

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 061427

This is to certify that KING CONSTRUCTION CORP / King Construction Corp

has permission to New Single Family Home w/ car garage

AT 22 STEPPING STONE LN - Lot 8

406 E058001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or service closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

CITY OF PORTLAND

JAN 12 2007

CITY OF PORTLAND

[Handwritten Signature]
01/12/07

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 06-1427 | Issue Date: | CBL: 406 F058001 |
|-----------------------|-------------|---------------------|

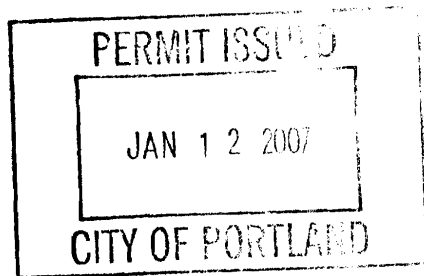
| | | | |
|--|--|-------------------------------------|----------------------|
| Location of Construction: STEPPING STONE LN - Lot 8 | Owner Name: KING CONSTRUCTION CORP | Owner Address: 198 SACO AVE | Phone: |
| Business Name: | Contractor Name: King Construction Corp | Contractor Address: 198 Saco OOB | Phone: 2079347622 |
| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | Zone: R-3 |

| | | | | |
|---|---|--|---|--------------------|
| Past Use: Vacant Land | Proposed Use: Single Family Home/ New Single Family Home w/ 2 car garage | Permit Fee: \$1,475.00 | Cost of Work: \$138,000.00 | CEO District: 4 |
| Proposed Project Description: New Single Family Home w/ 2 car garage | | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i> | INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i> | |

| | | | |
|--|--|-------------------------------|--|
| Signature: <i>[Signature]</i> | | Signature: <i>[Signature]</i> | |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | | | |
| Signature: | | Date: | |

| | | | |
|-----------------------------|---------------------------------|------------------------|--|
| Permit Taken By: Idobson | Date Applied For: 09/27/2006 | Zoning Approval | |
|-----------------------------|---------------------------------|------------------------|--|

| | | | |
|---|---|---|---|
| <ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>panel 7 - zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2006-0197</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>or w/cond. has</i> Date: <i>12/10/06</i> <i>ABH</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: |
|---|---|---|---|



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

| | | | |
|--|---|--|--------------------------------|
| Location of Construction: 22 STEPPING STONE LN Lot 8 | Owner Name: KING CONSTRUCTION CORP | Owner Address: 198 SACO AVE | Phone: |
| Business Name: | Contractor Name: King Construction Corp | Contractor Address: 198 Saco OOB | Phone (207) 934-7622 |
| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | |

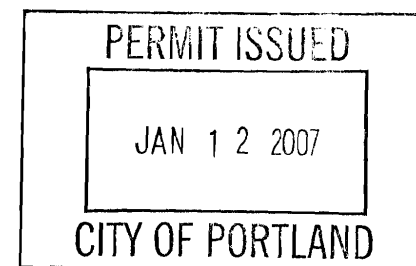
Comments:

10/4/2006-amachado: Elevation plans show a daylight basement in the rear. This does not match with the grading plan. Left message for King Weinstein to call me.

11/2/2006-tmm: finished reviews of all permits - left message for King

11/16/2006-tmm: re-reviewed info submitted - plans still lack a large amount of info - called KRE

1/12/2007-tmm: rec'd additional info - of to issue w/conditions.



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|---------------------------------|---------------------|
| Permit No: 06-1427 | Date Applied For: 09/27/2006 | CBL: 406 F058001 |
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| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | |

| | |
|---|---|
| Proposed Use: Single Family Home/ New Single Family Home w/ 2 car garage | Proposed Project Description: New Single Family Home w/ 2 car garage |
|---|---|

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/10/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 01/12/2007

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 3) The attic scuttle opening must be 22" x 30".
- 4) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) As discussed, the rafters must be 2" x 10"s.
- 7) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 8) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 9) The design load spec sheets for any engineered beam(s) must be submitted to this office.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 10/31/2006

Note: **Ok to Issue:**

- 1) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

| | | | |
|--|---|--|--------------------------------|
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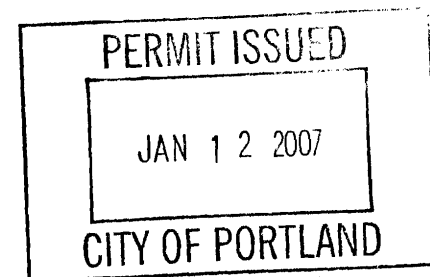
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1/12/2007-tmm: rec'd additional info - of to issue w/conditions.



CBL: _____

Check #: 100

Total Collected _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the permit or 10% whichever is greater.

Stepping Stone Lot 18
406-F-58

06-1427

CHESS BINS
934-7622

1 of 3

Lot #3 Lot #8

| ONE AND TWO FAMILY | PLAN REVIEW | CHECKLIST |
|--|---------------------------|-------------|
| Soil type/Presumptive Load Value (Table R401.4.1) | | |
| STRUCTURAL | | |
| ① Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1) | Not shown - no details | 8x20" |
| ② Foundation Drainage, Fabric, Damp proofing (Section R405 & R406) | | OK |
| Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY | | |
| ③ Anchor Bolts/Straps, spacing (Section R403.1.6) | | OK |
| ④ Lally Column Type (Section R407) | Not required | |
| Girder & Header Spans (Table R 502.5(2)) | | |
| Built-Up Wood Center Girder Dimension/Type | No beam shown | |
| ⑤ Sill/Band Joist Type & Dimensions | Not shown | 2x6 PT A 5A |
| First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2)) | 2x10's - 16" OC | OK |
| Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2)) | 2x10's - 16" OC | Noted FI |
| Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2)) | 2x8's - Note FI | |

06-1427

| | | |
|--|---|---------------------|
| <p>46 Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)</p> | <p>2x8's note #1 - under sized</p> | |
| <p>47 Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))</p> | <p>Roof 1/2" Floors + walls ? - OK PYSA</p> | |
| <p>Fastener Schedule (Table R602.3(1) & (2))</p> | <p>Per IRC</p> | |
| <p>Private Garage (Section R309) Living Space? <i>yes</i> (Above or beside)</p> | | |
| <p>Fire separation (Section R309.2)</p> | <p>noted 5/8" walls + ceiling</p> | |
| <p>Opening Protection (Section R309.1)</p> | <p>Shows 1 hour noted</p> | |
| <p>Emergency Escape and Rescue Openings (Section R310)</p> | <p>not shown</p> | <p>CONV</p> |
| <p>Roof Covering (Chapter 9)</p> | <p>not shown</p> | <p>Asphalt - OK</p> |
| <p>10 Safety Glazing (Section R308)</p> | <p>need in Master - OK</p> | |
| <p>Attic Access (Section R807)</p> | <p>not shown in 2nd floor - RAY Print #6</p> | |
| <p>Chimney Clearances/Fire Blocking (Chap. 10)</p> | <p>w/A</p> | |
| <p>12 Header Schedule (Section 502.5(1) & (2))</p> | <p>2-2x10's for windows Need LVL + Beam schedule for all carrying Beams</p> | |
| <p>13 Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration</p> | <p>not shown</p> | |

Roof R-38
Walls - R-19
Floor - ?

U-value of windows?

06-1427

| | | |
|--|---|----------------------|
| <p>46 Type of Heating System</p> | <p>Not shown</p> | |
| <p>Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 2 Treads and Risers (Section R311.5.3) to CABO - need to IRC - opening size is not large enough Width (Section R311.5.1) 3'-2" Headroom (Section R311.5.2) - not shown RRP Print #6 & #5 Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) not shown - RRP Print #5</p> | | |
| <p>Smoke Detectors (Section R313) Location and type/Interconnected</p> | <p>noted</p> | |
| <p>Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)</p> | <p>— need fire blocking for drop ceiling</p> | |
| <p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p> | <p>N/A</p> | |
| <p>40 Deck Construction (Section R502.2.1)</p> | <p>need deck framing detail for rear deck</p> | <p>SCAB ON GRADE</p> |



General Building Permit Application

| | | |
|---|---|--|
| Location/Address of Construction: #32 <u>57 STEPPING STONE LANE</u> | | |
| Total Square Footage of Proposed Structure <u>2128 HOUSE; 634 GARAGE</u> | | Square Footage of Lot <u>14,557 8</u> |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>406 F 52</u> | Owner: <u>KING CONSTRUCTION CORP</u> | Telephone: <u>207</u> <u>934-7622</u> |
| Lessee/Buyer's Name (If Applicable) <u>N/A</u> | Applicant name, address & telephone: <u>KING CONSTRUCTION CORP</u> <u>198 SAGO AVENUE</u> <u>810 ORCHARD BEACH, ME</u> <u>07064</u> | Cost Of Work: \$ <u>138,000</u> Fee: \$ <u>1775</u> C of O Fee: \$ _____ |
| Current Specific use: <u>LOT</u> If vacant, what was the previous use? <u>VACANT</u> Proposed Specific use: <u>RESIDENTIAL</u> | | |
| Project description: <u>CONSTRUCT SINGLE FAMILY HOME W/ 2 CAR GARAGE</u> <u>+ 3 BEDROOMS.</u> | | |
| Contractor's name, address & telephone: <u>SAME AS ABOVE</u> | | |
| Who should we contact when the permit is ready: <u>KING WEINSTEIN</u> Mailing address: <u>198 SAGO AVENUE</u> <u>810 ORCHARD BEACH, ME</u> <u>07067</u> Phone: <u>(207) 934-7622 422</u> | | |

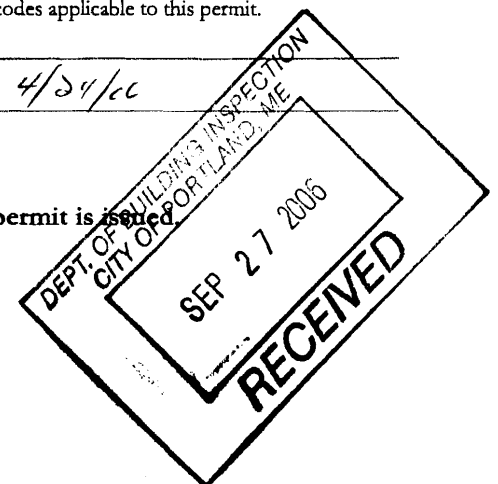
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 4/24/06

This is not a permit; you may not commence ANY work until the permit is issued.



Stepping Stone Lot 18
406-F-58

06-1427

934-7622

| ONE AND TWO FAMILY | PLAN REVIEW | CHECKLIST | | |
|---|---------------------------|-----------|---------------|------|
| Soil type/Presumptive Load Value (Table R401.4.1) | | | | |
| Component | Submitted Plan | Findings | Revisions | Date |
| STRUCTURAL | | | | |
| 1 Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1) | not shown - no details | - 8x20" | | |
| 2 Foundation Drainage, Fabric, Damp proofing (Section R405 & R406) | ↓ | - OK | } Pg 5A | |
| 3 Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY | | | | |
| 4 Anchor Bolts/Straps, spacing (Section R403.1.6) | | - OK | | |
| 5 Lally Column Type (Section R407) | | | | |
| 6 Built-Up Wood Center Girder Dimension/Type | no beam shown | | | |
| 7 Sill/Band Joist Type & Dimensions | not shown | - 2x6 PT | Pg 5A | |
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06-1427

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| | Fastener Schedule (Table R602.3(1) & (2)) | Per IRC | |
| | Private Garage (Section R309) Living Space? <i>yes</i> (Above or beside) | | |
| | Fire separation (Section R309.2) | <i>noted 5/8" walls + ceiling</i> noted 5/8" walls + ceiling | |
| | Opening Protection (Section R309.1) | <i>shows 1 hour noted</i> | |
| 8 | Emergency Escape and Rescue Openings (Section R310) | not shown | |
| 9 | Roof Covering (Chapter 9) | not shown - Asphalt - OK | |
| 10 | Safety Glazing (Section R308) | need in Master - OK | |
| 11 | Attic Access (Section R807) | not shown in 2nd floor | |
| | Chimney Clearances/Fire Blocking (Chap. 10) | n/A | |
| 12 | Header Schedule (Section 502.5(1) & (2)) | 2-2x10's for windows Need LVL + Beam schedule for all carrying Beams | |
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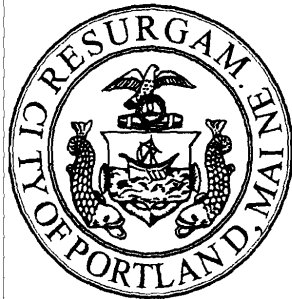
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Floor - ?

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06-1427

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| 14 | Type of Heating System | Not shown | |
| | Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 2 | | |
| 15 | Treads and Risers (Section R311.5.3) Width (Section R311.5.1) 3'-2" | to CABO - need to IRC - opening size is not large enough | |
| 16 | Headroom (Section R311.5.2) | not shown | |
| 17 | Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) | not shown | |
| | Smoke Detectors (Section R313) Location and type/Interconnected | noted | |
| | Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) | - need fire blocking for drop ceiling | |
| | Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207) | N/A | |
| 18 | Deck Construction (Section R502.2.1) | need deck framing detail for rear deck | |

FAX



To: *John Ponzetti*
Fax Number: *207-934-1566*
From: *Tommy Munson*
Fax Number:
Date: *12/14/06*
Regarding: *Stepping Stone*
Total Number Of Pages Including Cover: *7*
Phone Number For Follow-Up:

Comments:

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-31-06

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

NOV - 1 2006

RECEIVED

NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (R3) ZONE.
2. THE DIMENSIONAL REQUIREMENTS FOR THE R3 ZONE ARE AS FOLLOWS:
 MINIMUM LOT SIZE 6,500 SF.
 MINIMUM STREET FRONTAGE 50 FEET
 MINIMUM YARD DIMENSIONS: MIN. LOT WIDTH
 FRONT YARD 15 FEET
 REAR YARD (STRUCTURES GREATER THAN 100 SF.) 25 FEET
 SIDE YARD (1 STORY) 8 FEET
 (1 1/2 STORY) 9 FEET
 (2 STORY - SHOWN ON PLAN) 14 FEET
 (2 1/2 STORY) 16 FEET
 SIDE YARD (ON SIDE STREET) 20 FEET
3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1988 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CYP 2 1/2" POLE ON RAY STREET, ELEVATION 91.33'.

STEPPING STONE LANE

Sebago Technics

Engineering Expertise You Can Build On

One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

LOT 8 - GRADING PLAN
 AUTUMN GLEN SUBDIVISION

LOCATION:
 RAY STREET
 PORTLAND, MAINE

FOR:
 KING REAL ESTATE
 OLD ORCHARD, ME

SCALE: 1"=30'

DATE: 10-17-06

SHEET:
 1 OF 1

01259G.dwg, TAB: LOT

10/17/06, 11:50 A

From: Jay Reynolds
To: Single Family Signoff
Date: 10/31/2006 12:38:09 PM
Subject: 22 Stepping Stone lane lot #8

cbl 406F058

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov

Applicant: King Construction Corp

Date: 10/4/06

Address: Stepping Stone Lane (Lot #8)

C-B-L: 406-F-58
Permit # - 06-1427

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - new 2 story single family house w/ 2 car attached garage

Sewage Disposal - city

Lot Street Frontage - 50' min - 50' given

Front Yard - 25' min - 32' scaled

Rear Yard - 25' min - 32' scaled

Side Yard - ~~25' min~~ ~~16' min~~ ~~14' min~~ ~~8' min~~ right - 24' scaled
left - 32' scaled

Projections -

Width of Lot - 65' scaled - 91' scaled

Height - 35' max - 22.25' scaled

Lot Area - 6,500 Φ min - 14,557 Φ given

Lot Coverage Impervious Surface - 35% = 5094.95 Φ

Area per Family - 6,500 Φ

Off-street Parking - 2 spaces req. - 2 car garage 20' x 20'

Loading Bays - N/A

Site Plan - minor / minor 2006-0152

Shoreland Zoning/ Stream Protection - N/A

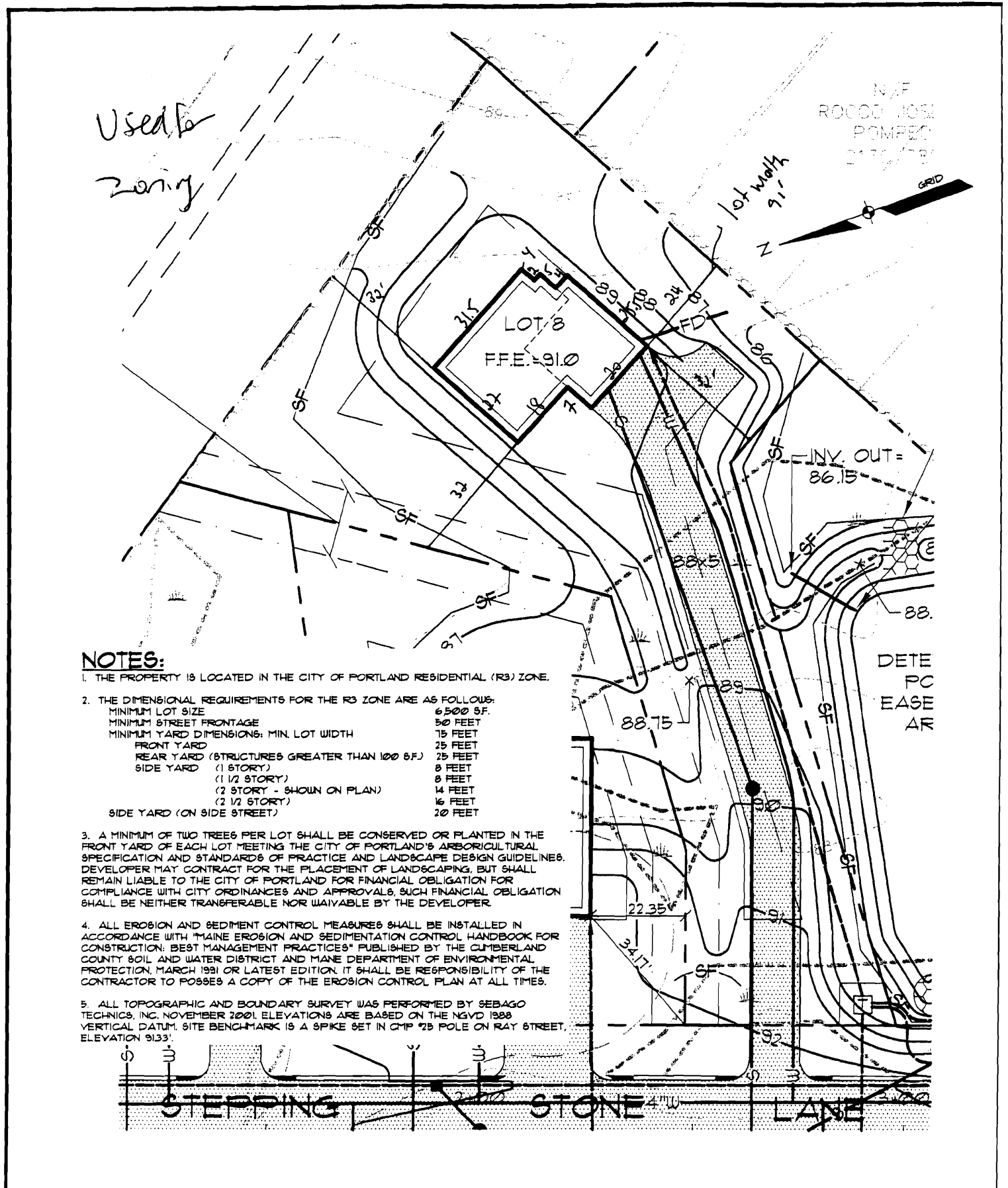
Flood Plains - panel 7 - zone X

~~x shows daylight breach but grading does not match~~
no daylight breach

OK

$$\begin{aligned} 30.5 \times 26.5 &= 808.25 \\ 65 \times 17.5 &= 1137.5 \\ 7.5 \times 20 &= 150 \\ 2 \times 5 &= 10 \end{aligned}$$

1092



Sebago Technics

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Tel (207) 856-0277



LOT 8 - GRADING PLAN
AUTUMN GLEN SUBDIVISION

LOCATION:

RAY STREET
PORTLAND, MAINE

FOR:

KING REAL ESTATE
OLD ORCHARD, ME

SCALE: 1"=30'

DATE: 7-20-06

SHEET:

1 OF 1

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2006-0192

Application I. D. Number

9/27/2006

Application Date

King Construction Corp

Applicant

198 Saco Ave , Portland, ME

Applicant's Mailing Address

King Weinstein

Consultant/Agent

Applicant Ph: (207) 934-7622 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

Stepping Stone Ln , Portland, Maine

Address of Proposed Site

406 F058001

Assessor's Reference: Chart-Block-Lot

Stepping Stone Lane Lot #8

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **10/2/2006**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

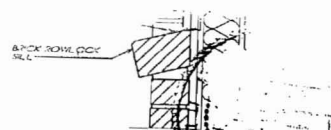
ROOF PLAN

1/8" = 1'-0"

① CORNICE DETAIL
3/4" = 1'-0"



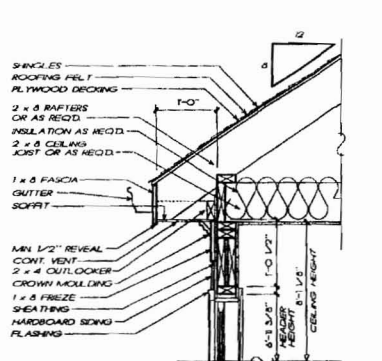
② PANEL DETAIL
1/2" = 1'-0"



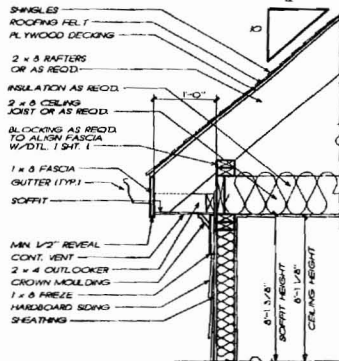
5 OF 6 SET

DATE 6-13-87

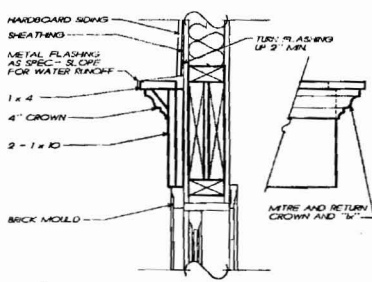
SHEET **2**
OF 6



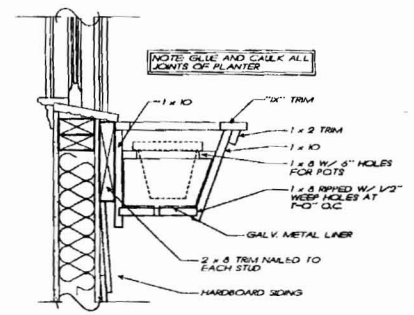
① TYP. CORNICE DETAIL
3/4" = 1'-0" COR-008 100394



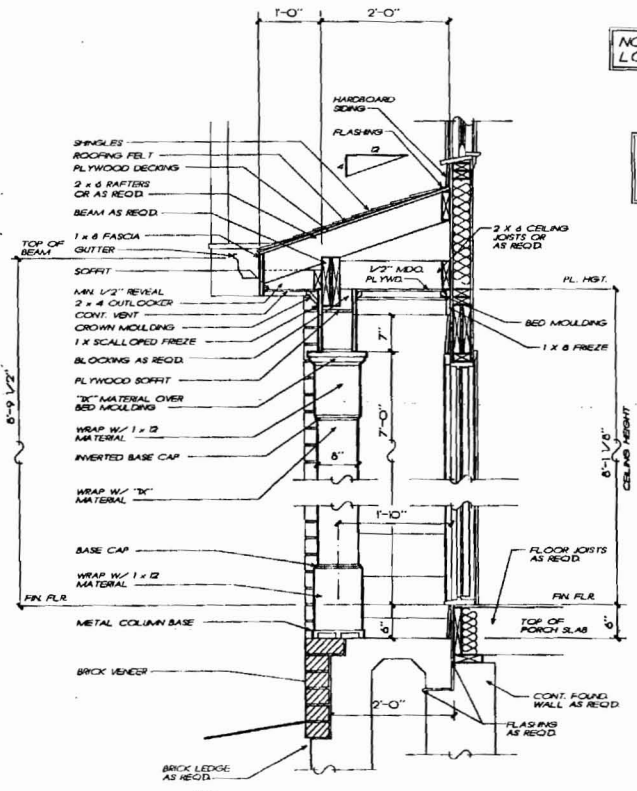
② CORNICE DETAIL
3/4" = 1'-0"



③ TYP. PEDIMENT DETAIL
1/2" = 1'-0" PED-1 00393



④ TYP. PLANTER DETAIL
1/2" = 1'-0" MIB-C 00398



⑤ PORCH DETAIL
3/4" = 1'-0"

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQD. TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS SEE DETAILS



FRONT ELEVATION
FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS MADE IN THESE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE DRAWINGS.

| DATE | BY |
|------|----|
| | |
| | |
| | |

HOMEPANS

ELEVATION/DETAILS
THE CESSIDIN

FBA
FRANK BETZ ASSOCIATES, INC.
1800 LAKE PARK DRIVE SUITE 101
BETHESDA, MARYLAND
770/431-0848

5 OF 6 SET

DATE 6-13-87

SHEET

Lot #8

BASEMENT FOUNDATION PLAN

1/4" = 1'-0" Revit 10/10/02

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.



BY CR3 DE CR3

DATE 0-13-97

SHEET



01/0

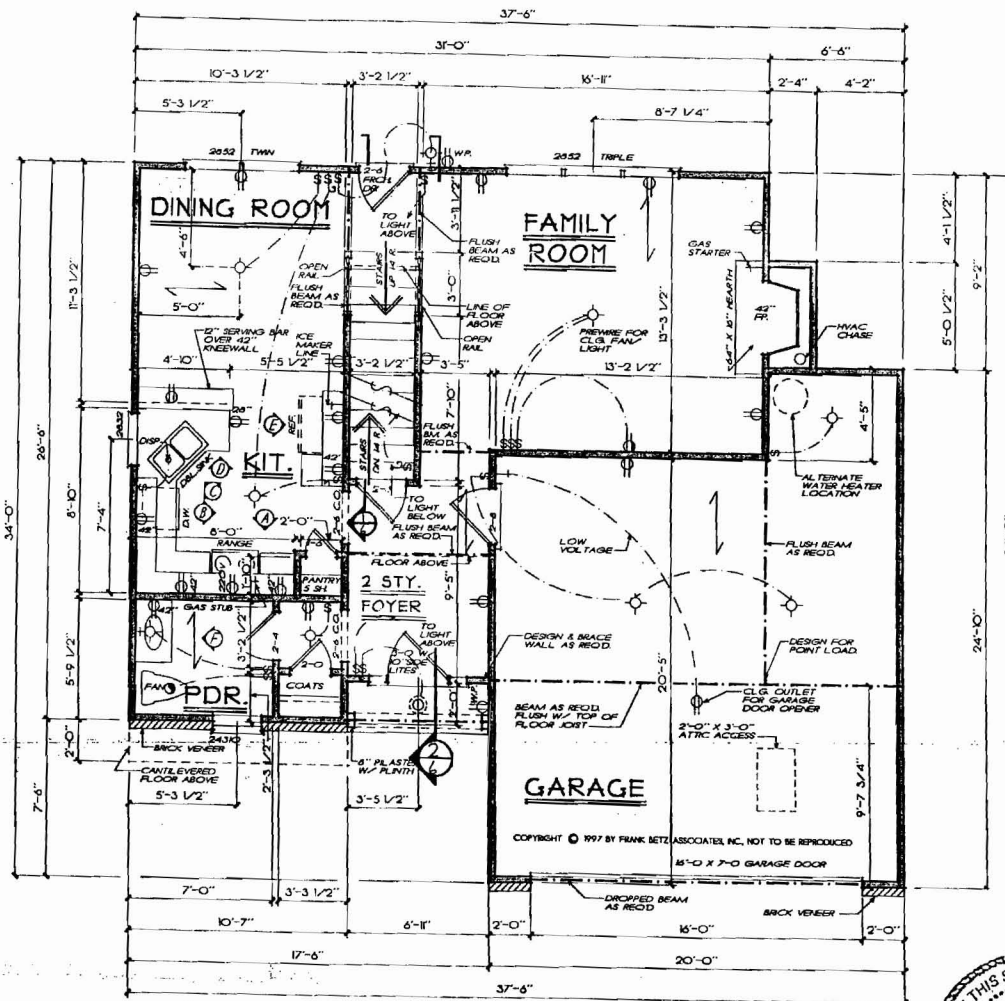
GENERAL FRAMING NOTES

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY DUE TO A VARIANCE OF CODES PER REGION PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL, COUNTY, COORDINATE WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

1. PROVIDE RAFTERS AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND BATTENS SHALL BE ALIGNED OVER STUDS BELOW. PLATE BRACES OTHERS NOTED.
3. ALL HEADERS SHALL BE 2x12'S WITH 1/2" PLYWOOD FLUSH PARALLEL TO JOIST DIRECTION.
4. FLOOR TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL.
5. PROVIDE 1/4" CROSS BRACING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS INSIDE AND OUTSIDE CORNERS SHALL BE BRACED WITH 1/2" CDX PLYWOOD NAILING SCHEDULE SHALL BE 6" COMMON AT 6" O.C. AT ALL EDGES AND 18" COMMON AT 9" O.C. AT ALL INTERMEDIATE STUD JOINTS - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS.
7. ALL COLUMNS OR SOLD FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED 8" DIA. GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2x4 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 8'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN ROOF BOARDS AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HP, VALLEY RAFTERS AND ROOF BOARDS SHALL BE ONE "2x" SIZE LARGER THAN BATTENS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED 8" DIA. GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLD FRAMING, COLUMNS, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL TRUSS WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED.

GENERAL NOTES

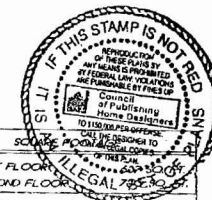
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES REGULATIONS, AND FRAMA APM.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO FRANK BETZ ASSOCIATES, INC. FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ISSUES THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTINGS TO BE BELOW FROST LINE. USE LOCAL CODES AND MEET REST ON UNDISTURBED SOIL. CAPABLE OF HANDLING THE BUILDING LOADS. LOCAL ENGINEER FOR FOUNDATIONS AND RESPONSES SIZE.
5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GROUND CONDITIONS, AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADAPTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO MAINTAIN A QUALITY AND SAFE STRUCTURE.
8. WOOD CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A BUILDING CODES WHERE APPLICABLE.
9. ALL COLUMNS OR SOLD FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



FIRST FLOOR PLAN

1/4" = 1'-0"

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.



FRANK BETZ ASSOCIATES, INC.
1800 LAKE PARKWAY SOUTH SUITE 101
BIRMINGHAM, AL 35209-3000
205-988-1000 FAX 205-988-1001

| DATE | REV | DATE | REV |
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HOMEPLANS

FIRST FLOOR PLAN
THE CHESDIN

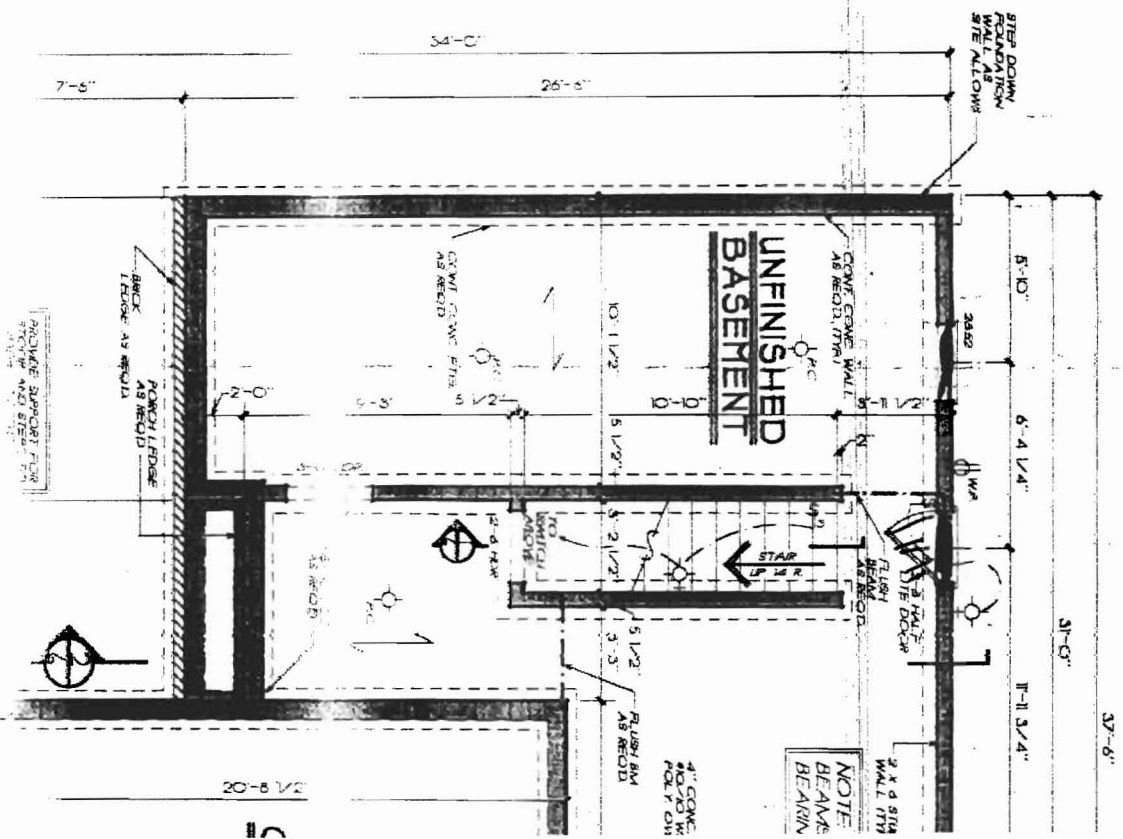
FBA
FRANK BETZ ASSOCIATES, INC.
1800 LAKE PARKWAY SOUTH SUITE 101
BIRMINGHAM, AL 35209-3000
205-988-1000 FAX 205-988-1001

BY CR3 DE CR3

DATE 0-13-97

SHEET





NOTE
BEAMS
BEAR ON

4" CONC
NO. 7 @ 12" O.C.
POLY 2" DIA

4" CONC
NO. 7 @ 12" O.C.
POLY 2" DIA

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POLY 2" DIA

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HAWK BE
FOR ANY
PLANS BY

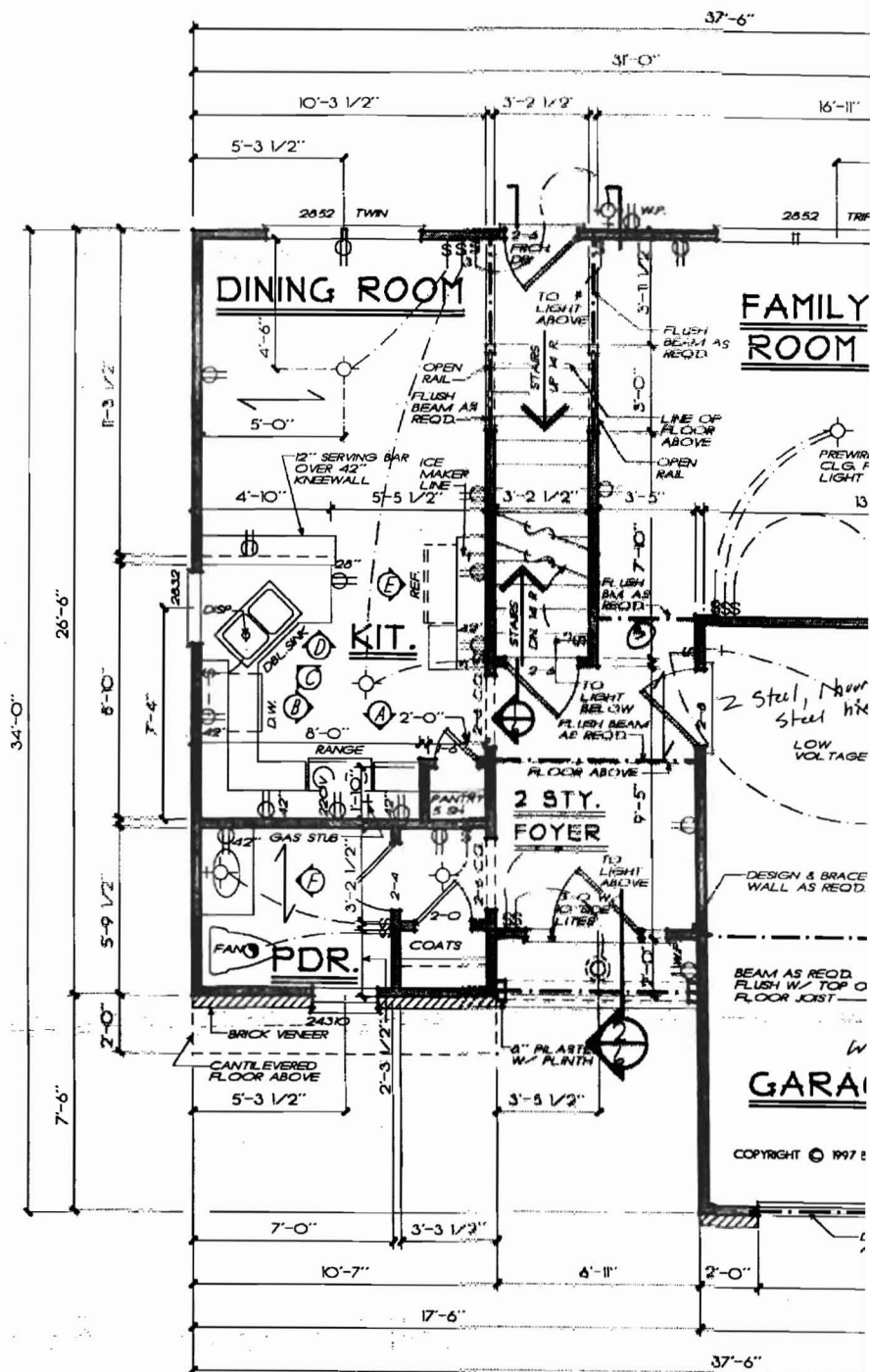
GENERAL FRAMING NOTES:

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

1. PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL HEADERS SHALL BE 2" MIN. WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1/4" CROSS BRACING AT MID POINT OF SPAN OR 6'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS INSIDE AND OUTSIDE CORNERS SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 6d COMMONS AT 6" O.C. AT ALL EDGES AND 6d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. NOTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS.
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2x6 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HP VALLEY RAFTERS AND RIDGE BOARD SHALL BE ONE 2x4 SIZE LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE-ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACINGS TO BEAN ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB, GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING, COLUMNS, BEAMS ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2" x 4" STUDS UNLESS OTHERWISE NOTED.

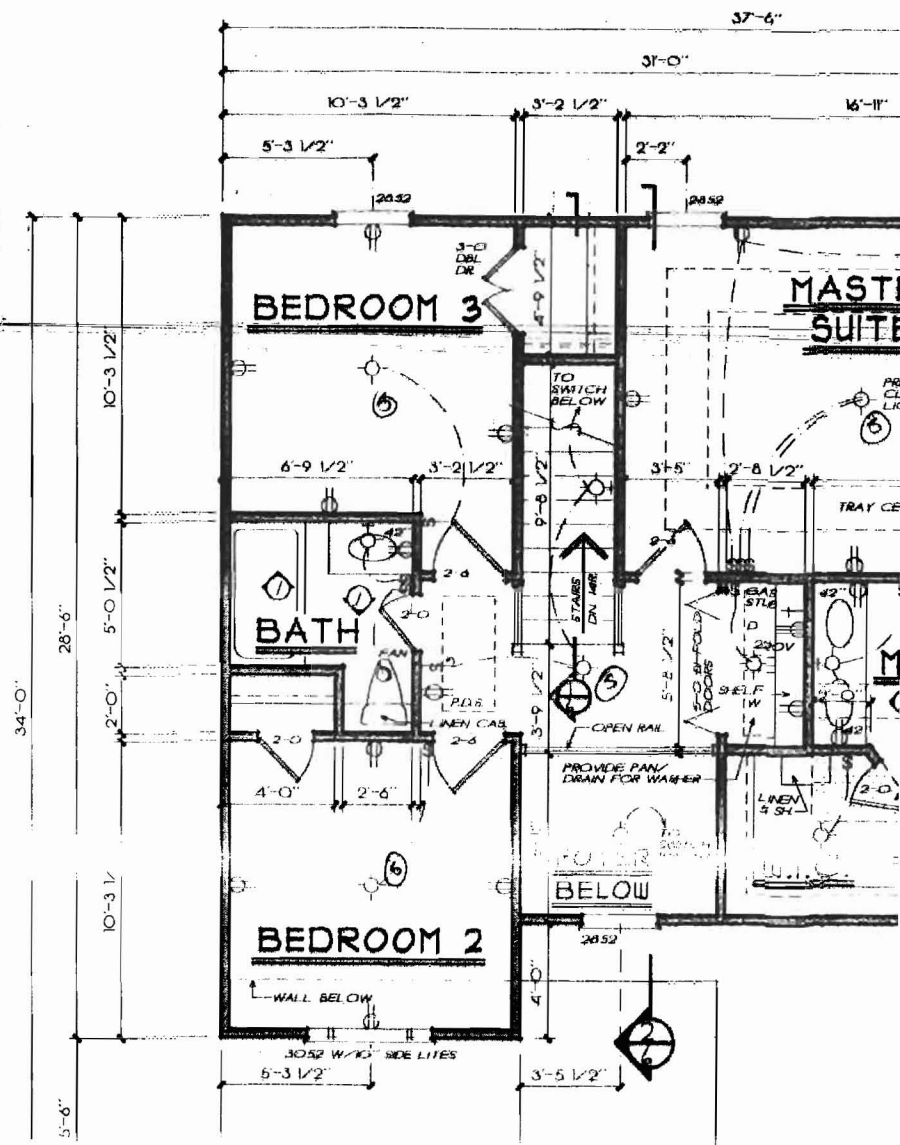
GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND FRAMA MPS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO FRANK BETZ ASSOCIATES, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODES) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING LOADS. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



FIRST
1/4" = 1'-0"

FRANK BETZ,
FOR ANY CHG
PLANS BY OT

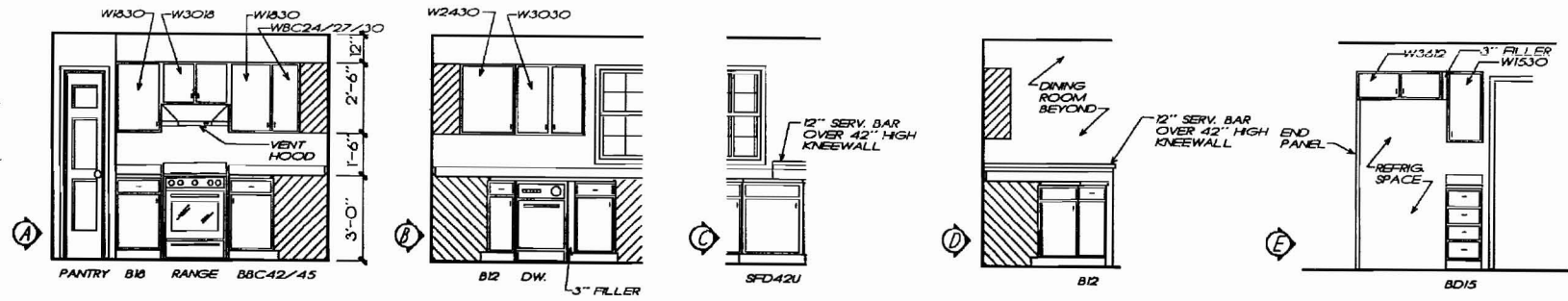


NOTE ALL CEILING JOISTS AND RAFTER BRACINGS TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD

FRANK BITZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS

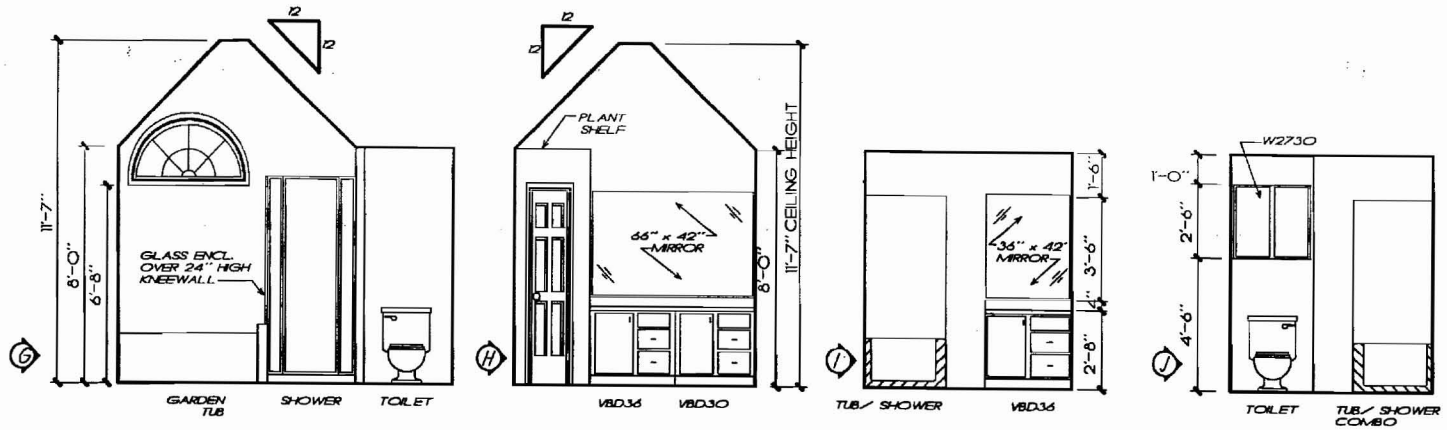
SEC

1/4" = 1'



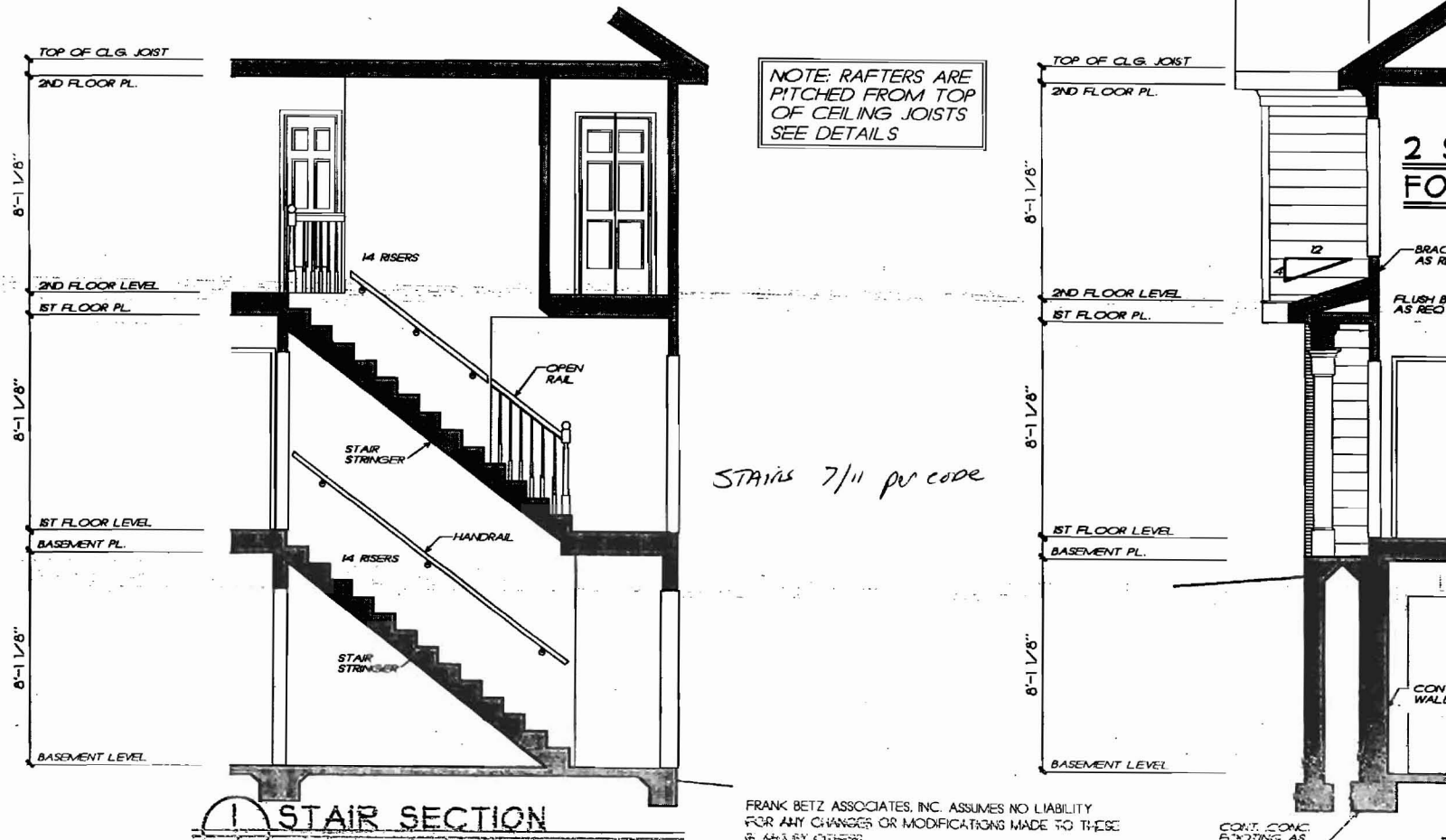
KITCHEN ELEVATIONS

1/4" = 1'-0"



BATH ELEVATIONS

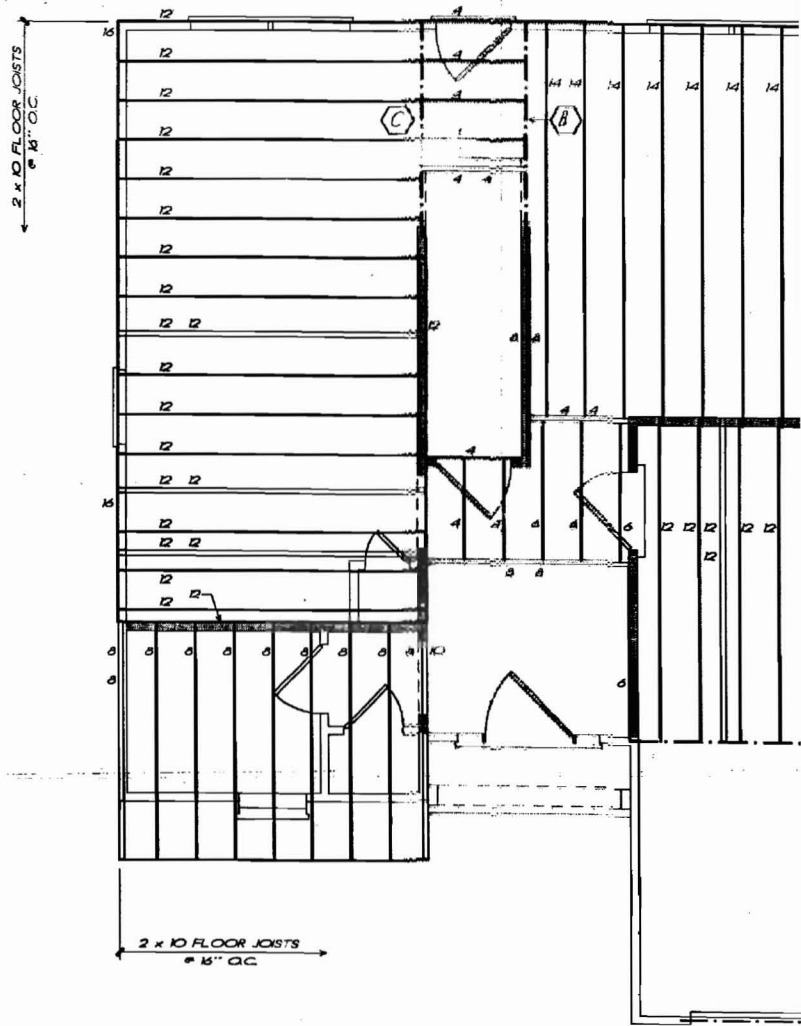
1/4" = 1'-0"



1 STAIR SECTION

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

CONT. CONC. FINISHING AS SHOWN
 12" x 8"

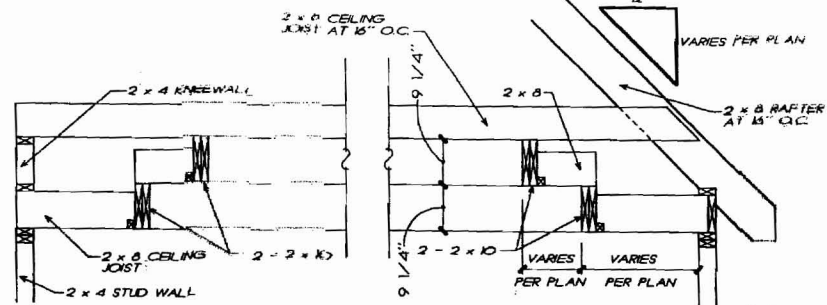


| QUANTITIES | |
|-------------|----|
| 2 x 10 x 10 | 01 |
| 2 x 10 x 12 | 40 |
| 2 x 10 x 14 | 14 |
| 2 x 10 x 16 | 17 |

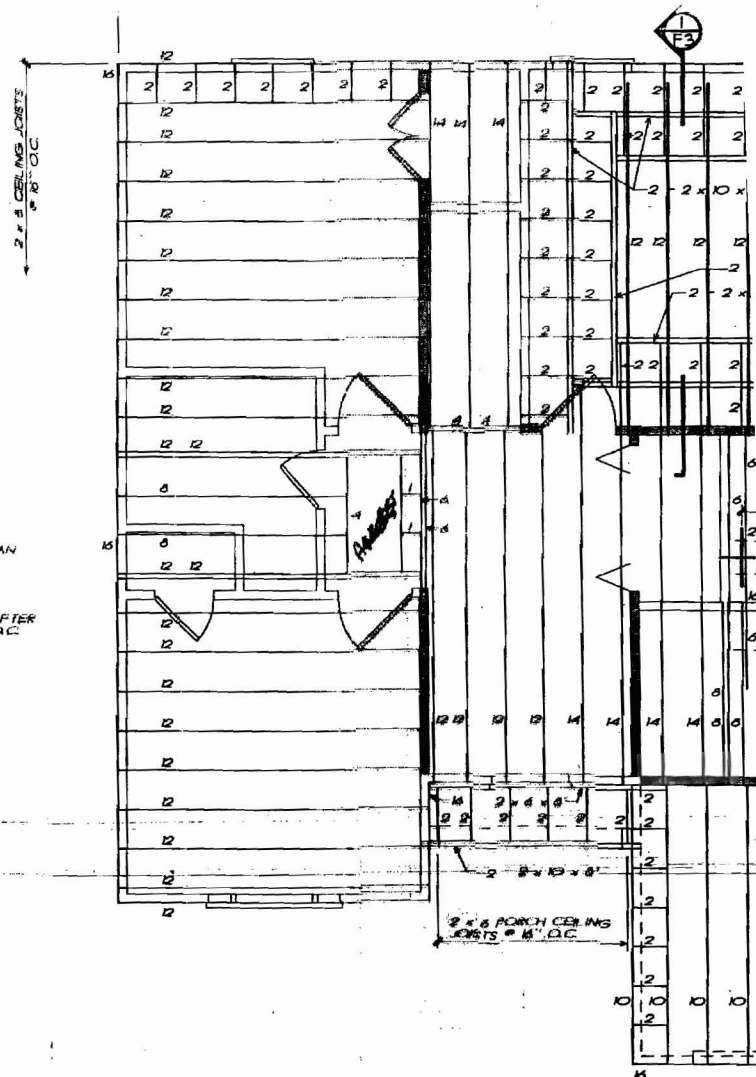
SECOND FLOOR FRAMING
1/4" = 1'-0"

| BEAM SCHEDULE | |
|---------------|--|
| (A) | 1 - 5 L 8" x 16 LPS x 2C1 GLULAM FLUSH W/TOP OF JO |
| (B) | 2 - 2 x 10 x 8' FLUSH |
| (C) | 2 - 2 x 10 x 8' FLUSH |
| (D) | 2 - 2 x 10 x 12' FLUSH |

NOTE ALL CEILING JOISTS AND RAFTER BRACING TO BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL TERMINATE AT FOUNDATION AND BE SUPPORTED BY THE 2x4 GRADE BEAM OR FOOTINGS DESIGNED TO CARRY



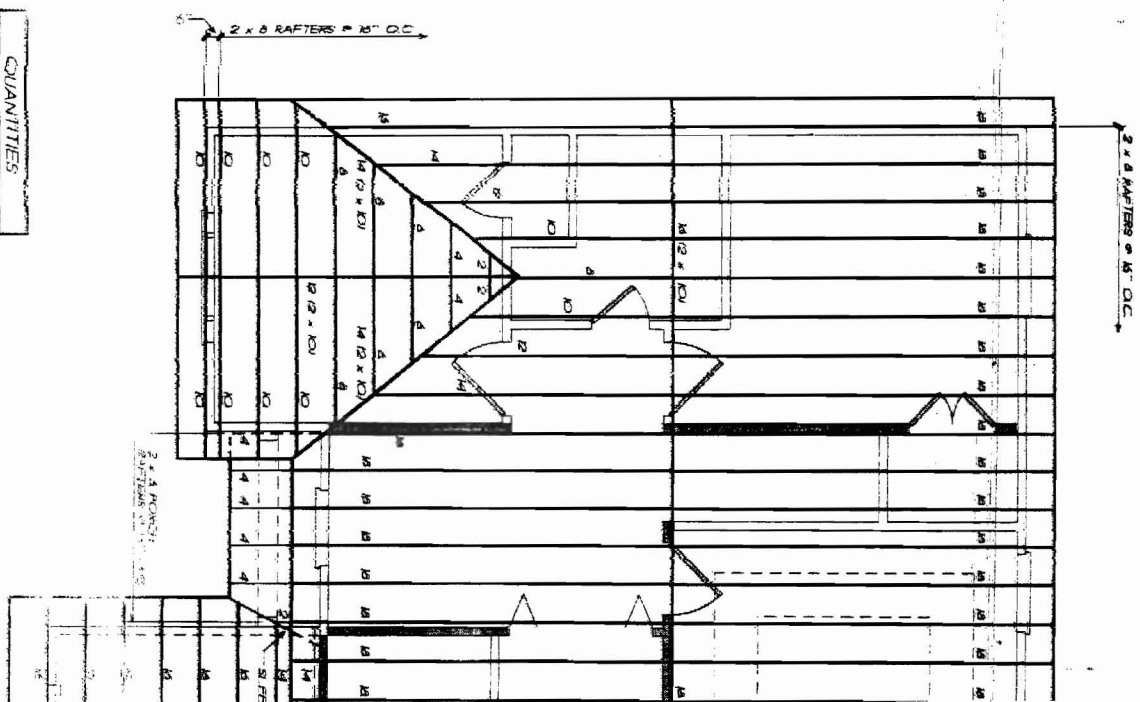
1 F3 TRAY CEILING DETAIL
1/2" = 1'-0"



| QUANTITIES | |
|------------|----|
| 2x8x8 | 09 |
| 2x8x10 | 18 |
| 2x8x12 | 30 |
| 2x8x14 | 07 |
| 2x8x16 | 34 |
| 2x10x10 | 04 |
| 2x10x12 | 04 |
| 2x10x14 | 08 |
| 2x10x16 | 01 |

CEILING JOIST FRAMING
1/2" = 1'-0"

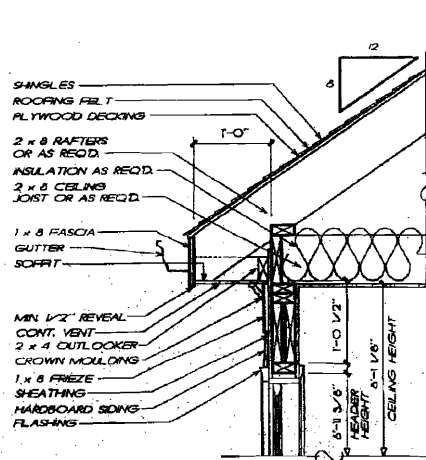
NOTE: ALL CEILING JOISTS AND RAFTER BRACING
BEARING WALLS DESIGNED TO CARRY LOAD FROM
ROOF AND FLOOR JOISTS BEARING TO
BE SHOWN BELOW JOISTS BEARING TO



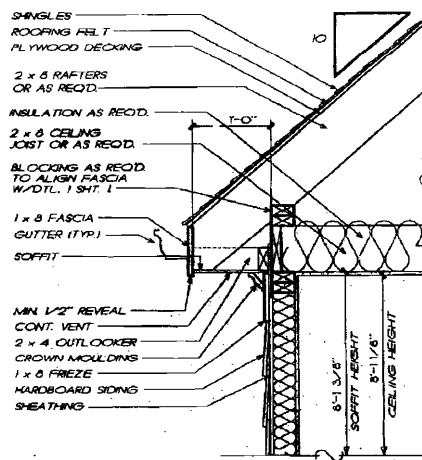
| QUANTITIES | |
|------------|----|
| 2x8x8 | 22 |
| 2x8x10 | 10 |
| 2x8x12 | 13 |
| 2x8x14 | 04 |
| 2x8x16 | 21 |
| 2x8x18 | 40 |
| 2x10x12 | 02 |
| 2x10x14 | 02 |
| 2x10x16 | 01 |
| 2x10x8 | 01 |

ROOF FRAMING

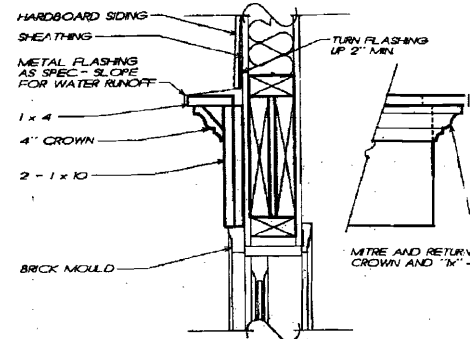
1/4" = 1'-0"



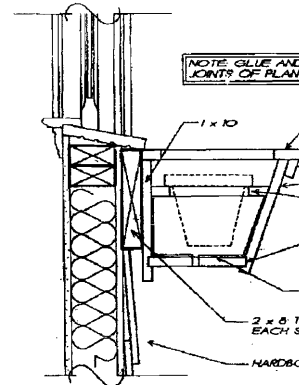
① TYP. CORNICE DETAIL
3/4" = 1'-0"
COR-808 100394



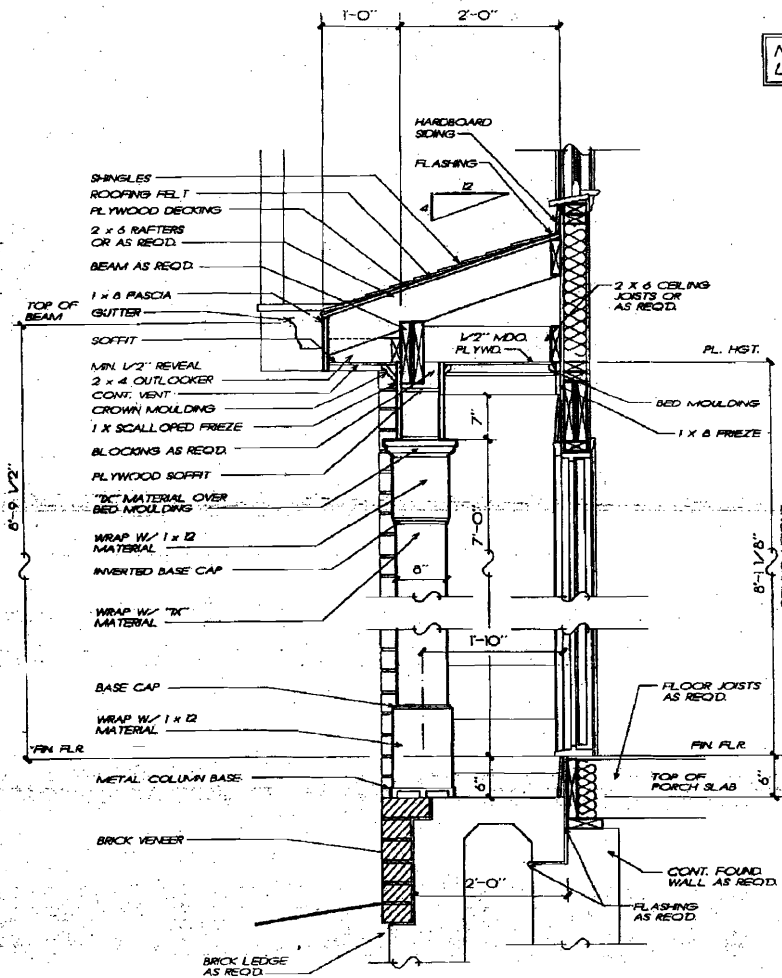
② CORNICE DETAIL
3/4" = 1'-0"



③ TYP. PEDIMENT DETAIL
1 1/2" = 1'-0"
PED-A 120591



④ TYP. PLAN
1 1/2" = 1'-0"

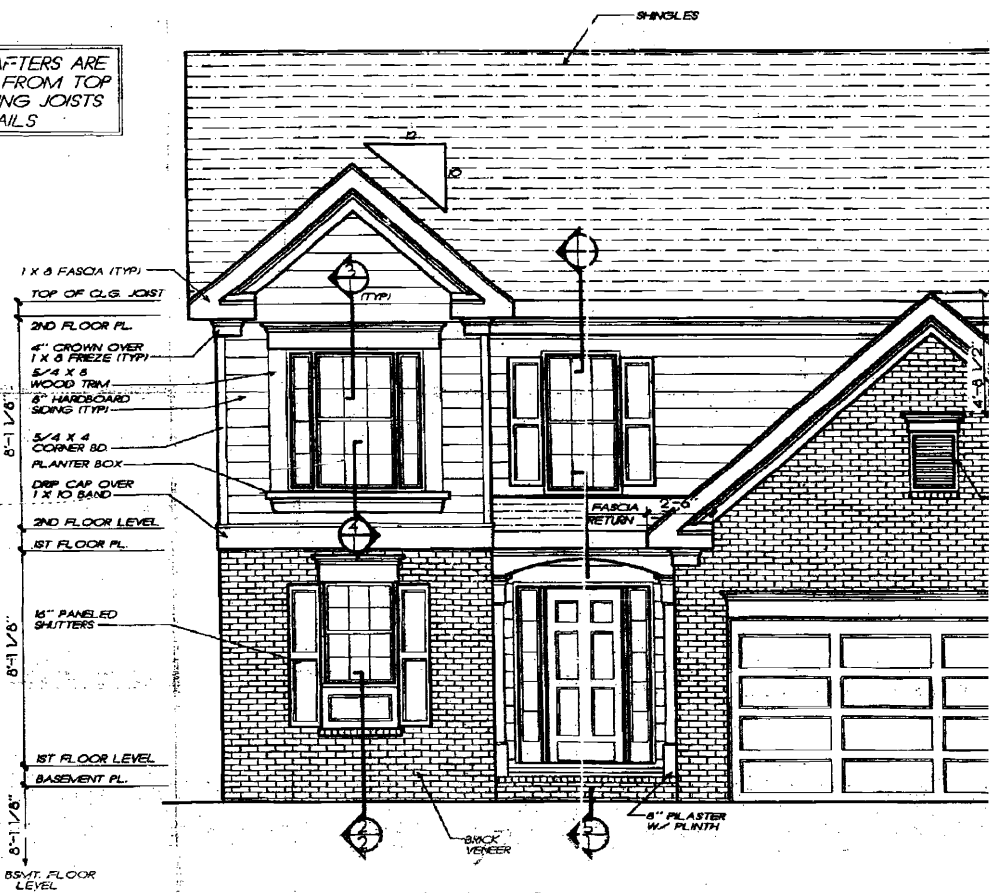


⑤ PORCH DETAIL
3/4" = 1'-0"

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS SEE DETAILS

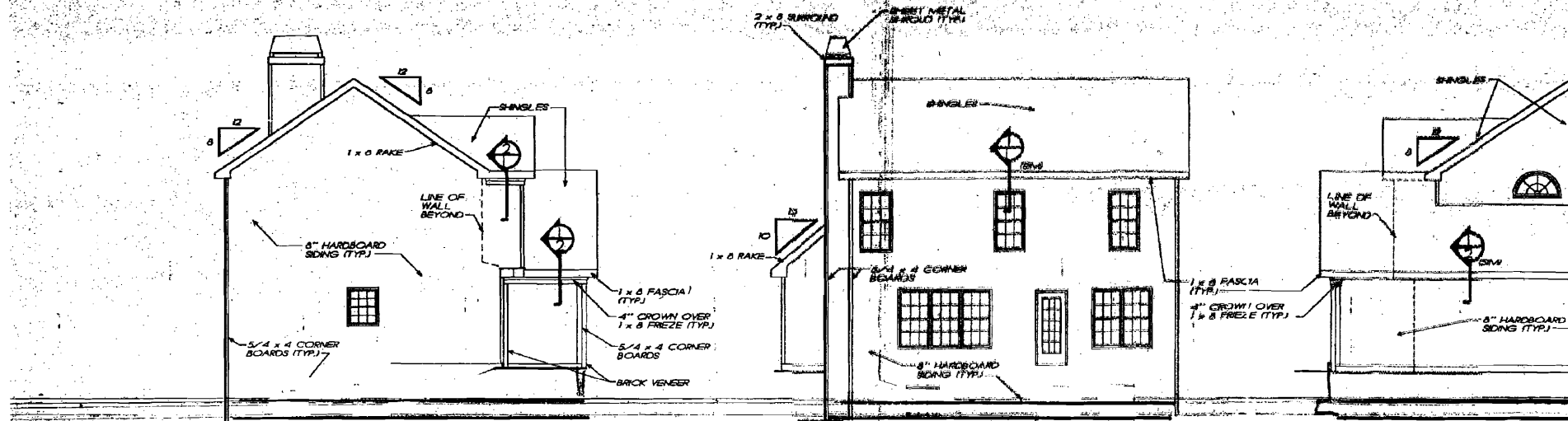


FRANK SETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE

PROVIDE REPORT FOR STUDY AND STAYS TO GRADY AS HELD

FRONT ELEVATION

LOT # 107



LEFT ELEVATION

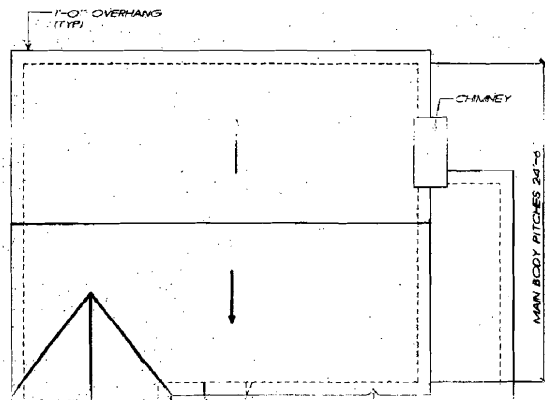
1/8" = 1'-0"

REAR ELEVATION

1/8" = 1'-0"

RIGHT ELEVATION

1/8" = 1'-0"



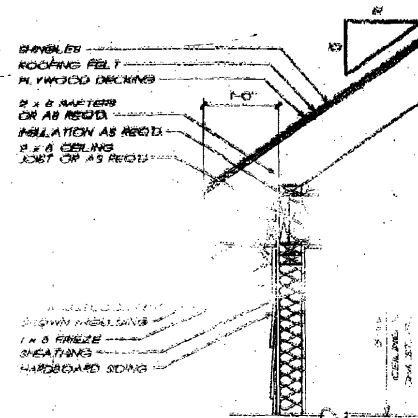
ROOF PLAN

1/8" = 1'-0"

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

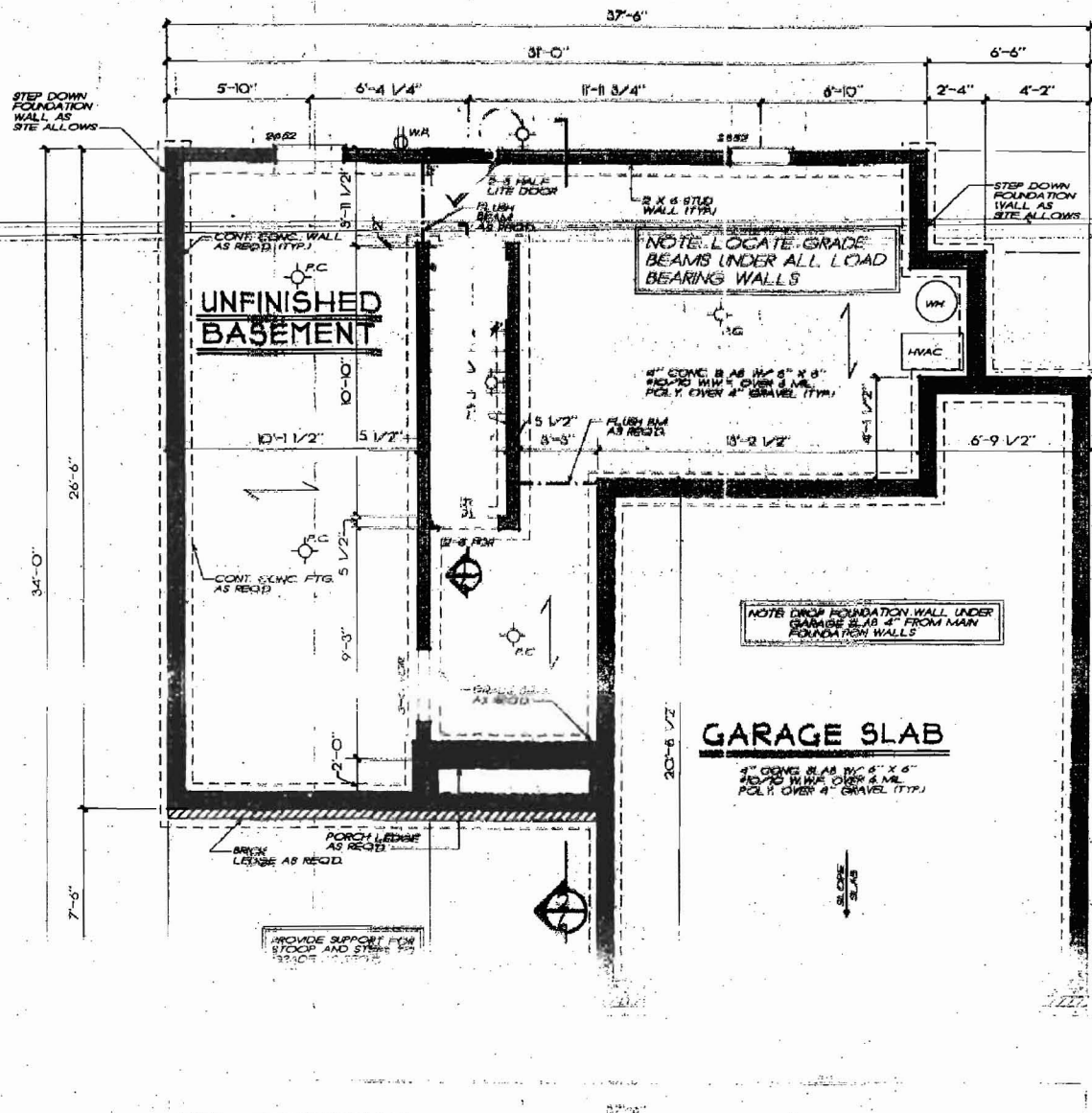
NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS SEE DETAIL 5

NOTE: ELEVATIONS REFLECT BASEMENT FOUNDATION. IF FOUNDATION IS USED, BUILD DISREGARD FOUNDATION SI



1 CORNICE DETAIL

3/4" = 1'-0"



BASEMENT FOUNDATION

1/2" = 1'-0"

FRANK BE Z ASSOCIATES, INC. ASSUMES NO LIABILITY
FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE
PLANS BY OTHERS.

All windows will have an R 4.0 value and a u value of .25 glass rating

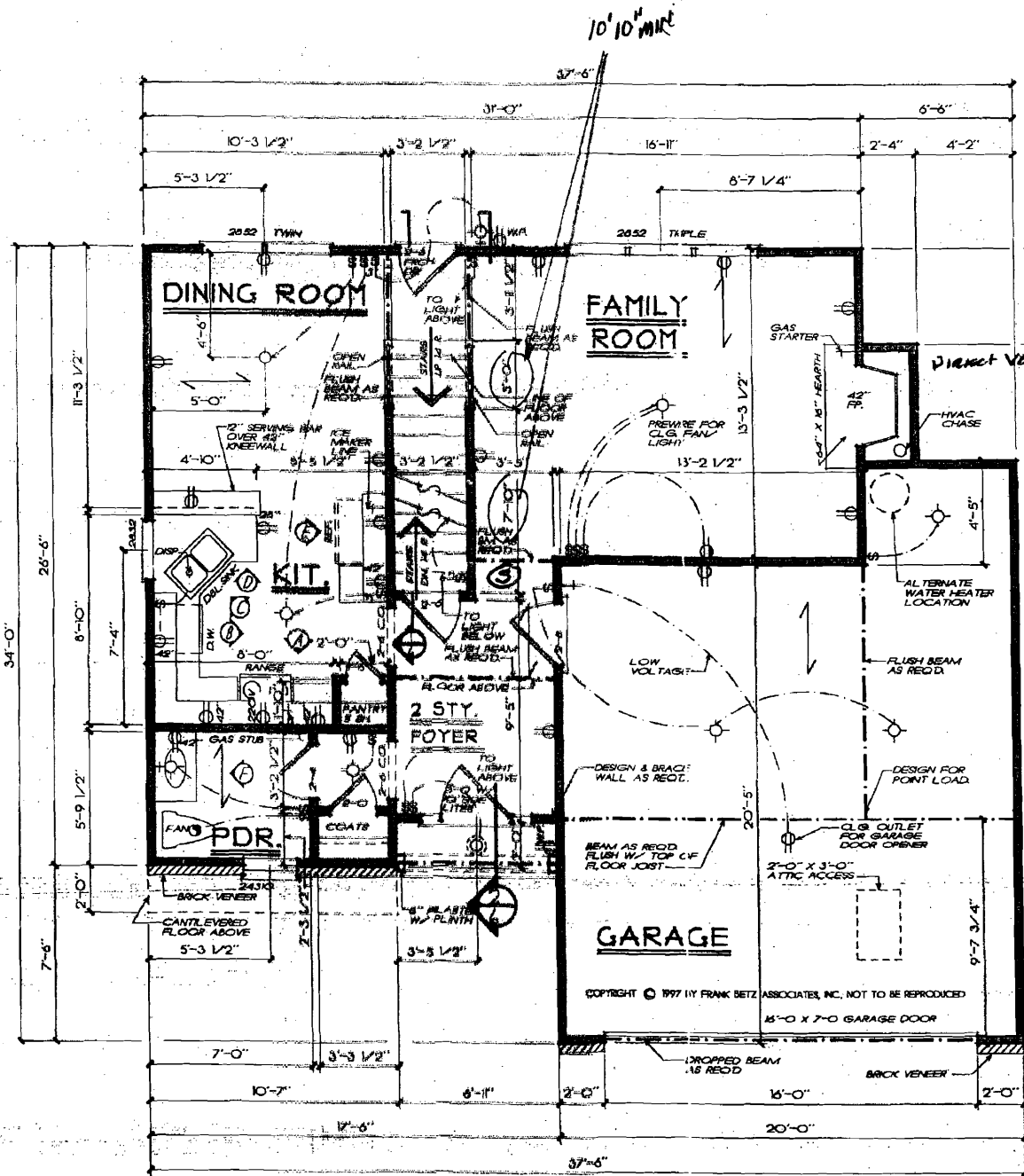
GENERAL FRAMING NOTES

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

1. PROVIDE RIBLINS AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL HEADERS SHALL BE 2"X12" WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1/4" CROSS BRIDGES AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS INSIDE AND OUTSIDE CORNERS SHALL BE BRACED WITH 1/2" CDX PLYWOOD NAULING SCHEDULE SHALL BE 6d COMMONS AT 6" O.C. AT ALL EDGES AND 6d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUD JOINTS - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS.
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2x6 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 12'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN EDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HP VALLEY INFERS AND RIDGE BOARDS SHALL BE ONE 2x4 SIZE LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BE ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING, COLUMN, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND FRAMA MPS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO FRANK BETZ ASSOCIATES, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODES) AND MUST BE ON UNDISTURBED SOIL. CAVES OR HAZARDS IN THE BUILDING CONSULT LOCAL ENGINEER FOR PROPER FOOTINGS AND REINFORCING SIZES. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
5. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
6. FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A VARIANCE IN LOCAL CODES SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS. ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
7. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
8. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



FIRST FLOOR PLAN

1/4" = 1'-0"

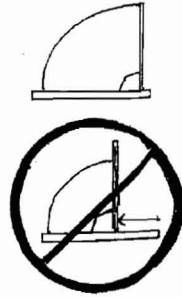
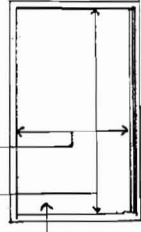
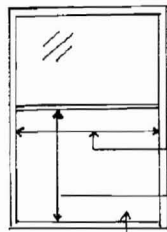
FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met:

Double hung windows

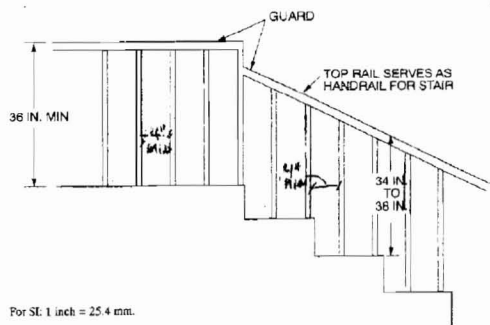
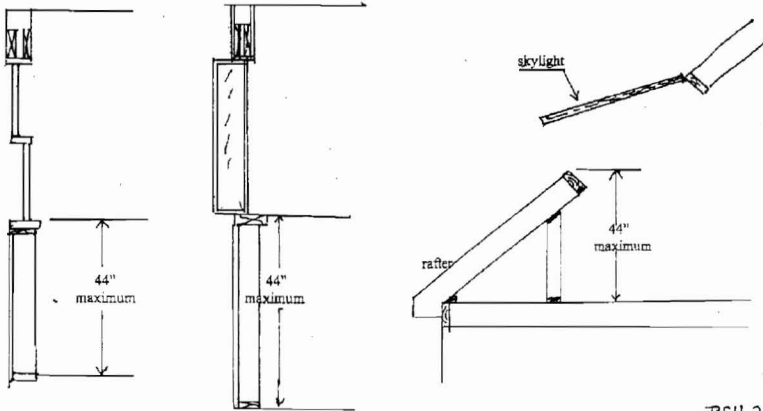
Casement Windows



- 1 minimum width
- 2 minimum height
- 3 Total net clear opening must be a minimum of:
5.7 square feet or 821 square inches

Caution... A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition 3)

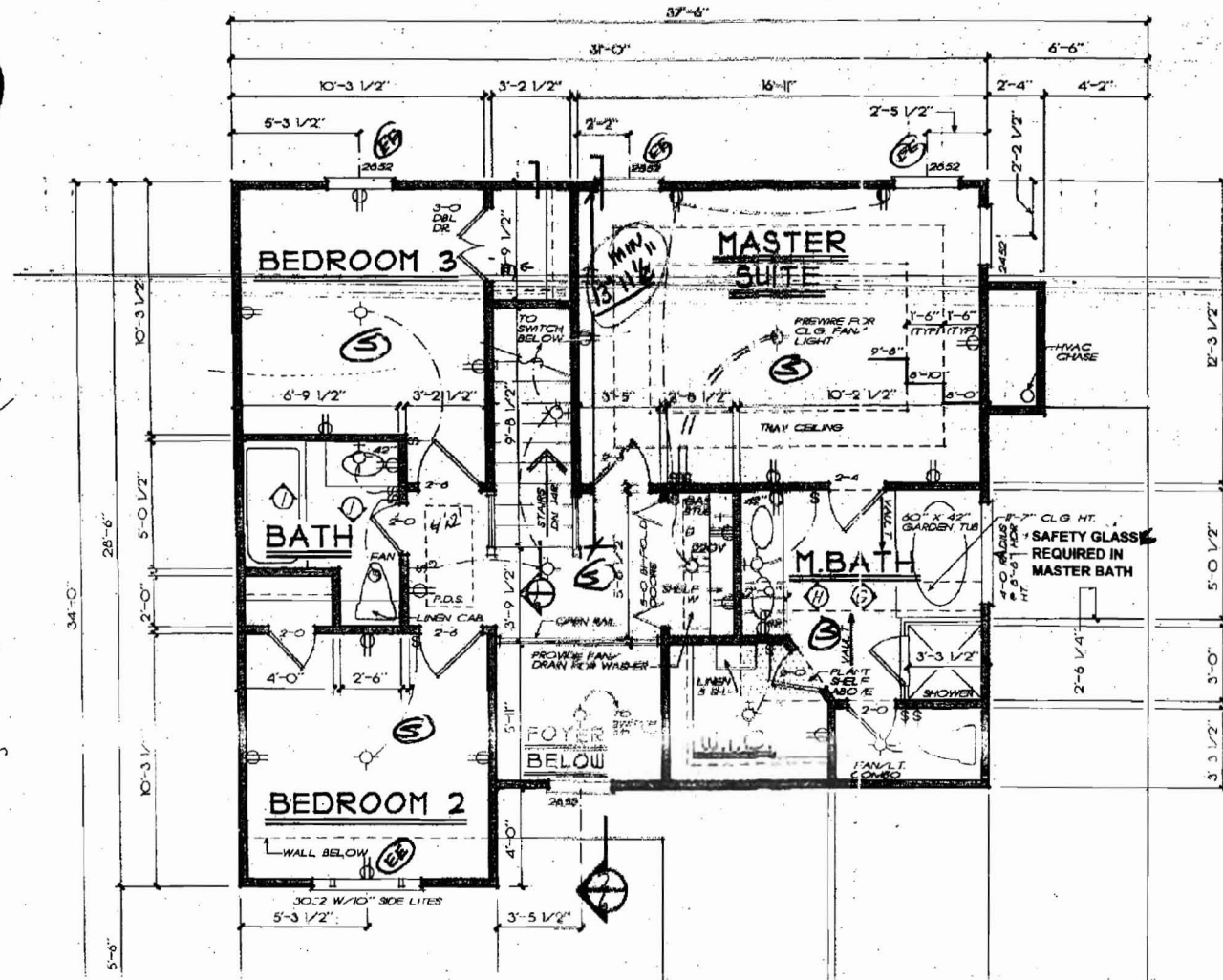
- 4 Lowest point of the opening must not be more than 44 inches above the floor



For SL 1 inch = 25.4 mm.

NOTE: ALL CEILING JOISTS AND RAFTER BRACING TO BEAK ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.

All windows will have an R 4.0 value and a u value of .25 glass rating



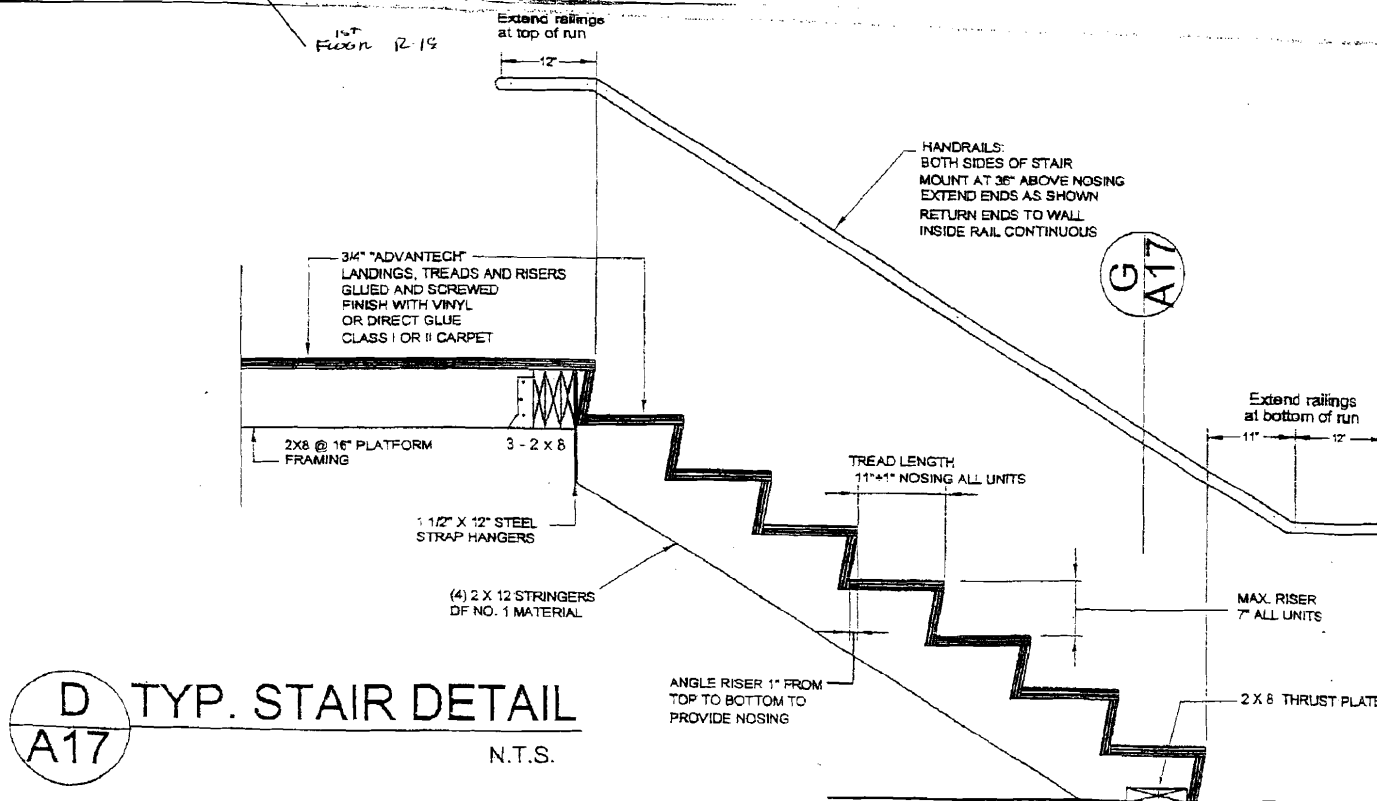
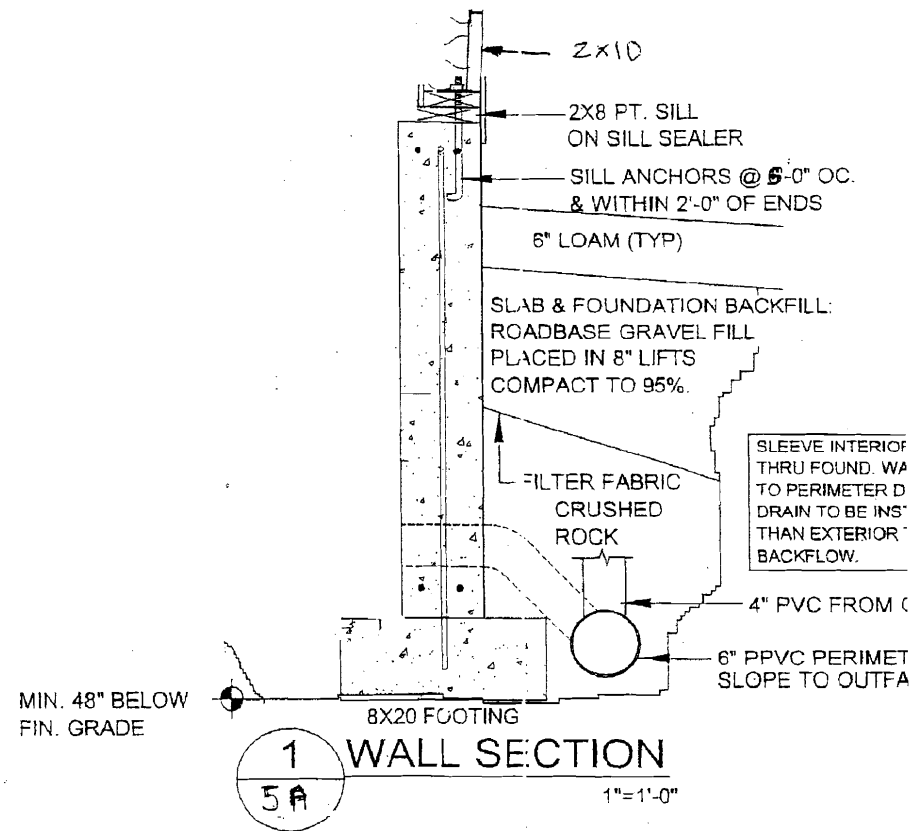
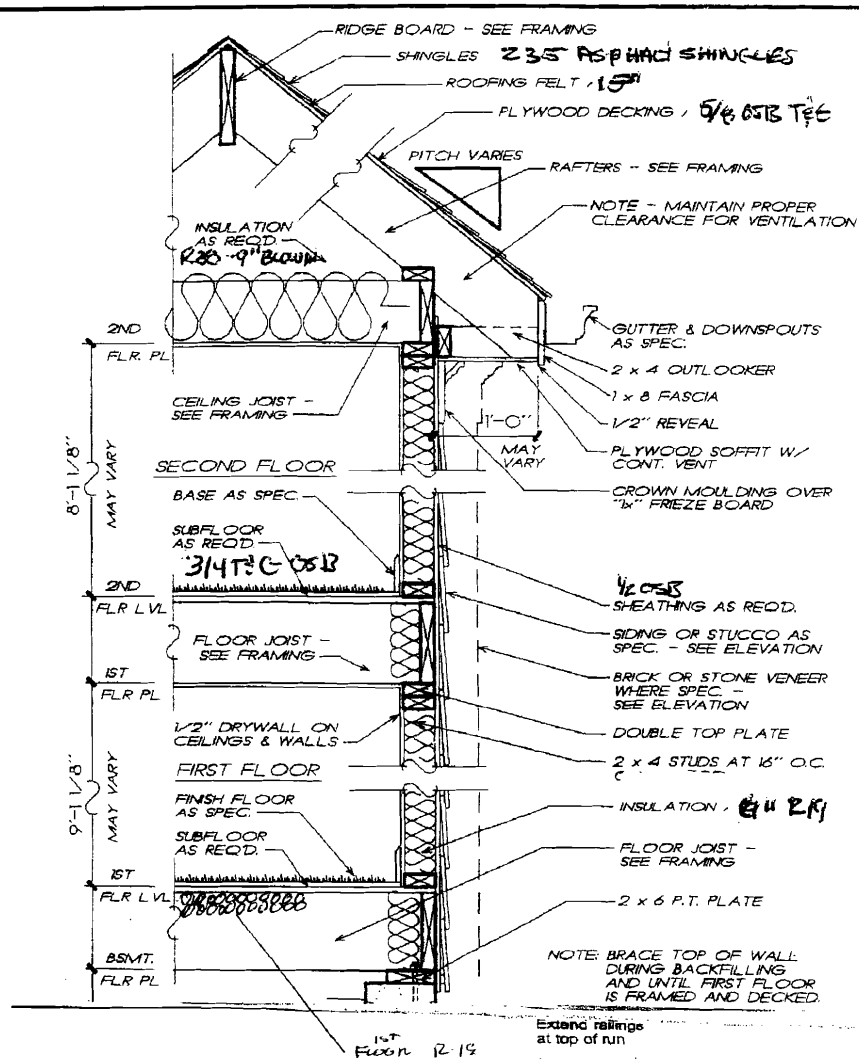
(E) = EMERGENCY ESCAPE

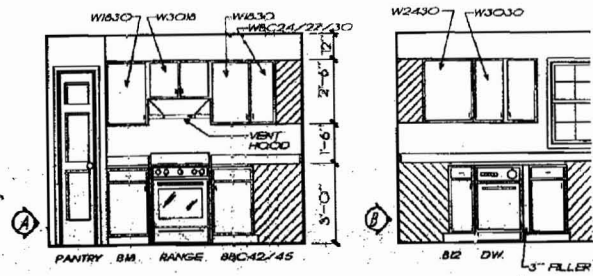
(S) = SMOKE DETECTOR

SECOND FLOOR PLAN

1/4" = 1'-0"

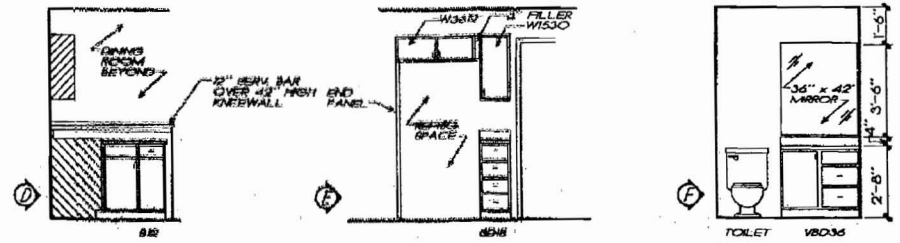
FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.





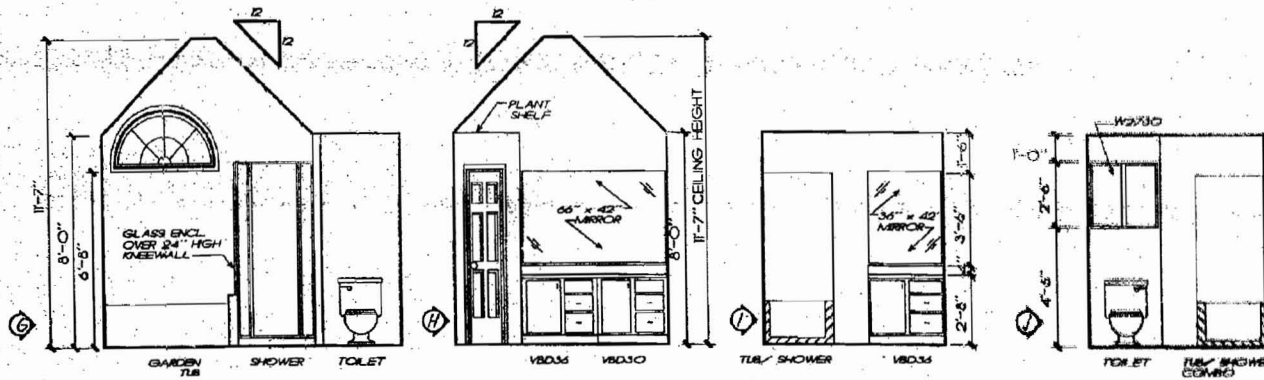
KITCHEN ELEVATIONS

1/4" = 1'-0"



PDR. ELEVATIONS

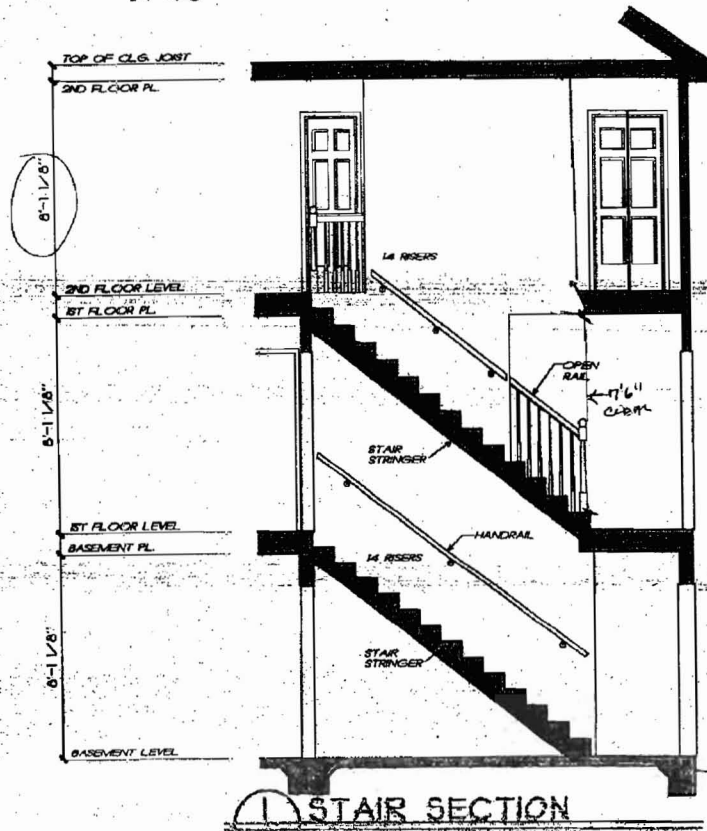
1/4" = 1'-0"



NOTE: SECTION REFLECTS A BASEMENT FOUNDATION. IF AN FOUNDATION IS USED, BUILDER DISREGARD FOUNDATION SHOW

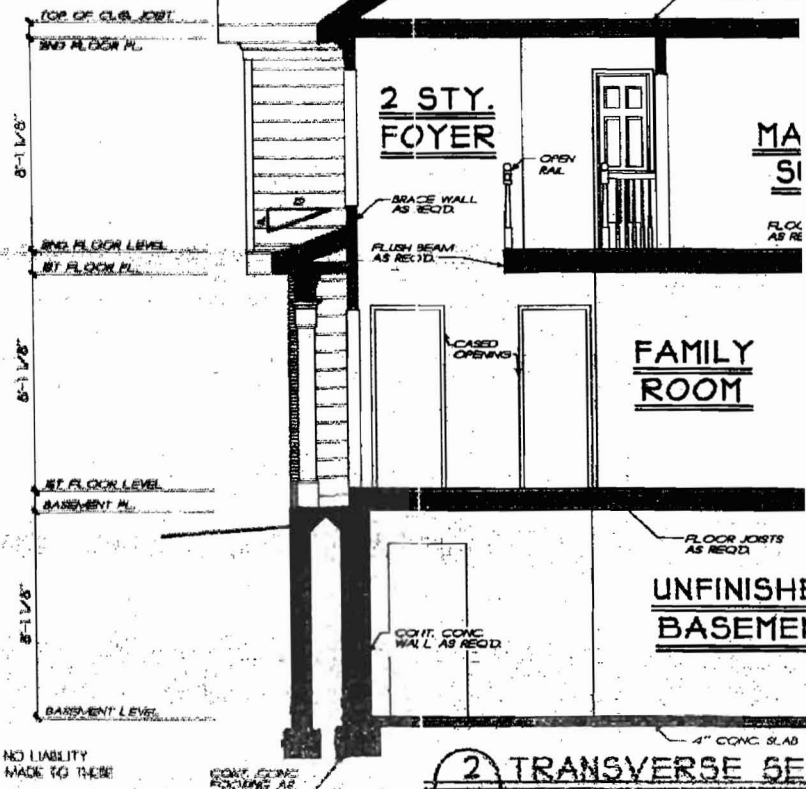
BATH ELEVATIONS

1/4" = 1'-0"



1 STAIR SECTION

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS SEE DETAILS

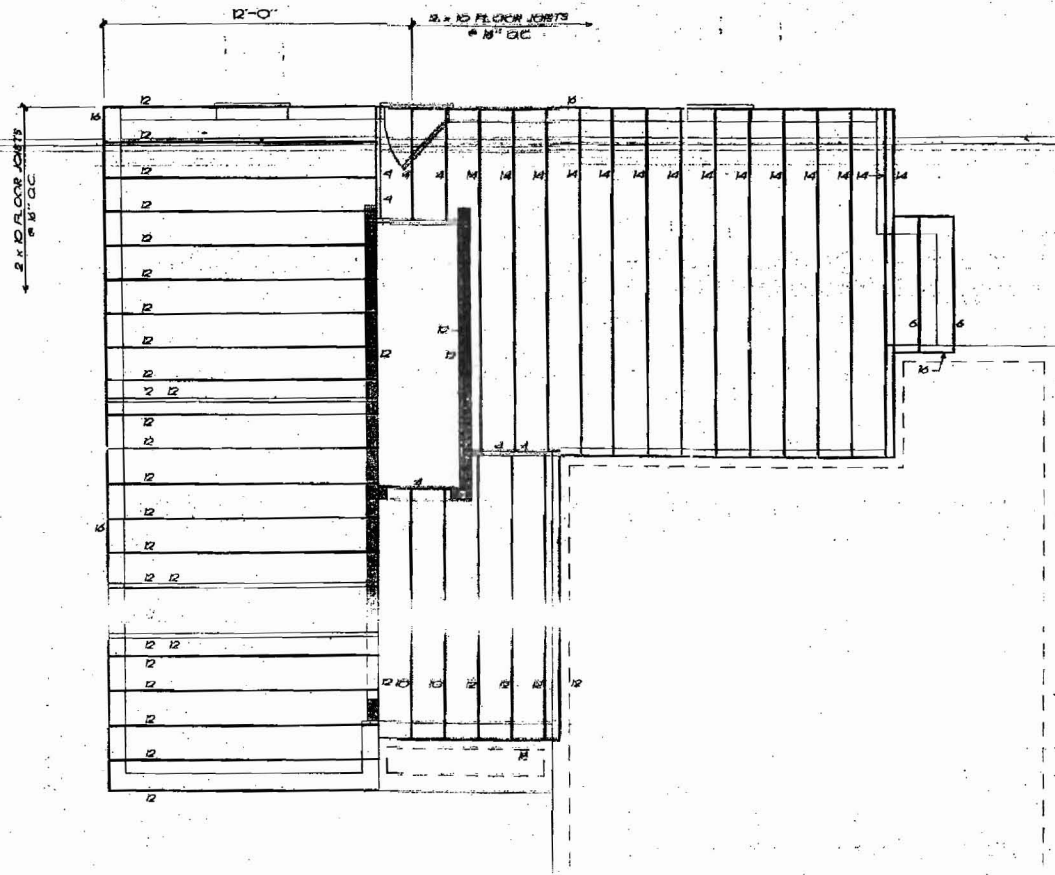


2 TRANSVERSE SECTION

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

FRAMING PLAN NOTES

1. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES IN ATLANTA, GEORGIA. THEY CONFORM TO THE 1991 STANDARD BUILDING CODE AND THE CABO ONE AND TWO FAMILY DWELLING CODES. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS, REVISIONS MAY BE REQUIRED TO THESE PLANS.
2. ALL WORK SHOULD BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, AND ORDINANCES. THE BUILDER SHOULD VERIFY ALL CONDITIONS BEFORE BEGINNING CONSTRUCTION. CONSULT WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.
3. DESIGN LOADS:
FLOOR: 10 LBS LIVE LOAD
10 LBS DEAD LOAD
BEDROOM: 30 LBS LIVE LOAD
20 LBS DEAD LOAD
CEILING: 20 LBS LIVE LOAD
10 LBS DEAD LOAD
ROOF: 30 LBS LIVE LOAD
10 LBS DEAD LOAD
4. THE FOLLOWING GUIDELINES ARE PROVIDED TO EXPLAIN HOW THE QUANTITIES LISTED ON THE FRAMING PLANS AND MATERIAL LIST WERE DETERMINED. FAILURE TO COMPLY WITH THESE GUIDELINES WILL RESULT IN A FRAMING PLAN AND MATERIAL LIST THAT DO NOT MATCH.
5. ALL PIECES ARE LABELED AS TO THEIR ORIGINAL CUT LENGTH. MATERIAL IS TAKEN OFF AS INDICATED ON FRAMING PLANS.
6. ANY LABELED PIECE LESS THAN 10' IN LENGTH IS COUNTED AS BEING CUT FROM A 16' PIECE.
7. ALL BEAMS ARE 2X10 #2 SYP, 2X10 #2 SYP, LAMINATED VENEER LUMBER (LVL) OR GUL-LAMINATED BEAMS (GLB) AS INDICATED ON PLANS.
8. GUL-LAMINATED BEAMS SHOULD HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2400 PSI.
9. LAMINATED VENEER LUMBER BEAMS SHOULD HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2400 PSI.
10. ALL FLOOR JOIST ARE 2X10 #2 SYP AT 16" O.C. EXCEPT AS NOTED ON PLAN.
11. ALL BIRD MATERIAL IS 2X10 #2 SYP.
12. 1X4 CROSS-BRIDGING SHOULD BE USED AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
13. ALL CEILING JOISTS ARE 2X8'S #2 SYP AT 4" O.C. EXCEPT AS NOTED ON PLANS. ALL TRAY CEILING JOISTS ARE RAFTER TO KNEEWALL IN LENGTH. SEE TRAY DETAIL SHOWN ON PLANS.
14. ALL RAFTERS ARE 2X8'S #3 SYP AT 16" O.C. EXCEPT AS NOTED ON PLANS.
15. ALL HIP, VALLEY, AND RIDGE RAFTERS ARE 2X10'S #3 SYP EXCEPT AS NOTED ON PLANS.
16. ALL RAFTERS SHOULD BE BRACED AS CLOSE TO MID-SPAN AS POSSIBLE WITH NO SPAN EXCEEDING 12'-0".
17. ALL RAFTERS OVER A VAULTED ROOF ARE 2 X 10'S #3 SYP AT 4" O.C. EXCEPT AS NOTED ON PLANS.
18. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOADS THRU ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.



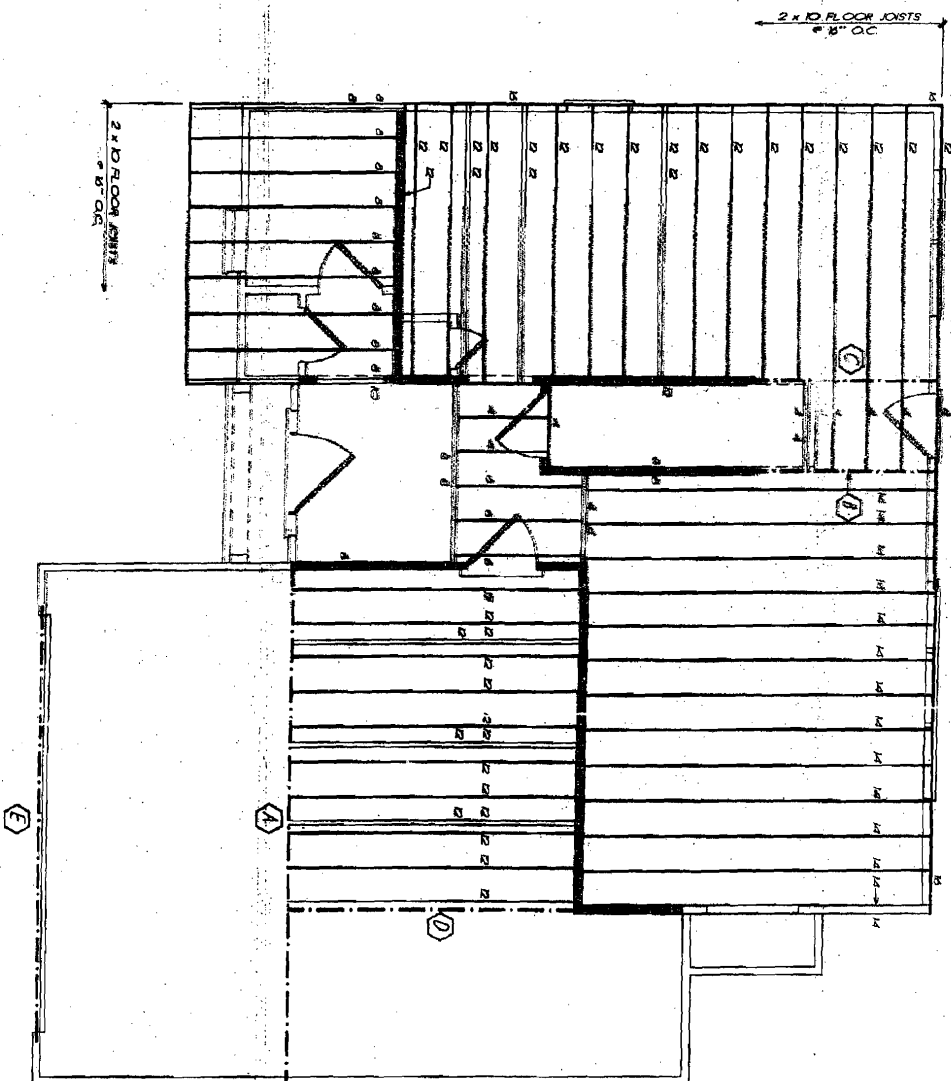
QUANTITIES

| | |
|-------------|----|
| 2 X 10 X 10 | 02 |
| 2 X 10 X 12 | 34 |
| 2 X 10 X 14 | 14 |
| 2 X 10 X 16 | 08 |

FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"

| | |
|-----|-----|
| --- | --- |
| --- | --- |
| --- | --- |
| --- | --- |
| --- | --- |



| QUANTITIES | |
|-------------|----|
| 2 x 10 x 10 | 01 |
| 2 x 10 x 8 | 40 |
| 2 x 10 x 4 | 14 |
| 2 x 10 x 6 | 11 |

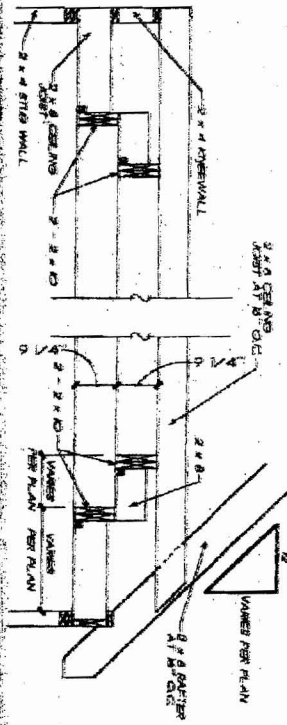
SECOND FLOOR FRAMING PLAN

Scale: 1/4" = 1'-0"

| BEAM SCHEDULE | |
|---------------|--|
| 1 | 1" x 8 LBS. 1" x 8" x 2" BEAM GALVANIZED W/ TOP OF JOIST |
| 2 | 2" x 8 x 8 x 8 FLISH |
| 3 | 2" x 6 x 6 x 6 FLISH |
| 4 | 2" x 4 x 4 x 4 FLISH |
| 5 | 2" x 4 x 4 x 4 FLISH |

| LEGEND | |
|--------|------|
| --- | SK |
| --- | COL |
| --- | BEAM |

E3 TRAY CEILING DETAIL

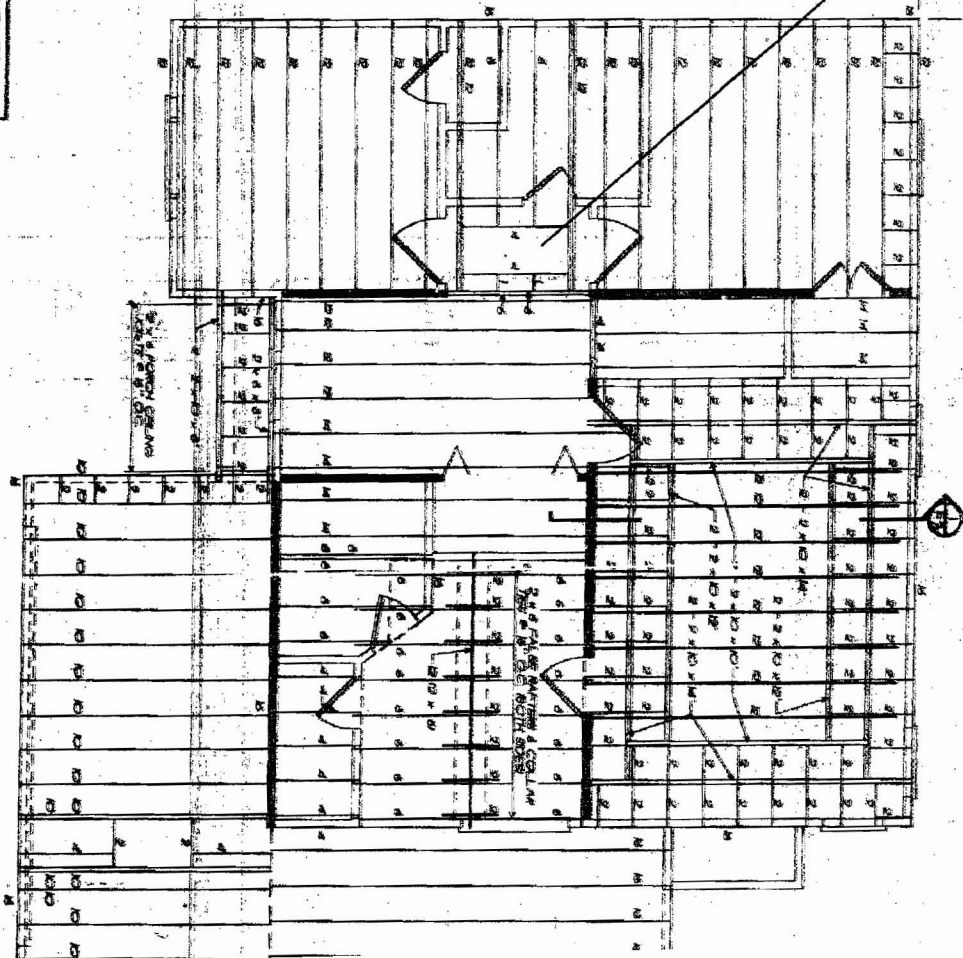


TRAY ACCESS
2x6

2x6 CEILING JOIST
#12 GC

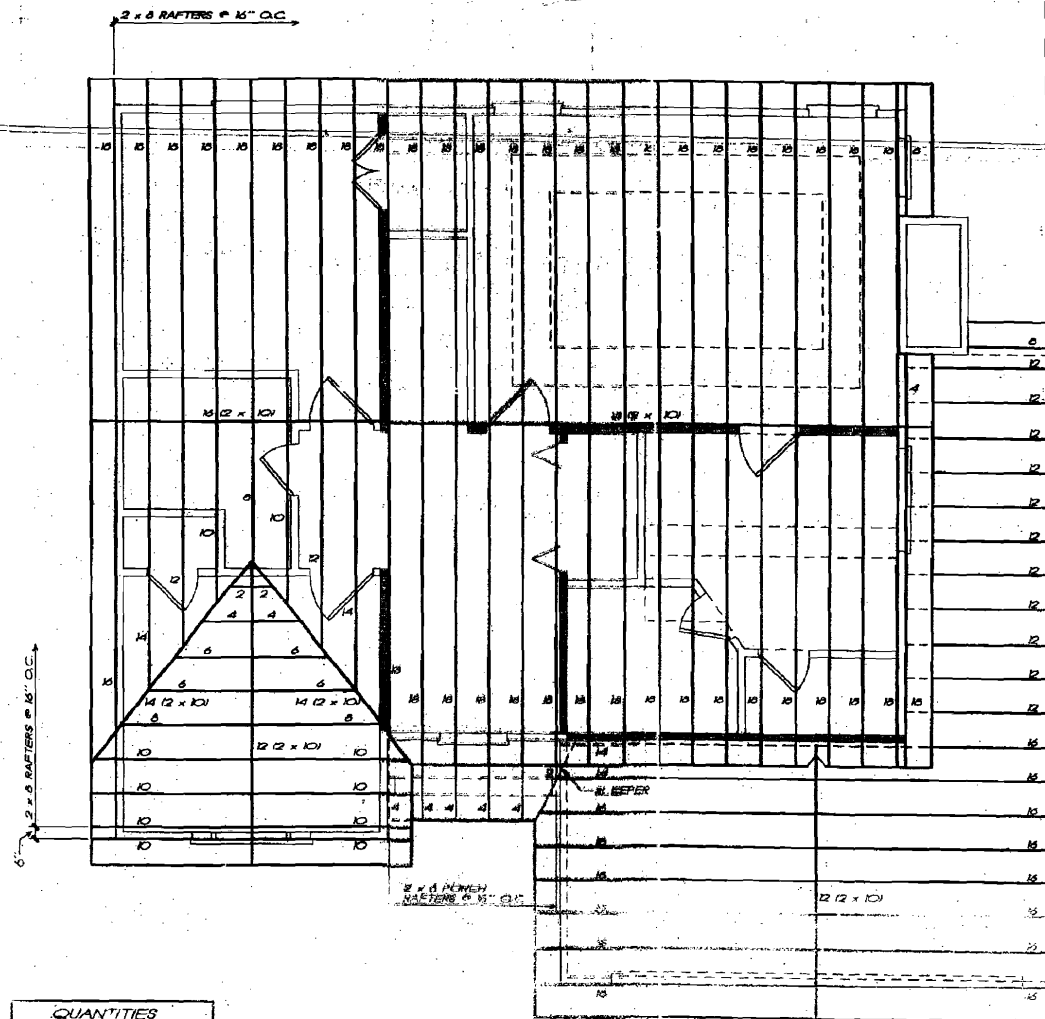
| QUANTITIES | |
|------------|----|
| 2x4x8 | 08 |
| 2x4x8 | 18 |
| 2x4x8 | 38 |
| 2x4x8 | 07 |
| 2x4x8 | 34 |
| 2x4x8 | 04 |
| 2x4x8 | 04 |
| 2x4x8 | 06 |
| 2x4x8 | 01 |

CEILING JOIST FRAMING PLAN



NOTE: ALL CEILING JOIST AND TRAY ACCESS FRAMING SHALL BE 2x6 S-P-F. JOIST AND TRAY ACCESS SHALL BE 2x6 S-P-F. JOIST AND TRAY ACCESS SHALL BE 2x6 S-P-F. JOIST AND TRAY ACCESS SHALL BE 2x6 S-P-F.

NOTE ALL CEILING JOINTS AND RAFTER BRIGNS TO BEAR ON LOAD
BEARING WALLS DESIGNED TO CARRY LOAD THROUGH LEVELS AND
TERMINATE AT PENETRATION AND BE SUPPORTED BY THICKENED
SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD



| QUANTITIES | |
|-------------|----|
| 2 x 4 x 8 | 02 |
| 2 x 6 x 10 | 10 |
| 2 x 8 x 12 | 13 |
| 2 x 8 x 14 | 04 |
| 2 x 8 x 16 | 21 |
| 2 x 8 x 18 | 40 |
| 2 x 10 x 12 | 02 |
| 2 x 10 x 14 | 02 |
| 2 x 10 x 16 | 01 |
| 2 x 10 x 18 | 01 |

ROOF FRAMING PLAN

1/4" = 1'-0"