

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 061424

Please Read Application And Notes, If Any, Attached

This is to certify that KING CONSTRUCTION CORP / King Construction Corp

has permission to New Single Family Home - w/ 2 Car garage

AT STEPPING STONE LN #6 #29 DISTRICT 406 F056001

PERMIT ISSUED
JAN 12 2007
CITY OF PORTLAND

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is rendered. 48 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 1/12/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1424	Issue Date:	CBL: 406 F056001
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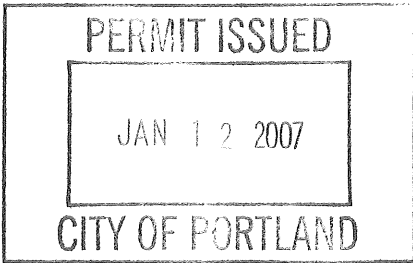
Location of Construction: STEPPING STONE LN #6	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone: 2079347622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed Use: Single Family Home/ New Single Family Home- w/ 2 Car garage	Permit Fee: \$1,515.00	Cost of Work: \$142,000.00	CEO District: 4
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Proposed Project Description: New Single Family Home- w/ 2 Car garage	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>
	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 09/27/2006	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>panel 7-200X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2006-0189</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>10/10/06</i> <i>APM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

CEO - Please use plans that are stamped "Approved
by the City" - T

4/21/11
Posting not completed - Dwight

to send survey letter in morning of

4/22/2011 - BKL

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1424	Date Applied For: 09/27/2006	CBL: 406 F056001
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Location of Construction: 29 STEPPING STONE LN #6	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone (207) 934-7622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ New Single Family Home- w/ 2 Car garage	Proposed Project Description: New Single Family Home- w/ 2 Car garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/10/2006

Note: **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 01/12/2007

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) The attic scuttle opening must be 22" x 30".
- 6) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 7) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 8) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 9) As discussed, the rafters must be 2" x 10"s.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 10/31/2006

Note: **Ok to Issue:**

- 1) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 2) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Location of Construction: 29 STEPPING STONE LN #6	Owner Name: KING CONSTRUCTION CORP	Owner Address: 198 SACO AVE	Phone:
Business Name:	Contractor Name: King Construction Corp	Contractor Address: 198 Saco OOB	Phone (207) 934-7622
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 4) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Comments:

10/4/2006-amachado: Left message for King Weinstein to call me. Front setback is not met. Scales at 24.5' not the required 25' and the elevationn plans show a daylight basement in the back, but the grading plan does not match this.

10/6/2006-amachado: Received revised site plan. Meets zoning requirements. Still waiting for correct elevation plans.

11/2/2006-tmm: Finished review of all permits - left message w/King - alot of info missing

11/16/2006-tmm: re-reviewed info submitted - plans still lack a large amount of info - called KRE

1/12/2007-tmm: rec'd additional info - ok to issue w/conditions

Applicant: King Construction Corp.

Date: 10/3/06

Address: ^{#29} Stepping Stone Lane, Lot 6

C-B-L: 406 F-56
permit # 06-1424

CHECK-LIST AGAINST ZONING ORDINANCE

Date - ~~to new~~

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build new 2 story single family home w/ 2 car attached garage

Sevage Disposal - City

Lot Street Frontage - 50' min. - 50' given

Front Yard - 25' req. - 26'

Rear Yard - 25' req. - 25'

Side Yard - $\frac{1}{2}$ stairs 8' 10.5 on right
2 " 14' 34 on left

(44.5 total
only need 28' OK)

* chimney 2' x 5'
Can project into side
yard - 14-425

Projections -

Width of Lot - 65' min. - 68' min.

Height - 35' max. - 26' scaled

Lot Area - 6,500 sq ft min. - 8948 sq ft given

Lot Coverage Impervious Surface - 35% - 3131.8

OK

26 x 40 = 1040
16.5 x 20 = 330
9 x 4.5 = 40.5
9.5 x 5.5 = 52.25
2 x 5 = 10

1472.75

Area per Family - 6,500

Off-street Parking - 2 spaces req. - 2 car garage 20' x 20'

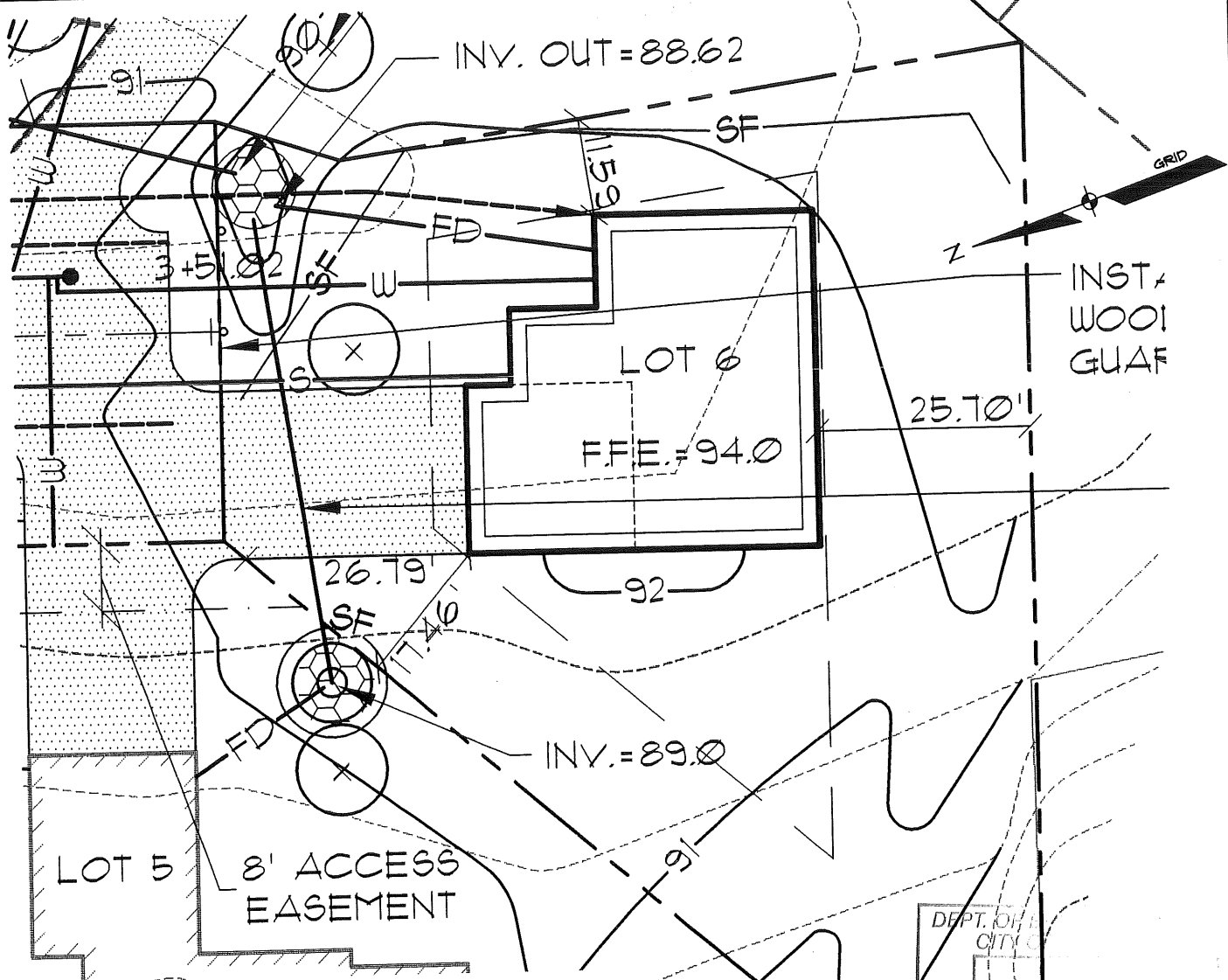
Loading Bays - N/A

Site Plan - minor/minor 2006-0189

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X

~~* daylight basement~~ A. no daylight basement



NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (R3) ZONE.
2. THE DIMENSIONAL REQUIREMENTS FOR THE R3 ZONE ARE AS FOLLOWS:
 MINIMUM LOT SIZE 6,500 SF.
 MINIMUM STREET FRONTAGE 50 FEET
 MINIMUM YARD DIMENSIONS: MIN. LOT WIDTH 15 FEET
 FRONT YARD 25 FEET
 REAR YARD (STRUCTURES GREATER THAN 100 SF.) 25 FEET
 SIDE YARD (1 STORY) 8 FEET
 (1 1/2 STORY) 8 FEET
 (2 STORY - SHOWN ON PLAN) 14 FEET
 (2 1/2 STORY) 16 FEET
 SIDE YARD (ON SIDE STREET) 20 FEET
3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1988 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CHIP #25 POLE ON RAY STREET. ELEVATION 91.33'.

DEPT. OF CITY ENGINEERING
 RECEIVED

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-3-06

Sebago Technics

Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277



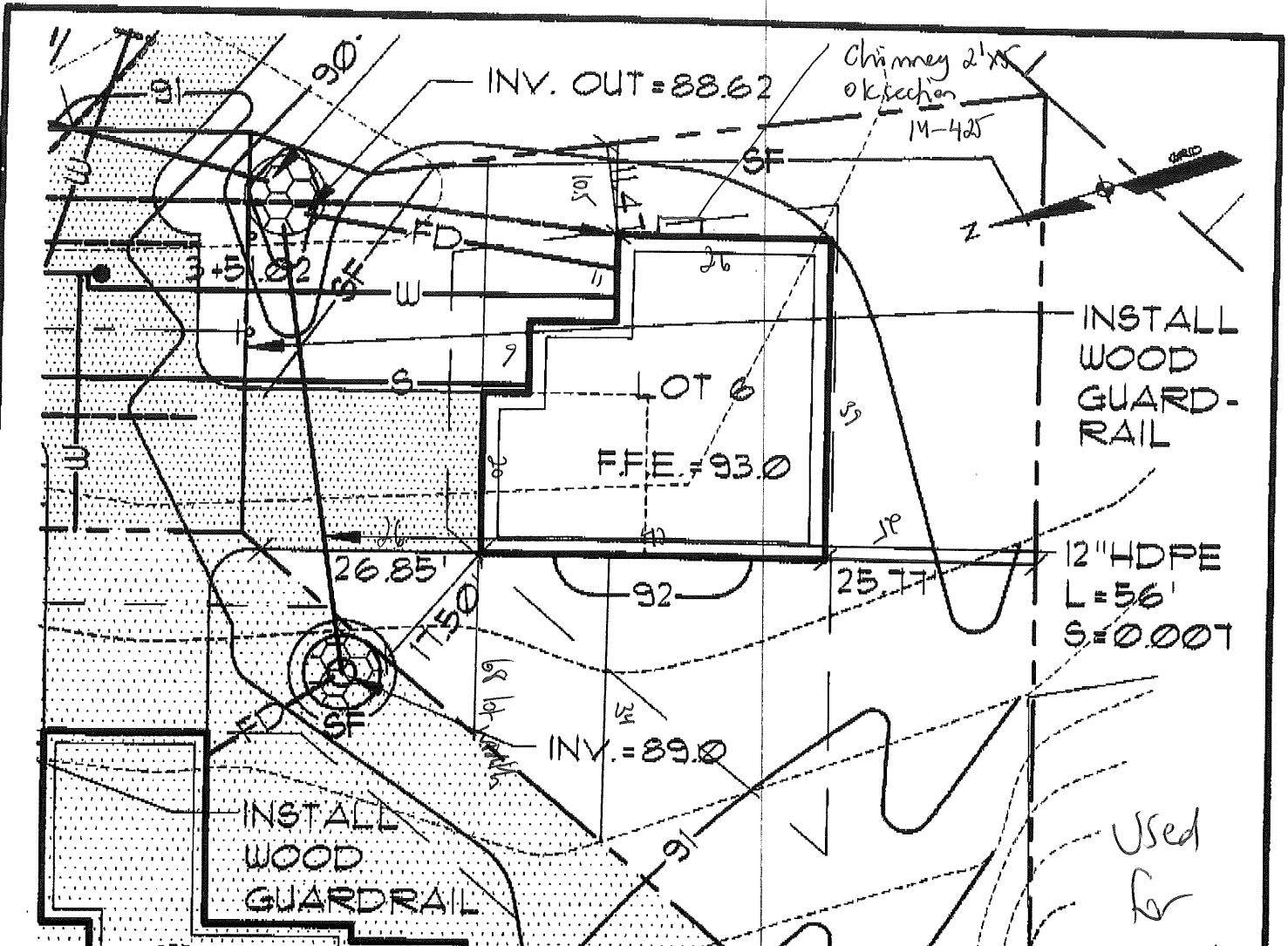
LOT 6 - GRADING PLAN
 AUTUMN GLEN SUBDIVISION

LOCATION:
 RAY STREET
 PORTLAND, MAINE

FOR:
 KING REAL ESTATE
 OLD ORCHARD, ME

SCALE: 1"=20'
 DATE: 10-17-06
 SHEET:
 1 OF 1

10/17/06, 02:17 P



NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (RS) ZONE.

2. THE DIMENSIONAL REQUIREMENTS FOR THE RS ZONE ARE AS FOLLOWS:

MINIMUM LOT SIZE	6,600 SQ. FT.
MINIMUM STREET FRONTAGE	80 FEET
MINIMUM YARD DIMENSIONS, MIN. LOT WIDTH	75 FEET
FRONT YARD	25 FEET
REAR YARD (STRUCTURES GREATER THAN 100 SF)	25 FEET
SIDE YARD (1 STORY)	5 FEET
(1 1/2 STORY)	5 FEET
(2 STORY - SHOWN ON PLAN)	14 FEET
(3 1/2 STORY)	16 FEET
SIDE YARD (ON SIDE STREET)	20 FEET

3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "HAZARD EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND HAZARD DEPARTMENT OF ENVIRONMENTAL PROTECTION MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2005. ELEVATIONS ARE BASED ON THE NAVD 1988 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CMP 25 POLE ON RAY STREET. ELEVATION 61.33'.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

OCT - 6 2006

RECEIVED

Sebago Technics
Engineering Expertise You Can Build On

One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 858-0277

LOT 6 - GRADING PLAN
AUTUMN GLEN SUBDIVISION

LOCATION:
RAY STREET
PORTLAND, MAINE

FOR:
KING REAL ESTATE
OLD ORCHARD, ME

SCALE: 1" = 20'

DATE: 7-20-06

SHEET: 1 OF 1

01259G.dwg TAB:LOT

10/5/06 02:07 P

~~Handwritten scribble~~
 01/14/25

<p>④ Pitch, Span, Spacing & Dimension (Table R802.5.1(1), R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)</p>	<p>5/8" - Rafters - undersized beam under splice</p>	<p>+ if there is a point. 2x6 Detail 45-5/8"</p>
<p>⑤ Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))</p>	<p>5/8" - Roof 1/2" - floors? walls?</p>	<p>2 1/2" - 3/4"</p>
<p>⑥ Fastener Schedule (Table R602.3(1) & (2))</p>	<p>Per IRC</p>	
<p>⑦ Private Garage (Section R309) Living Space? (Above or beside)</p>	<p>- Yes</p>	
<p>⑧ Fire separation (Section R309.2)</p>	<p>Hand noted on sheet 3 - 5/8" F.C. Tyrex - all surfaces w/ fire door</p>	<p>Noted on Prints 314 (EE)</p>
<p>⑨ Opening Protection (Section R309.1)</p>	<p>not shown</p>	
<p>⑩ Emergency Escape and Rescue Openings (Section R310)</p>	<p>not shown</p>	
<p>⑪ Roof Covering (Chapter 9)</p>	<p>Asphalt?</p>	<p>OK</p>
<p>⑫ Safety Glazing (Section R308)</p>	<p>Need in master bath</p>	<p>Noted on Print 4</p>
<p>⑬ Attic Access (Section R807)</p>	<p>size?</p>	<p>2' x 6' Panel - OK</p>
<p>⑭ Chimney Clearances/Fire Blocking (Chap. 10)</p>	<p>N/A</p>	
<p>⑮ Header Schedule (Section 502.5(1) & (2))</p>	<p>not shown</p>	<p>Noted on Print 5A</p>
<p>⑯ Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration</p>	<p>not shown</p>	<p>RET PRINT 5A - R19 IS FROM ONLY</p>

Crating - 11-30
 walls - R-19

U value of windows?
 R value floor?

'Br Euster'
 YES
 (3) OK

06-1423
 06-1425
 Shipping Stone lot #2 lot #6 lot #9
 406-F-52
 984-7622
 BREUSTER
 #15013

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1))	note - not large enough	Pg 2 + SR - BLC
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Hand noted on sheet # 2	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	not shown	Pg 2 - 012
Lally Column Type (Section R407)	3-2x10's - 5'-4"	
Girder & Header Spans (Table R 502.5(2))	Max span - OK	
Built-Up Wood Center Girder	" "	
Dimensions/Type	not shown	Pg 5A - OK
Sill/Band Joist Type & Dimensions		
First Floor Joist Species		
Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Second Floor Joist Species		
Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's - OK	
Attic or additional Floor Joist Species		
Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x8's - OK	

Lot # 60 06-1424

Shipping Stone lot #9

406-E-56

934-7622

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)	Submitted Plan	Findings
Component	Submitted Plan	Revisions
STRUCTURAL	Submitted Plan	Revisions
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Submitted Plan	Findings
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Submitted Plan	Revisions
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	Submitted Plan	Revisions
Anchor Bolts/Straps, spacing (Section R403.1.6)	Submitted Plan	Findings
Lally Column Type (Section R407)	Submitted Plan	Revisions
Girder & Header Spans (Table R 502.5(2))	Submitted Plan	Findings
Built-Up Wood Center Girder	Submitted Plan	Revisions
Dimension/Type	Submitted Plan	Findings
Sill/Band Joist Type & Dimensions	Submitted Plan	Findings
First Floor Joist Species	Submitted Plan	Findings
Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Submitted Plan	Findings
Second Floor Joist Species	Submitted Plan	Findings
Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Submitted Plan	Findings
Attic or additional Floor Joist Species	Submitted Plan	Findings
Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Submitted Plan	Findings
	Hand noted on sheet # 2	
	N/A	
	not shown	Hand noted page # 2
	3-2x10"s - 5'-4" Max span	- OK
	" "	
	not shown	see page 5A detail
	2x10's - OK	
	2x10's - OK	
	2x8's - OK	

06/14/24

<p>① Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)</p>	<p>Rafters - undersized beam under splice</p>	<p>+ is there a "point."</p>
<p>③ Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))</p>	<p>5/8" - Roof 1/2" - Floors? walls?</p>	<p>7/8" 3/4"</p>
<p>Fastener Schedule (Table R602.3(1) & (2)) Private Garage (Section R309) Living Space? - Yes (Above or beside)</p>		
<p>Fire separation (Section R309.2)</p>	<p>Hand noted on sheet 3 - 5/8" F.C. Tyrex - all surfaces w/ fire door</p>	
<p>Opening Protection (Section R309.1)</p>	<p>not shown</p>	
<p>Emergency Escape and Rescue Openings (Section R310)</p>	<p>Asphalt? - OK</p>	
<p>Roof Covering (Chapter 9)</p>	<p>Need in master bath - OK</p>	
<p>Safety Glazing (Section R308)</p>	<p>size? - 2'x6' access panel - OK</p>	
<p>Attic Access (Section R807)</p>	<p>w/A</p>	
<p>Chimney Clearances/Fire Blocking (Chap. 10)</p>	<p>not shown</p>	
<p>Header Schedule (Section 502.5(1) & (2))</p>	<p>not shown</p>	
<p>Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration</p>	<p>not shown</p>	

Ceiling - R-38
2-19 walls

~~Not shown~~

Not shown

<p>12 Type of Heating System</p> <p>Means of Egress (Sec R311 & R312)</p> <p>Basement /</p> <p>Number of Stairways /</p> <p>Interior /</p> <p>Exterior 0</p> <p>Treads and Risers - <i>Noted 7" Rise - 10" Tread</i> (Section R311.5.3)</p> <p>Width (Section R311.5.1) - <i>3'-0" + - OK</i></p> <p>Headroom (Section R311.5.2) - <i>Shows 8'-0" +</i></p> <p>Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)</p>	<p><i>Not shown</i></p>	<p><i>Not shown</i></p>
<p>13 Smoke Detectors (Section R313) Location and type/Interconnected</p> <p>Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)</p> <p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p>	<p><i>Hand noted on plan -</i></p>	<p><i>OK</i></p>
<p>Deck Construction (Section R502.2.1)</p>	<p><i>2/A</i></p>	

*Need guard
posts!*

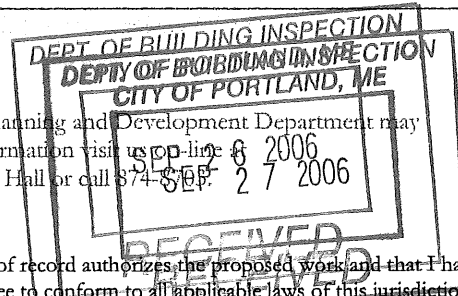
~~14~~ *Need LVL Beam specs from manufacturer*



General Building Permit Application

Location/Address of Construction: ^{#2A} STEPPING STONE LANE LOT 6		
Total Square Footage of Proposed Structure 2267		Square Footage of Lot 8948
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 406 F 56	Owner: KING CONSTRUCTION CORP	Telephone: 207 934-7622 X22
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: KING CONSTRUCTION CORP 198 SAGO AVENUE DIO ORCHARD BEACH, ME 04061	Cost Of Work: \$ 142,000 Fee: \$ 1815 C of O Fee: \$
Current Specific use: LOT		
If vacant, what was the previous use? UNDEVELOPED		
Proposed Specific use: RESIDENTIAL		
Project description: CONSTRUCT SINGLE FAMILY HOME w/ 2 CAR GARAGE, 4 BEDROOMS		
Contractor's name, address & telephone: SAME		
Who should we contact when the permit is ready: KING WEINSTEIN		
Mailing address: 198 SAGO AVENUE DIO ORCHARD BEACH, ME 04061		Phone: (207) 934-7622 X22

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line @ 2006, stop by the Building Inspections office, room 315 City Hall or call 374-5800 SEP 27 2006



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 9/27/06
KING WEINSTEIN

This is not a permit; you may not commence ANY work until the permit is issued.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2006-0189
Application I. D. Number
9/27/2006
Application Date

King Construction Corp
Applicant

Marge Schmuckal

198 Saco Ave , Portland, ME
Applicant's Mailing Address

Stepping Stone Lane Lot#6
Project Name/Description

King Weinstein
Consultant/Agent

Stepping Stone Ln , Portland, Maine
Address of Proposed Site

Applicant Ph: (207) 934-7622 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

406 F056001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 9/27/2006

Zoning Approval Status:

Reviewer _____

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

All windows will be low e argon with r-value of 4.0 glass and u-value of .25

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND PERMITS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO FRANK BETZ ASSOCIATES, INC. FOR INVESTIGATION AND CORRECTION BEFORE PROCEEDING. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALLED LOCAL, CORNER AND MOUNTED ON UNDISTURBED SOIL. CAPABLE OF HANDLING THE BUILDING LOADS.
4. ALL FOOTINGS TO BE BELOW FROST LINE UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR SHALL VERIFY PROPER FOOTING AND REINFORCING SIZES AND REQUIREMENTS.
6. ALL WALLS SHALL EXTEND 4" AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING. DUE TO A WIDE VARIANCE IN LOCAL CODES, SEVERAL DIFFERENT LOCAL ENGINEERS FOR FOUNDATION, STRUCTURE, MECHANICAL, ELECTRICAL, AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND OBTAINING ALL NECESSARY DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN INTO THE LEVEL BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.

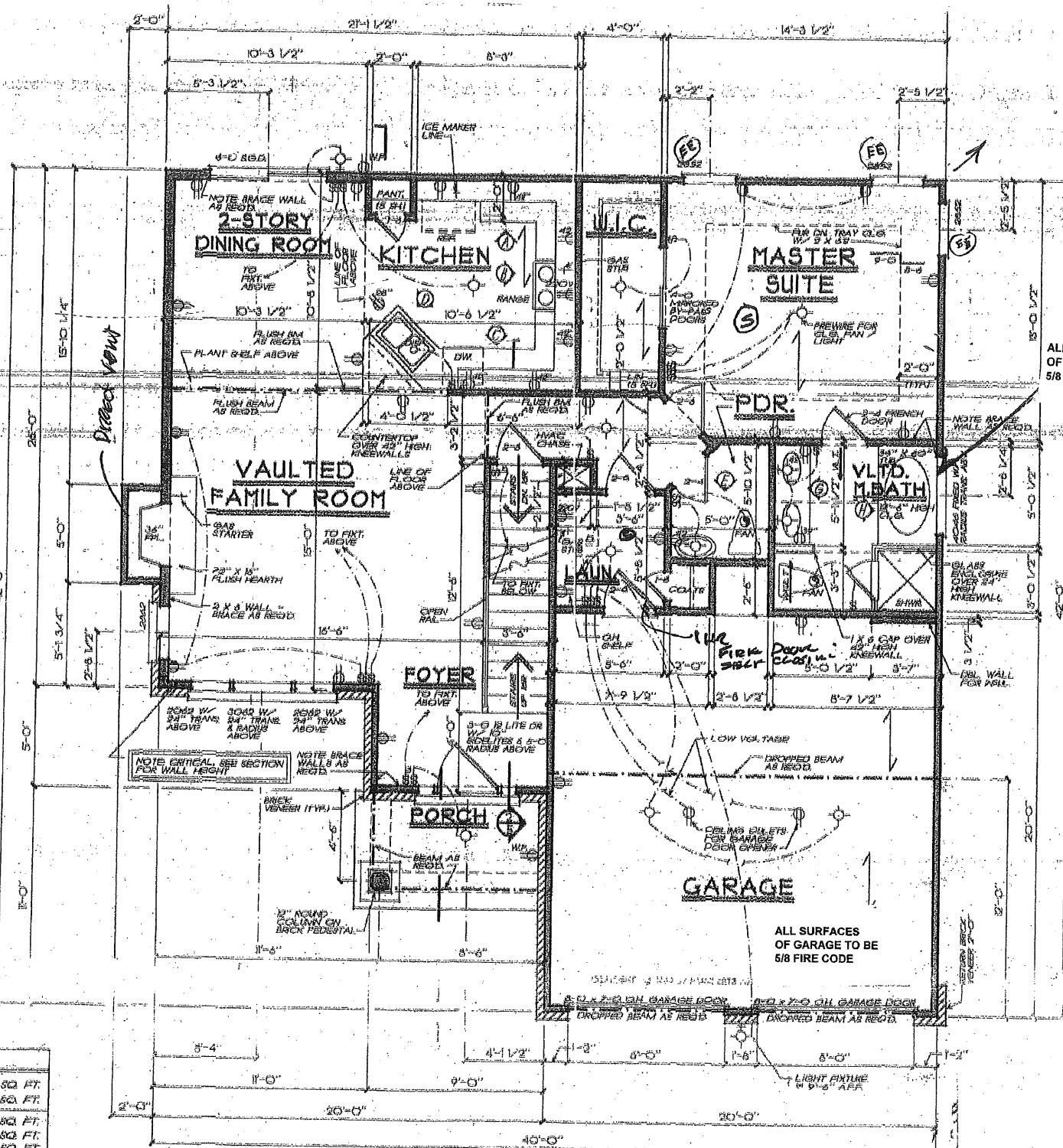
10. *NOON BOLTS 4" O.C.*

GENERAL FRAMING NOTES

1. THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND CONSULT WITH ALL YOUR LOCAL CODES WITH LEGAL COUNSEL FOR ALL STRUCTURAL REQUIREMENTS.
1. PRIME PILING AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE 2x6 OR OTHER SIZES BELOW ALL HEADERS SHALL BE 2x6 WITH 1/2" PLYWOOD FLUSH TO THE INSIDE OF OTHERS (NOTED).
3. RAFTERS TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
4. PROVIDE 1/4" CROSS BRACING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
5. ALL BRICK CORNERS INSIDE AND OUTSIDE CORNERS SHALL BE BRICKED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 6" ON CENTER AT 4" O.C. AT ALL EDGES AND IN CORNERS AT 12" O.C. CORNER BRACES BOTH DIRECTIONS AT ALL CORNER MARCHES.
6. ALL INTERIOR STUDS, OPTION - APPROVED MARCHES, SHALL BE 2x4 OR 2x6 ON CENTER AT 16" O.C. AT ALL EDGES AND IN CORNERS AT 12" O.C. CORNER BRACES BOTH DIRECTIONS AT ALL CORNER MARCHES.
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THROUGH ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY THE LOAD.
8. PROVIDE DOUBLE 2x4 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 12'-0".
9. PROVIDE COLLAR TIES AT 1/3 OF VERTICAL DISTANCE BETWEEN TRUSS VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE 2x4 SIZE LARGER THAN RAFTERS.
10. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
11. WHEN PRE-ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, THE MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH MUST BE REVIEWED BY AN ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
12. ALL CEILING JOISTS AND RAFTERS BRACING TO BE PERFORMED SHALL BE DESIGNED TO CARRY LOAD THROUGH ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY THE LOAD.
13. ALL BASEMENT WALLS, BEAMS AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
14. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUD UNLESS OTHERWISE NOTED.

BRICK TO BE 7/10
SMOKE DETECTOR TO BE INSTALLED PER CODE W/ENDE BRACK AND BRK MOUNT (UNSCHEMATIC)

SQUARE FOOTAGE	
FIRST FLOOR	1001 SQ. FT.
SECOND FLOOR	428 SQ. FT.
TOTAL	1427 SQ. FT.
OPT. LOFT/BORNA 4	171 SQ. FT.
OPT. BONIS BVA	292 SQ. FT.
TOTAL	1890 SQ. FT.



FIRST FLOOR PLAN

1/4" = 1'-0"
 FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

- EE = EMERGENCY ESCAPE
- S = SMOKE DETECTOR

DATE	REV.	DATE

HOMEPLANS

FIRST FLOOR PLAN
 THE BREWSTER

FBA
 FRANK BETZ ASSOCIATES, INC.
 240 W. WASHINGTON ST.
 SUITE 200
 PORTLAND, ME 04101-3000
 TEL: 603-833-0888
 WWW.FRANKBETZ.COM

DESIGNER

DATE

SHEET

3

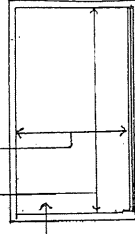
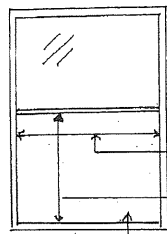
CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JAN 11 2007
 SUPERSEDES ALL
 PRIOR DATED PLANS

Egress Windows

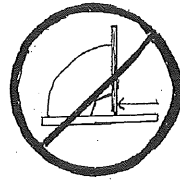
At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met.

Double hung windows

Casement Windows

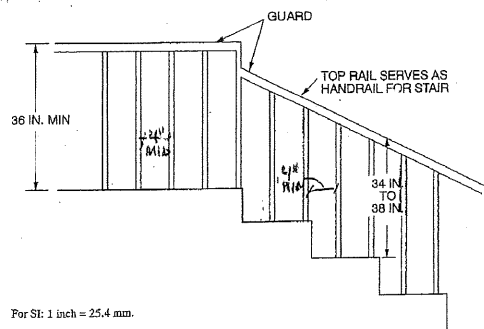
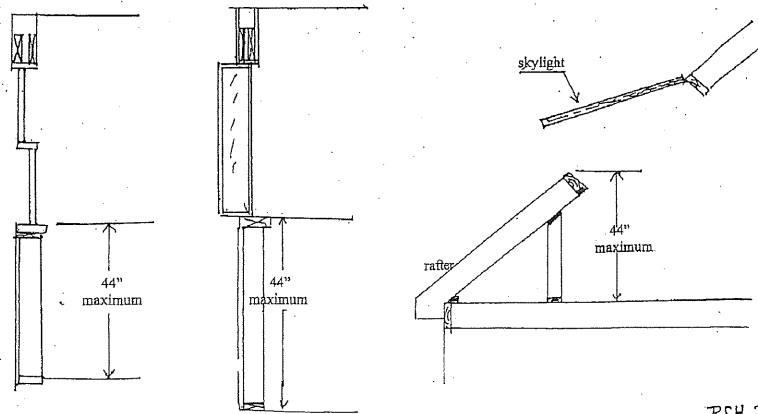


- 1 minimum width
- 2 minimum height
- 3 Total net clear opening must be a minimum of:
5.7 square feet or 821 square inches



Caution... A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition 3)

- 4 Lowest point of the opening must not be more than 44 inches above the floor

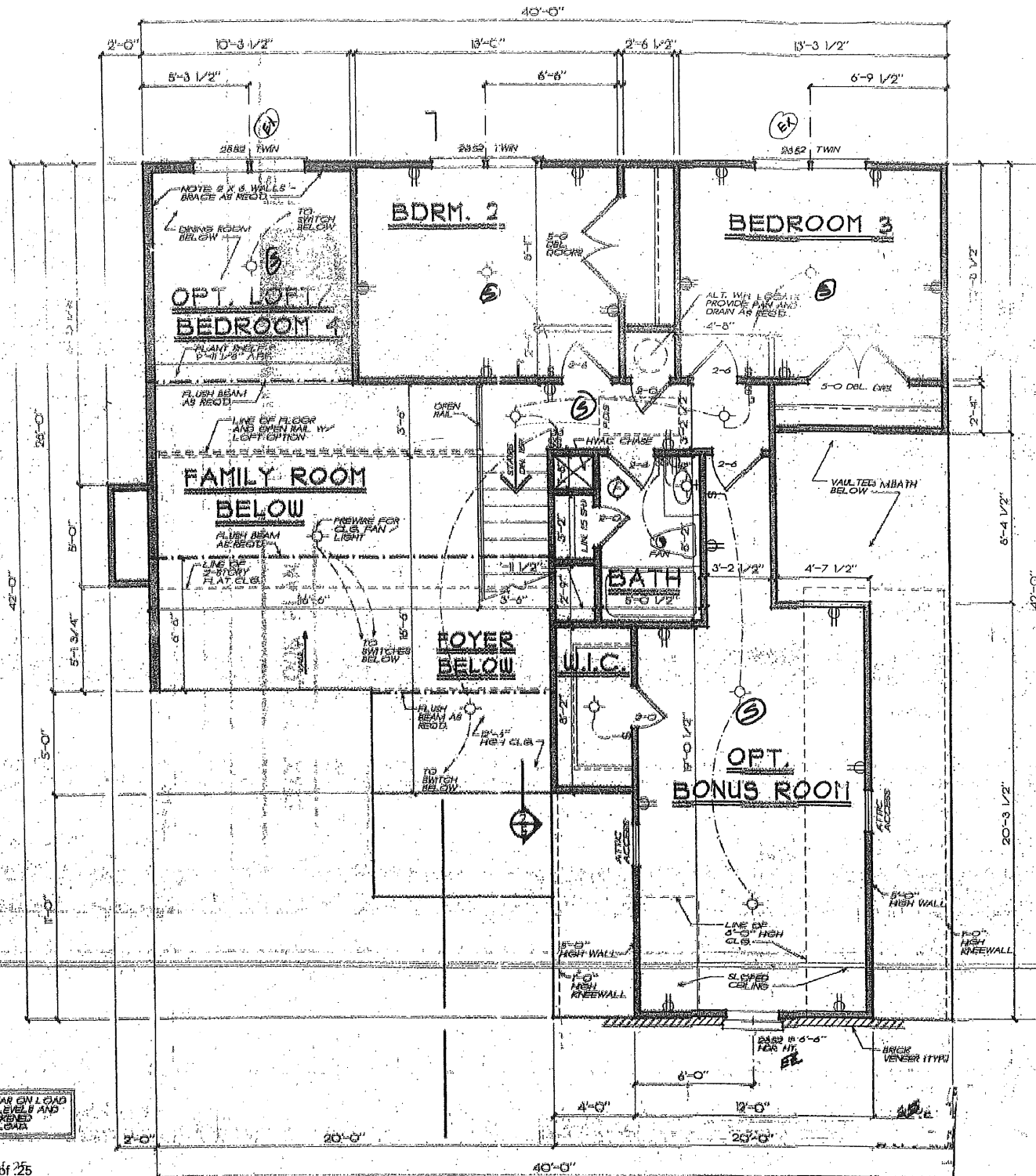


For SI: 1 inch = 25.4 mm

Figure R312.1(3)
STAIRWAY GUARD

NOTE: ALL CEILING JOISTS AND RAFTER BRACINGS TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD

All windows will be low egress with r-Value of 4.0 glass and u-value of .25



SECOND FLOOR PLAN

EE = EMERGENCY ESCAPE
S = SMOKE DETECTOR

DATE	DESCRIPTION

HOMEPLANS
DESIGNED FOR TODAY'S MARKET

SECOND FLOOR PLAN
THE BREWSTER

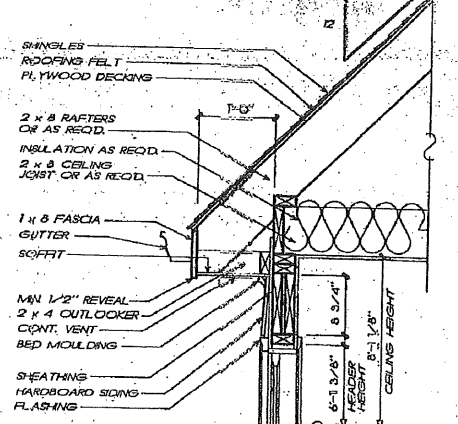
FBA
FRANK BETZ ASSOCIATES, INC.
240 S. AVENUE, SUITE 250
SAVANNAH, GEORGIA 31406
770/437-0888
www.frankbetz.com

DCCO & CAS

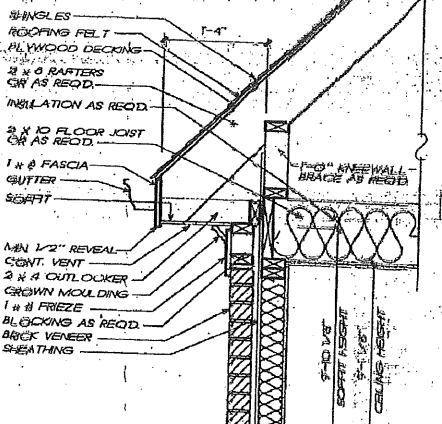
DATE 5/26/08

SHEET
4

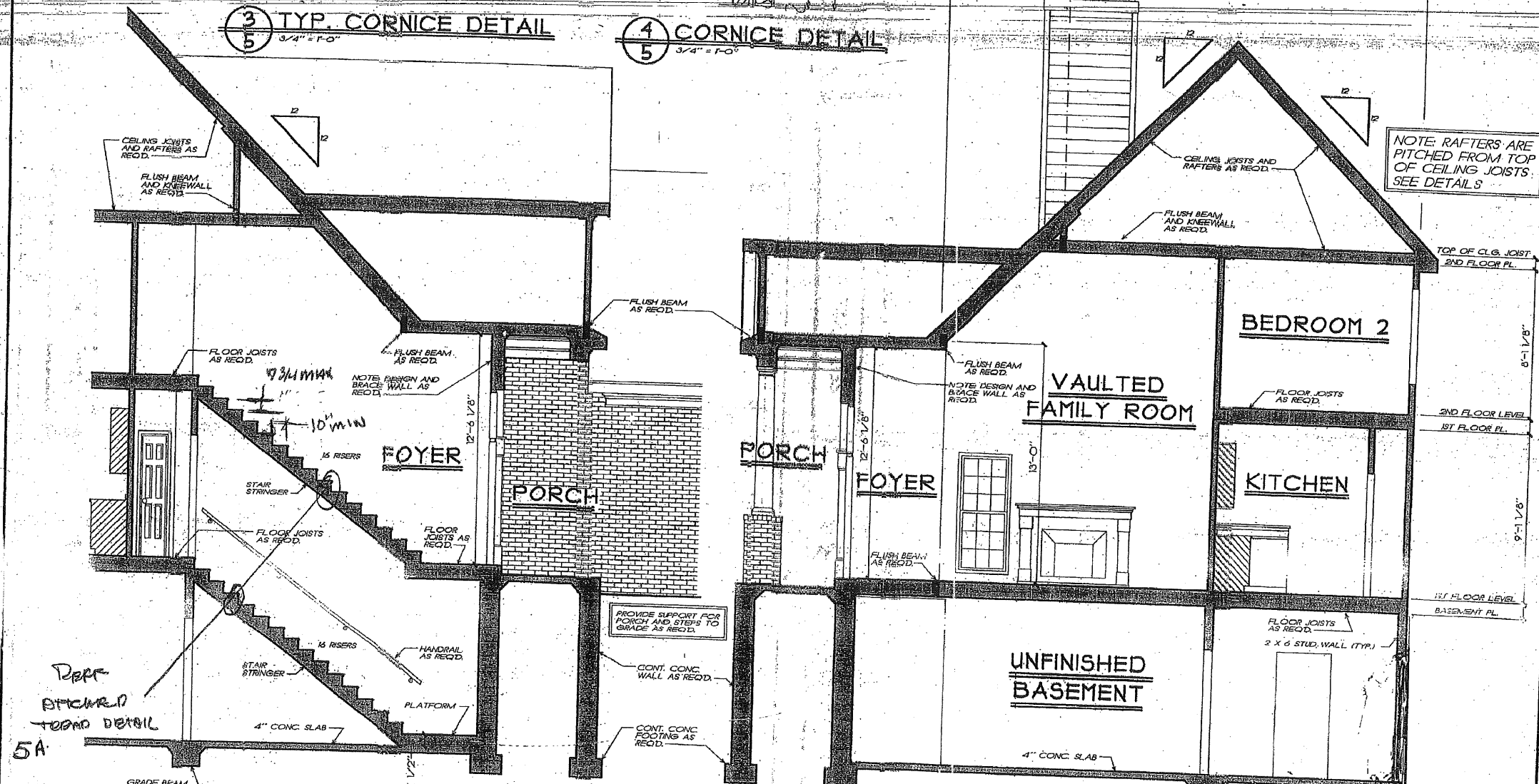
CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JAN 11 2007
SUPERSEDES ALL
PRIOR DATED PLANS



3 TYP. CORNICE DETAIL
3/4" = 1'-0"



4 CORNICE DETAIL
3/4" = 1'-0"



2 STAIR SECTION
1/4" = 1'-0"

1 TRANSVERSE SECTION
1/4" = 1'-0"

NOTE: SECTIONS REFLECT A BASEMENT FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN!

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

DATE	REV	DATE	REV

HOMIPLANS

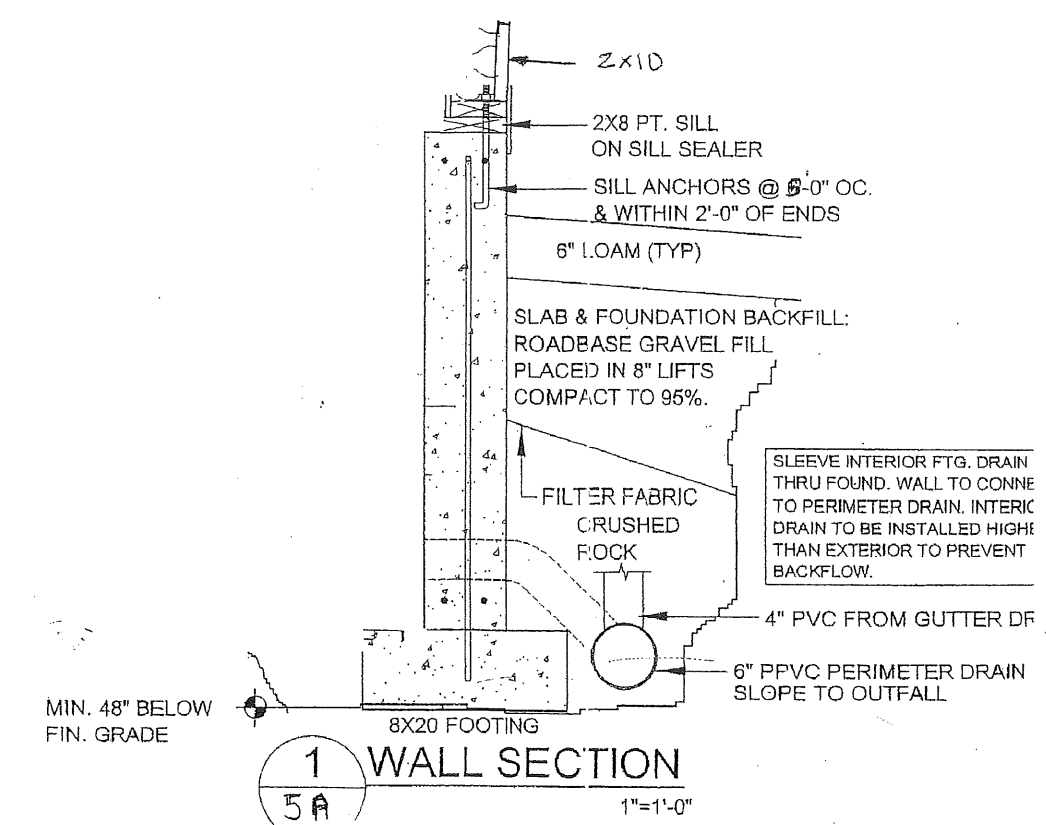
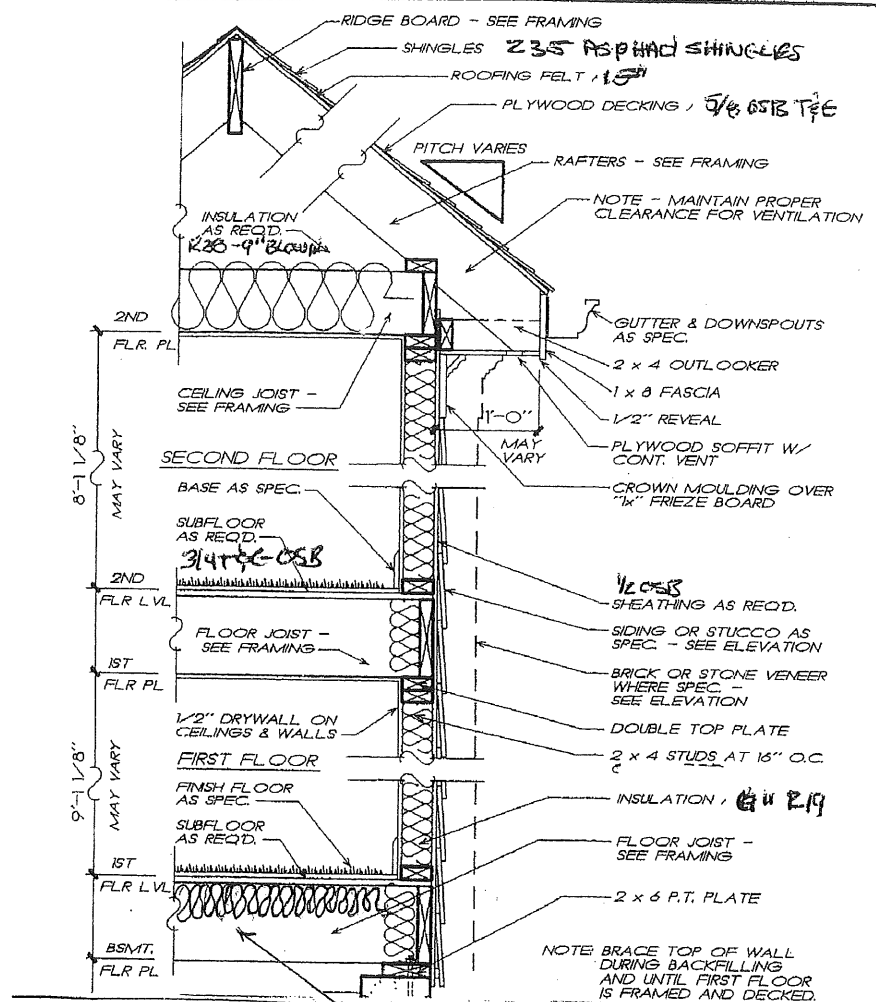
SECTIONS / DETAILS

FBA
FRANK BETZ ASSOCIATES, INC.
2401 LAKE PARK DRIVE/SUITE 250
SUYDANA, GEORGIA 30076

DATE: 5/26/98

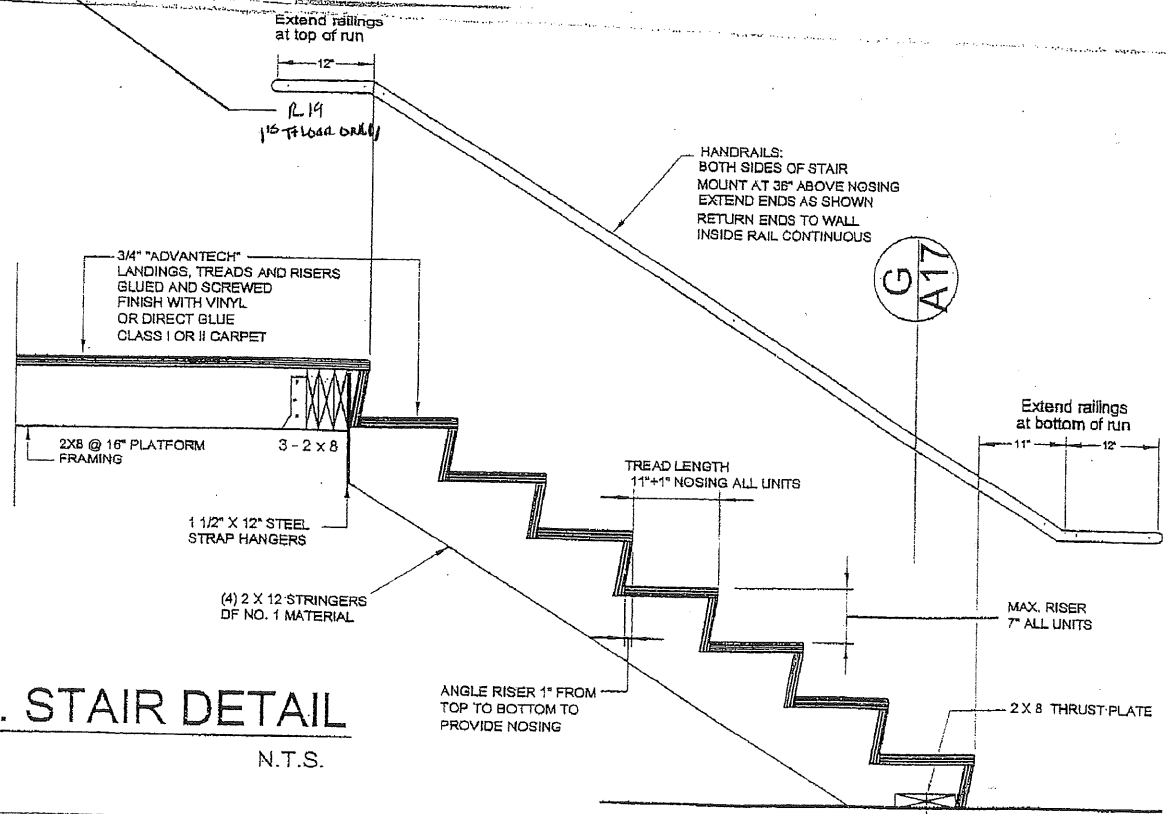
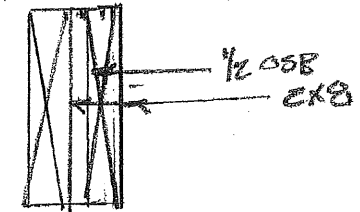
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CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JAN 11 2007
SUPERSEDES ALL
PRIOR DATED PLANS



CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JAN 11 2007
 SUPERSEDES ALL PRIOR DATED PLANS

HEADERS TO BE 2x8 BEARING 1 1/2" MIN AT EACH END



D TYP. STAIR DETAIL
 A17 N.T.S.

DATE	BY	REVISION

HOMEPLANS

ELEVATIONS / ROOF PLAN
 THE BREWSTER

LBA
 L.B. ASSOCIATES, INC.
 1000 1/2 ST. JOSEPH ST. SUITE 200
 PORTLAND, ME 04108
 TEL: 603-866-0088 FAX: 603-866-0089
 www.lba.com

100

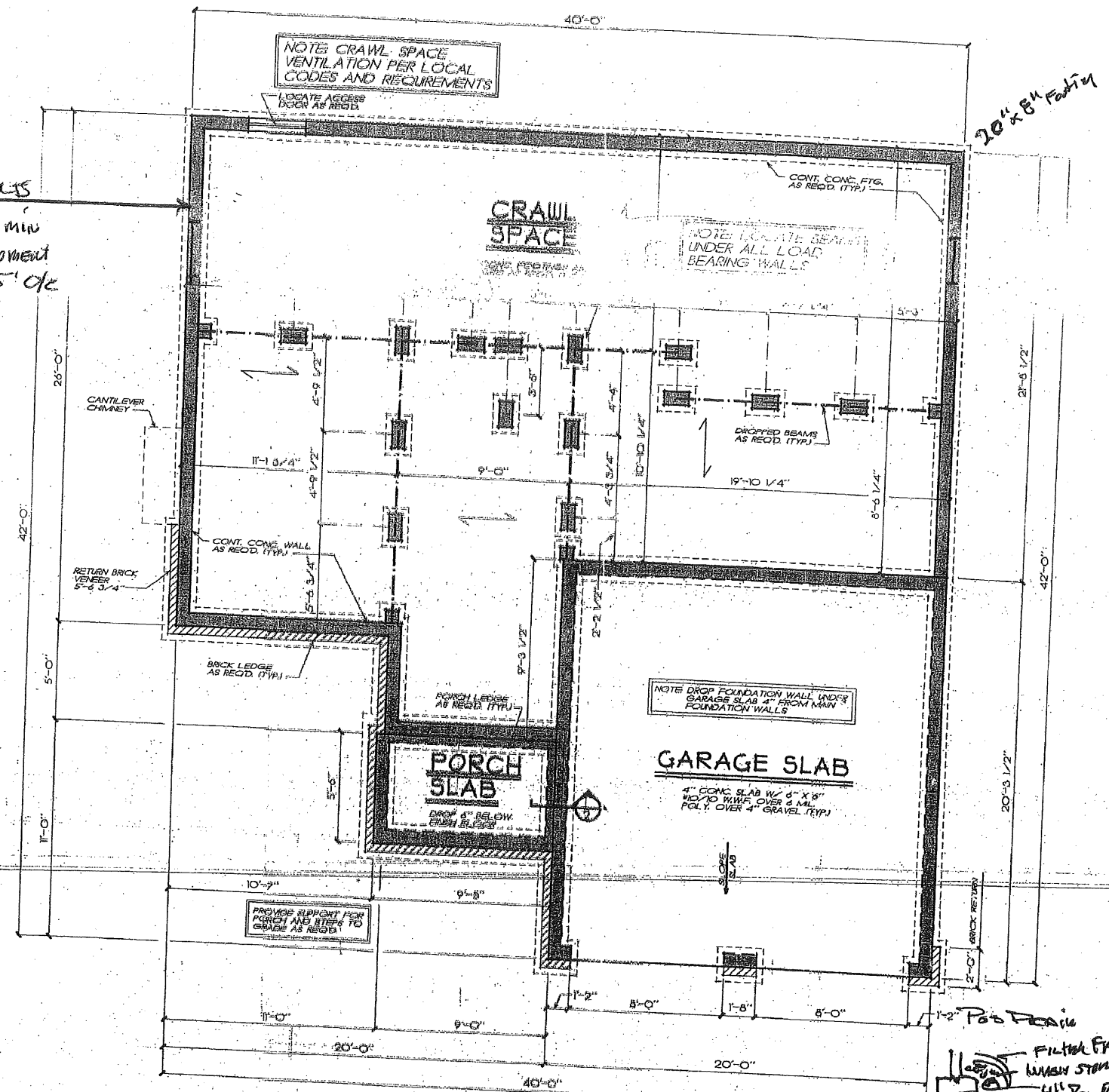
100

100

15A

351-7544

Anchor bolts
 1/2" dia min
 8" in embedment
 spaced @ 5' c/c



DATE	REV	DATE	REV

HOMEPANS
 CONSTRUCTION PLANS

CRAWL FOUND. PLAN
 THE BREWSTER

FBA
 FRANK BETZ ASSOCIATES, INC.
 240 JANE PARK DRIVE SUITE 250
 SAUNDERSVILLE, VT 05688
 770/331-0388
 www.frankbetz.com

5 000 0 CAS
 10 000 00
 SHEET
2

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JAN 11 2007
 SUPERSEDES ALL
 PRIOR DATED PLANS

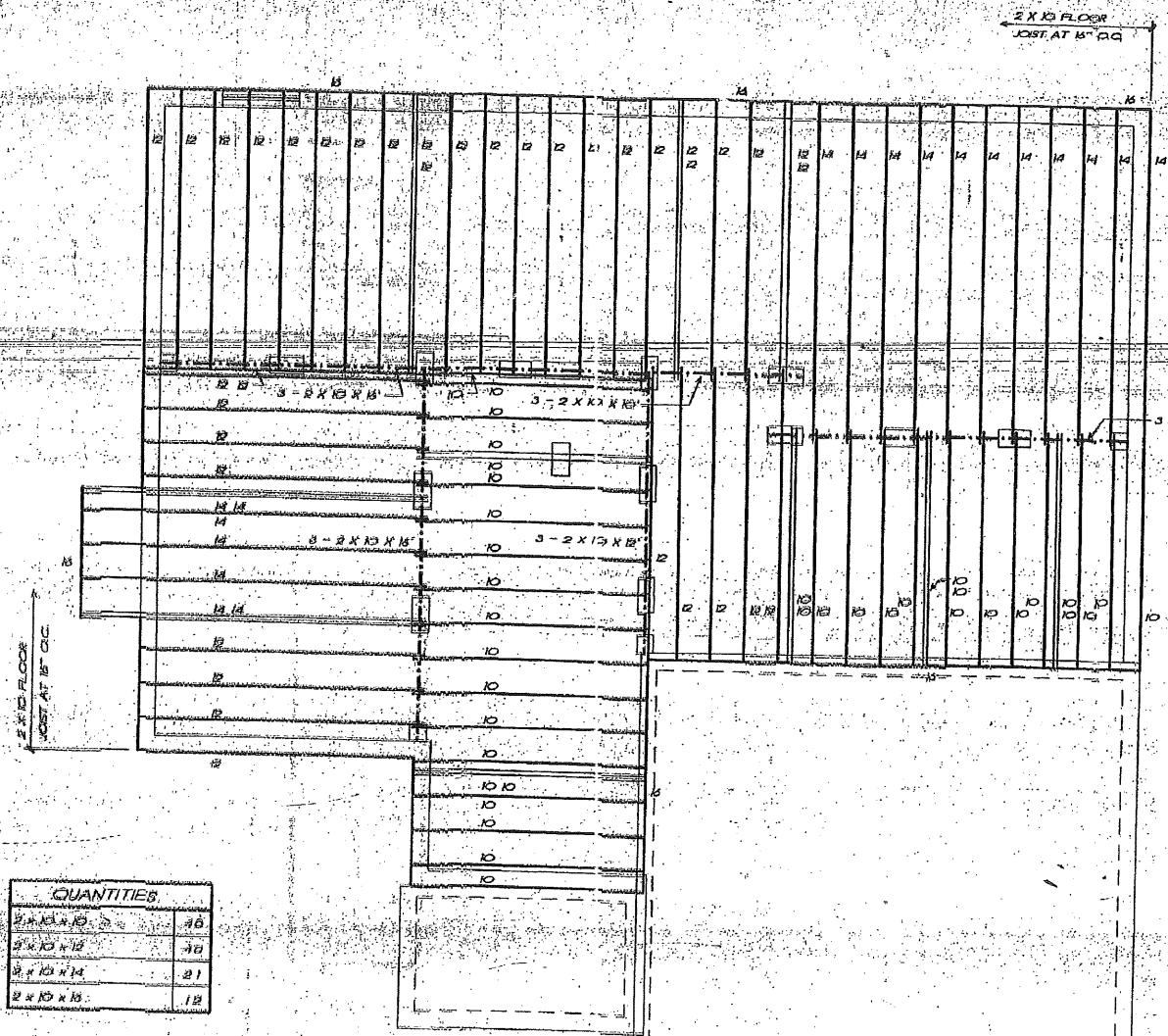
CRAWL FOUNDATION PLAN

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

NOTE: FOUNDATION TO BE DUMPED PERFORMED BY LOCALITY TO BE 4" CONCRETE FILLER
 FILTER FABRIC UNDER WASH STONE 4" PER PIR

FRAMING PLAN NOTES

1. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES IN ATLANTA, GEORGIA. THEY CONFORM TO THE 1997 INTERNATIONAL BUILDING CODE AND 1995 CAROLINA AND TYPICAL DOWLING CODES. LOCAL CODES AND GEOLOGICAL CONDITIONS MAY BE REQUIRED TO THESE PLANS.
2. ALL WORK SHOULD BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES. RESIDENTS AND BUILDERS ARE ADVISED THAT THE BUILDER SHOULD VERIFY ALL CONDITIONS BEFORE BEGINNING CONSTRUCTION. CONSULT WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.
3. DESIGN LOADS:
 FLOOR: 10 LBS LIVE LOAD
 10 LBS DEAD LOAD
 BEDROOM: 30 LBS LIVE LOAD
 10 LBS DEAD LOAD
 CEILING: 10 LBS DEAD LOAD
 ROOF: 10 LBS LIVE LOAD
 10 LBS DEAD LOAD
4. THE FOLLOWING GUIDELINES ARE PROVIDED TO EXPLAIN HOW THE QUANTITIES LISTED ON THESE FRAMING PLANS AND MATERIAL LIST WERE DETERMINED. FAILURE TO CONFORM WITH THESE GUIDELINES WILL RESULT IN A FRAMING PLAN AND MATERIAL LIST THAT DO NOT MATCH.
5. ALL PIECES ARE LABELED AS TO THEIR ROUGH CUT LENGTH. MATERIAL IS TAKEN OFF AS INDICATED ON FRAMING PLANS.
6. ANY LABELED PIECE LESS THAN 10" IN LENGTH IS COUNTED AS BEING CUT FROM A 10' PIECE.
7. ALL BEAMS ARE 2X10 #2 SYP. 2X12 #2 SYP LAMINATED VENEER LUMBER (LVL) OR GLU-LAMINATED BEAMS (GLB) AS INDICATED ON PLANS.
8. GLU-LAMINATED BEAMS SHOULD HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 1100 PSI.
9. LAMINATED VENEER LUMBER BEAMS SHOULD HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2100 PSI.
10. ALL CEILING JOISTS ARE 2X10 #2 SYP AT 16" O.C. EXCEPT AS NOTED ON PLAN.
11. ALL BAND MATERIAL IS 2X10 #2 SYP.
12. ALL CROSS-BRACING SHOULD BE USED AT MID POINT OF SPAN OR 8'-0" O.C. WHICHEVER IS ALL FLOORING.
13. ALL CEILING JOISTS ARE 2X10 #2 SYP AT 16" O.C. EXCEPT AS NOTED ON PLAN. ALL TRAY CEILING JOISTS ARE RAFTERS TO KNEEWALL IN LENGTH. SEE TRAY DETAIL, SHOWN ON PLANS.
14. ALL RAFTERS ARE 2X8 #3 SYP AT 16" O.C. EXCEPT AS NOTED ON PLANS.
15. ALL HIP, VALLEY AND RIDGE RAFTERS ARE 2X10 #3 SYP EXCEPT AS NOTED ON PLANS.
16. ALL RAFTERS SHOULD BE BRACED AS CLOSE TO MID-SPAN AS POSSIBLE WITH NO SPAN EXCEEDING 12'-0".
17. ALL RAFTERS OVER A VAULTED ROOF ARE 2 X 10'S #3 SYP AT 16" O.C. EXCEPT AS NOTED ON PLANS.
18. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD FROM ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED MAID GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
19. THE 2 - JOIST ARE SPECIFIED USING THE APA STANDARD, PR - 400, PERFORMANCE STANDARD FOR APA DES - 2 JOIST. FOLLOW MANUFACTURERS GUIDELINES FOR THE PROPER INSTALLATION OF JOIST, HANGERS, SQUASH BLOCKS AND BRACING.
20. ALL RIP BOARD TO BE APA R18 BOARD. VERTICAL LOAD TRANSFER TO 1100 P.S.I. MAX. AMOUNT REQUIRED IS LISTED AS TOTAL LINEAR FOOTAGE.



QUANTITIES	
2 X 10 @ 16"	16
2 X 10 @ 12"	12
2 X 10 @ 14"	21
2 X 10 @ 18"	12

LEGEND	
	2x JOIST, RAFTER, HIP, OR VALLEY
	DOUBLE JOIST
	JOIST
	BEAM
	INTERIOR LOAD BEARING WALL

FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

NO.	DATE	BY	REVISION

HOMEPANS
CONSULTING ENGINEERS

CRAW CRAM
1ST. FLOOR FRAMING PLAN
THE BREWSTER

FBA
FRANK BETZ ASSOCIATES, INC.
8401 LAKE PARK DRIVE, SUITE 100
BATAVIA, GEORGIA 30606
770/431-0888
www.frank-betz.com

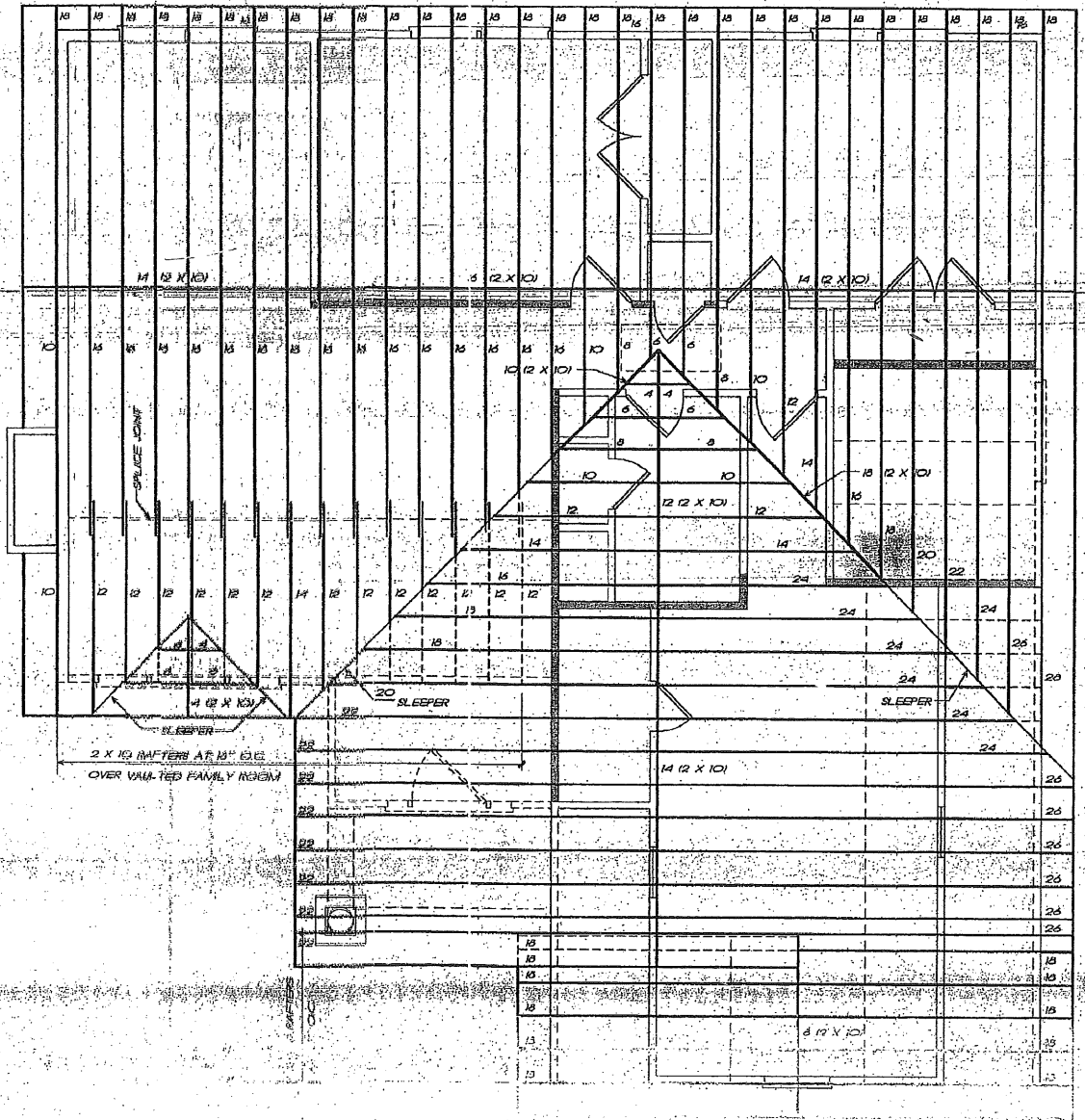
1/4" = 1'-0"
1/8" = 1'-0"
1/16" = 1'-0"
F
SHEET

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JAN 11 2007
SUPERSEDES ALL
PRIOR DATED PLANS

NOTE: ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THROUGH ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY TRUCKED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.

2 X 6 RAFTERS AT 14" O.C.

QUANTITIES	
2 X 4 X 10	05
2 X 4 X 12	08
2 X 4 X 14	08
2 X 4 X 16	08
2 X 4 X 18	14
2 X 6 X 10	02
2 X 6 X 12	09
2 X 6 X 14	07
2 X 6 X 16	07
2 X 6 X 18	01
2 X 10 X 10	02
2 X 10 X 12	14
2 X 10 X 14	04
2 X 10 X 16	00
2 X 10 X 18	01



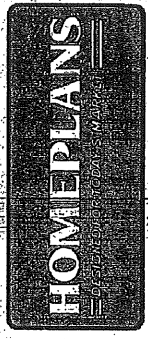
LEGEND	
	2" JOIST, RAFTER, 14" OR WALLEY
	DOUBLE JOIST
	1" JOIST
	BEAM
	INTERIOR LOAD BEARING WALL

ROOF FRAMING PLAN

1/4" = 1'-0"

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

DATE	REV	DATE	REV



ROOF FRAMING PLAN
THE BREWSTER

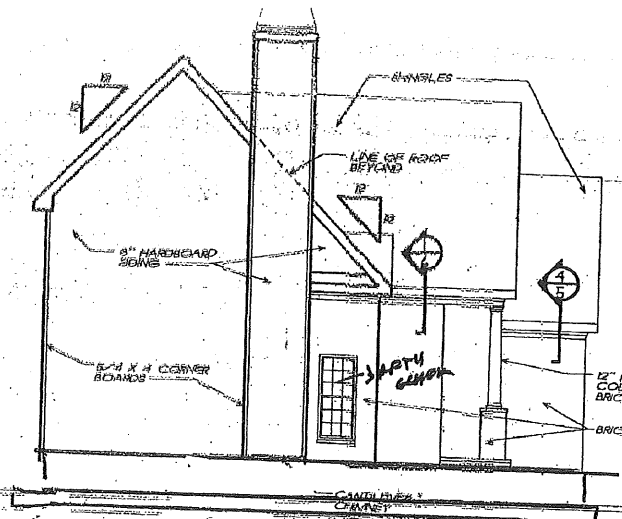
FBA
FRANK BETZ ASSOCIATES, INC.
2401 LAKE PARK DRIVE/SUITE 250
SITKON, GEORGIA 30080
770-433-0000
A Div. of The Beckwith Group

BY JCH DCF

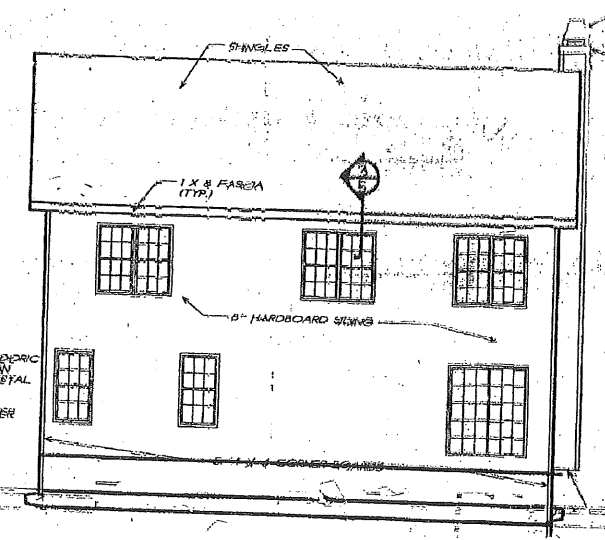
DATE 10-8-07

SHEET
F4

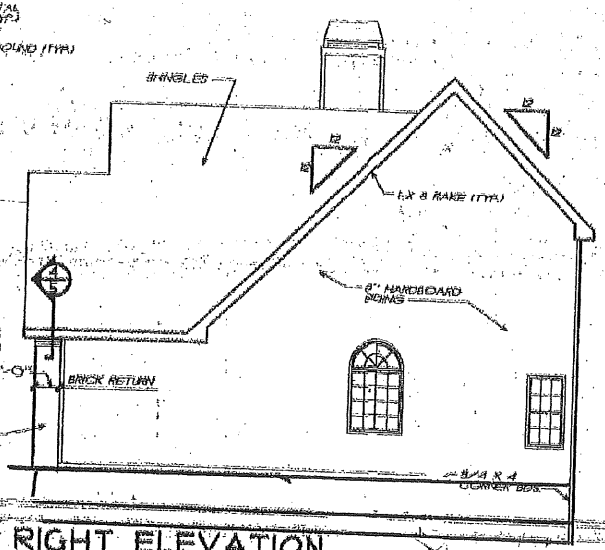
CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JAN 11 2007
SUPERSEDES ALL
PRIOR DATED PLANS



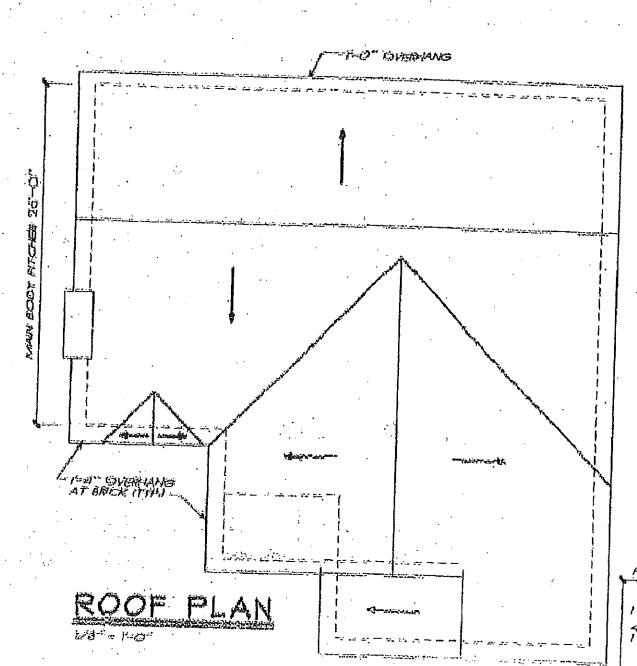
LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"



ROOF PLAN
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

NOTE: ELEVATIONS REFLECT A BASEMENT FOUNDATION IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

NOTE: RAFTERS ARE RITCHED FROM TOP OF CEILING JOISTS SEE DETAILS

PROVIDE SCHEDULE FOR POORLY AND SIZES TO GRADE AS REQ'D.

HEAT FHW - GAS

HEAT = FHW, GAS

NO.	DATE	BY

HOMEPANS

ELEVATIONS / ROOF PLAN
THE BREWSTER

FBA
FRANK BETZ ASSOCIATES, INC.
1000 LAKE PLAZA DRIVE, SUITE 200
PORTLAND, ME 04106
Tel: 603-883-0966
Fax: 603-883-0967
www.fba.com

8 1/2\"/>

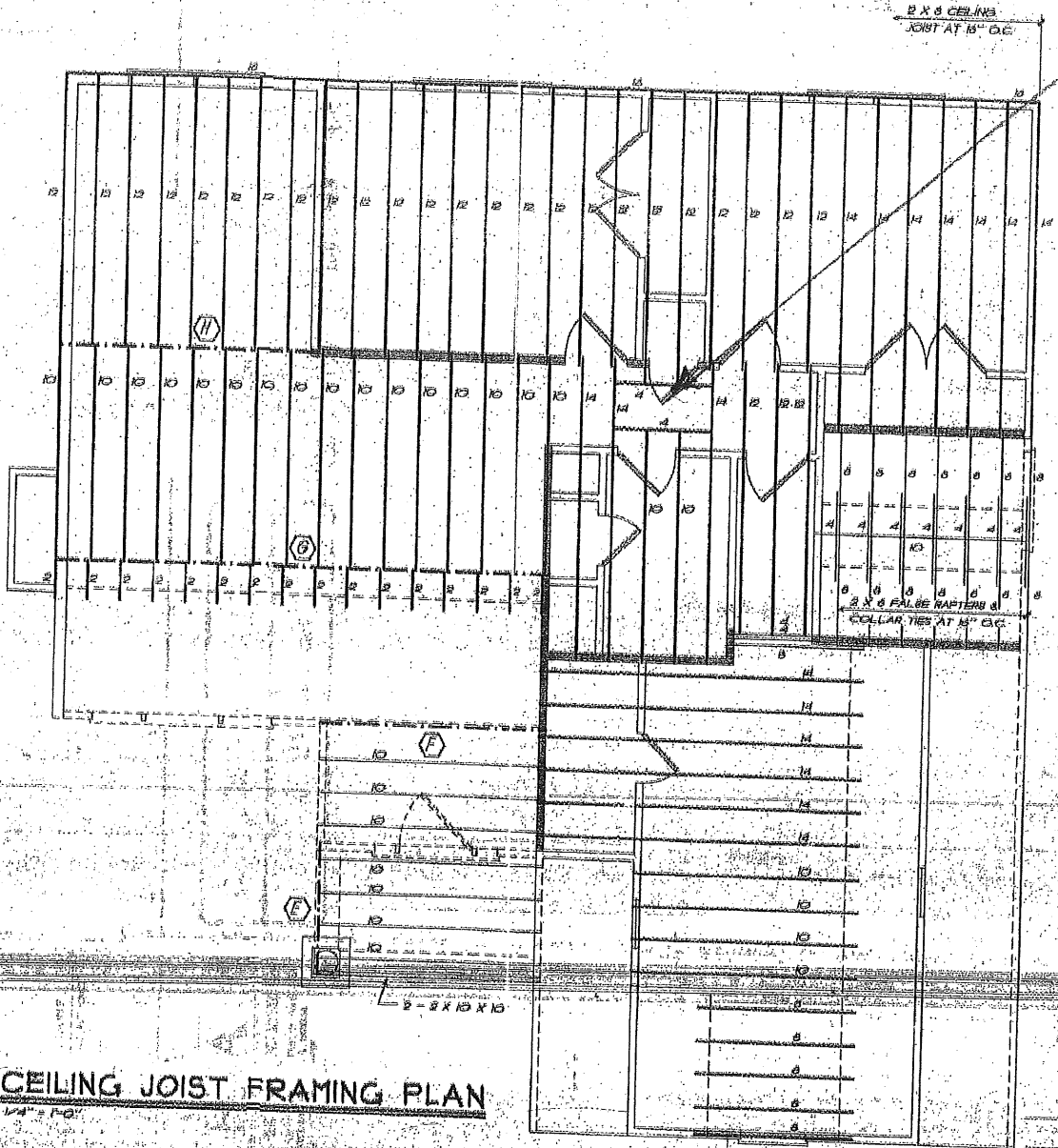
8 1/2\"/>

8 1/2\"/>

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JAN 11 2007
SUPERSEDES ALL
PRIOR DATED PLANS

LOT #9

NOTE ALL CEILING JOISTS AND RAFTER BRACINGS TO BE IN ON LOAD BEAMS SHALL BE DESIGNED TO CARRY LOAD FROM ALL LEVELS AND TERMINATE AT CONNECTION AND BE SUPPORTED BY THE BEAM OR SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.



QUANTITIES	
2 x 6 x 16	08
2 x 6 x 12	32
2 x 6 x 12	107
2 x 6 x 12	106
2 x 8 x 16	09
2 x 10 x 12	02
2 x 10 x 16	01
2 x 12 x 16	03

CEILING JOIST FRAMING PLAN

LEGEND	
	2x JOIST, RAFTER, HIP, OR VALLEY
	DOUBLE JOIST
	1 JOIST
	BEAM
	EXTERIOR LOAD BEARING WALL

BEAM SCHEDULE	
(E)	2 - 2 X 10 X 16 - FLUSH
(F)	2 - 2 X 10 X 12 - FLUSH
(G)	2 - 2 X 10 X 12 X 2 - L.V. - FLUSH
(H)	3 - 2 X 12 X 16 - FLUSH

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE

DATE	BY	DATE	BY



CLG JOIST FRAMING PLAN
THE BREWSTER

FBA
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CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JAN 11 2007
SUPERSEDES ALL
PRIOR DATED PLANS

TWEENS AM DATES 0-02 FILEX BOOKS BREWSTER 2/24/06 65