SHEETS



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

12/28 2011

Received from Dave Gleason

Location of Work 10 Stepping Stone Ln

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 30


Building (I1) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 406 F 60

Check #: 1869 Total Collected \$ 30

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: 

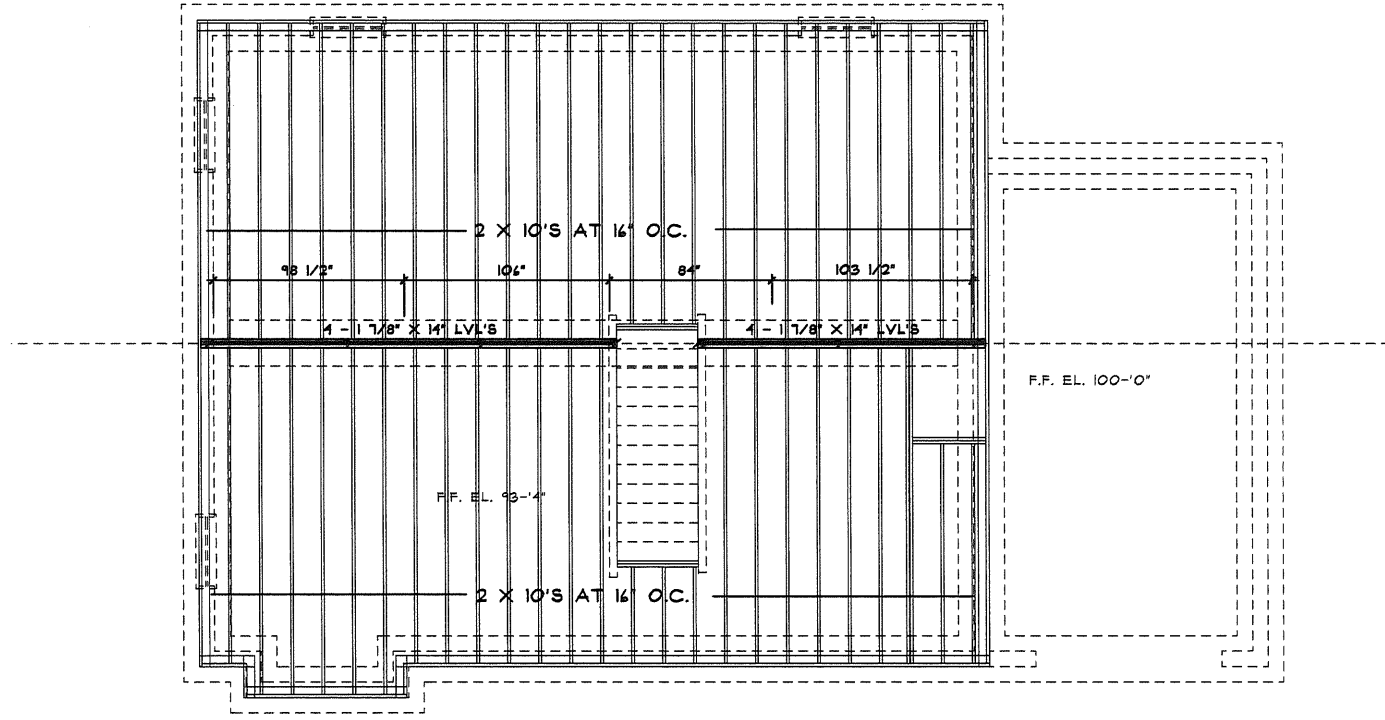
WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

*Strengthening a Remarkable City,
Building a Community for Life*
**PORTLAND
MAINE**
Inspections Division
389 Congress Street, RM 315
Portland, Maine 04101-3509

**King Construction
190 Saco Ave
Old Orchard, ME 04064-1336**

RE: Stepping Stone

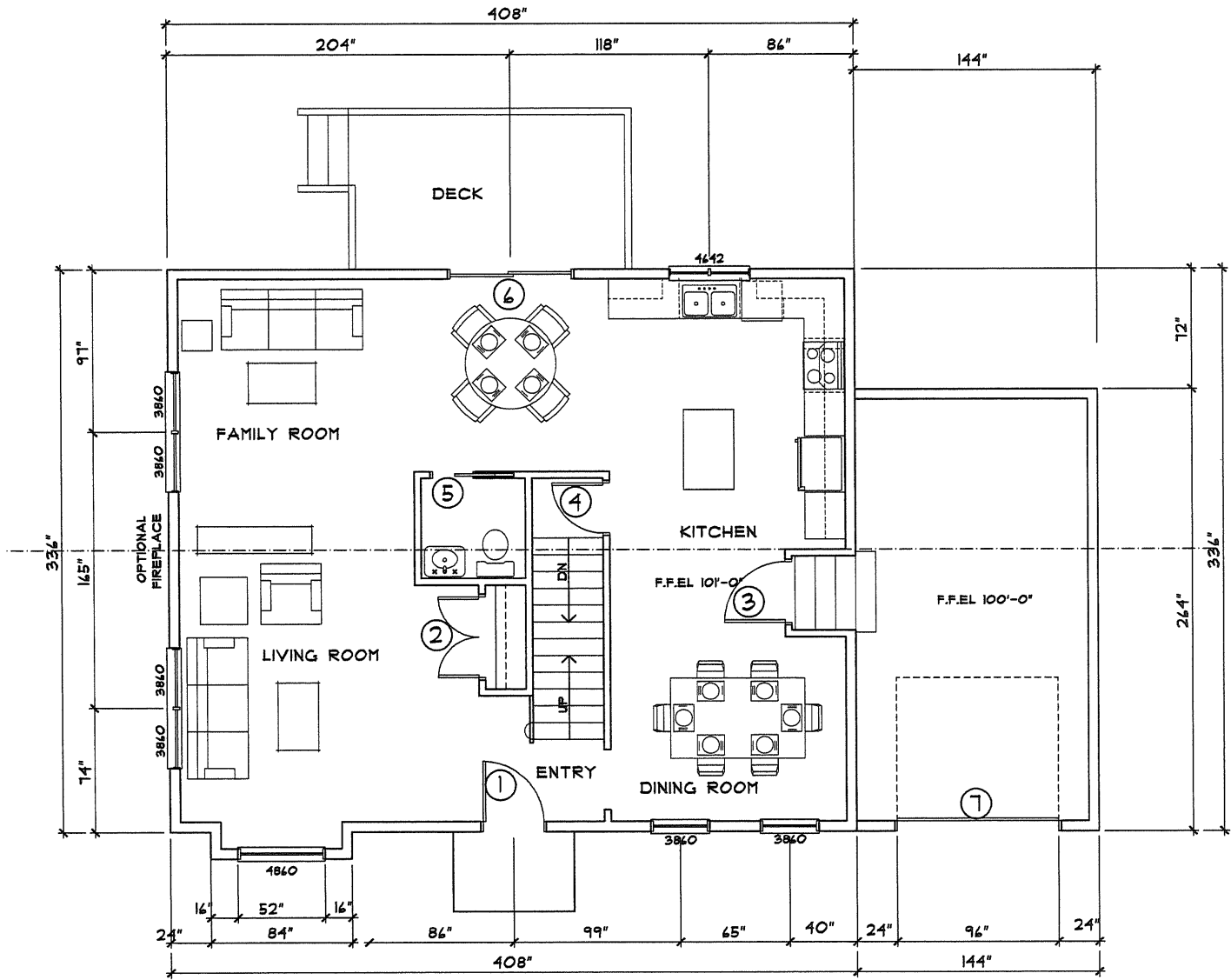
December 30, 2011



FIRST FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

GLEASON ARCHITECTS	PROJECT: NEW HOUSE	SK-3
P.O. BOX 596	LOCATION: LOT 10, STEPPING STONE	
STRATHAM, NH 03885	DESCRIPTION: REVISED ROOF PLAN	
OFFICE (603) 712-1310, FAX. NO. (603) 712-6041 gleasonarchitects@gmail.com		



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

GLEASON ARCHITECTS
 P.O. BOX 594
 STRATHAM, NH 03885
 OFFICE (603) 712-1310, FAX NO. (603) 712-6044
 gleasonarchitects@gmail.com

PROJECT: NEW HOUSE
 LOCATION: LOT 10, STEPPING STONE
 DESCRIPTION: REVISED ROOF PLAN

SK-2

Jonathan Rioux - Re: 4 Stepping Stone Ln.

From: Jonathan Rioux
To: Dave Gleason
Date: 4/19/2012 9:15 AM
Subject: Re: 4 Stepping Stone Ln.
CC: Donald McPherson

Dave,

Morning. With the in-set of the garage entry door, we had some concerns w/ maintaining the fire separation. JGR.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

>>> Dave Gleason <gleasonarchitects@gmail.com> 4/18/2012 4:03 PM >>>

Jonathan,

Here are the sk sheets for the floor plan and framing plan. I delivered these a few weeks ago to the office. These are just the sk sheets and not full size drawings. I will inspect the deck and to see what I need to submit.

Dave

On Tue, Apr 17, 2012 at 9:52 AM, Jonathan Rioux <JRIOUX@portlandmaine.gov> wrote:

Dave,

Below are additional item(s) noted during the inspection that were suppose to make it your way.

The amendment needs to include: (1) the built-out stairwell/ wall framing leading into the garage, (maintaining the garage/ living area fire separation), (2) the TJI's vs 2 X 10 inch floor joist, and (3) Deck connections to resist both vertical and lateral forces (R311.5.1). JGR.

Jonathan Rioux

Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: [207.874.8702](tel:207.874.8702)
Support Staff: [207.874.8703](tel:207.874.8703)
jrioux@portlandmaine.gov

>>> Dave Gleason <gleasonarchitects@gmail.com> 4/16/2012 11:22 AM >>>

Hi,

Here is the revised roof framing plan for Lot 10 Stepping Stone

Dave Gleason

Jonathan Rioux - Re: 4 Stepping Stone Ln.

From: Dave Gleason <gleasonarchitects@gmail.com>
To: JRIOUX@portlandmaine.gov
Date: 4/18/2012 4:04 PM
Subject: Re: 4 Stepping Stone Ln.
CC: DMCPHERSON@portlandmaine.gov
Attachments: lot10-sk2.pdf; lot10-sk3.pdf

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>>> Dave Gleason <gleasonarchitects@gmail.com> 4/16/2012 11:22 AM >>>

Hi,

Here is the revised roof framing plan for Lot 10 Stepping Stone

Dave Gleason

Applicant: King Construction

Date: 8/26/11

Address: Stepping Stone Lane - Lot #10

C-B-L: 456-~~Ref~~F-60

Permit # 2011-08-2037

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

* Site plan received 11/3/11
* revised site plan - w/ building
B

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build new 2 story single family home - 34' x ~~34'~~ 28' } 12' x 22' 1 story garage

Sewage Disposal - City - public

Lot Street Frontage - 53' min - 137.14 (just Stepping Stone frontage) (OK)

Front Yard - 25' min - scale @ 26' (OK)

Rear Yard - 25' min - scale @ 38' (OK)

Side Yard - 2 spaces - 14' min - 15' to garage - scaled (OK)

Projections - Side yard, side street - 20' min - 27' on street (OK) scaled

Width of Lot - 65' min - 81' scaled @ rear of deck

Height - 35' max - 22' 4 1/2" 5 min (OK)

Lot Area - 6500 sq ft min - 9894 sq ft (given subdivision plot)

Lot Coverage Impervious Surface - 35% = 3462.9 sq ft

Area per Family - 6500 sq ft (OK)

5 x 6 =	30
28 x 34 =	952
22 x 12 =	264
7 x 2 =	14
14 x 8 =	112
(1372 sq ft OK)	

* Off-street Parking - need 2 spaces - 1 space in garage 12' x 22' need second space beyond front setback.

Loading Bays - N/A

Site Plan - Level I Minor Residential Site Plan

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 - zone X

R-3

Permit 2011-08-2037 amend. 2011-14310



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>2, Lot 10 Stepping Stone</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>406</u> Block# <u>F</u> Lot# <u>60</u>	Applicant *must be owner, Lessee or Buyer* Name <u>King Construction</u> Address <u>198 Sago Ave</u> City, State & Zip <u>Old Orchard Beach, Me</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$1,000</u> C of O Fee: \$ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u>		
If vacant, what was the previous use?		
Proposed Specific use:		
Is property part of a subdivision? If yes, please name		
Project description: <u>changed foundation plan</u> <u>drained foundation</u>		RECEIVED DEC 28 2011
Contractor's name: <u>King Construction</u>		
Address: <u>see above</u>		Dept. of Building Inspections City of Portland Maine
City, State & Zip		Telephone: <u>770-2882</u>
Who should we contact when the permit is ready: <u>Dave Cleason</u>		Telephone: <u>603-770-2882</u>
Mailing address: <u>PO Box 596, Stratton, NH 03886</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:	Date: <u>12/28/11</u>
------------	-----------------------

This is not a permit; you may not commence ANY work until the permit is issued

NEW HOUSE

LOT 10, STEPPING STONE LANE

PORTLAND, MAINE

Gleason Architects
 P.O. BOX 596, 152 PORTSMOUTH AVE.
 STRATHAM, NH 03885

603 772-7370

INDEX TO DRAWINGS

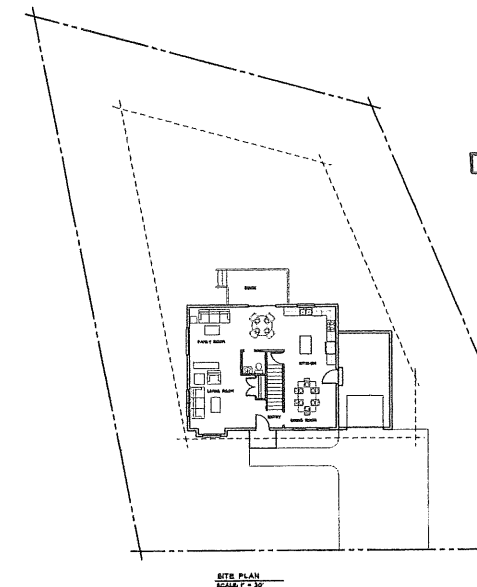
ARCHITECTURAL

- A1 - FOUNDATION PLAN
- A2 - FIRST FLOOR PLAN
- A3 - SECOND FLOOR PLAN
- A4 - ELEVATIONS
- A5 - SECTION, FRAMING PLANS

1. Perimeter foundations drainage was planned but illustrated on the drawings. The drains will be "extended 12" beyond the outside edge of the footings, 6" above the top of the footing covered with a filter membrane. These lines will drain to daylight or a drywell which will be located on site.
2. The anchor bolts were indicated but not defined or illustrated on the drawings. These will be a maximum of 6' on center, the plans reflect 4' on center and 12" from each corner. They will be 1/2" diameter, 12" steel bolts with a bend at the embedded end and be in the concrete foundation wall at least 7".
3. The columns in the basement will be 3 1/2" lally columns with top and bottom plates.
4. The design load of the roof is 50 psf ground snow load.
5. The roof framing will be AJS20 9.5's as is illustrated on the drawings.
6. The sheathing will be 5/8" T & G, exterior grade plywood or equal and be nailed at 12" o.c..
7. The roof sheathing will be nailed with 1 3/4" galvanized roofing nails, 4" on center on the edges, 8" on center on support members.
8. The window schedule is illustrated on the drawings.
9. The roof will have ice and water shield 4' from the roof edges at the fascia and minimum of 15 pound felt under the architectural asphalt shingles.
10. The header schedule is illustrated on the drawings.
11. The insulation values are illustrated on the drawings and in the energy report (REScheck) submitted for this house.
12. The stair cross section is illustrated on the drawings.
13. The C/O monitor will be located in each bedroom and have a battery back-up.
14. The fire separation detail for the wall between the garage and the house is illustrated on the drawings.
15. Windows to be Anderson series 200 or 400 or by equal manufacturer.

GENERAL NOTES

1. All work must meet state, local and other applicable codes.
2. Contractor(s) must visit the job site prior to submitting a bid.
3. It is assumed the soil bearing capacity is 2000 psf or better.
4. Footings are to be placed on undisturbed soil, a minimum of one (1) foot below the frost line.
5. Provide 2" rigid insulation around the foundation perimeter to 4' below grade.
6. Concrete walls below the finished grade are to be damp proofed with tar or equal material.
7. All wood on concrete is to be pressure treated lumber with sill seal and insulation.
8. Poured in place concrete is to be 3000 psi or better.
9. Concrete slabs are to have 6/6 10x10 w.w.f.or equal, 6 mil poly vapor barrier over 6" of crush stone or gravel.
10. Use anchor bolts at 4'-0" on center on foundation walls.
11. Use bridging or solid blocking between floor joist.
12. Exterior walls are to be 2 x 6 wood studs at 16" on center with lateral bracing, 1/2" gypsum board interior 1/2" sheathing exterior and "building wrap". The walls will have full batt insulation or equal.
13. Interior walls are to be 2 x 4 wood studs at 16" on center with 1/2" gypsum board each side.
14. Stairs: Treads, 10"; Risers, 7 3/4" per local code.
15. All material used in the construction of this building will be new. No used or reconditioned material is permitted.
16. All interior finishes are to be determined by the contract with the owner.
17. Notify the architect immediately if conditions are different than indicated on the plans.
18. Any changes to these plans must be reviewed and approved by the owner(s) and the architect.
19. These drawings are prepared for the owner(s) to meet local and state codes. Any deficiencies must be noted and architect contacted to review those deficiencies.
20. The builder reserves the right to make substitutions of materials of equal quality.



RECEIVED

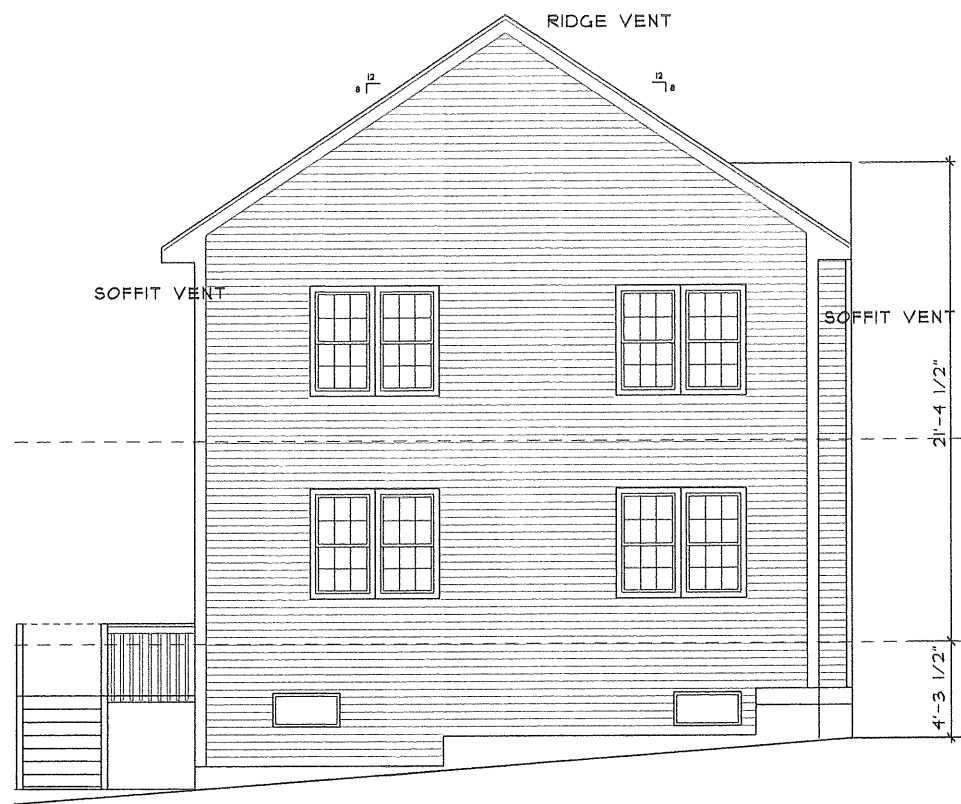
DEC 30 2011

Dept. of Building Inspections
 City of Portland Maine

RECEIVED

DEC 28 2011

Dept. of Building Inspections
 City of Portland Maine



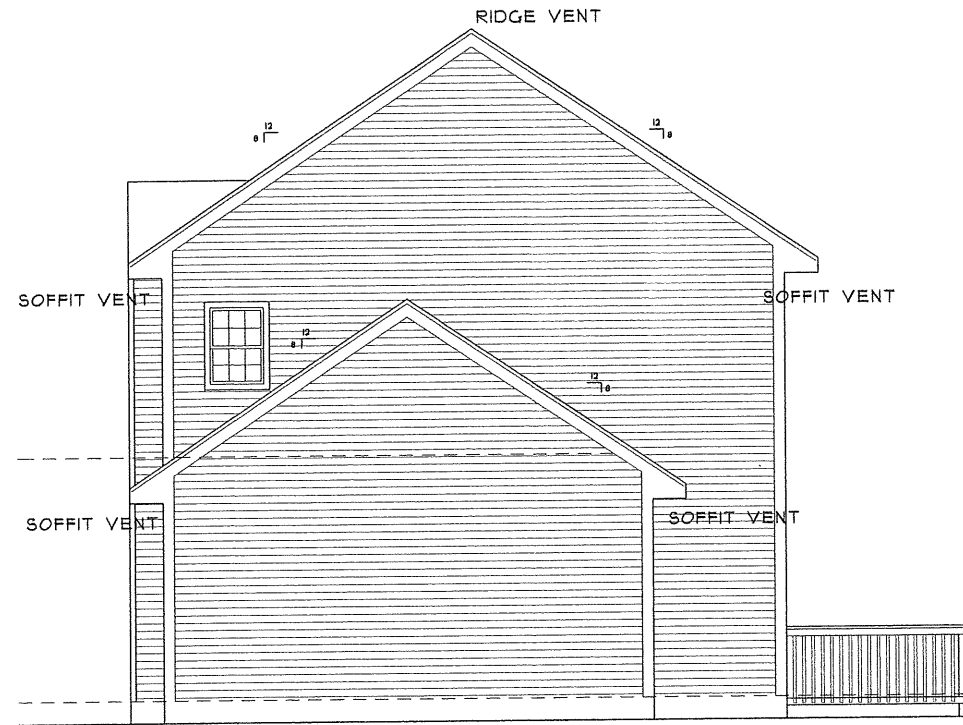
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



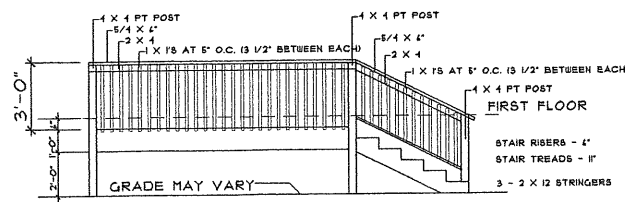
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL DETAIL - FIELD VERIFY

RECEIVED

DEC 28 2011

Dept. of Building Inspections
City of Portland Maine

NO.	DESCRIPTION OF REVISION	DATE
1	REVISED PLANS - FOUNDATION CHANGE	12/22/11

NEW HOUSE
LOT 10, STEEPING STONE LANE
PORTLAND, MAINE

Gleason Architects
P.O. BOX 596, 152 PORTSMOUTH AVENUE
STRATHAM, NEW HAMPSHIRE 03885
603 772-7370 FAX. NO. 603 772-6044

ARCHITECT

ENGINEER

DATE: 12/21/09

PROJECT NO. 201014

SHEET NO.

A-4

OF SHEETS

DOOR SCHEDULE

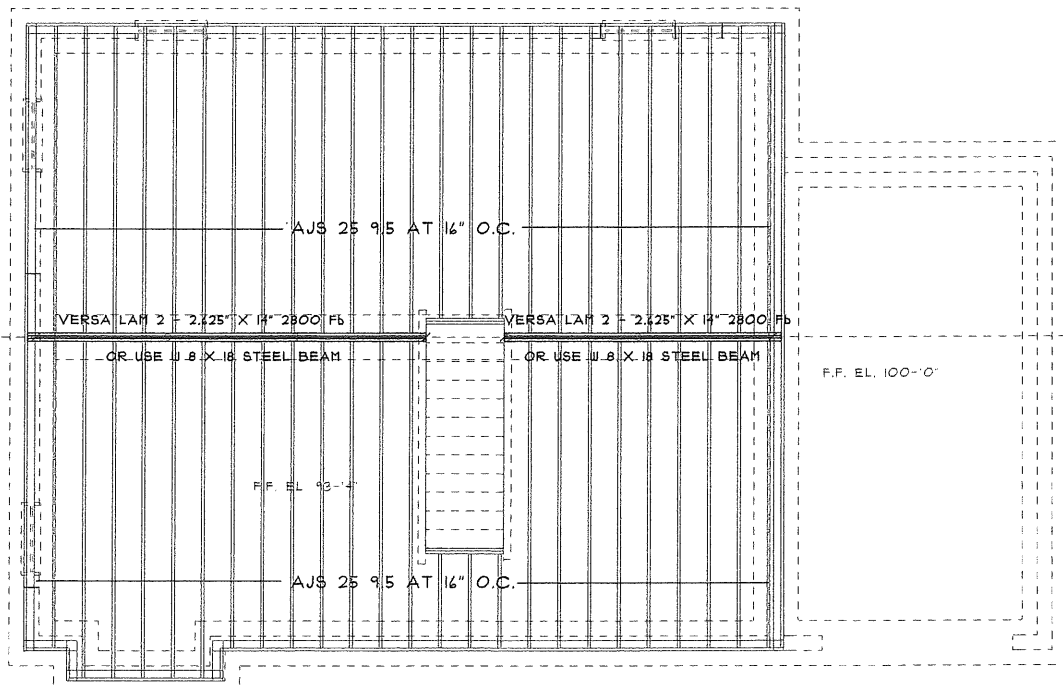
MARK	DOOR WIDTH	DOOR HEIGHT	REMARKS
FIRST FLOOR			
1.	3'-0"	6'-8"	ENTRY DOOR
2.	PR. 2'-0"	6'-8"	CLOSET DOOR
3.	3'-0"	6'-8"	ENTRY DOOR TO GARAGE - 60 MIN. RATED
4.	2'-6"	6'-8"	BASEMENT DOOR
5.	2'-0"	6'-8"	POCKET DOOR - BATHROOM
6.	6'-0"	6'-8"	SLIDER TO DECK
7.	8'-0"	8'-0"	OVER HEAD DOOR
8.	NOT USED		

SECOND FLOOR

9.	2'-6"	6'-8"	BEDROOM
10.	2'-6"	6'-8"	CLOSET
11.	2'-6"	6'-8"	BATHROOM
12.	1'-6"	6'-8"	CLOSET
13.	2'-6"	6'-8"	BEDROOM
14.	PR. 2'-6"	6'-8"	CLOSET - BIFOLD
15.	PR. 2'-6"	6'-8"	CLOSET - BIFOLD
16.	2'-6"	6'-8"	BEDROOM
17.	NOT USED		
18.	PR. 2'-6"	6'-8"	LAUNDRY - BIFOLD
19.	2'-6"	6'-8"	BATHROOM

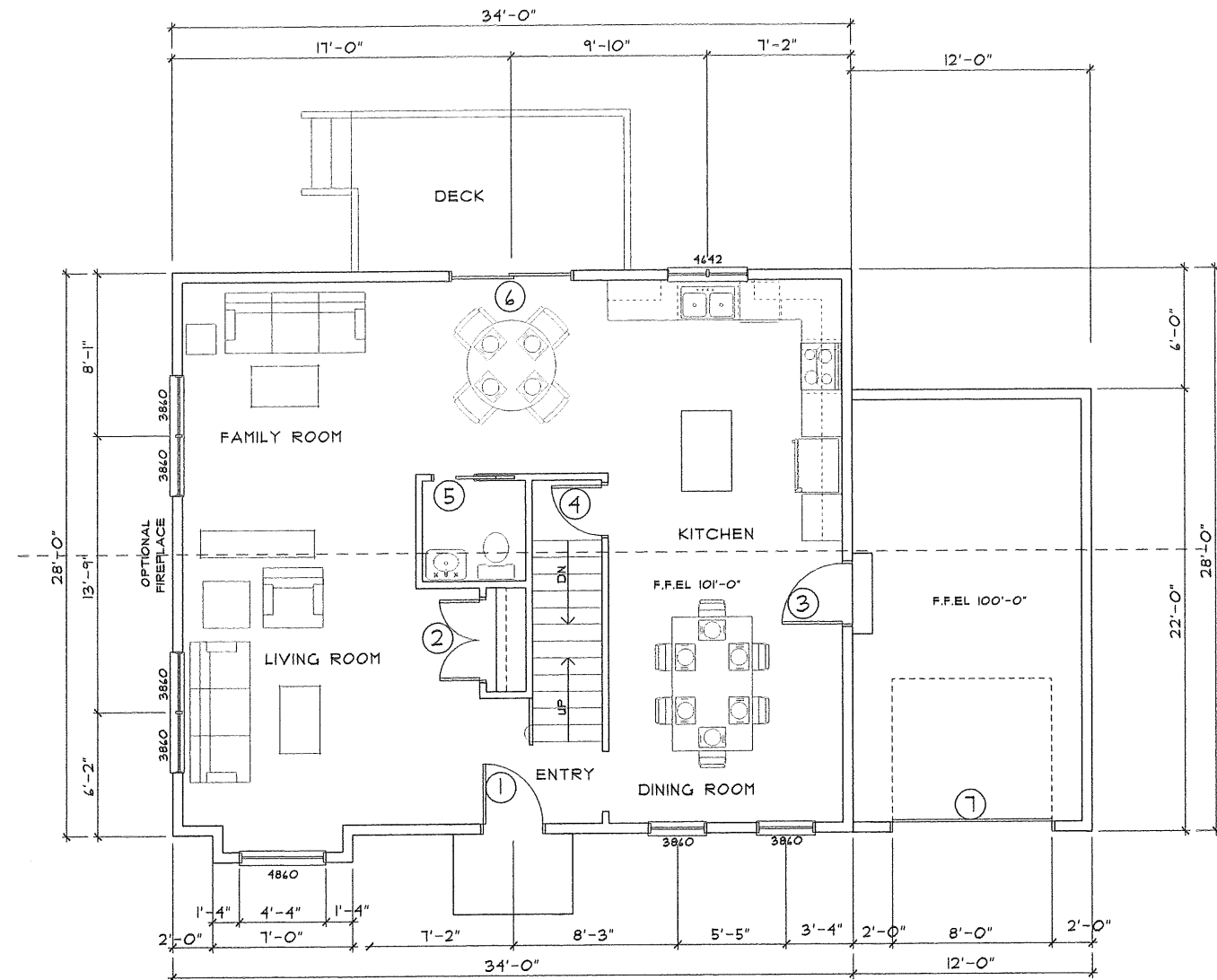
WINDOW SCHEDULE

MARK	DOOR WIDTH	DOOR HEIGHT	REMARKS
2438	2'-0 1/2"	3'-2 1/2"	ALSIDE
3860	3'-2 1/2"	5'-0 1/2"	ALSIDE - EGRESS UNIT
4642	2 - 2'-0 1/2"	3'-6 1/2"	ALSIDE - KITCHEN (CASEMENT)
4860	4'-4 1/2"	5'-0 1/2"	ALSIDE



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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PORTLAND, MAINE

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603 772-7370 FAX. NO. 603 772-6044

ARCHITECT

ENGINEER
DATE: 12/21/09
PROJECT NO. 201014
SHEET NO.

A-2
OF SHEETS

DOOR SCHEDULE

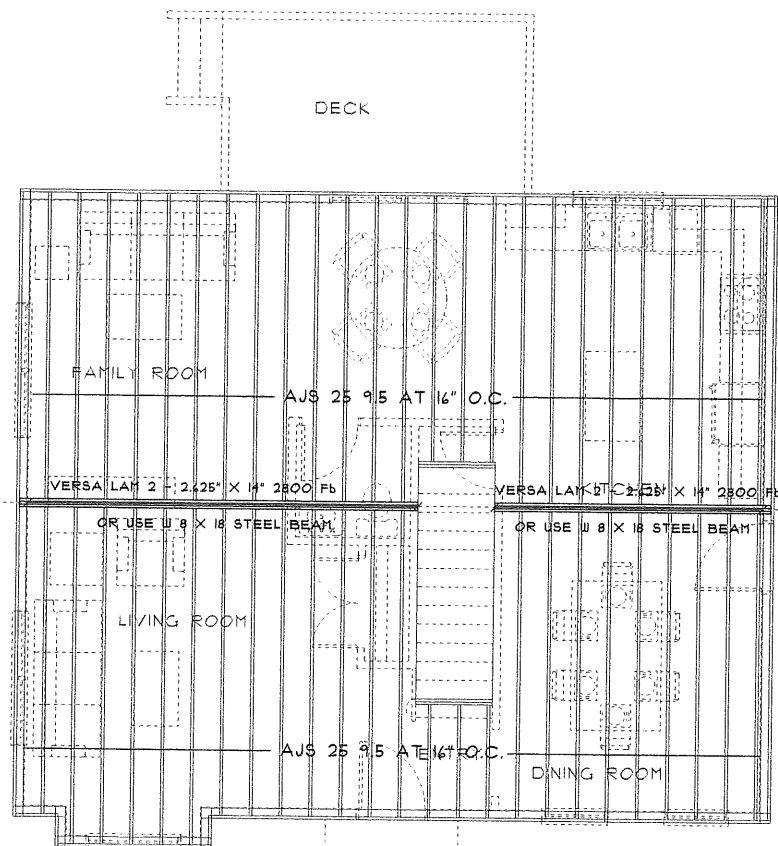
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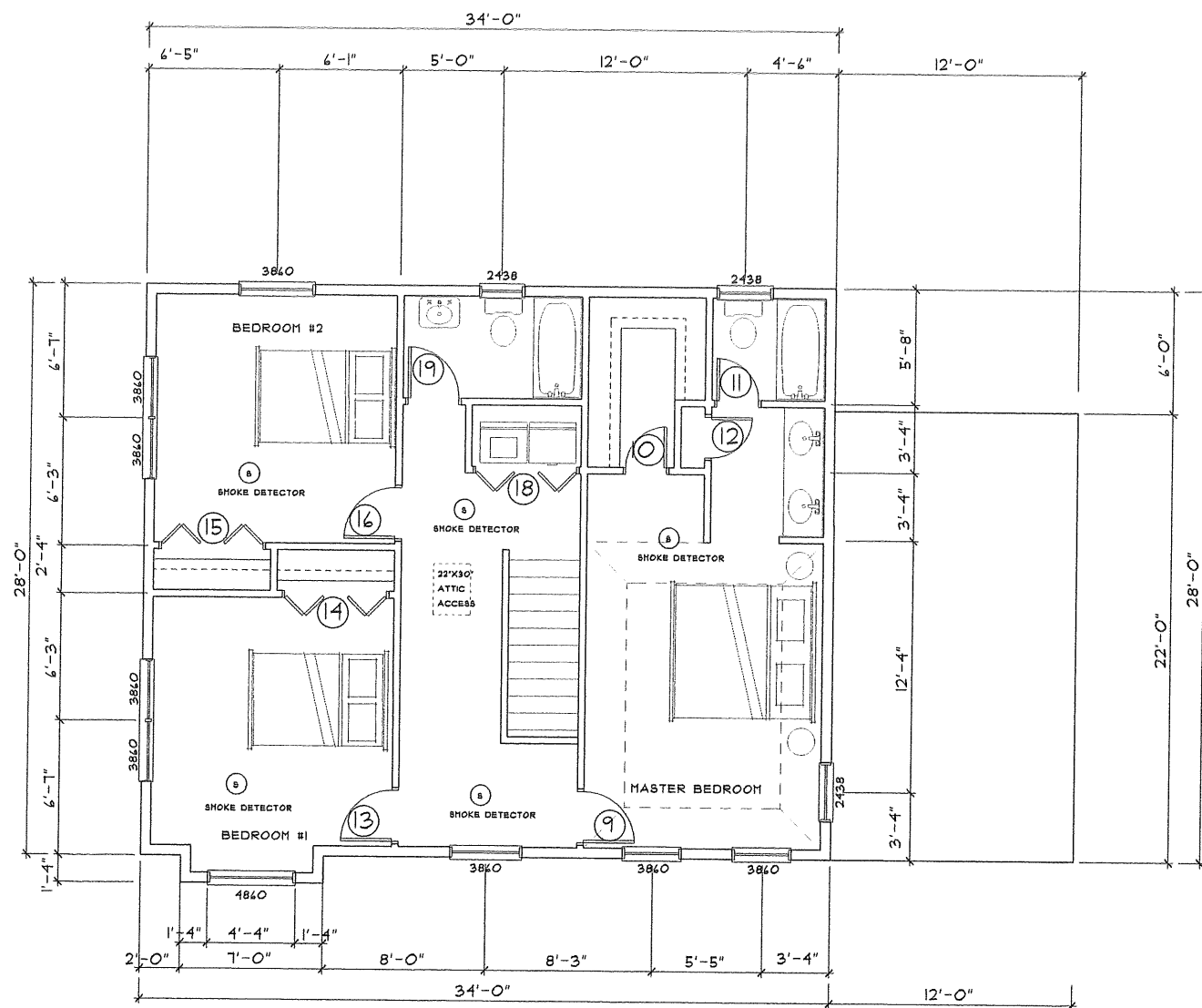
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SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

RECEIVED

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LOT 10, STEEPING STONE LANE
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Gleason Architects

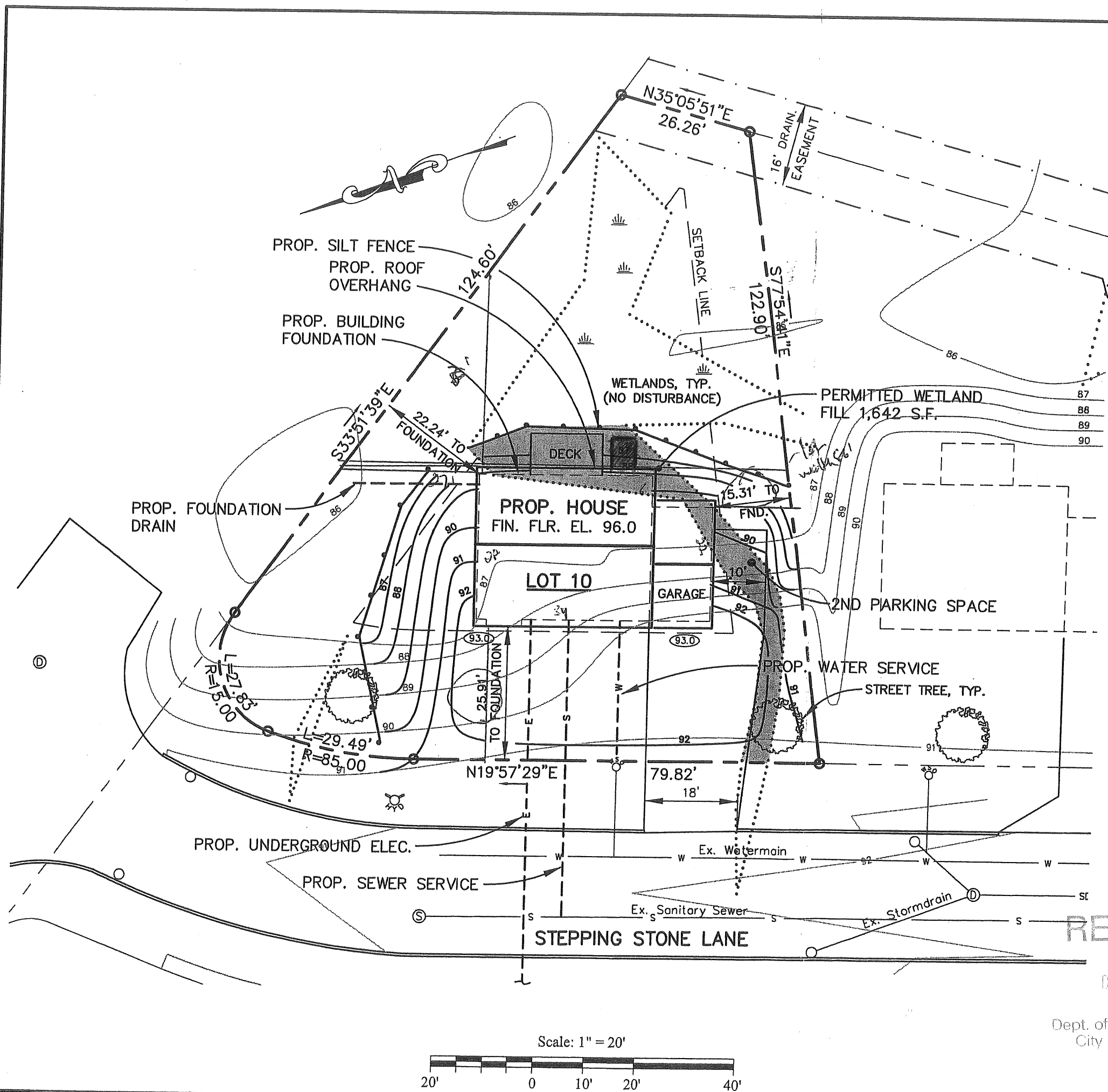
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603 772-7370 FAX. NO. 603 772-6044

ARCHITECT

ENGINEER

DATE: 12/21/09
PROJECT NO. 201014
SHEET NO.

A-3



NOTES:

APPLICANT: KING CONSTRUCTION CORP.
 STEPPING STONE LANE, LOT 10
 PORTLAND, MAINE

ZONING: R3

SETBACKS: FRONT 25'
 BEAUREGARD 20'
 SIDE & REAR 14'
 Rev 25'

ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE EROSION PREVENTION PROVISIONS OUTLINED IN THE MAINE EROSION CONTROL AND SEDIMENTATION BMP'S, LATEST REVISION.

A MINIMUM OF TWO STREET TREES SHALL BE PLANTED IN THE FRONT YARD MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECS. AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES.

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION FROM PLAN TITLED "SUBDIVISION PLAN/RECORDING PLAT, AUTUMN GLEN SUBDIVISION, DATED 8/30/07, BY SEBAGO TECHNICS.

GROUND FLOOR AREA OF PROPOSED STRUCTURE - 1,158 SQ. FT.

GROUND DISTURBANCE ON LOT - 4,670 SQ. FT.

CUMBERLAND COUNTY MEDIUM INTENSITY SOIL MAPS INDICATE SITE CONTAINS FOLLOWING SOIL: HrB-HOLLIS FINE SANDY LOAM

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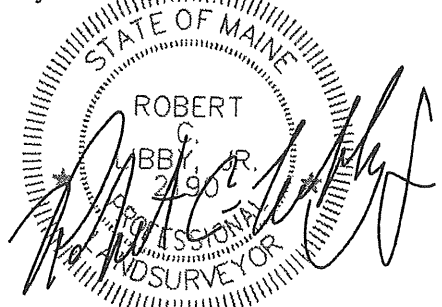
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Dept. of Building Inspections
 City of Portland, Maine

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DEC 28 2011

Dept. of Building Inspections
 City of Portland, Maine



NO.	DATE	REVISION	DESCRIPTION
1	9-8-11	Rev'd. Per City Comment	
2	9-12-11	Rev'd. Per Client Comment	
3	9-30-11	Rev'd. F.F.E. to 96.0	
4	10-11-11	Rev'd. Per 10-6-11 E-mail	
5	10-25-11	Rev'd. Per 10-25-11 E-mail	

BH2M
 Berry, Buff, McDonald, Milligan Inc.
 Engineers, Surveyors
 28 State Street
 Portland, Maine 04103
 Tel: (603) 839-2771
 Fax: (603) 839-6250

FOR
 King Construction Corp.
 198 Saco Avenue
 Old Orchard Beach, Maine

SITE PLAN
 LOT 10
 AUTUMN GLEN
 STEPPING STONE LANE
 PORTLAND, MAINE

DESIGNED	DATE
WEP	Aug. 11
DRAWN	SCALE
WEP	1" = 20'
CHECKED	JOB. NO.
BT	11063

SHEET
 1

NO.	DESCRIPTION OF REVISION	DATE
1	REVISED PLANS - FOUNDATION CHANGE	12/22/11

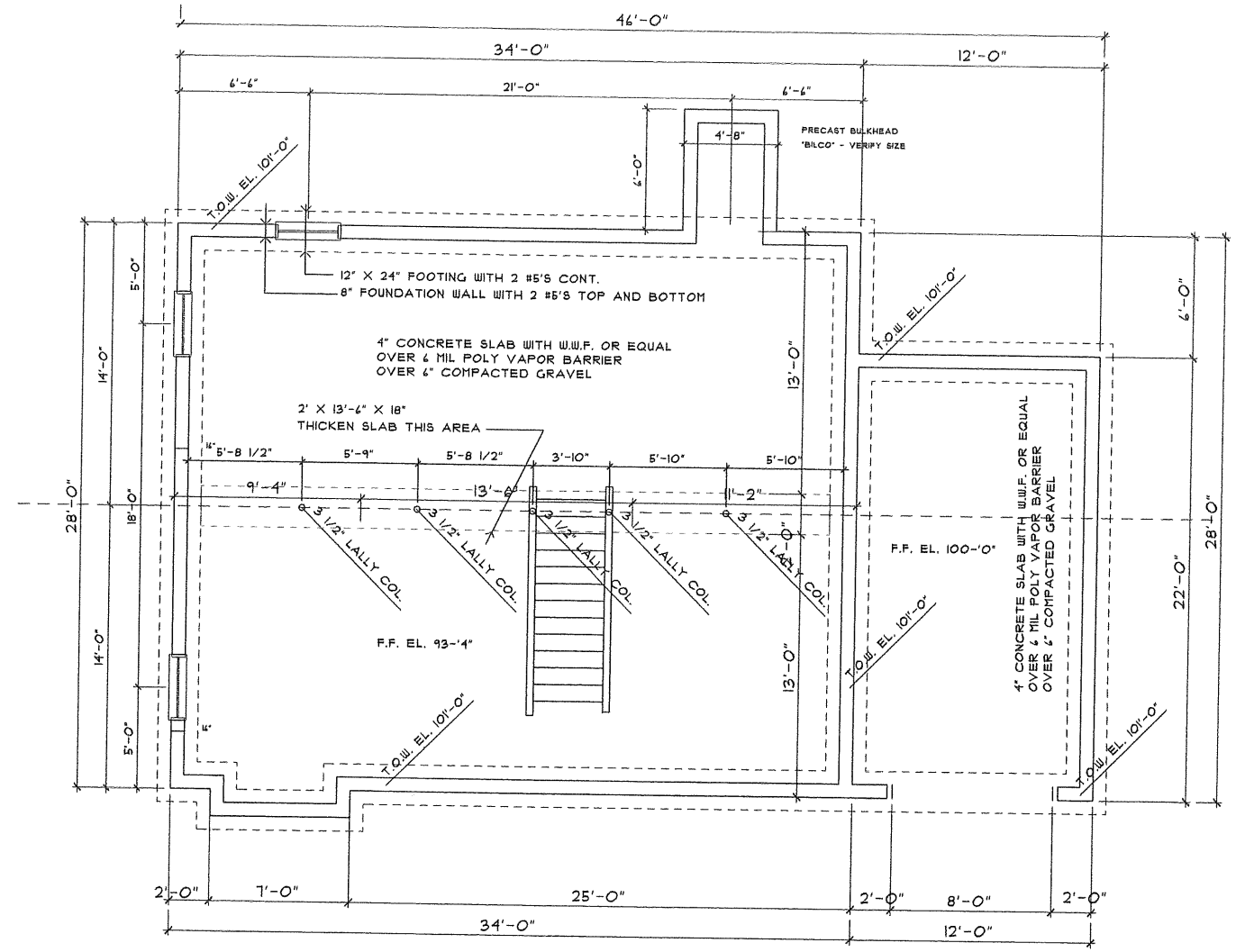
NEW HOUSE
 LOT 10, STEEPING STONE LANE
 PORTLAND, MAINE

Gleason Architects
 P.O. BOX 596, 152 PORTSMOUTH AVENUE
 STRATHAM, NEW HAMPSHIRE 03885
 603 772-7370 FAX. NO. 603 772-6044

ARCHITECT

ENGINEER
 DATE: 12/21/09
 PROJECT NO. 201014
 SHEET NO.

A-1



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

RECEIVED

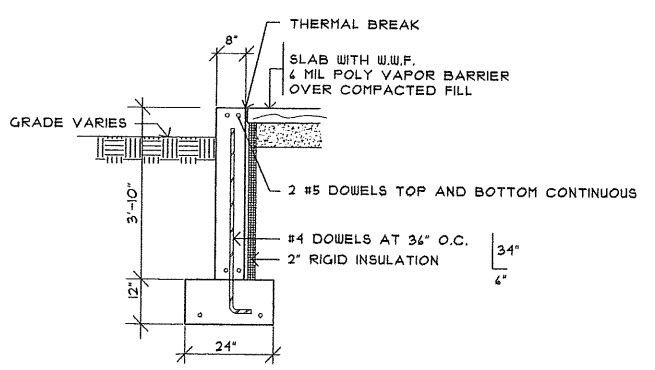
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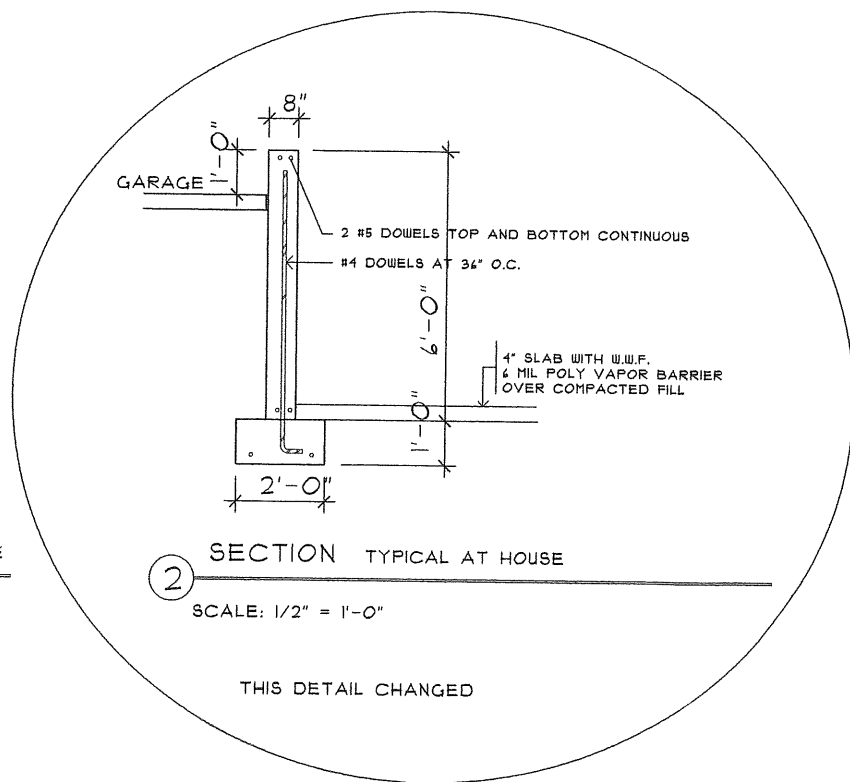
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DEC 30 2011

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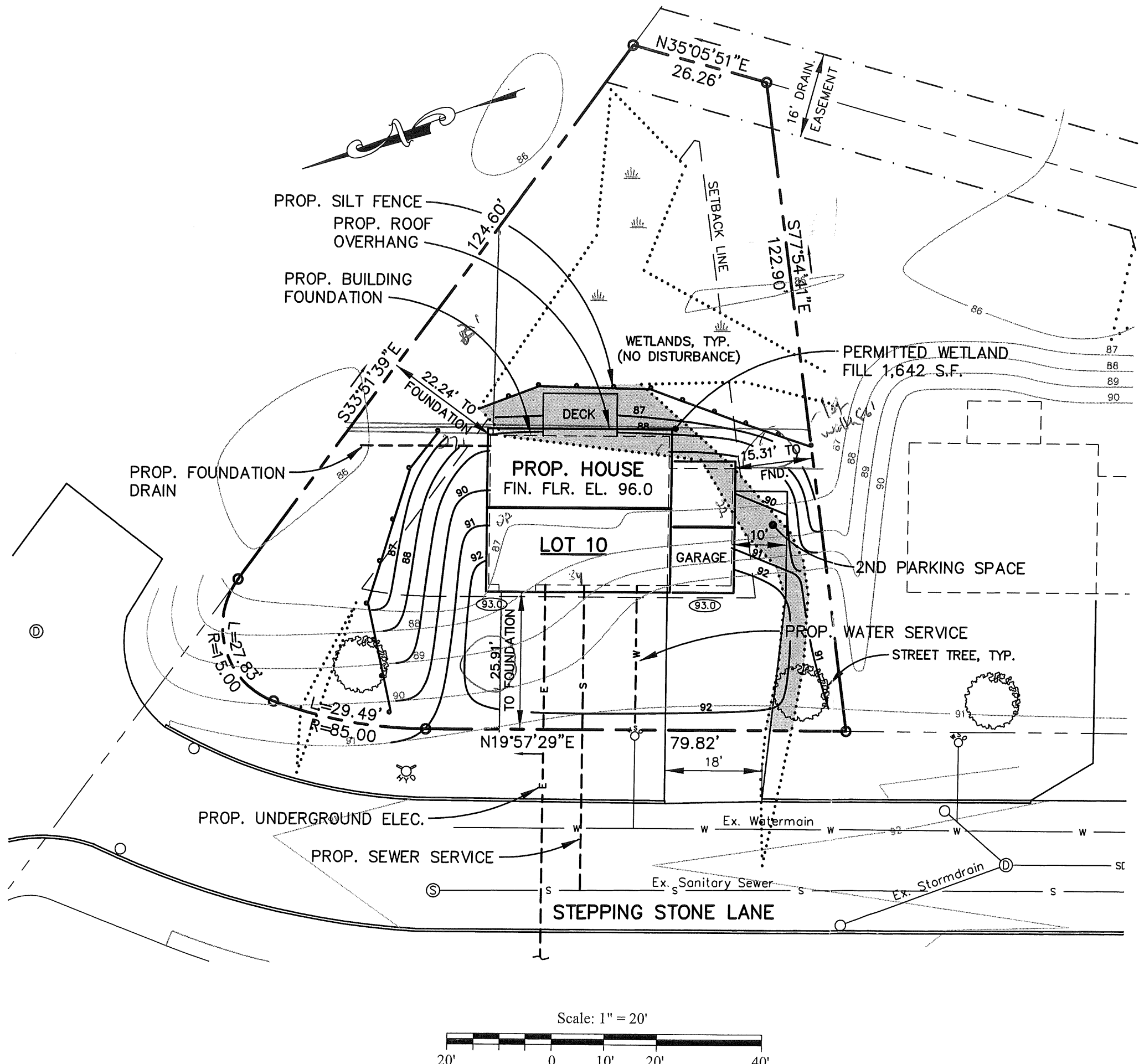


SECTION 1 TYPICAL FROST WALL AT GARAGE
 SCALE: 1/2" = 1'-0"



SECTION 2 TYPICAL AT HOUSE
 SCALE: 1/2" = 1'-0"

THIS DETAIL CHANGED



NOTES:

APPLICANT: KING CONSTRUCTION CORP.
 STEPPING STONE LANE, LOT 10
 PORTLAND, MAINE

ZONING: R3

SETBACKS: FRONT 25'
 BEAUREGARD 20'
 SIDE & REAR 14'
Rev 25'

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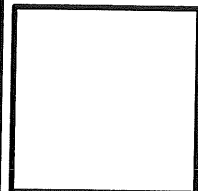
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 City of Portland, Maine

STATE OF MAINE
 ROBERT
 PROFESSIONAL
 LAND SURVEYOR

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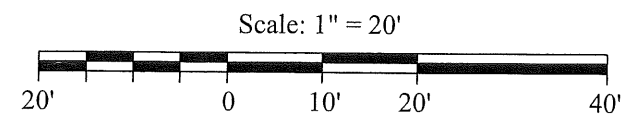
Berry, Huff, McDonald, Milligan, Inc.
 Engineers, Surveyors
 28 State Street
 Gorham, Maine 04038
 Tel: (603) 888-8778
 Fax: (603) 888-8250

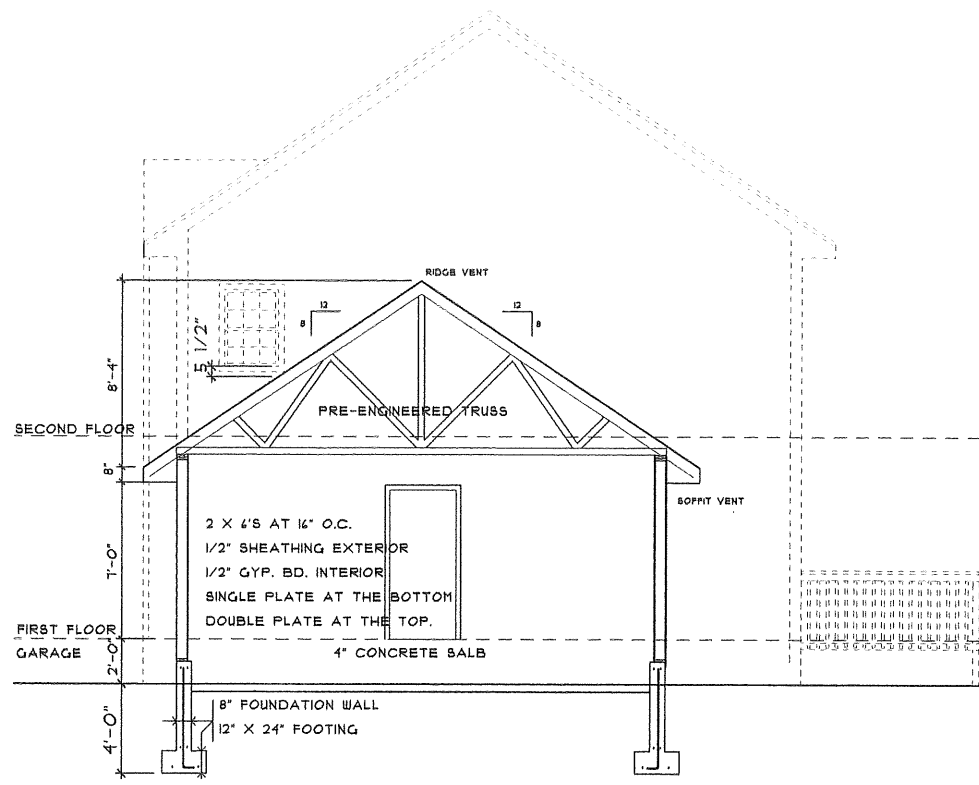
FOR
 King Construction Corp.
 198 Saco Avenue
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SITE PLAN
 LOT 10
 AUTUMN GLEN
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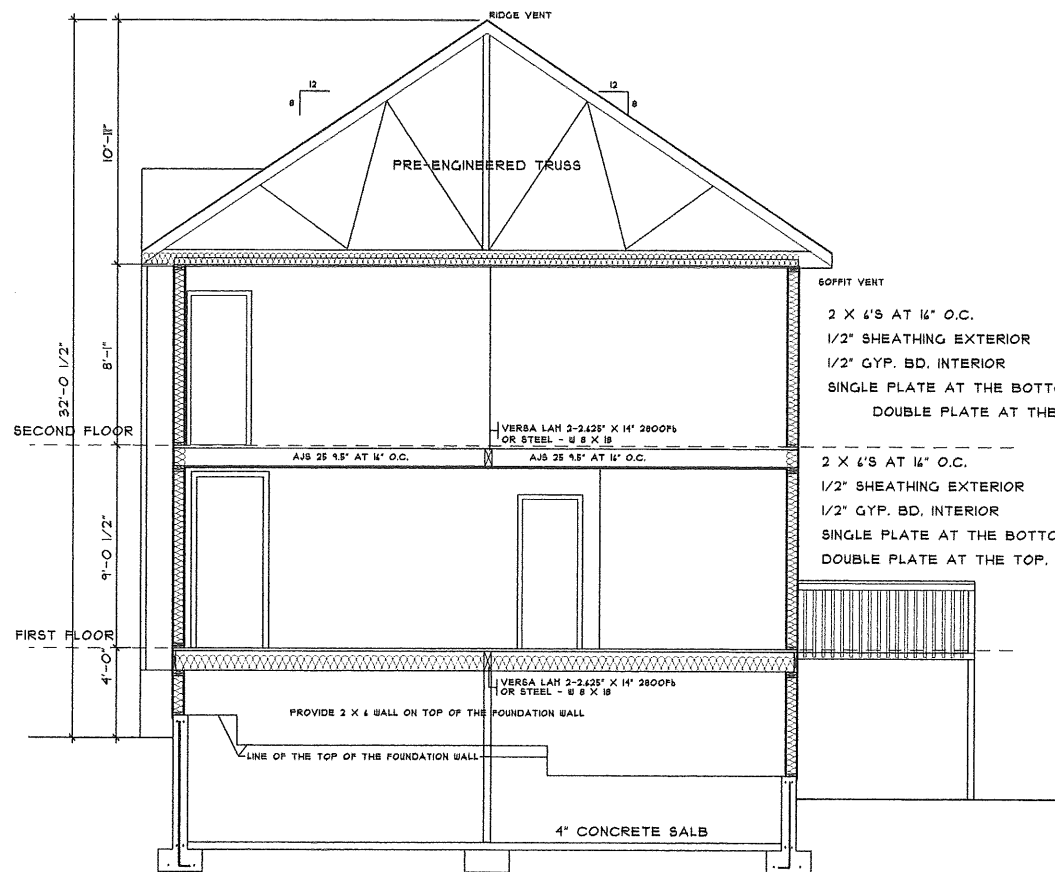
DESIGNED WEP	DATE Aug. 11
DRAWN WEP	SCALE 1" = 20'
CHECKED BT	JOB. NO. 11063

SHEET
 1

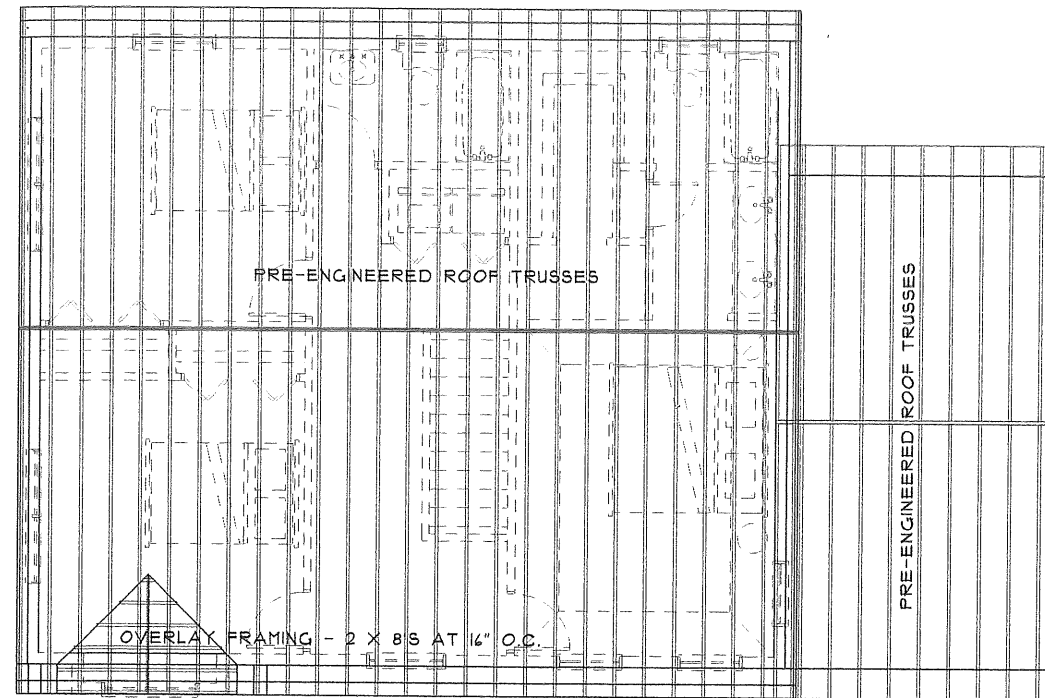




SECTION THRU GARAGE
SCALE: 1/8" = 1'-0"



SECTION THRU HOUSE
SCALE: 1/8" = 1'-0"



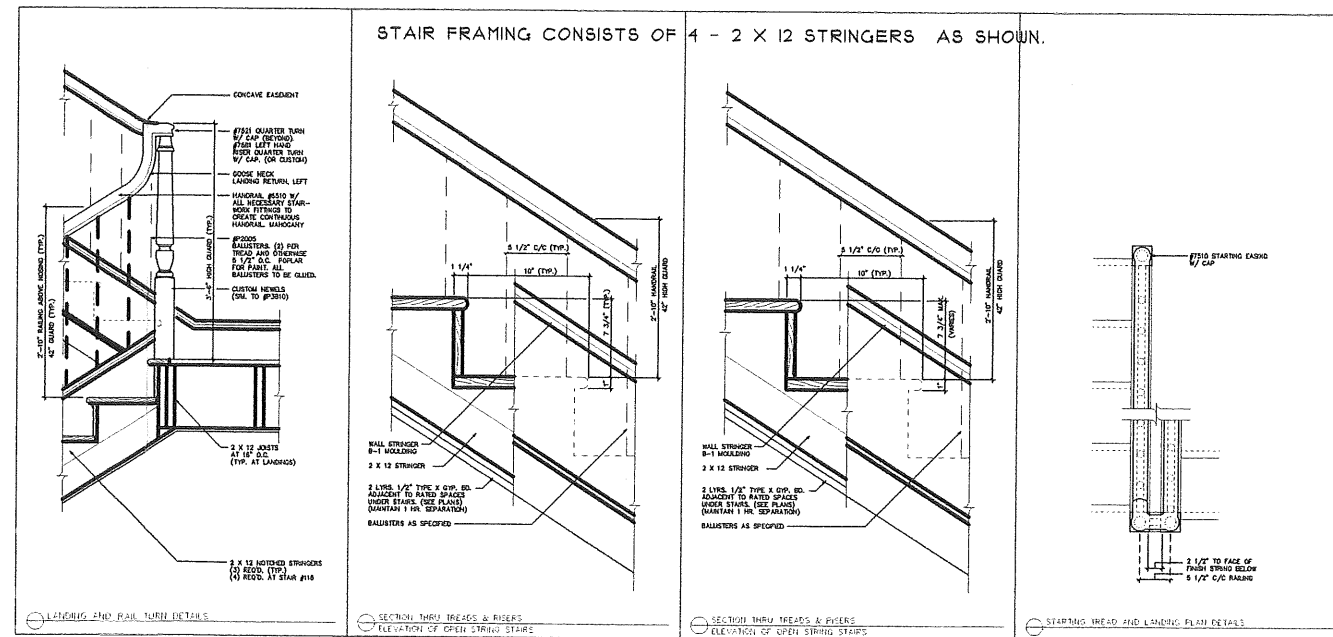
GARAGE ROOF FRAMING TO EXTEND TO BUMP OUT ON THE FRONT OF THE HOUSE - USE 2 X 4'S AT 16" O.C. USE A 2 X 4 TRUSS ALONG THE FRONT WITH A 2 X 4 LEDGER AT THE TOP AND BOTTOM

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

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ARCHITECT

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OF SHEETS