

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 061423

This is to certify that KING CONSTRUCTION COMPANY / King Construction Corphas permission to New Single Family Home- with Car garageAT STEPPING STONE LN #9

L 406 F059001

PERMIT ISSUED

JAN 12 2007

provided that the person or persons who receive this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procedure before this building or part thereof is closed or service closed-in. 4 HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1423	Issue Date:	CBL: 406 F059001
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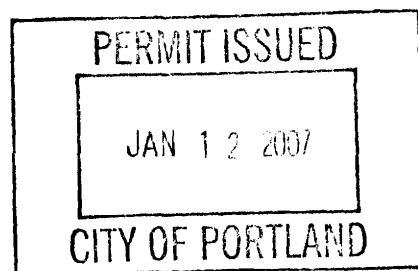
Location of Construction: 16 STEPPING STONE LN #9	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone 2079347622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed Use: Single Family Home- New Single Family Home- w/ 2 Car garage	Permit Fee: \$1,515.00	Cost of Work: \$142,000.00	CEO District: 4
Proposed Project Description: New Single Family Home- w/ 2 Car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i> Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 09/27/2006	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>N/A</i>	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland <i>N/A</i>	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone <i>panel 7 - zone X</i>	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input checked="" type="checkbox"/> Site Plan <i>2006-0184</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied <i>AEM</i>
Date: <i>10/10/06 [Signature]</i>	Date:	Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1423	Date Applied For: 09/27/2006	CBL: 406 F059001
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Location of Construction: 16 STEPPING STONE LN #9	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone (207) 934-7622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home- New Single Family Home- w/ 2 Car garage	Proposed Project Description: New Single Family Home- w/ 2 Car garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/10/2006

Note:**Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 01/12/2007

Note:**Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 4) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 7) The attic scuttle opening must be 22" x 30".
- 8) As discussed, the roof rafters must be 2" x 10"s.
- 9) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** drc **Approval Date:** 10/31/2006

Note:**Ok to Issue:**

- 1) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

Location of Construction: 16 STEPPING STONE LN #9	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone (207) 934-7622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 4) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

10/4/2006-amachado: Elevation plan shows daylight basement in rear. Grading plans does not match. Left message for King Weinstein to call me.

11/2/2006-tmm: Finished review of all permits - left message w/King - alot of info missing

11/16/2006-tmm: re-reviewed info submitted - plans still lack a large amount of info - called KRE

1/12/2007-tmm: rec'd additional info - ok to issue w/conditions

"BREWSTER"

① of ③

lot #2

06-1425

stepping stone lot #9 lot #6 lot #9

406-F-52

984-7622

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
④ Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Noted - not large enough	Pg 2 + SA - OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Hand noted on sheet #2	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
⑤ Anchor Bolts/Straps, spacing (Section R403.1.6)	not shown	Pg 2 - OK
Lally Column Type (Section R407)		
Girder & Header Spans (Table R 502.5(2))	3-2x10's - 5'-4" Max span	- OK
Built-Up Wood Center Girder Dimension/Type	" "	
③ Sil/Band Joist Type & Dimensions	not shown	Pg SA - OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x8's - OK	

'Brewster'

(3) OK (3)

YES

06-14-25

<p>Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)</p>	<p>Rafters - undersized + is there a beam under "splice" point.</p>	<p>REF Print #5 3/4" 4 DETAIL 4/5</p>
<p>Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))</p>	<p>5/8" - Roof 1/2" - Floors? walls 3/4"</p>	<p>3/4"</p>
<p>Fastener Schedule (Table R602.3(1) & (2))</p>	<p>Per IRC</p>	
<p>Private Garage (Section R309) Living Space? - YES (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)</p>	<p>Hand noted on sheet 3 - 5/8" F.C. Tyvek - all surfaces w/ fire door</p>	
<p>Emergency Escape and Rescue Openings (Section R310)</p>	<p>Not shown</p>	<p>NOTED ON PRINTS 3 & 4 (EE)</p>
<p>Roof Covering (Chapter 9)</p>	<p>Asphalt?</p>	<p>OK</p>
<p>Safety Glazing (Section R308)</p>	<p>Need in master bath</p>	<p>NOTED ON PRINT #4</p>
<p>Attic Access (Section R807)</p>	<p>size?</p>	<p>2'x6' Panel - OK</p>
<p>Chimney Clearances/Fire Blocking (Chap. 10)</p>	<p>N/A</p>	
<p>Header Schedule (Section 502.5(1) & (2))</p>	<p>Not shown</p>	<p>NOTED ON PRINT 5A</p>
<p>Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration</p>	<p>Not shown</p>	<p>REF PRINT 5A - R19 IS FLOOR ONLY.</p>

Ceiling - R-38
walls - R-19

U value of windows?
R value floor?

~~06/14/25~~
06/14/25

<p>12) Type of Heating System</p>	<p>not shown - FHW</p>	
<p>Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 0 Treads and Risers - Noted 7" Rise - 10" Tread (Section R311.5.3) Width (Section R311.5.1) - 3'-0" + - OK Headroom (Section R311.5.2) - Shows 8'-0" +</p>	<p>not shown -</p>	<p>Need guard detail → REF PRIN #4-</p>
<p>13) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)</p>	<p>not shown -</p>	
<p>Smoke Detectors (Section R313) Location and type/Interconnected</p>	<p>Hand noted on plan - OK</p>	
<p>Draftstopping (Section R502.12) and Fireblocking (Section R602.8)</p>	<p>N/A</p>	
<p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p>	<p>N/A</p>	
<p>Deck Construction (Section R502.2.1)</p>	<p>N/A</p>	

14) Need LVL beam specs from manufacturer

Lot #9

26-1423

Stepping Stone Lot #9

406-F-59

934-7622

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL		
① Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Noted - not large enough	Pg 2 20" + 8" OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Hand noted on sheet # 2	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
② Anchor Bolts/Straps, spacing (Section R403.1.6)	not shown	pg # 2 hand noted
Lally Column Type (Section R407)	3-2x10's - 5'-4" Max span - OK	
Girder & Header Spans (Table R 502.5(2))	" "	
Built-Up Wood Center Girder Dimension/Type	" "	
③ Sill/Band Joist Type & Dimensions	not shown	see pg 5A
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x8's - OK	

06-1423

4	Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Rafters - undersized + is there a beam under "splice" point.	
5	Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8" - Roof 1/2" - Floors? walls? 1/2" 3/4"	
	Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
	Private Garage (Section R309) Living Space? - Yes (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	Hand noted on sheet 3 - 5/8" F.C. Tyrex - all surfaces w/ fire door	
6	Emergency Escape and Rescue Openings (Section R310)	not shown	
7	Roof Covering (Chapter 9)	Asphalt? - OK	
8	Safety Glazing (Section R308)	Need in master bath - OK	
9	Attic Access (Section R807)	size? 2' x 6' - OK	
	Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
10	Header Schedule (Section 502.5(1) & (2))	not shown	
11	Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Not shown	

12-38 roof
 R-19 walls
 Floor?
 U-Value of windows

06-14-23

12 Type of Heating System	Not shown - OK	
Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 0 Treads and Risers - Noted 7" Rise - 10" Tread (Section R311.5.3) Width (Section R311.5.1) - 3'-0" + - OK Headroom (Section R311.5.2) - Shows 8'-0" +		
13 Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	Not shown -	Need guard detail /
Smoke Detectors (Section R313) Location and type/Interconnected	Hand noted on plan - OK	
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	N/A	

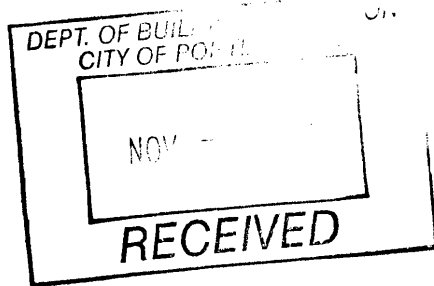
14 Need LVL beam specs from manufacturer

From: Jay Reynolds
To: Single Family Signoff
Date: 10/31/2006 1:04:47 PM
Subject: 16 Stepping Stone lane lot #9

cbl 406F059

Approvals with conditions have been entered in urban insight for this application.

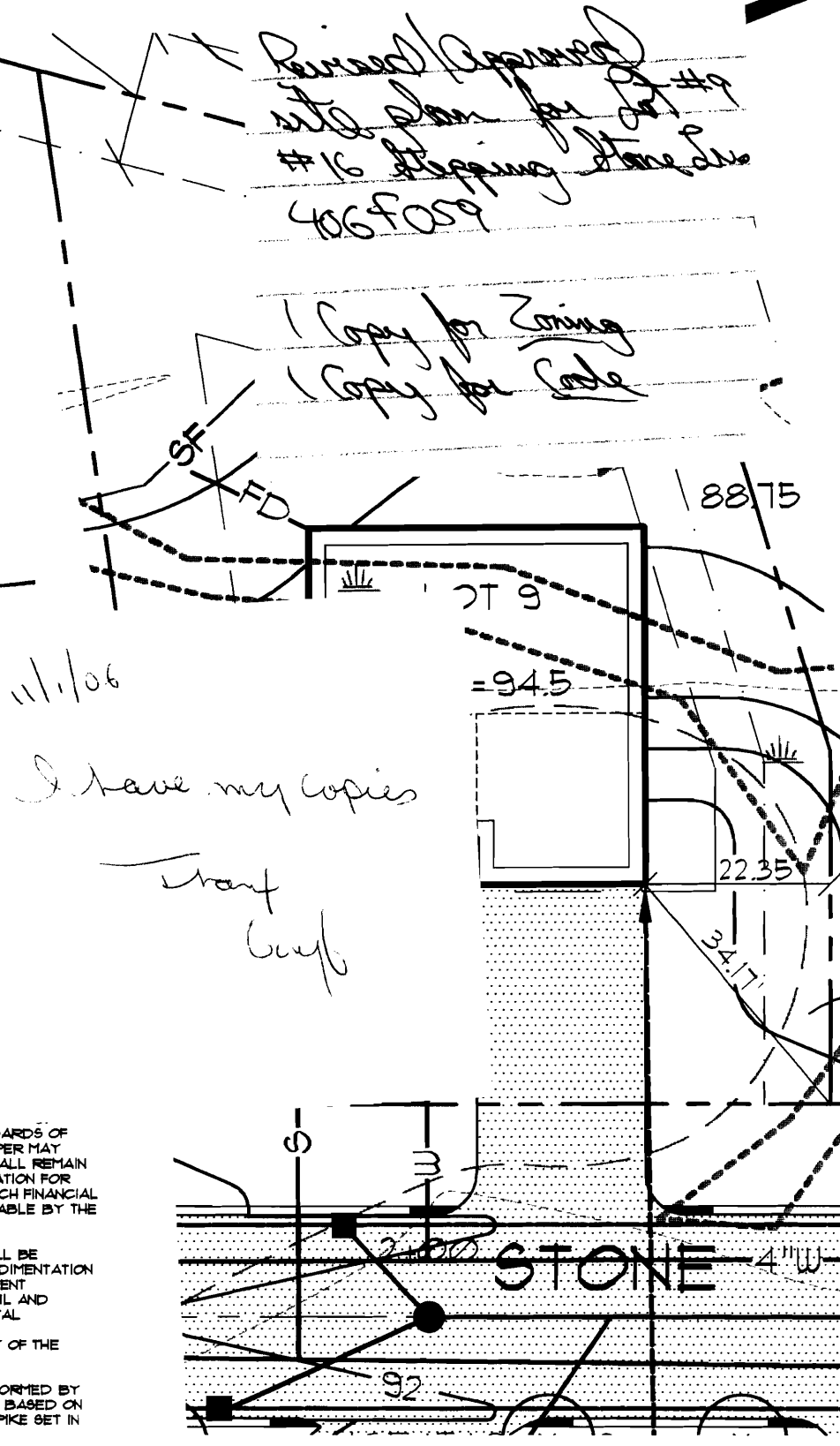
Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
of Approval: 10-31-06

NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND (R3) ZONE.
2. THE DIMENSIONAL REQUIREMENTS FOR THE R3 ZONE, FOLLOWS:
 MINIMUM LOT SIZE
 MINIMUM STREET FRONTAGE
 MINIMUM YARD DIMENSIONS: MIN. LOT WIDTH
 FRONT YARD
 REAR YARD (STRUCTURES GREATER THAN 100)
 SIDE YARD (1 STORY)
 (1 1/2 STORY)
 (2 STORY-SHOWN ON PLAN)
 (2 1/2 STORY)
 SIDE YARD (ON SIDE STREET)
3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVATION PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1988 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CMP #25 POLE ON RAY STREET, ELEVATION 91.33'.



Sebago Technics

Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

LOT 9 - GRADING PLAN
 AUTUMN GLEN SUBDIVISION

LOCATION:

RAY STREET
 PORTLAND, MAINE

FOR:

KING REAL ESTATE
 OLD ORCHARD, ME

SCALE: 1"=20'

DATE: 10-17-06

SHEET:

1 OF 1

01259G.dwg, TAB: LOT

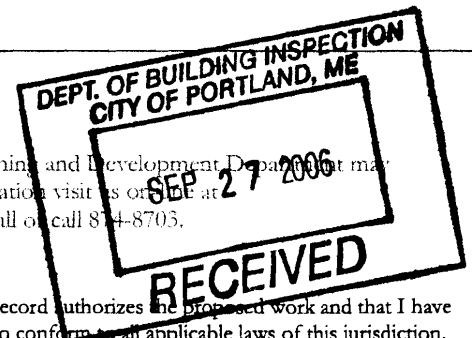
10/17/06, 11:50 A



General Building Permit Application

Location/Address of Construction: ^{#16} STOPPING STONE LAKE Lot 9		
Total Square Footage of Proposed Structure 2267		Square Footage of Lot 8708
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 406 F 59	Owner: KING CONSTRUCTION CORP	Telephone: 207 934-7622
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: KING CONSTRUCTION CORP 198 SAW AVENUE DID ORCHARD BEACH, ME 04064	Cost Of Work: \$ 142,000 Fee: \$ 1815 C of O Fee: \$
Current Specific use: <u>VACANT</u> If vacant, what was the previous use? <u>VACANT</u> Proposed Specific use: <u>RESIDENTIAL</u>		
Project description: <u>CONSTRUCT SINGLE FAMILY HOME w/ 3 CAR GARAGE</u>		
Contractor's name, address & telephone: <u>KING CONSTRUCTION CORP</u>		
Who should we contact when the permit is ready: <u>KING WEINSTEIN</u> Mailing address: <u>198 SAW AVENUE</u> <u>DID ORCHARD BEACH, ME 04064</u> Phone: <u>207 934-7622 x22</u>		

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on the Internet at www.portlandmaine.gov or call 877-8703, stop by the Building Inspections office, room 315 City Hall or call 877-8703.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

[Handwritten Signature]
KING CONSTRUCTION CORP ITS. Pres

Date:

9/26/06

This is not a permit; you may not commence ANY work until the permit is issued.

#16
Applicant: Stepping Stone Lane, #9^{lot}

Date: 10/3/06

Address: King Construction Corp.

C-B-L: 406-BF-059
permit # 06-1423

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build 2 story single family house w/ 2 car attached garage

Sewage Disposal - City

Lot Street Frontage - 50' min. [?] - 77' given.

Front Yard - 25' min. - ~~25'~~ 25' called

Rear Yard - 25' min. - 34' called

Side Yard - ^{1/2 8' min} 2 story 18' min 14' on right, 24' on left, ok need total of ²⁸ 32 ok
~~2 1/2 16' min~~ total of 38' ok.

Projections -

Width of Lot - 65' min.

Height - 35' max. - ~~35' at lowest point of grade~~ 25.5' called

Lot Area - 6,500 ^{sq ft} min - 8708 ^{sq ft}

Lot Coverage Impervious Surface - 35% = 3047.8

Area per Family - 6,500 ^{sq ft}

Off-street Parking - 2 spaces req. - 2 car garage 20' x 20'

Loading Bays - N/A

Site Plan - minor/minor 2006 - 0184

Shoreland Zoning/ Stream Protection - N/A

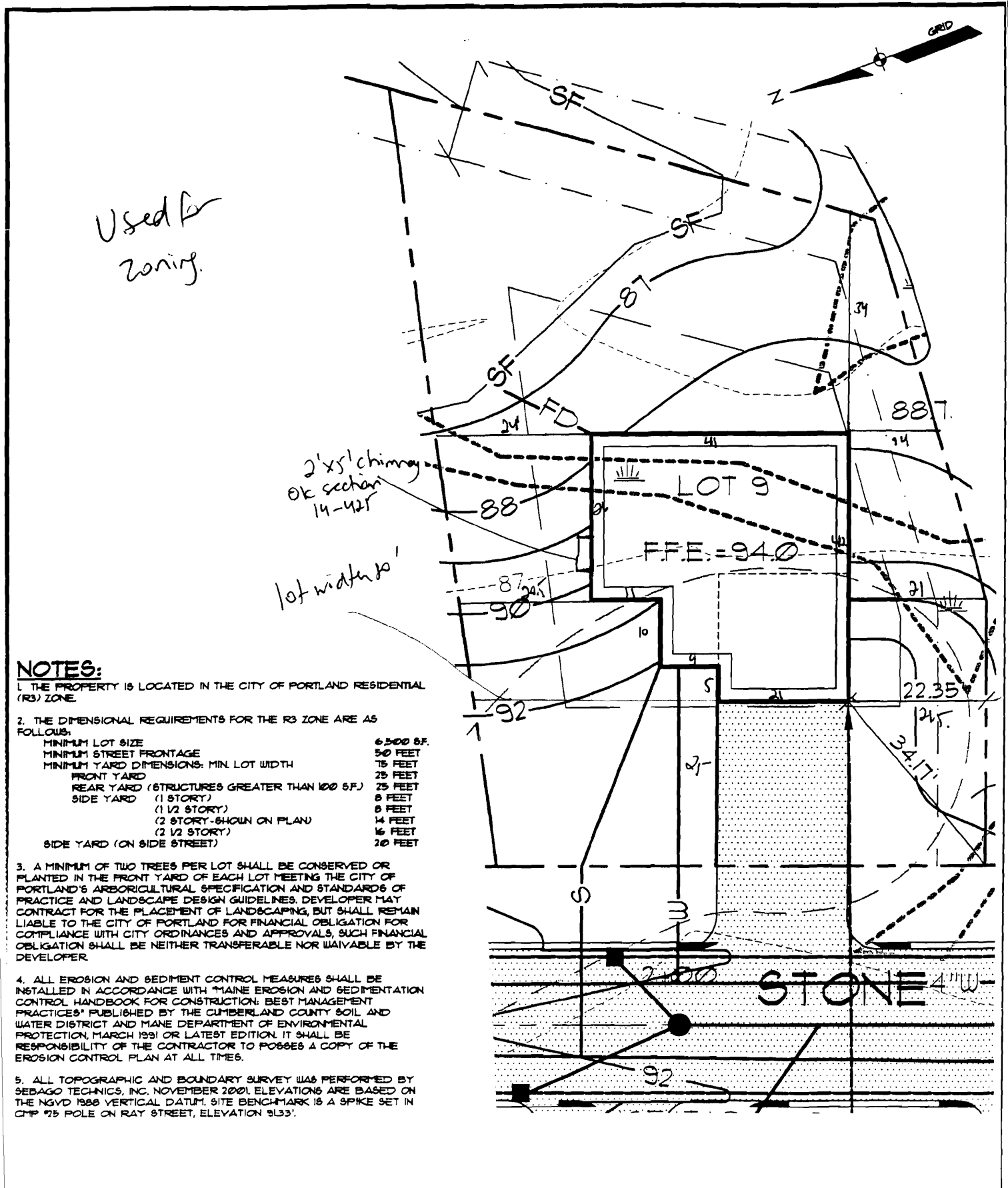
Flood Plains - panel 7 - zone X

- no * daylight basement.

ok

$$\begin{aligned} 26 \times 40 &= 1040 \\ 16.5 \times 20 &= 330 \\ 9 \times 4.5 &= 40.5 \\ 9.5 \times 5.5 &= 52.25 \\ 5 \times 2 &= 10 \end{aligned}$$

1472.75



NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (R3) ZONE.

2. THE DIMENSIONAL REQUIREMENTS FOR THE R3 ZONE ARE AS FOLLOWS:

MINIMUM LOT SIZE	6,500 SF.
MINIMUM STREET FRONTAGE	50 FEET
MINIMUM YARD DIMENSIONS: MIN. LOT WIDTH	15 FEET
FRONT YARD	25 FEET
REAR YARD (STRUCTURES GREATER THAN 100 SF.)	25 FEET
SIDE YARD (1 STORY)	8 FEET
(1 1/2 STORY)	8 FEET
(2 STORY - SHOWN ON PLAN)	14 FEET
(2 1/2 STORY)	16 FEET
SIDE YARD (ON SIDE STREET)	20 FEET

3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

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5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1988 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CIP 25 POLE ON RAY STREET, ELEVATION 91.33'.

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LOT 9 - GRADING PLAN
AUTUMN GLEN SUBDIVISION

LOCATION:
RAY STREET
PORTLAND, MAINE

FOR:
KING REAL ESTATE
OLD ORCHARD, ME

SCALE: 1"=20'

DATE: 6-1-04

SHEET:
1 OF 1

01259G TAB: LOT9

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2006-0184

Application I. D. Number

9/27/2006

Application Date

King Construction Corp

Applicant

198 Saco Ave , OOB, ME 04064

Applicant's Mailing Address

King Weinstein

Consultant/Agent

Applicant Ph: (207) 934-7622 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

Stepping Stone Ln , Portland, Maine

Address of Proposed Site

406 F059001

Assessor's Reference: Chart-Block-Lot

Stepping Stone Lane Lot# 9

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 9/28/2006

Zoning Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions** **Denied**
 See Attached

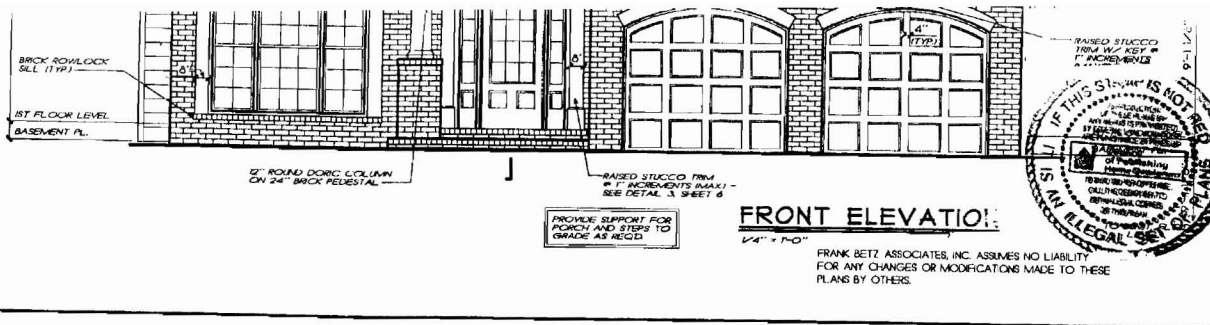
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
 signature _____ date _____

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



DATE	REV
10/18/14	1
DATE	REV
5/26/16	1
DATE	REV
DATE	REV

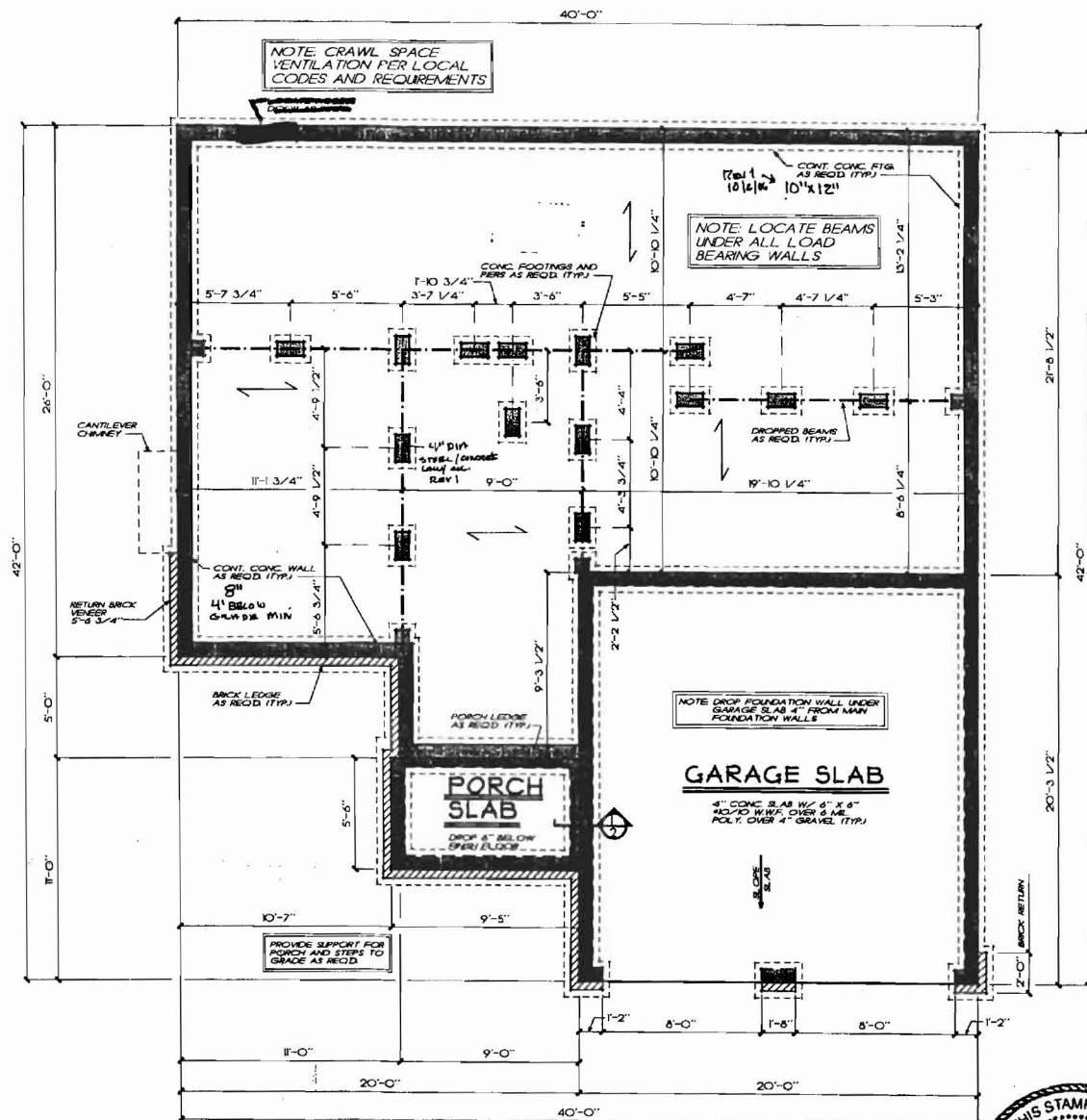
DATE	REV
10/18/14	1
DATE	REV
5/26/16	1
DATE	REV
DATE	REV

HOMEPLANS

CRAWL FOUND. PLAN
THE BREWSTER

FBA
FRANK BETZ ASSOCIATES, INC.
2407 WYVA, GEORGIA SQUARE
770/433-0888
www.frankbetz.com

DATE	REV
10/18/14	1
DATE	REV
5/26/16	1
DATE	REV
DATE	REV



CRAWL FOUNDATION PLAN
1/4" = 1'-0"

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.



lot 9