

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 061424

Please Read Application And Notes, If Any, Attached

This is to certify that KING CONSTRUCTION CORP / King Construction Corp

has permission to New Single Family Home - w/ Car gar

AT STEPPING STONE LN #6 #29 406 F056001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED
JAN 12 2007
CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. FOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.
Health Dept.
Appeal Board
Other Department Name

Handwritten signature and date 1/12/07

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1424	Issue Date:	CBL: 406 F056001
-----------------------	-------------	---------------------

Location of Construction: 38 STEPPING STONE LN #6	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone 2079347622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed Use: Single Family Home/ New Single Family Home- w/ 2 Car garage	Permit Fee: \$1,515.00	Cost of Work: \$142,000.00	CEO District: 4
--------------------------	--	---------------------------	-------------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>
Signature:	Signature:

Proposed Project Description:
New Single Family Home- w/ 2 Car garage

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 09/27/2006
-----------------------------	---------------------------------

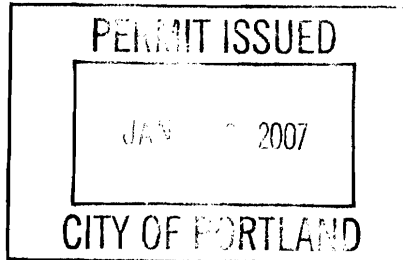
Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input type="checkbox"/> Shoreland <i>N/A</i>
<input type="checkbox"/> Wetland <i>N/A</i>
<input type="checkbox"/> Flood Zone <i>panel 7-200X</i>
<input type="checkbox"/> Subdivision
<input checked="" type="checkbox"/> Site Plan <i>2006-0189</i>
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>
Date: <i>12/10/06</i>

Zoning Appeal
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied
Date:

Historic Preservation
<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input type="checkbox"/> Approved
<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied <i>ABM</i>
Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1424	Date Applied For: 09/27/2006	CBL: 406 F056001
------------------------------	--	----------------------------

Location of Construction: 29 STEPPING STONE LN #6	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone (207) 934-7622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ New Single Family Home- w/ 2 Car garage	Proposed Project Description: New Single Family Home- w/ 2 Car garage
---	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/10/2006**Note:** **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 01/12/2007**Note:** **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) The attic scuttle opening must be 22" x 30".
- 6) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 7) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 8) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 9) As discussed, the rafters must be 2" x 10"s.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 10/31/2006**Note:** **Ok to Issue:**

- 1) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 2) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Location of Construction: 29 STEPPING STONE LN #6	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone (207) 934-7622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 4) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Comments:

10/4/2006-amachado: Left message for King Weinstein to call me. Front setback is not met. Scales at 24.5' not the required 25' and the elevationn plans show a daylight basement in the back, but the grading plan does not match this.

10/6/2006-amachado: Received revised site plan. Meets zoning requirements. Still waiting for correct elevation plans.

11/2/2006-tmm: Finished review of all permits - left message w/King - alot of info missing

11/16/2006-tmm: re-reviewed info submitted - plans still lack a large amount of info - called KRE

1/12/2007-tmm: rec'd additional info - ok to issue w/conditions

06-1424
Lot #2

06-1423
06-1425
~~06-1424~~

"BREWSTER"
Stepping Stone Lot #2 Lot #6 Lot #9

1 of 3

406-F-52

934-7622

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
④ Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Notes - not large enough	Pg 2 + SA - OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Hand noted on sheet #2	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
⑤ Anchor Bolts/Straps, spacing (Section R403.1.6)	not shown	Pg 2 - OK
Lally Column Type (Section R407)		
Girder & Header Spans (Table R 502.5(2))	3-2x10's - 5'-4" Max span - OK	
Built-Up Wood Center Girder Dimension/Type	" "	
③ Sill/Band Joist Type & Dimensions	not shown	Pg 5A - OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x8's - OK	

'Brewster' YES' (3) of (3)

06-1425

<p>(4) Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)</p>	<p>Rafters - undersized + is there a beam under "splice" point.</p>	<p>REF Print #5 3/4" Detail 4/5</p>
<p>(3) Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))</p>	<p>5/8" Roof 1/2" - Floors? walls 3/4" 3/4"</p>	
<p>Fastener Schedule (Table R602.3(1) & (2))</p>	<p>Per IRC</p>	
<p>Private Garage (Section R309) Living Space? - YES (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)</p>	<p>Hand noted on sheet 3 - 5/8" F.C. Tyvek - all surfaces w/ fire door</p>	
<p>(4) Emergency Escape and Rescue Openings (Section R310)</p>	<p>not shown</p>	<p>NOTED ON PRINTS 5:4 (EE)</p>
<p>(4) Roof Covering (Chapter 9)</p>	<p>Asphalt? —</p>	<p>OK</p>
<p>(4) Safety Glazing (Section R308)</p>	<p>Need in master bath</p>	<p>NOTED ON PRINT #4</p>
<p>(4) Attic Access (Section R807)</p>	<p>size? —</p>	<p>2'x6' Panel - OK</p>
<p>Chimney Clearances/Fire Blocking (Chap. 10)</p>	<p>N/A</p>	
<p>(4) Header Schedule (Section 502.5(1) & (2))</p>	<p>not shown</p>	<p>NOTED ON PRINT 5A</p>
<p>(4) Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration</p>	<p>Not shown</p>	<p>REF PRINT 5A - R19 IS FLOOR ONLY.</p>

Ceiling - R-38
walls - R-19

U value of windows?
R value floor?

"BREUSTER"

2043

~~06/14/25~~
06/14/25

<p>(12) Type of Heating System</p>	<p>not shown - FHW</p>	
<p>Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 0 Treads and Risers - Noted 7" Rise - 10" Tread (Section R311.5.3) Width (Section R311.5.1) - 3'-0" + - OK Headroom (Section R311.5.2) - Shows 8'-0" +</p>	<p>not shown -</p>	<p>need guard detail → Ref PERM #4-</p>
<p>(13) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)</p>	<p>not shown -</p>	
<p>Smoke Detectors (Section R313) Location and type/Interconnected</p>	<p>Hand noted on plan - OK</p>	
<p>Draftstopping (Section R502.12) and Fireblocking (Section R602.8)</p>	<p>N/A</p>	
<p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p>	<p>N/A</p>	
<p>Deck Construction (Section R502.2.1)</p>	<p>N/A</p>	

(14) Need LVL beam specs from manufacturer

Lot #6

06-1424

~~06-1424~~

Stepping Stone Lot #9

406-F-56

934-7622

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL		
④ Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Noted - not large enough	Page 2 20" wide 8" high string
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Hand noted on sheet # 2	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
② Anchor Bolts/Straps, spacing (Section R403.1.6)	not shown	hand noted page # 2
Lally Column Type (Section R407)	3-2x10's - 5'-4"	
Girder & Header Spans (Table R 502.5(2))	Max span - OK	
Built-Up Wood Center Girder Dimension/Type	" "	
③ Sill/Band Joist Type & Dimensions	not shown	see page 5A detail
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x8's - OK	

~~06-1424~~ 06-1424

①	Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	rafters - undersized + is there a beam under "splice" point.	
②	Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8" - Roof 1/2" - Floors? walls 3/4"	
	Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
	Private Garage (Section R309) Living Space? - yes (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	Hand noted on sheet 3 - 5/8" F.C. Tyrex - all surfaces w/ fire door	
⑥	Emergency Escape and Rescue Openings (Section R310)	not shown	
⑦	Roof Covering (Chapter 9)	Asphalt? - OK	
⑧	Safety Glazing (Section R308)	Need in master bath - OK	
⑨	Attic Access (Section R807)	size? - 2'x6' access panel - OK	
	Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
⑩	Header Schedule (Section 502.5(1) & (2))	not shown	
⑪	Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Not shown	

Ceiling - R - 30
2-19 walls

~~06-14-24~~
06-14-24

⑫ Type of Heating System	Not shown	FHW
Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 0 Treads and Risers - Noted 7" Rise - 10" Tread (Section R311.5.3) Width (Section R311.5.1) - 3'-0" + - OK Headroom (Section R311.5.2) - Shows 8'-0" + ⑬ Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) — not shown		Need guard detail!
⑭ Smoke Detectors (Section R313) Location and type/Interconnected	Hand noted on plan - OK	
Draftstopping (Section R502.12) and Fireblocking (Section R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	N/A	

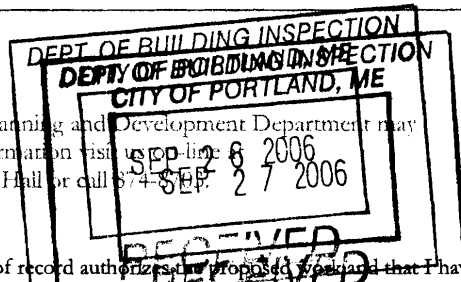
⑮ Need LVL beam specs from manufacturer



General Building Permit Application

Location/Address of Construction: ^{#2A} <u>STEPPING STONE LANE LOT 6</u>		
Total Square Footage of Proposed Structure <u>2267</u>	Square Footage of Lot <u>8948</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>406</u> Block# <u>F</u> Lot# <u>56</u>	Owner: <u>KING CONSTRUCTION CORP</u>	Telephone: <u>207 934-7632 X22</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>KING CONSTRUCTION CORP</u> <u>198 SAGO AVENUE</u> <u>010 ORCHARD BEACH, ME</u> <u>04061</u>	Cost Of Work: \$ <u>142,000</u> Fee: \$ <u>1815</u> C of O Fee: \$ _____
Current Specific use: <u>LOT</u> If vacant, what was the previous use? <u>UNDEVELOPED</u> Proposed Specific use: <u>RESIDENTIAL</u>		
Project description: <u>CONSTRUCT SINGLE FAMILY HOME w/ 2 CAR GARAGE, 4 BEDROOMS</u>		
Contractor's name, address & telephone: <u>JAME</u>		
Who should we contact when the permit is ready: <u>KING WEINSTEIN</u> Mailing address: <u>198 SAGO AVENUE</u> <u>010 ORCHARD BEACH, ME</u> <u>04061</u> Phone: <u>(207) 934-7632 X22</u>		

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov or stop by the Building Inspections office, room 315 City Hall or call 374-5888.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Owner Date: 4/24/06
King Weinstein

This is not a permit; you may not commence ANY work until the permit is issued.

Applicant: King Construction Corp.

Date: 10/3/06

Address: ~~#29~~ Stepping Stone Lane, Lot 6

C-B-I: 406-F-56
permit # 06-1424

CHECK-LIST AGAINST ZONING ORDINANCE

Date - ~~to new~~

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build new 2 story single family home w/ 2 car attached garage

Sevage Disposal - City

Lot Street Frontage - 50' min. - 50' given

Front Yard - 25' req. - 26'

Rear Yard - 25' req. - 25'

Side Yard - $\begin{matrix} 1\frac{1}{2} \text{ spans } 8' \\ 2 \text{ " } 14' \\ 2\frac{1}{2} \text{ " } 16' \end{matrix}$ 10.5 on right
34 on left (44.5 total
only need 28' OK)

* chimney 2' x 5'
can project into side
yard - 14-425

Projections -

Width of Lot - 65' min. - 68' min.

Height - 35' max. - 26' scaled.

Lot Area - 6,500 sq ft min. - 8948 sq ft given

Lot Coverage Impervious Surface - 35% 3131.8

OK

$26 \times 40 = 1040$
 $16.5 \times 20 = 330$
 $9 \times 4.5 = 40.5$
 $9.5 \times 5.5 = 52.25$
 $2 \times 5 = 10$

1472.75

Area per Family - 6,500

Off-street Parking - 2 spaces req. - 2 car garage 20' x 20'

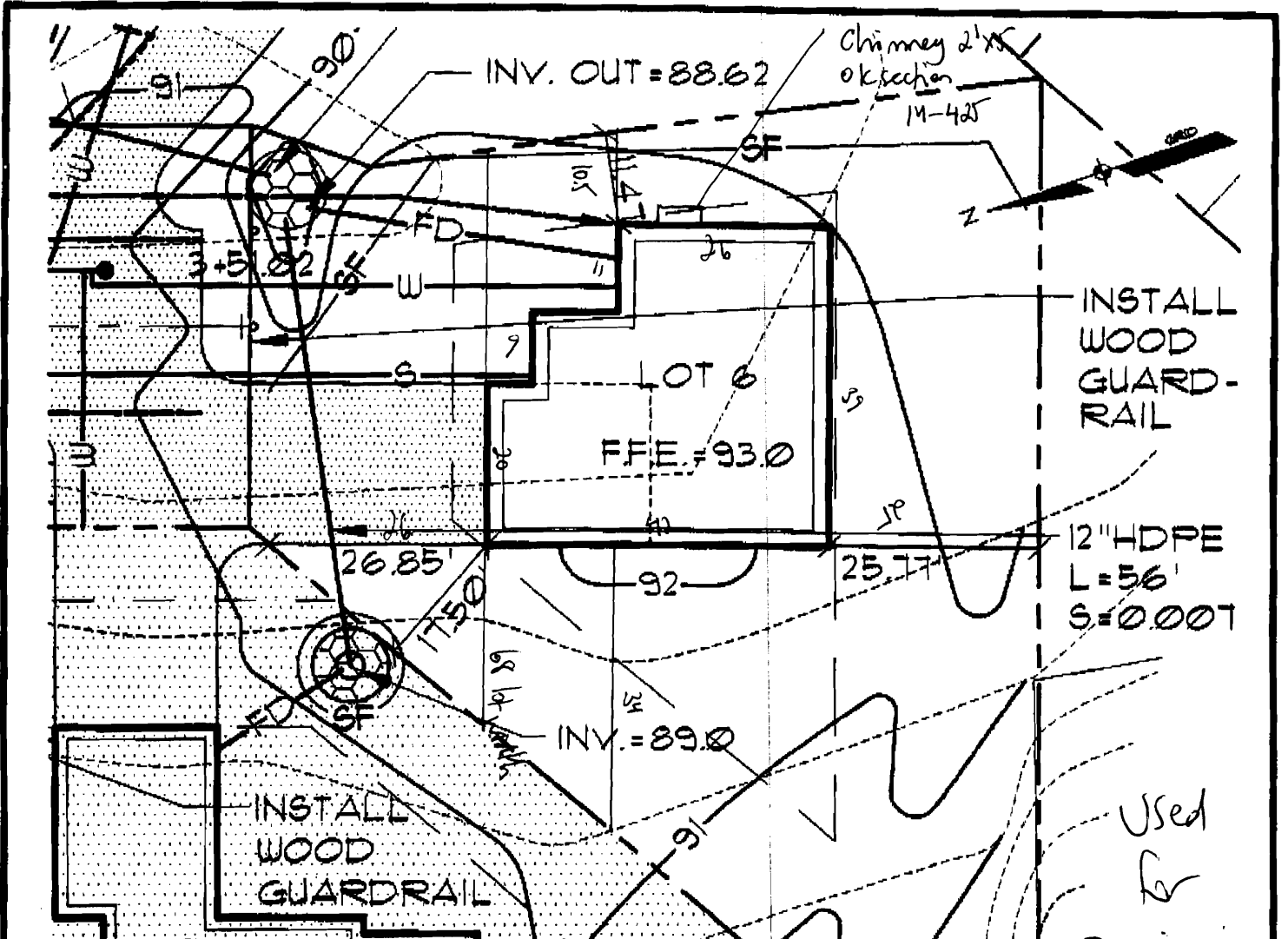
Loading Bays - N/A

Site Plan - minor/minor 2006-0189

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - zone X

~~* daylight basement~~ A. no daylight basement



NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (RS) ZONE.
2. THE DIMENSIONAL REQUIREMENTS FOR THE RS ZONE ARE AS FOLLOWS:
 MINIMUM LOT SIZE 6,500 SQ. FEET
 MINIMUM STREET FRONTAGE 50 FEET
 MINIMUM YARD DIMENSIONS, MIN. LOT WIDTH 75 FEET
 FRONT YARD 25 FEET
 REAR YARD (STRUCTURES GREATER THAN 100 SQ. FT.) 25 FEET
 SIDE YARD (1 STORY) 5 FEET
 (1 1/2 STORY) 8 FEET
 (2 STORY - SHOWN ON PLAN) 14 FEET
 (2 1/2 STORY) 15 FEET
 SIDE YARD (ON SIDE STREET) 20 FEET
3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE GEMERALD COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NAVD 83 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN GWP 1/2 POLE ON RAY STREET. ELEVATION 81.53.

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

OCT - 6 2006

RECEIVED

Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04090-1339
 Tel (207) 858-0277

LOT 6 - GRADING PLAN	
AUTUMN GLEN SUBDIVISION	
LOCATION: RAY STREET PORTLAND, MAINE	FOR: KING REAL ESTATE OLD ORCHARD, ME

SCALE: 1"=20'
DATE: 7-20-06
SHEET: 1 OF 1

10/5/06, 02:07 P

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2006-0189

Application I. D. Number

9/27/2006

Application Date

King Construction Corp

Applicant

198 Saco Ave , Portland, ME

Applicant's Mailing Address

King Weinstein

Consultant/Agent

Applicant Ph: (207) 934-7622 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

Stepping Stone Ln , Portland, Maine

Address of Proposed Site

406 F056001

Assessor's Reference: Chart-Block-Lot

Stepping Stone Lane Lot#6

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **9/27/2006**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

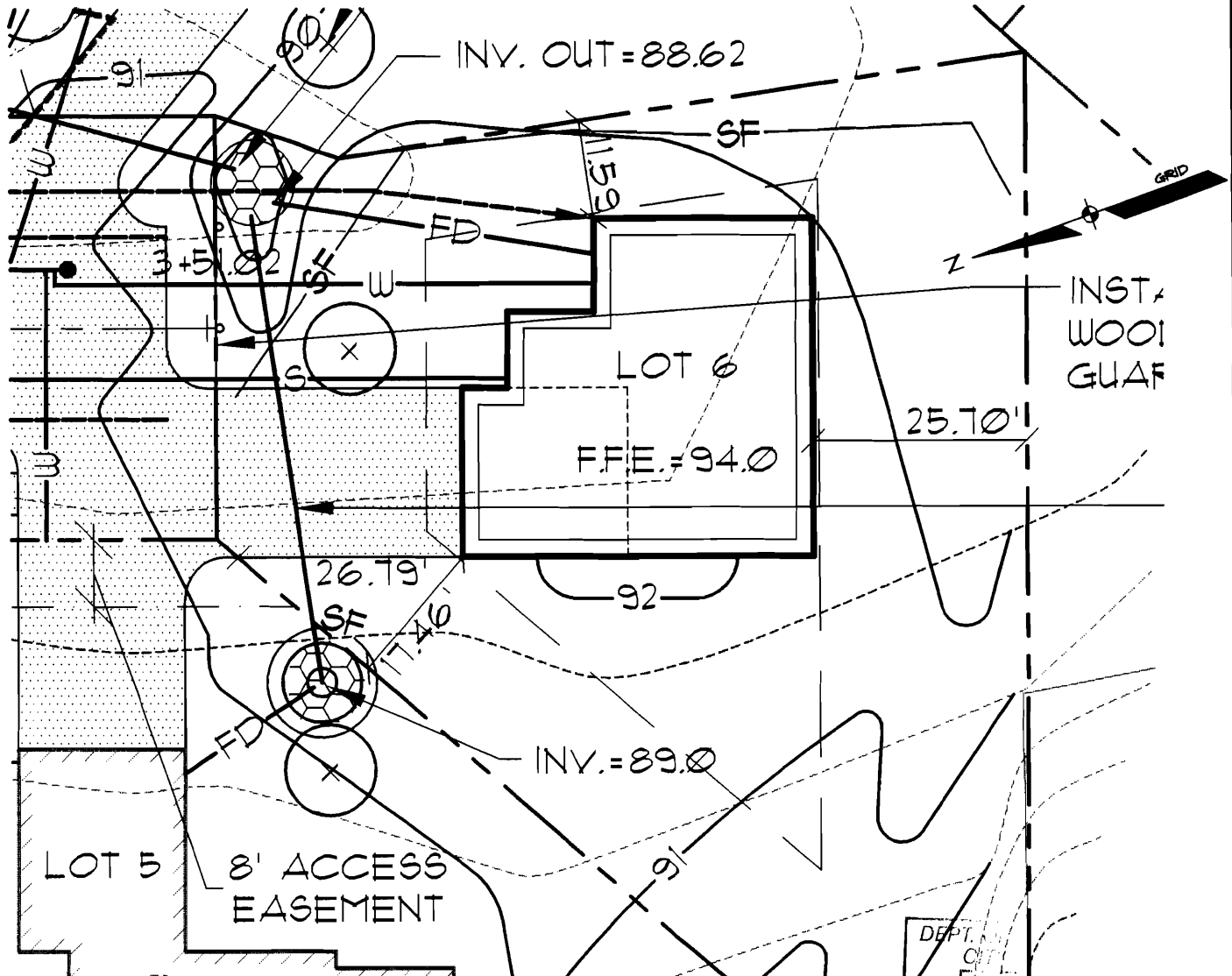
- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

From: Jay Reynolds
To: Single Family Signoff
Date: 10/31/2006 12:33:42 PM
Subject: 29 Stepping Stone lane lot #6

cbl 406F056

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov



NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (R3) ZONE.
2. THE DIMENSIONAL REQUIREMENTS FOR THE R3 ZONE ARE AS FOLLOWS:

MINIMUM LOT SIZE	6500 SF.
MINIMUM STREET FRONTAGE	50 FEET
MINIMUM YARD DIMENSIONS: MIN. LOT WIDTH	75 FEET
FRONT YARD	25 FEET
REAR YARD (STRUCTURES GREATER THAN 100 SF.)	25 FEET
SIDE YARD	8 FEET
(1 STORY)	8 FEET
(1 1/2 STORY)	14 FEET
(2 STORY - SHOWN ON PLAN)	16 FEET
(2 1/2 STORY)	20 FEET
SIDE YARD (ON SIDE STREET)	20 FEET
3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1988 VERTICAL DATUM. BITE BENCHMARK IS A SPIKE SET IN CMP 25 POLE ON RAY STREET, ELEVATION 9133'.

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-17-06

Sebago Technics

Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

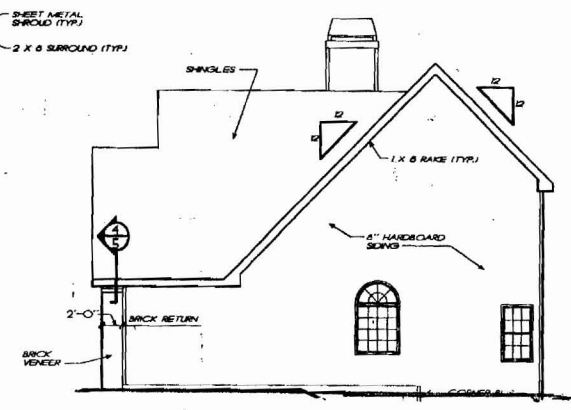
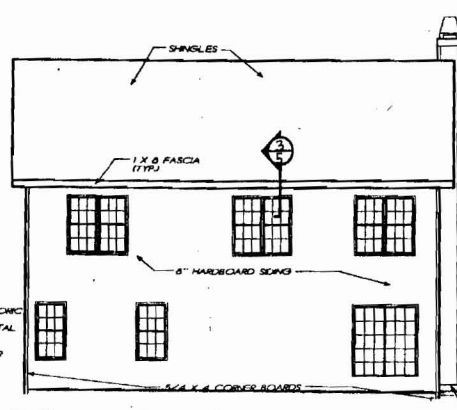
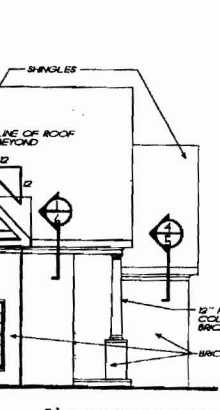


LOT 6 - GRADING PLAN
 AUTUMN GLEN SUBDIVISION

LOCATION:
 RAY STREET
 PORTLAND, MAINE

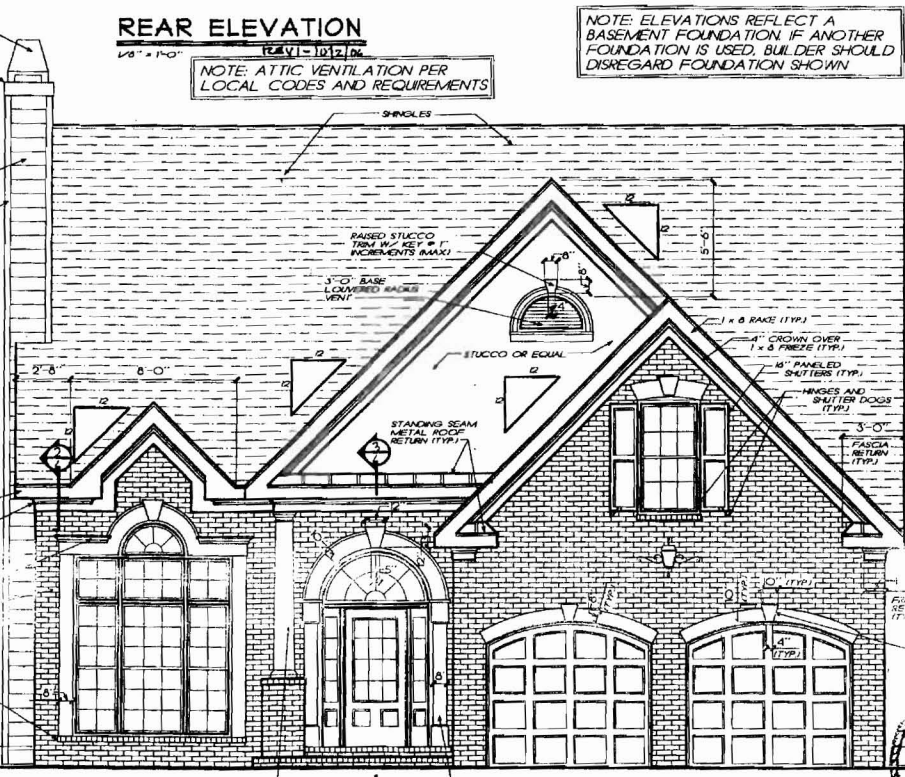
FOR:
 KING REAL ESTATE
 OLD ORCHARD, ME

SCALE: 1"=20'
 DATE: 10-17-06
 SHEET:
 1 OF 1



LEFT ELEVATION
1/8" = 1'-0"

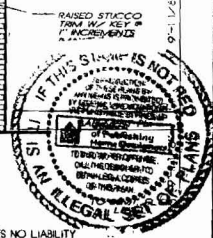
RIGHT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"
NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

NOTE: ELEVATIONS REFLECT A BASEMENT FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN.

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS. SEE DETAILS.



FRONT ELEVATION
1/4" = 1'-0"

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

DATE	REV.	BY	DATE	REV.

HOMEPLANS

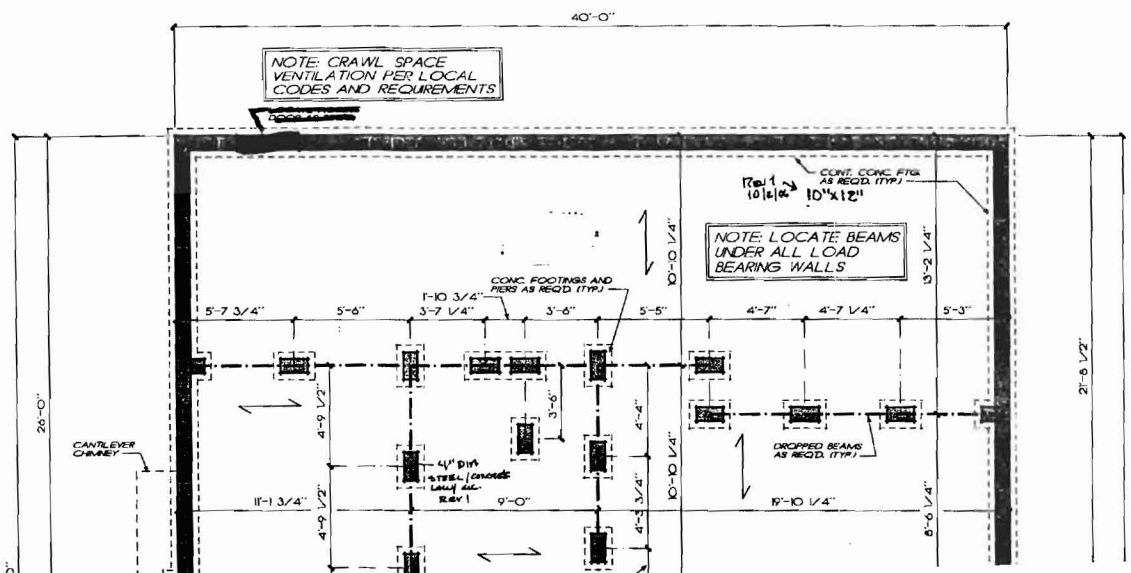
ELEVATIONS / ROOF PLAN
THE BREWSTER

BA
FRANK BETZ ASSOCIATES, INC.
1000 W. 10TH ST., SUITE 100
DENVER, CO 80202
(303) 733-0888

BY DCO OR CAS

DATE 5/26/98

SHEET 6



NOTE: CRAWL SPACE VENTILATION PER LOCAL CODES AND REQUIREMENTS

NOTE: LOCATE BEAMS UNDER ALL LOAD BEARING WALLS

DATE	REV.	DATE	REV.

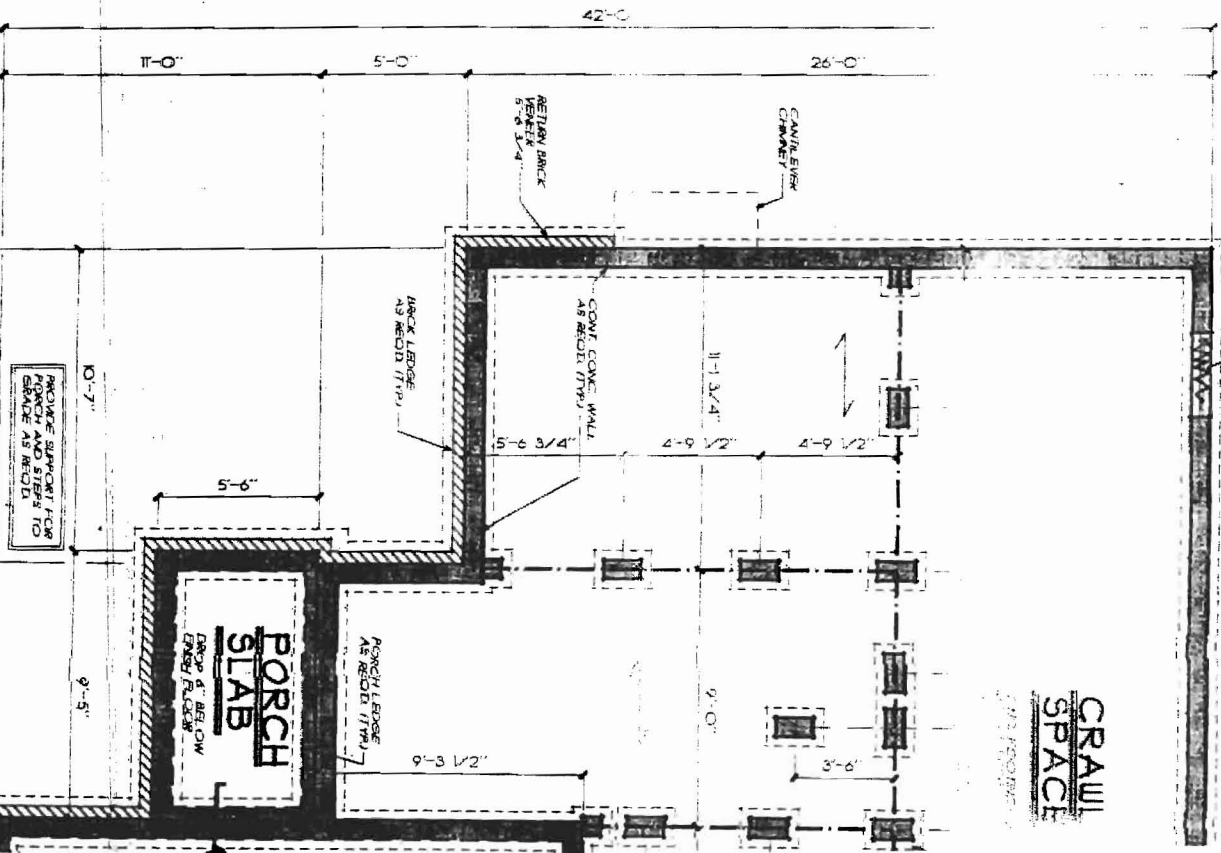
HOMEPLANS

NOTE: CRAWL SPACE VENTILATION PER LOCAL CODES AND REQUIREMENTS

LOCAL CODES

CRAWL SPACE

2x4 JOIST



GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MFR.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO FRANK BETZ ASSOCIATES, INC. FOR INTERPRETATION.
3. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
4. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
5. ALL FOOTINGS TO BE BELOW FROST LINE SEE LOCAL CODES AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.
6. CONSULT LOCAL ENGINEER FOR PROPER FOOTINGS AND REINFORCING SIZES AND REQUIREMENTS.
7. IF BACORLL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
8. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARINGS, CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
9. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
10. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.
11. Provide Anchor Bolts in top of Foundation walls 10" dia. Min. Then 4" dia.
12. Lately column to be 4" concrete filled.

GENERAL FRAMING NOTES

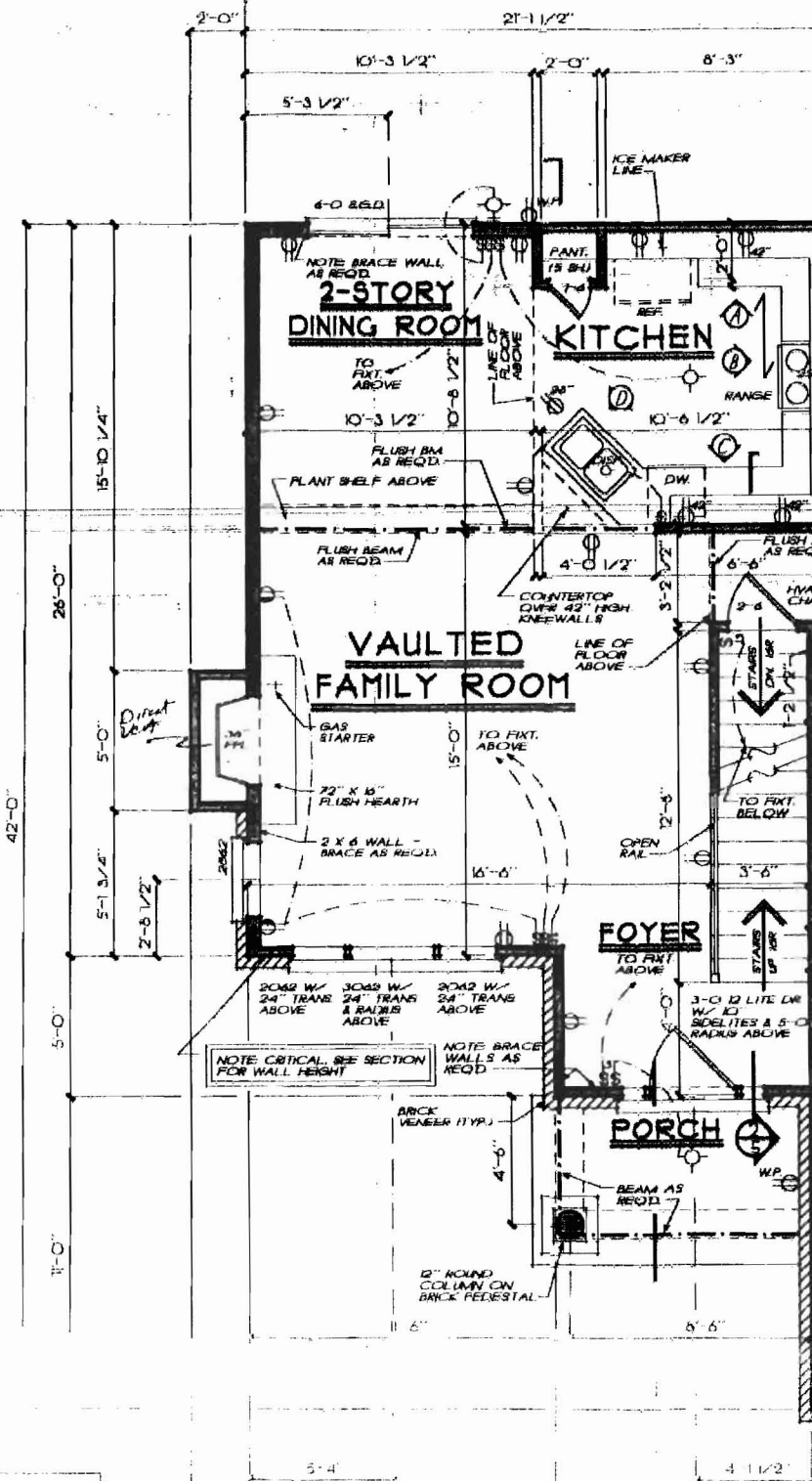
THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY DUE TO A VARIANCE OF CODES PER REGION. PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

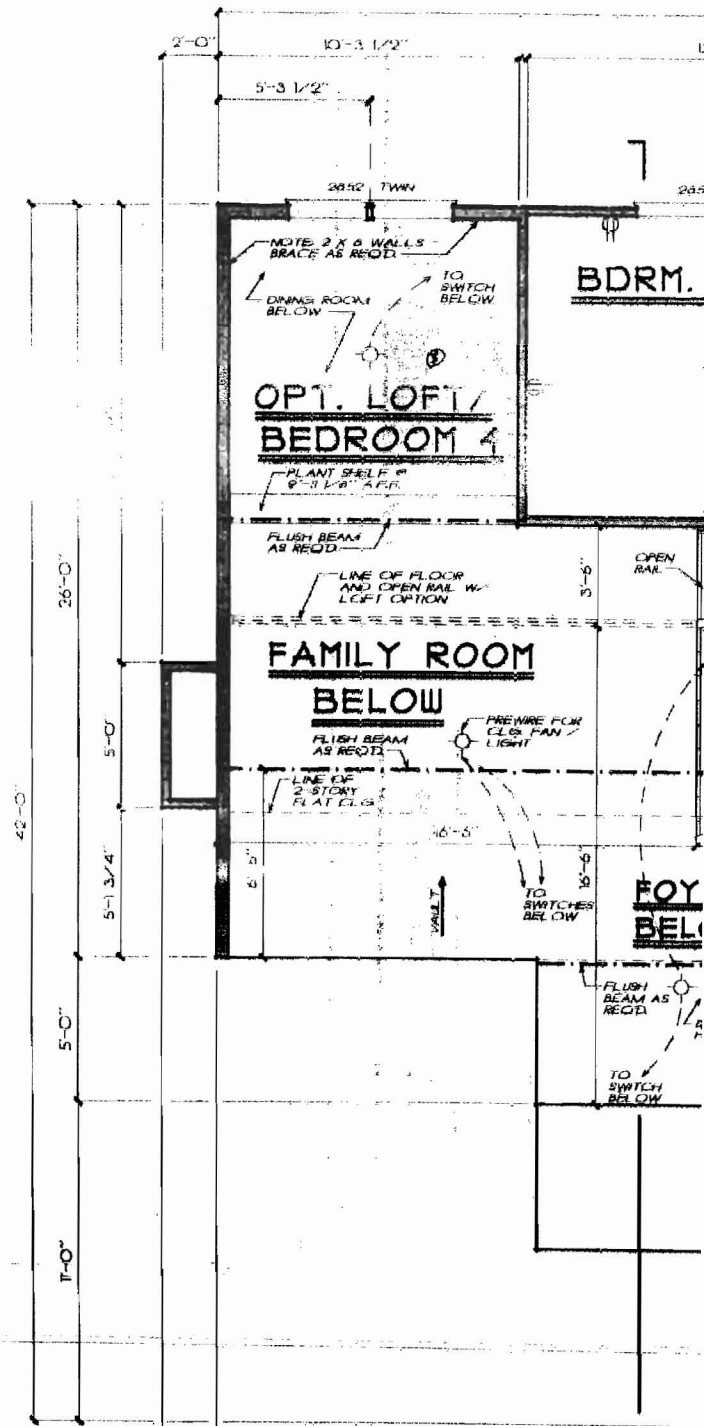
1. PROVIDE PURLIN AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL LEADERS SHALL BE 2" x 2" WITH 1/2" PLYWOOD FLITCH PLATE IN END OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1/4" CROSS BRACING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS INSIDE AND OUTSIDE CORNERS SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAULING SCHEDULE SHALL BE 8" COLUMNS AT 4' O.C. AT ALL EDGES AND 8" COLUMNS AT 12' O.C. AT ALL INTERMEDIATE STUDS. OPTION - APPROVED DIAGONAL CORNER BRACERS BOTH DIRECTIONS AT ALL CORNERS.
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED 8" AB GRADE BEAM OR FOOTINGS DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2x4 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HF VALLEY RAFTERS AND RIDGE BOARD SHALL BE ONE 2x SIZE LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACINGS TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED 8" AB GRADE BEAM OR FOOTINGS DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED.

all surfaces of garage to be 5/8" firecode
1 hour steel trapezoid, self closing w/ steel beams

STAIRWAY TO BE 7/10

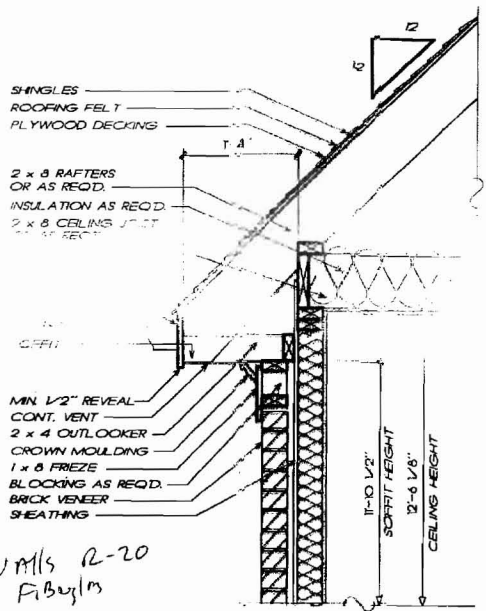
Smoke detectors to be installed pre-occupancy
including ATTIC & BASEMENT, intercommunicating





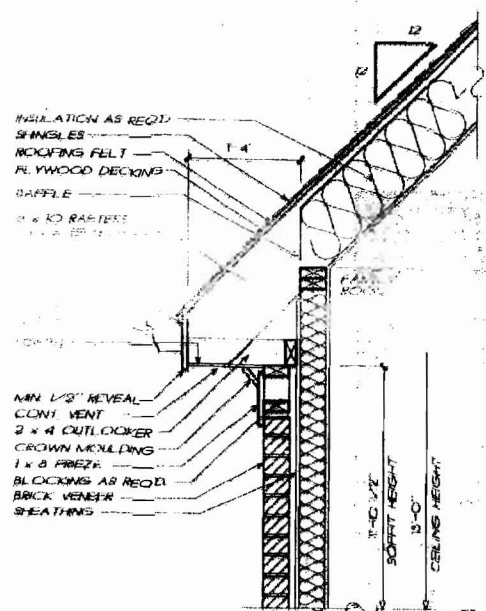
NOTE: ALL CEILING JOISTS AND RAFTER BRACINGS TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND

R-10 insulation

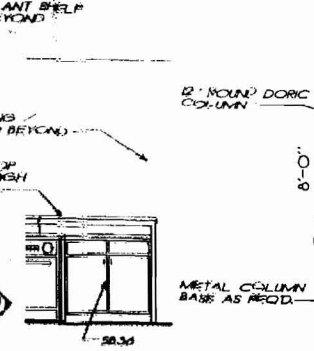
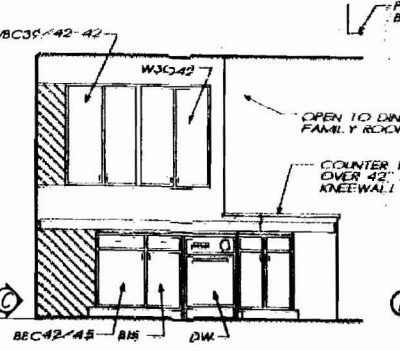
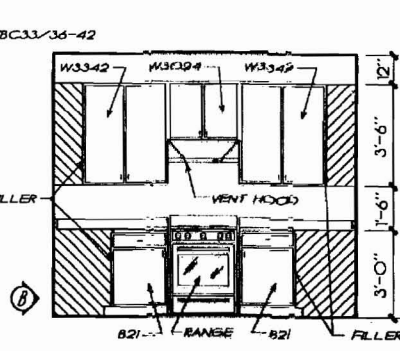
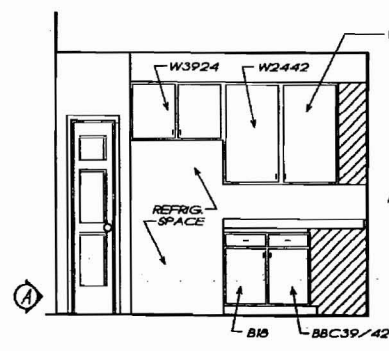


Walls R-20
Fibrylm

1 CORNICE DETAIL
3/4" = 1'-0"

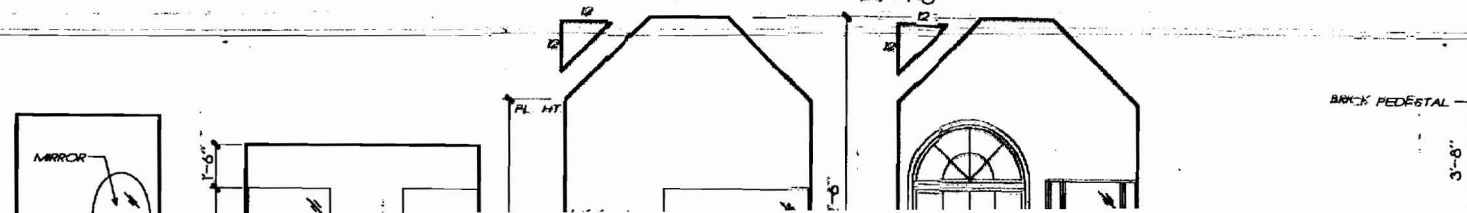


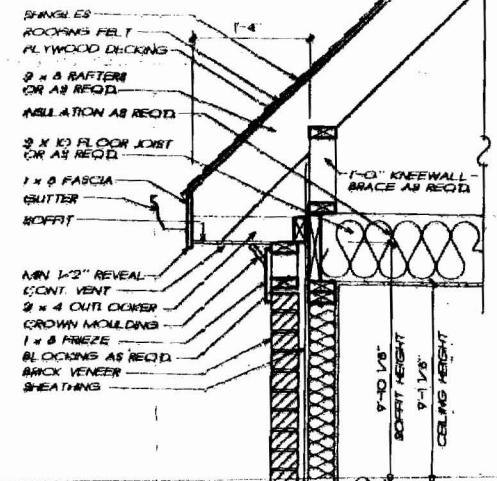
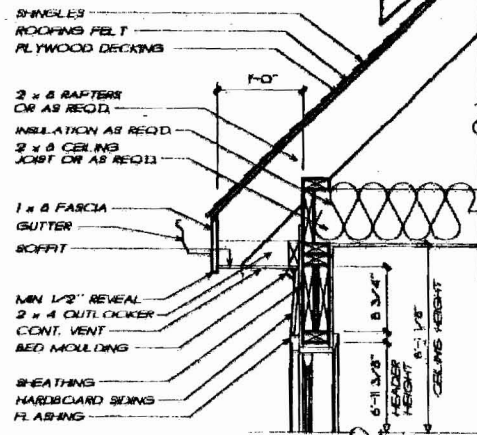
2 CORNICE DETAIL
3/4" = 1'-0"



KITCHEN ELEVATIONS
1/4" = 1'-0"

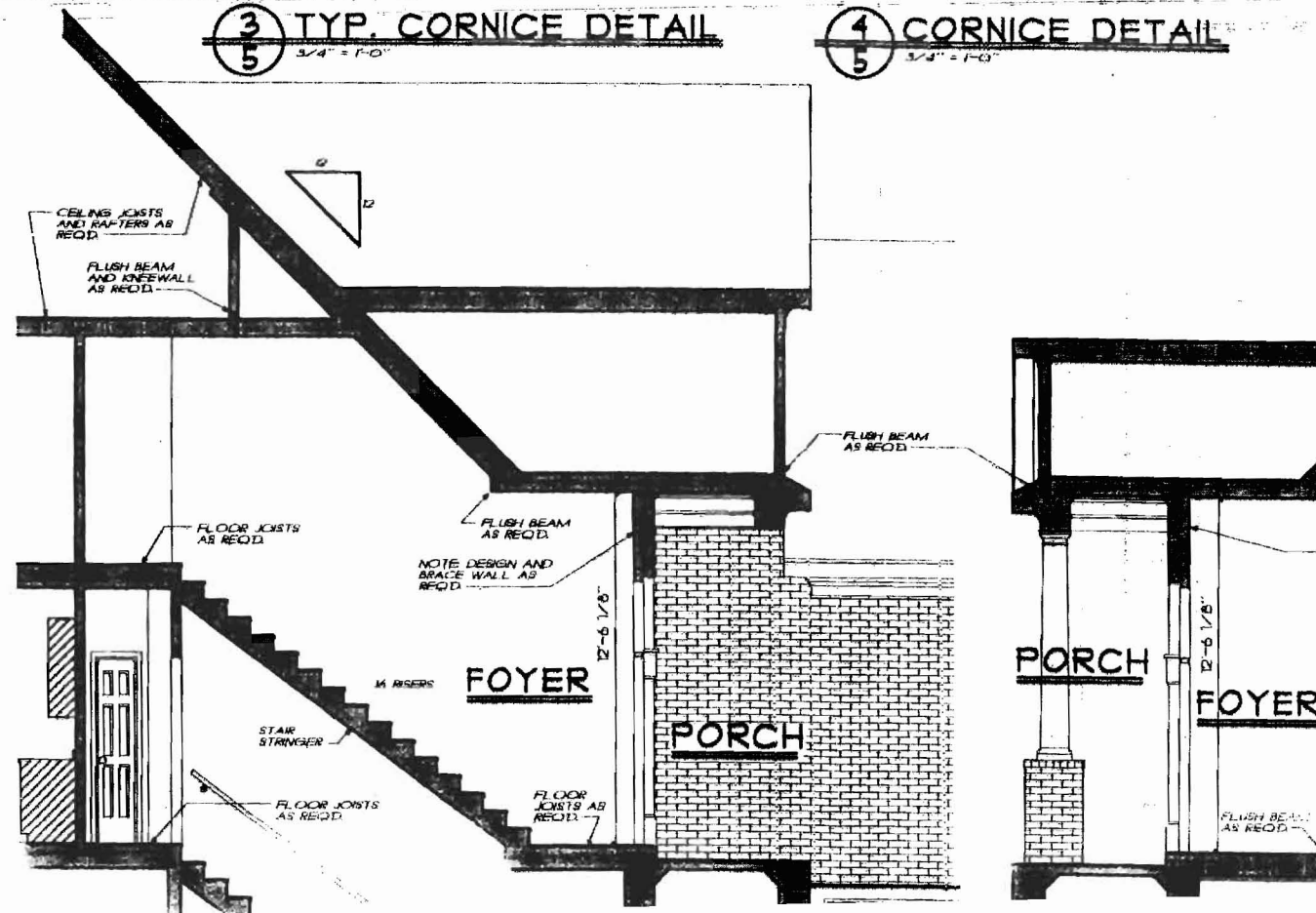
KITCHEN ELEVATIONS
1/4" = 1'-0"





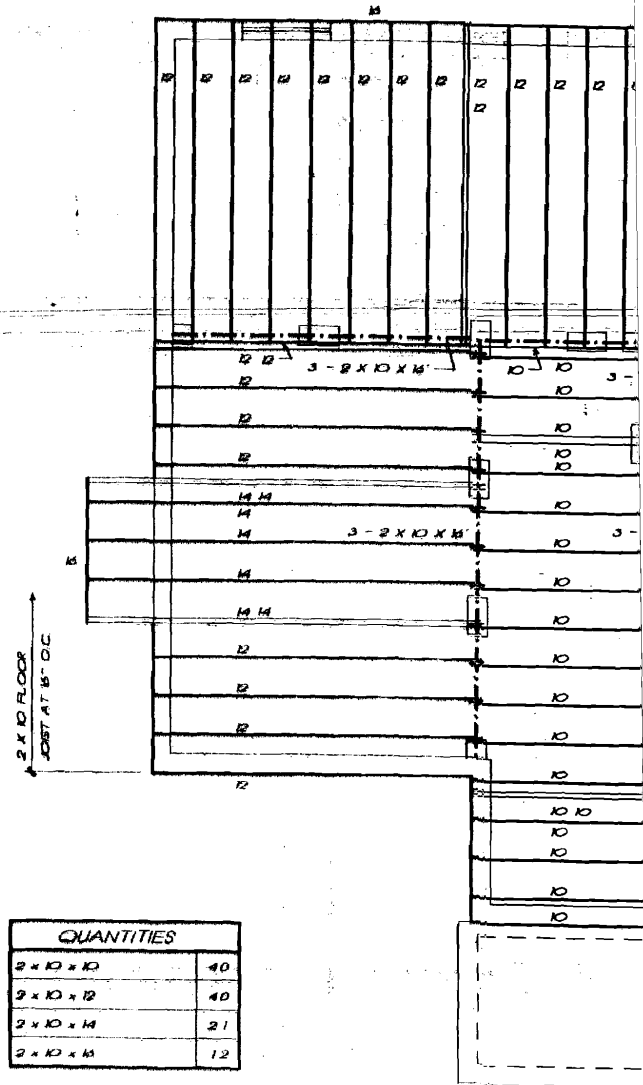
3 TYP. CORNICE DETAIL
3/4" = 1'-0"

4 CORNICE DETAIL
3/4" = 1'-0"



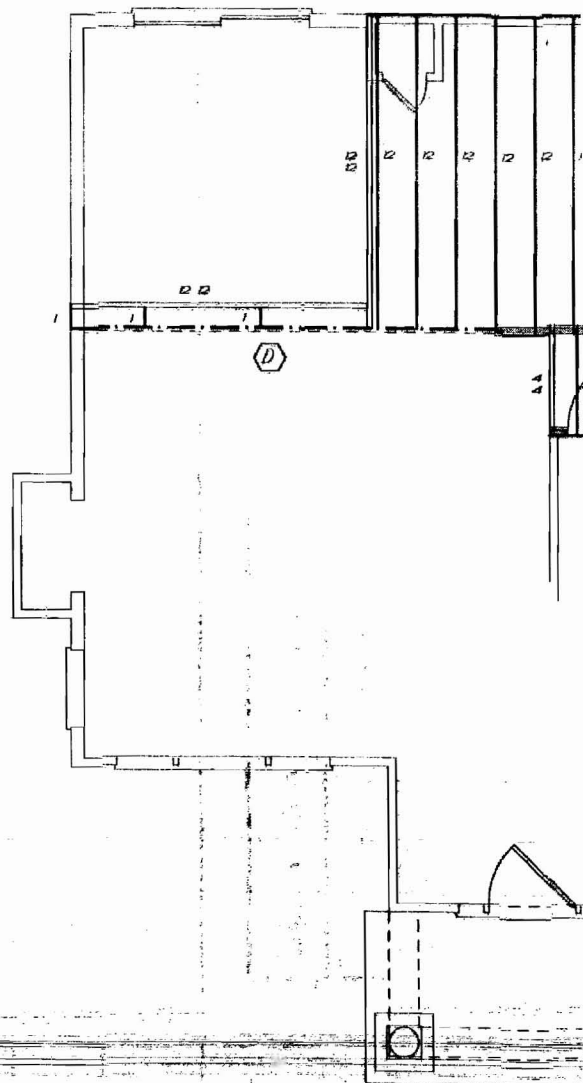
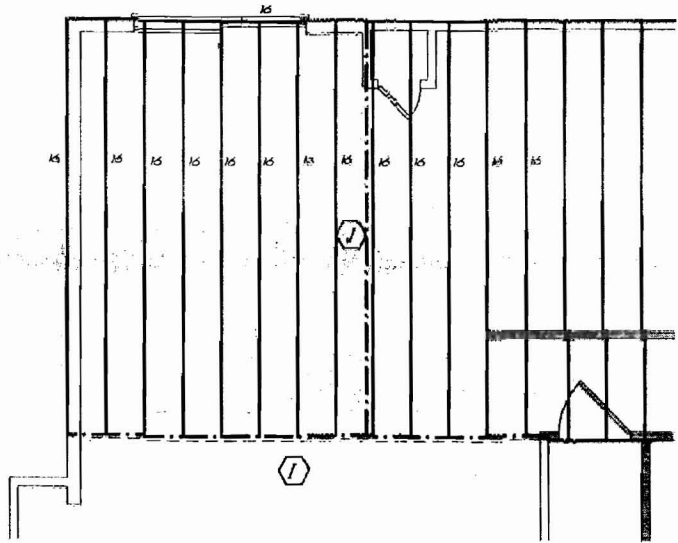
FRAMING PLAN NOTES

1. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES IN ATLANTA, GEORGIA. THEY CONFORM TO THE 1941 STANDARD BUILDING CODE AND 1945 CABO ONE AND TWO FAMILY DWELLING CODE. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS, REVISIONS MAY BE REQUIRED TO THESE PLANS.
2. ALL WORK SHOULD BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, AND ORDINANCES. THE BUILDER SHOULD VERIFY ALL CONDITIONS BEFORE BEGINNING CONSTRUCTION. CONSULT WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.
3. DESIGN LOADS:
 - FLOOR: 40 LBS LIVE LOAD
10 LBS DEAD LOAD
 - BEDROOM: 30 LBS LIVE LOAD
10 LBS DEAD LOAD
 - CEILING: 20 LBS LIVE LOAD
10 LBS DEAD LOAD
 - ROOF: 20 LBS LIVE LOAD
10 LBS DEAD LOAD
4. THE FOLLOWING GUIDELINES ARE PROVIDED TO EXPLAIN HOW THE QUANTITIES LISTED ON THE FRAMING PLANS AND MATERIAL LIST WERE DETERMINED. FAILURE TO COMPLY WITH THESE GUIDELINES WILL RESULT IN A FRAMING PLAN AND MATERIAL LIST THAT DO NOT MATCH.
5. ALL PIECES ARE LABELED AS TO THEIR ROUGH CUT LENGTH. MATERIAL IS TAKEN OFF AS INDICATED ON FRAMING PLANS.
6. ANY LABELED PIECE LESS THAN 10' IN LENGTH IS COUNTED AS BEING CUT FROM A 12' PIECE.
7. ALL BEAMS ARE 2X10 #2 SYP, 2X12 #2 SYP, LAMINATED VENEER LUMBER (LVL), OR GLU-LAMINATED BEAMS (GLB) AS INDICATED ON PLANS.
8. GLU-LAMINATED BEAMS SHOULD HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2400 PSI.
9. LAMINATED VENEER LUMBER BEAMS SHOULD HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2700 PSI.
10. ALL FLOOR JOISTS ARE 2X10 #2 SYP AT 16" O.C. EXCEPT AS NOTED ON PLAN.
11. ALL BAND MATERIAL IS 2X10 #2 SYP.
12. D4 CROSS-BRIDGING SHOULD BE USED AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
13. ALL CEILING JOISTS ARE 2X8'S #2 SYP AT 16" O.C. EXCEPT AS NOTED ON PLANS. ALL TRAY CEILING JOISTS ARE RAFTER TRAY KNEEWALL IN LENGTH. SEE TRAY DETAIL SHOWN ON PLANS.
14. ALL RAFTERS ARE 2X8'S #2 SPF AT 16" O.C. EXCEPT AS NOTED ON PLANS.
15. ALL HP, VALLEY AND RIDGE RAFTERS ARE 2X10'S #2 SYP EXCEPT AS NOTED ON PLANS.
16. ALL RAFTERS SHOULD BE BRACED AS CLOSE TO MID-SPAN AS POSSIBLE WITH NO SPAN EXCEEDING 13'-0".
17. ALL RAFTERS OVER A VAULTED ROOF ARE 2 X 10'S #2 SPF AT 16" O.C. EXCEPT AS NOTED ON PLANS.
18. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
19. THE I - JOIST ARE SPECIFIED USING THE APA STANDARD PRI - 400, PERFORMANCE STANDARD FOR APA EWS I - JOIST. FOLLOW MANUFACTURERS GUIDELINES FOR THE PROPER INSTALLATION OF JOIST, HANGERS, SQUASH BLOCKS AND DECKING.
20. ALL RIM BOARD TO BE APA RIM BOARD - VERTICAL LOAD TRANSFER = 400 PLF MAX. AMOUNT REQUIRED IS LISTED AS TOTAL LINEAR FOOTAGE.



QUANTITIES	
2 x 10 x 10	40
2 x 10 x 12	40
2 x 10 x 14	21
2 x 10 x 16	12

DATE: 3-1-99 FILE: BOOKS\BREWSTER\178AD04.dwg



PARTIAL 2ND FLR. FRAMING PLAN

1/4" = 1'-0"

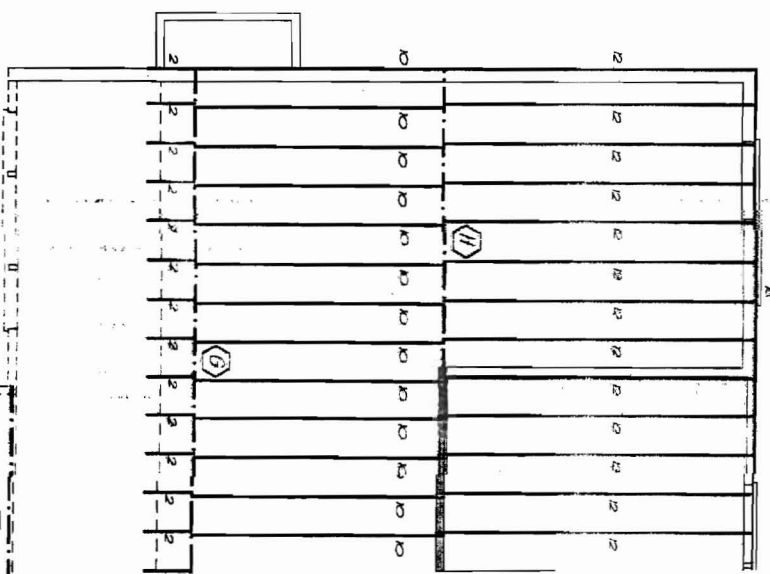
W/ OPT. LOFT

BEAM SCHEDULE	
1	2 - 1 3/4" X 11 7/8" X 18' LVL - FLUSH
2	2 - 1 3/4" X 9 1/4" X 18' LVL - FLUSH

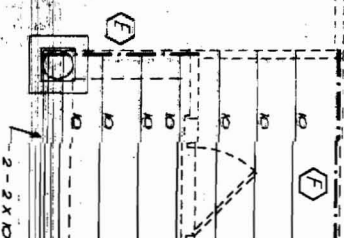
QUANTITIES W/ OPT. LOFT	
2 x 10 x 10	28
2 x 10 x 12	40
2 x 10 x 14	11
2 x 10 x 16	25

FLEX BOOKS BREWSTER 1376A0465 DATES 8-99

NOTE: ALL CEILING JOISTS AND PARTS BRACING, REBARING WALLS DESIGNED TO CARRY LOADS THEREAFTER AT FOUNDATION AND BE SUPPORTED BY SLAB (SHAKE BEAM) OR FOOTINGS DESIGNED TO CARRY



QUANTITIES	
2x4x8	08
2x4x10	32
2x6x12	27
2x6x14	18
2x8x8	08
2x10x10	02
2x10x8	01
2x12x12	03

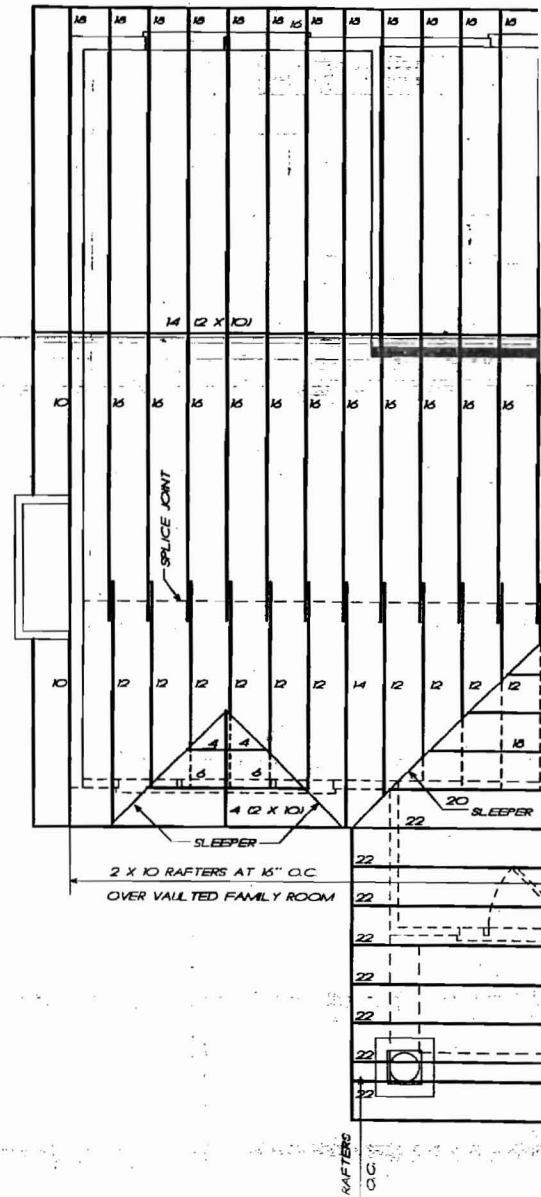


CEILING JOIST FRAMING PLAN

V47-100

NOTE: ALL CEILING JOISTS AND RAFTER BRACING BEARING WALLS DESIGNED TO CARRY LOAD. TRF TERMINATE AT FOUNDATION AND BE SUPPORTED SLAB GRADE BEAM OR FOOTING DESIGNED TO

QUANTITIES	
2 x 6 x 10	05
2 x 6 x 12	03
2 x 6 x 14	03
2 x 6 x 16	23
2 x 6 x 18	45
2 x 6 x 20	02
2 x 6 x 22	08
2 x 6 x 24	07
2 x 6 x 26	07
2 x 6 x 28	01
2 x 10 x 10	02
2 x 10 x 12	14
2 x 10 x 14	04
2 x 10 x 16	02
2 x 10 x 18	01



FILE:\BOOKS\NEWSTER\17910.dwg