

19 Stepping Stone

City of Portland, Maine
Inspections Division
Inspection Schedule

Appointment Date Between 8/17/2006 And 12/31/2009

Dist. #	Sch. Date:	ParcelNo:	Appl. Type	Schedule Type	Appl #:	Location
Fire Insp. Contact:			Inspector	Comments		
4	08/17/2006	406 F054001	Building Permit	Inspection	06-1072	19 STEPPING STONE LN
HANCOCK			Mike Nugent Tammy Munson	on site evaluation		
4	09/19/2006	406 F054001	Electrical Permit	Electrical Service	2006-4798	19 STEPPING STONE LN
HANCOCK			Tammy Munson	210-1191 Joe - Cmp cuts at 9:30		
4	09/22/2006	406 F054001	Building Permit	Close-in/Elec./Plmb./Framing	06-1072	19 STEPPING STONE LN
HANCOCK			Tammy Munson	Follow up from prior inspection - code corrections - stairs rebuilt and still incorrect - told owner to rebuild again		
4	10/20/2006	406 F054001	Building Permit	Close-in/Elec./Plmb./Framing	06-1072	19 STEPPING STONE LN
HANCOCK			Tammy Munson	follow up on building corrections - stairs corrected, steel beam posted to foundation wall, still need to add lally column in basement		
4	04/06/2007	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1072	19 STEPPING STONE LN
HANCOCK			Tammy Munson	Call Erin @ 775-9155 req am inspection - final inspection - penetrations in garage need to be filled, need stairs from house to garage, waterhammer in first floor bath needs to be corrected, hammer arresters need to be added to 1st floor laundry, all plumbing traps under sinks need to be changed to code compliant traps, junction box under kitchen sink needs to be corrected, junction box for microwave needs to be covered, basement stairs have open risers, basement handrail needs to be returned to wall, lower run on bsmnt stairs need treads fixed and needs 34" guardrail, supply pipes under kitchen sink need hangers, tile work incomplete, rear stairs not complete, carpet not finished, smokes covered and hanging in some rooms, house numbers not installed, various trim work incomplete, owner installed plumbing fixtures and traps - told him he is not licensed and cannot install fixtures and asked to have his plumber return and correct issues. Need to verify a licensed electrician installed all lighting fixtures/switches, etc. Because owner is not allowed to install fixtures/devices. - went over w/owner - house ont ready for C of O		
4	04/10/2007	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1072	19 STEPPING STONE LN
HANCOCK			Tammy Munson Chris Hanson	follow up on c of o - stairs from house to garage incorrect, hammer arresters need to be added to 1st floor laundry, all plumbing traps under sinks need to be changed to code compliant traps, junction box under kitchen sink needs to be corrected, junction box for microwave needs to be covered, guard on basement stairs incorrect, supply pipes under kitchen sink need hangers, rear stairs incorrect, one smoke hanging, various trim work incomplete, owner installed plumbing fixtures and traps - told him he is not licensed and cannot install fixtures and asked to have his plumber return and correct issues. Need to verify a licensed electrician installed all lighting fixtures/switches, etc. Because owner is not allowed to install fixtures/devices - house not ready for C O - went over w/owner.		
4	04/18/2007	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1072	19 STEPPING STONE LN
HANCOCK			Tammy Munson Chris Hanson	Req am inspection Call Erin 775-9155 Re-inspect		
4	04/19/2007	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1072	19 STEPPING STONE LN
DANCAUSE PAUL &			Tammy Munson	re - check yard for debris for C of O		

City of Portland, Maine
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Fire Insp. Contact:			Inspector	Comments		
4	04/19/2007	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1237	19 STEPPING STONE LN
DANCAUSE PAUL &			Tammy Munson Chris Hanson	follow up on C of O. - need graspable handrail on ext rear stairs, need hangers for pipe under sink to stop movement, need 2nd floor bath floor finished (will be part of temp C O), need 2nd floor bedroom door to latch, need to clean debris in yard.		
4	09/02/2009	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1237	19 STEPPING STONE LN
DANCAUSE PAUL &			Tammy Munson	Lee @ 409-3055 - Met with new owner on site - went over all outstanding items that needed to addressed /tmm		
4	09/09/2009	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1237	19 STEPPING STONE LN
DANCAUSE PAUL &			Tammy Munson	Lee Phu @ 409-3055 for a final inspection, the last final was 2 years ago and the house has been empty??? /gg - met w/owner on site reviewed outstanding items noted in file. /tmm		
4	09/24/2009	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1237	19 STEPPING STONE LN
DANCAUSE PAUL &			Tammy Munson	Lee - 409-3055 - all items noted in outstanding notes are complete - ok to occupy /tmm		

Total Listed: 12

of Stepping

**City of Portland, Maine
Inspections Division
Inspection Schedule**

Appointment Date Between 1/1/2006 And 1/1/2008

Dist. #	Sch. Date:	ParcelNo:	Appl. Type	Schedule Type	Appl #:	Location
Fire Insp.	Contact:		Inspector	Comments		
4	08/17/2006	406 F054001	Building Permit Mike Nugent Tammy Munson	Inspection on site evaluation	06-1072	19 STEPPING STONE LN
4	09/19/2006	406 F054001	Electrical Permit Reside Tammy Munson	Electrical Service 210-1191 Joe - Cmp cuts at 9:30	2006-4798	19 STEPPING STONE LN
4	09/22/2006	406 F054001	Building Permit Tammy Munson	Close-in/Elec./Plmb./Framing Follow up from prior inspection - code corrections - stairs rebuilt and still incorrect - told owner to rebuild again	06-1072	19 STEPPING STONE LN
4	10/20/2006	406 F054001	Building Permit Tammy Munson	Close-in/Elec./Plmb./Framing follow up on building corrections - stairs corrected, steel beam posted to foundation wall, still need to add lally colmn in basement	06-1072	19 STEPPING STONE LN
4	04/06/2007	406 F054001	Building Permit Tammy Munson	Certificate of Occupancy/Final Call Erin @ 775-9155 req am inspection - final inspection - penetrations in garage need to be filled, need stairs from house to garage, waterhammer in first floor bath needs to be corrected, hammer arresters need to be added to 1st floor laundry, all plumbing traps under sinks need to be changed to code compliant traps, junction box under kitchen sink needs to be corrected, junction box for microwave needs to be covered, basement stairs have open risers, basement handrail needs to be returned to wall, lower run on bsmnt stairs need treads fixed and needs 34" guardrail, supply pipes under kitchen sink need hangers, tile work incomplete, rear stairs not complete, carpet not finished, smokes covered and hanging in some rooms, house numbers not installed, various trim work incomplete,owner installed plumbing fixtures and traps - told him he is not licensed and cannot install fixtures and asked to have his plumber return and correct issues. Need to verify a licensed electrician installed all ligting fixtures/switches, etc. Because owner is not allowed to install fixtures/devices. - went over w/owner - house ont ready for C of O	06-1072	19 STEPPING STONE LN
4	04/10/2007	406 F054001	Building Permit Tammy Munson Chris Hanson	Certificate of Occupancy/Final follow up on c of o - stairs from house to garage incorrect, hammer arresters need to be added to 1st floor laundry, all plumbing traps under sinks need to be changed to code compliant traps, junction box under kitchen sink needs to be corrected, junction box for microwave needs to be covered, guard on basement stairs incorrect, supply pipes under kitchen sink need hangers, rear stairs incorrect, one smoke hanging, various trim work incomplete, owner installed plumbing fixtures and traps - told him he is not licensed and cannot install fixtures and asked to have his plumber return and correct issues. Need to verify a licensed electrician installed all ligting fixtures/switches, etc. Because owner is not allowed to install fixtures/devices - house not ready for C O - went over w/owner.	06-1072	19 STEPPING STONE LN
4	04/18/2007	406 F054001	Building Permit Tammy Munson Chris Hanson	Certificate of Occupancy/Final Req am inspection Call Erin 775-9155 Re-inspect	06-1072	19 STEPPING STONE LN
4	04/19/2007	406 F054001	Building Permit Tammy Munson	Certificate of Occupancy/Final re - check yard for debris for C of O	06-1072	19 STEPPING STONE LN

City of Portland, Maine
Inspections Division
Inspection Schedule

Appointment Date Between 1/1/2006 And 1/1/2008

Dist. #	Sch. Date:	ParcelNo:	Appl. Type	Schedule Type	Appl #:	Location
Fire Insp. Contact:			Inspector	Comments		
4	04/19/2007	406 F054001	Building Permit	Certificate of Occupancy/Final	06-1237	19 STEPPING STONE LN
	DANCAUSE PAUL &		Tammy Munson Chris Hanson	follow up on C of O. - need graspable handrail on ext rear stairs, need hangers for pipe under sink to stop movement, need 2nd floor bath floor finished (will be part of temp C O), need 2nd floor bedroom door to latch, need to clean debris in yard.		

Total Listed: 9

City of Portland, Maine
Inspections Division
Inspection Schedule

Appointment Date Between 1/1/2005 And 1/1/2006

Dist. #	Sch. Date:	ParcelNo:	Appl. Type	Schedule Type	Appl #:	Location
Fire Insp.	Contact:		Inspector	Comments		
4	04/14/2005	406 F054001	Building Permit Jonathan Reed	Inspection This is a walk through at the request of Jeff Purser. Lot #4	0	19 STEPPING STONE LN
4	04/20/2005	406 F054001	Building Permit Jonathan Reed	Inspection Deliver Stop Work Order	0	19 STEPPING STONE LN
4	08/31/2005	406 F054001	District 4 Jonathan Reed	Inspection Meet with buyer and agent	0	19 STEPPING STONE LN
4	08/31/2005	406 F054001	Building Permit Jonathan Reed	Inspection Meet with buyer and broker at 3:30	0	19 STEPPING STONE LN
	10/06/2005	406 F054001	District 5	Inspection	04-1346	19 STEPPING STONE LN
4	10/06/2005	406 F054001	Building Permit Jonathan Reed	Inspection Josh Wiseman @ 756-2195. As early as humanly possible.	04-1346	19 STEPPING STONE LN

Total Listed: 6

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 061237

Please Read Application And Notes, If Any, Attached

This is to certify that Hancock Construction Financing Llc
has permission to Renew expired permit #04-1 - build single family
AT 19 Stepping Stone Ln 406 F054001

PERMIT ISSUED
AUG 23 2006
CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is loaded or service closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
8/23/06
Director of Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1237	Issue Date: 08/23/2006	CBL: 406 F054001
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Location of Construction: 19 Stepping Stone Ln	Owner Name: Hancock Construction Financing Llc	Owner Address: Po Box 299	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

PERMIT ISSUED
AUG 23 2006
CITY OF PORTLAND

Past Use: vacant	Proposed Use: Renew expired permit #04-1346 - build new single family	Permit Fee:	Cost of Work: \$50.00	CEO District:
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: R-3 Type: SB IRC 2003 Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Proposed Project Description:
Renew expired permit #04-1346 - build new single family
see permit 06-1072

Permit Taken By: tmm	Date Applied For: 08/23/2006	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

* See notes in Urban Insights.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- NA Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL:

406-F-54

Building Permit #:

for 06-1072

8
06-1237

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1237	Date Applied For: 08/23/2006	CBL: 406 F054001
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Location of Construction: 19 Stepping Stone Ln	Owner Name: Hancock Construction Financing Llc	Owner Address: Po Box 299	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Renew expired permit #04-1346 - build new single family	Proposed Project Description: Renew expired permit #04-1346 - build new single family
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/23/2006

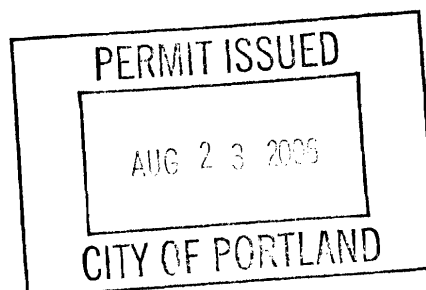
Note: **Ok to Issue:**

- 1) All conditions issued under permit # 04-1346, as attached, are is issued under this permit.
- 2) All items on the attached "Fact Sheet" are conditions of this permit.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/23/2006

Note: **Ok to Issue:**

- 1) All items on the attached "Fact Sheet" are conditions of this permit.
- 2) All conditions issued under permit # 04-1346, as attached, are is issued under this permit.



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1346	Date Applied For: 08/27/2004	CBL: 406 F054001
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Location of Construction: 0 Stepping Stone Ln -lot #4	Owner Name: Cole Dean	Owner Address: 21 C Great Falls Rd	Phone:
Business Name:	Contractor Name: Windemere Homes	Contractor Address: 14 Windemere Lane Saco	Phone (207) 228-4233
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home / 4 Bedroom, 2 car attached garage	Proposed Project Description: 4 Bedroom, 2 car attached garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/21/2004

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. Only a rear stoop and step shown on rear - NO REAR DECKS are shown or approved. NO DAYLIGHT BASEMENT shown or approved
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/29/2004

Note: 9/28/04 spoke w/Frank P. About additional information. He will submit tomorrow. **Ok to Issue:**

9/29 revised building plans submitted, ok to issue

- 1) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 2) Application approval based upon information provided by applicant and revised on 9/29/04. Any deviation from approved plans requires separate review and approval prior to work.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 09/22/2004

Note: **Ok to Issue:**

- 1) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 4) Your new street address HAS NOT BEEN ASSIGNED TO DATE, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 09/22/2004

Note: **Ok to Issue:**

Stepping Stone Lane Fact Sheet

May 12, 2005

1. Performance Guarantee

The City of Portland is currently holding a sum of \$85,424.50 as a performance guarantee. This guarantee is to cover costs associated with the buildout of the subdivision. This balance covers, but is not limited to, the following:

- A. Final roadway paving (surface) coat.
- B. Curbing
- C. Sidewalks
- D. Esplanades/Loam and Seeding
- E. Monuments
- F. Completion of utilities.
- G. Final grading/slope stabilization
- H. Landscaping
- I. Fencing/Rails
- J. Open Space amenities

The expiration date of the performance guarantee is October 15, 2005.

2. #5 Stepping Stone Lane

The City has issued a 'temporary' certificate of occupancy on #25 Stepping Stone Lane (lot 5), which is conditional to the completion of the following site work:

- A. Final Grading
- B. Loam and Seed
- C. Driveway paving
- D. Landscaping

The temporary certificate of occupancy has an expiration date of June 15, 2005.

3. #19 Stepping Stone Lane

The City has issued a stop work order on #19 Stepping Stone Lane (Lot 4). The Inspections Division can provide additional information on the status of the stop work order and issues that must be resolved.

Prospective Developers of the Subdivision

Prior to the commencement of any site work related to the subdivision, a new applicant/owner must be approved by the Planning Authority. In order for the official change of ownership/change of applicant to occur, we will need to see the following:

- A. Revised Subdivision Plat showing new title block of project/applicant with amendment description and signature block for Planning Director.
- B. Evidence of technical capacity to complete the development, including a resume of past projects similar to the Ray Street project.
- C. Evidence of financial capability to complete the development, including a letter from a bank or financial institution describing a past business history, and willingness to finance the completion of the project.
- D. Finally, a performance guarantee in the amount of \$85,424 .50 must be submitted and approved by the City to cover site construction costs.

Prospective Home Buyers/Builders

1. #19 Stepping Stone Lane. As described above, a stop work order has been placed on the construction of the home due to structural concerns. In order to have the stop work order lifted, a remediation plan must be submitted to the Inspections Services Division. The Inspections Division can provide additional information on issues and next steps toward resolution.
2. All other lots within the subdivision. Prospective buyers/builders of other lots within the subdivision will need to apply for single-family house permits (also known as "minor-minor" site plan applications) in order to construct additional homes.
3. As with all subdivisions in the City of Portland, no City services, including rubbish/recycling pick up or snow plowing will be performed until the roadway is completed and accepted by the Portland City Council.

Attachments:

1. Approval Letter
2. Performance Guarantee Estimate Form

CITY OF PORTLAND, MAINE

PLANNING BOARD

Jaimey Caron, Chair
Mark Malone, Vice Chair
Orlando E. Delogu
Kevin Beal
Lee Lowry III
Michael Patterson
Janice E. Tevanian

June 27, 2003

James Seymour, P.E.
Sebago Technics, Inc.
P.O. Box 1339
Westbrook, ME 04098-1339

RE: Newcomb Glen Subdivision

CBL:

Dear Mr. Seymour:

On April 8, 2003, the Portland Planning Board voted on the following motions:

The Planning Board voted (6-1; Beal opposed) to grant the sidewalk and curb waiver for the east side of Patriot Lane in order to avoid additional wetland fill.

The Planning Board voted unanimously (7-0) to grant the sidewalk and curb waiver for the north side of Beaugard Street due to the necessity of creating deep cuts in the right-of-way.

The Planning Board also voted (6-1; Beal opposed) to approve the 10-lot Newcomb Glen subdivision.. The approval was granted for the project with the following conditions:

1. That for each lot, one of the required street trees be planted within the esplanade, between the curb and sidewalk along Patriot Lane.
2. That the applicant submit executed drainage easements for the detention ponds, swales, and underdrains associated with the Patriot Lane roadway infrastructure.
3. That the applicant submit for Corporation Counsel review an option to purchase the property, conferring unambiguous right, title, or interest in the property within 30 days of Planning Board approval.
4. That the applicant's design engineer provide certification during construction that the individual lot grading and lot improvements as shown on the subdivision plan are complied with in the course of site development. Additionally, that the applicant will amend the plans and comply with the recommendations listed in the Development Review Coordinator's memo dated 4/8/03.
5. That the applicant submit the DEP's approval of wetlands filling to staff, prior to final approval.

6. That the applicant provide to staff a performance guarantee to cover all City services as outlined in Note #10 of the Subdivision Plat (sheet #2 of 7) to be held until all streets are accepted by the City of Portland.
7. That in addition to the presented subdivision recording plat, that the applicant be required to provide a recording plat for lots 1, 2, 7, and 10 delineating areas of permitted filling and wetlands to be preserved and that that plat be recorded along with the subdivision plat.
8. That the applicant provide a 10 ft wide easement for pedestrians and non-motorized vehicles across the most easterly portion of the remaining lot on Marlborough Street. A five foot wood chip pathway shall be constructed to later than the issuance of a building permit for the lot, unless the City opts to construct the pathway earlier. Both the easement language and detail for pathway construction shall be submitted for staff review and approval.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report #27-03, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Sarah Hopkins at 874-8720.

Sincerely,

Jaimy Caron, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Karen Dunfey, Inspections
Michael Bobinsky, Public Works Director
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File

Planning and Development Department
SUBDIVISION/SITE DEVELOPMENT

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: 3-18-04

Name of Project: AUTUMN GLEN SUBDIVISION

Address/Location: RAY STREET

Developer: WINDMEERE HOMES, LLC

Name of Performance Guarantee: _____

Type of Development: Subdivision X Site Plan (Major/Minor) _____

BE FILLED OUT BY THE APPLICANT:

Description	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
STREET/SIDEWALK						
Road	2002LS	15.00	30030.00			
Granite Curbing	1150LF	25.00	28750.00			
Sidewalks	290LS	25.00	7250.00			
Esplanades	935sq	12.50	11687.50			
Monuments	4EA	500.00	2000.00			
Street Lighting	3EA	1000.00	3000.00			
Street Opening Repairs	144sq	15.00	2160.00			
Other						
EARTH WORK						
Cut	315sq	6.00	1890.00			
Fill	4830sq	8.00	38640.00			
SANITARY SEWER						
Manholes	5EA	2000.00	10000.00			
Piping						
Connections	9EA	100.00	900.00			
Main Line Piping	668LF	26.00	17368.00			
House Sewer Service Piping	350LF	22.00	7700.00			
Pump Stations						
Other						
WATER MAINS						
	797	30.00	23910.00			
STORM DRAINAGE						
Manholes	5EA	2000.00	10000.00			
Catchbasins	2EA	1850.00	3700.00			
Piping	855LF	30.00	25650.00			
Detention Basin				72LF	30.00	2160.00
Stormwater Quality Units				2EA	2500.00	5000.00
Other				1EA	1500.00	1500.00
Other 6" U.D.	1225	12.00	14700.00	290LF	5.10	2900.00

SITE LIGHTING

EROSION CONTROL

Silt Fence	500 ^{LF}	2 ^r	1000	1200 ^{LF}	2	2400
Check Dams						
Pipe Inlet/Outlet Protection						
Level Lip Spreader						
Slope Stabilization	293 ^{sq}	2 ^{sq}	732 ^{sq}			
Geotextile						
Hay Bale Barriers						
Catch Basin Inlet Protection						

RECREATION AND OPEN SPACE AMENITIES

3000^r

LANDSCAPING

(Attach breakdown of plant materials, quantities, and unit costs)

7500

9152^r

0. MISCELLANEOUS Guarantee 3000

TOTAL: # 255,151.⁰⁰ # 23,112.⁰⁰

GRAND TOTAL: _____

\$ 278,263.00 TTC
 OK 3-19-04 /R

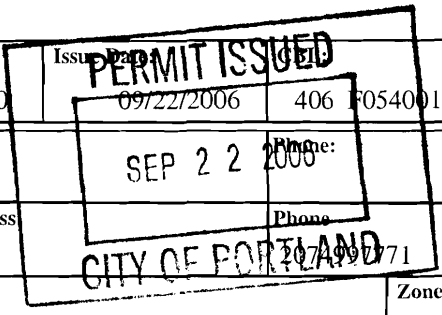
INSPECTION FEE (to be filled out by the City)

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:	\$ 5,103.00	\$ 462.24	\$ 5,565.26
or			
B: Alternative Assessment:			
Assessed by:	(name)	(name)	/R.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1400	Issue Date: 09/22/2006	Phone: 406 F054001
-----------------------	---------------------------	-----------------------



Location of Construction: 19 STEPPING STONE LN	Owner Name: HANCOCK CONSTRUCTION FIN	Owner Address: PO BOX 299
Business Name:	Contractor Name: Tonys	Contractor Address: Dayton
Lessee/Buyer's Name	Phone:	Permit Type: HVAC

Past Use: Single Family Home	Proposed Use: Single Family Home- install a Boiler in basement w/ 275 gallon oil tank	Permit Fee: \$110.00	Cost of Work: \$8,600.00	CEO District: 4
---------------------------------	--	-------------------------	-----------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>HVAC</i> Signature: <i>IMC 2003</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Proposed Project Description:
install a Boiler in basement w/ 275 gallon oil tank

Permit Taken By: ldobson	Date Applied For: 09/22/2006	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/22/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/22/06</i>
--	---	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1400	Date Applied For: 09/22/2006	CBL: 406 F054001
------------------------------	--	----------------------------

Location of Construction: 19 STEPPING STONE LN	Owner Name: HANCOCK CONSTRUCTION FIN	Owner Address: PO BOX 299	Phone:
Business Name:	Contractor Name: Tonys	Contractor Address: Dayton	Phone (207) 499-7771
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	

Proposed Use: Single Family Home- install a Boiler in basement w/ 275 gallon oil tank	Proposed Project Description: install a Boiler in basement w/ 275 gallon oil tank
---	---

Dept: Zoning **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 09/22/2006
Note: **Ok to Issue:**

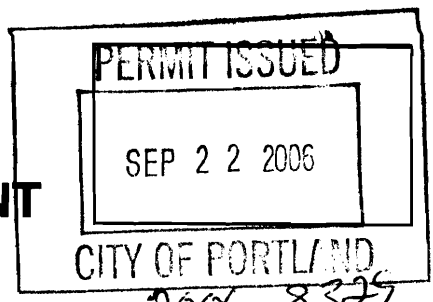
Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 09/22/2006
Note: **Ok to Issue:**

1) Installation shall comply with 2003 International Mechanical Code and State of Maine Oil and Solid Fuel Board Laws and Rules



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 19 Stepping Stone 406751 Use of Building Residential Date 9/29/06
Name and address of owner of appliance Paul Dancaule Contractor

Installer's name and address Tony's HVAC Inc 041005 Telephone (207) 499-7771

Location of appliance:
 Basement Floor
 Attic Roof

Type of Fuel:
 Gas Oil Solid

Appliance Name: Residential
U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: 1

Type of Chimney:
 Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____ UL# _____

Type of Fuel Tank
 Oil
 Gas

The Type of License of Installer:
 Master Plumber # _____
 Solid Fuel # _____
 Oil # MS20007677
 Gas # _____
 Other _____

Size of Tank 275
Number of Tanks one
Distance from Tank to Center of Flame 15 feet.
Cost of Work: \$9,600.00
Permit Fee: \$ 110.00

Approved

Approved with Conditions

Fire: _____
Ele.: _____
Bldg.: _____

See attached letter or requirement

Inspector's Signature _____ Date Approved _____

Signature of Installer [Signature]

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation	PORTLAND
Street	106 F 54
Subdivision Lot #	

PROPERTY OWNERS NAME

Last:	First:
Applicant Name:	Walter Anderson
Mailing Address of Owner/Applicant (if Different)	106 F 54

2006-2321

PORTLAND PERMIT # 10028 TOWN COPY

Date Permit Issued: 9/22/06 \$ 1186 Double Fee Charged

[Signature] L.P.I. # 360

Local Plumbing Inspector Signature

106-F-54

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

[Signature] Signature of Owner/Applicant Date 9/11/06

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

[Signature] Local Plumbing Inspector Signature Date Approved _____

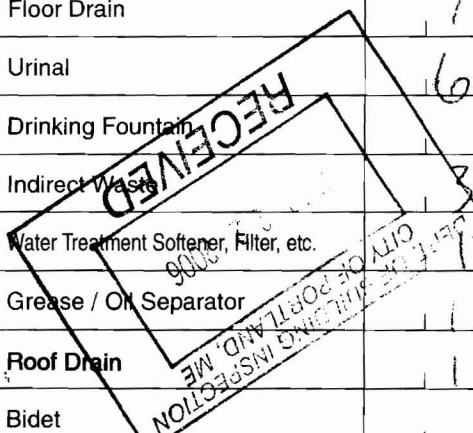
PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type of Structure To Be Served: 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>122281</u>
---	--	---

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
<input checked="" type="checkbox"/> HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR <input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system.	1	Hosebibb / Sillcock	2	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal	6	Sink
		Drinking Fountain		Wash Basin
OR <input type="checkbox"/> TRANSFER FEE [\$6.00]		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Roof Drain		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2	2	Fixtures (Subtotal) Column 1
			15	Fixtures (Subtotal) Column 2
				Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

110



ELECTRICAL PERMIT City of Portland, Me.



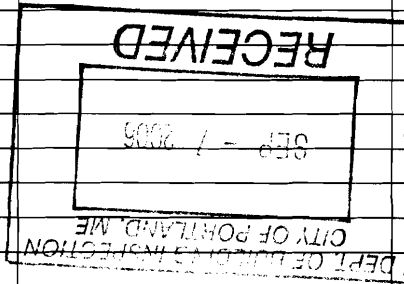
To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 9-6-06
Permit # 06-4798
CBL# 406 F054

LOCATION: 19 Steppingstone Lane METER MAKE & # _____
CMP ACCOUNT # _____ OWNER Paul Dancause
TENANT _____ PHONE # 450-3370

TOTAL EACH FEE

OUTLETS	40	Receptacles	30	Switches	6	Smoke Detector	.20	15.20
FIXTURES		Incandescent		Fluorescent		Strips	.20	
SERVICES		Overhead	X	Underground		TTL AMPS <800	15.00	15.00
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES	X1	Ranges		Cook Tops		Wall Ovens	2.00	2.00
		Insta-Hot		Water heaters	3	Fans	2.00	6.00
	X1	Dryers	1	Disposals	1	Dishwasher	2.00	6.00
		Compactors		Spa	1	Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		E Lights					1.00	
		E Generators					20.00	
PANELS		Service		Remote		Main	4.00	
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		
		MINIMUM FEE/COMMERCIAL	55.00			MINIMUM FEE	45.00	



CONTRACTORS NAME Joseph Mazerolle MASTER LIC. # _____
ADDRESS 116 Falmouth Rd, Windham ME LIMITED LIC. # LM50017012
TELEPHONE 210-1191

SIGNATURE OF CONTRACTOR [Signature] #1511
White Copy - Office • Yellow Copy - Applicant

**City of Portland
Inspection Services
RETURN OF SERVICE**

On the 3rd day of November, 2005 I made service of the

upon, List of Violations
Stop WORK ORDER, at 389 CONGRESS STREET.

- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is _____.
- By delivering a copy to an agent authorized to receive service of process, and whose name is _____.
- By (describe other manner of service) _____
- _____

Signature of Person Making Service

DATED: 11/3/05

Jon Reed

I have received the above referenced documents

Person Receiving Service

X _____

_____ Refused to sign

_____ Unable to sign



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Aaron Shapiro- Director of Housing and Neighborhood Services
Michael J. Nugent- Manager of Inspection Services*

April 20, 2005

WINDEMERE HOMES LLC
14 WINDEMERE LN
SACO , ME 04072

CBL: 406 F054001
Located at 19 STEPPING STONE LN

Certified Mail

Dear WINDEMERE HOMES LLC,

STOP WORK ORDER

An evaluation of the above-referenced property on 04/20/2005 revealed that the property fails to comply with Section 111.3 of the 1999 BOCA Building Code of the City of Portland. Section 111.3 states that "All work shall conform to the approved application and the approved construction documents for which the permit has been issued and any approved amendments to the approved application or the approved construction documents".

This is a STOP WORK ORDER pursuant to Section 111.3 of the 1999 BOCA Building Code. All construction activity at the above referenced property must STOP immediately.

Construction may begin after the amendment to your building permit application has been issued and this order has been lifted.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Council for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30 M.R.S.A. SS 4452. This constitutes an appealable decision pursuant to Section 1-16. (2) Of the City of Portland Code of Ordinances. Please feel free to contact me if you wish to discuss the matter or have any questions.

Sincerely,

Jonathan Reed @ (207) 874-8702
Code Enforcement Officer

From: Jeff at Windemere Homes <jeff@windemerehomes.com>
To: Jonathon Reed <jjr@portlandmaine.gov>
Date: Tue, May 3, 2005 12:25 PM
Subject: Lot 4 Stepping Stone Lane

Framing Deficiencies:

- 1) Roof load from manufactured beam must be supported in garage with an independent beam. Load calculations attached.
- 2) Leaks in roof must be fixed
 - a. extend valleys past porch gable timbers
 - b. seal ridge cap on two main gables
- 3) vent attic w/ louvered WALL vents below the REAR gables only
- 4) stairways built to BOCA code

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1346	Issue Date:	CBL: 406 F054001
-----------------------	-------------	---------------------

Location of Construction: 0 Stepping Stone Ln (lot # 4)	Owner Name: Cole Dean	Owner Address: 21 C Great Falls Rd	Phone:
Business Name:	Contractor Name: Windemere Homes	Contractor Address: 14 Windemere Lane Saco	Phone 2072284233
Lessee/Buyer's Name	Phone: 596-5059	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Lot	Proposed Use: Single Family Home / 4 Bedroom, 2 car attached garage	Permit Fee: \$1,686.00	Cost of Work: \$185,000.00	CEO District: 4
-------------------------	--	---------------------------	-------------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 1999 Signature: JMB 9/29/04
--	---

Proposed Project Description: 4 Bedroom, 2 car attached garage

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 09/08/2004	Zoning Approval
-----------------------------	---------------------------------	------------------------

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <i>W/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2004-0185</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>sk with conditions</i> Date: <i>9/21/04</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
---	--	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

WHLij 10-7-04

Checked
ok to
30' rear

Set tracks
Pour footing

Stepping Stone Lane Fact Sheet

May 12, 2005

1. Performance Guarantee

The City of Portland is currently holding a sum of \$85,424.50 as a performance guarantee. This guarantee is to cover costs associated with the buildout of the subdivision. This balance covers, but is not limited to, the following:

- A. Final roadway paving (surface) coat.
- B. Curbing
- C. Sidewalks
- D. Esplanades/Loam and Seeding
- E. Monuments
- F. Completion of utilities.
- G. Final grading/slope stabilization
- H. Landscaping
- I. Fencing/Rails
- J. Open Space amenities

The expiration date of the performance guarantee is October 15, 2005.

2. #5 Stepping Stone Lane

The City has issued a 'temporary' certificate of occupancy on #25 Stepping Stone Lane (lot 5), which is conditional to the completion of the following site work:

- A. Final Grading
- B. Loam and Seed
- C. Driveway paving
- D. Landscaping

The temporary certificate of occupancy has an expiration date of June 15, 2005.

3. #19 Stepping Stone Lane

The City has issued a stop work order on #19 Stepping Stone Lane (Lot 4). The Inspections Division can provide additional information on the status of the stop work order and issues that must be resolved.

Prospective Developers of the Subdivision

Prior to the commencement of any site work related to the subdivision, a new applicant/owner must be approved by the Planning Authority. In order for the official change of ownership/change of applicant to occur, we will need to see the following:

- A. Revised Subdivision Plat showing new title block of project/applicant with amendment description and signature block for Planning Director.
- B. Evidence of technical capacity to complete the development, including a resume of past projects similar to the Ray Street project.
- C. Evidence of financial capability to complete the development, including a letter from a bank or financial institution describing a past business history, and willingness to finance the completion of the project.
- D. Finally, a performance guarantee in the amount of \$85,424 .50 must be submitted and approved by the City to cover site construction costs.

Prospective Home Buyers/Builders

1. #19 Stepping Stone Lane. As described above, a stop work order has been placed on the construction of the home due to structural concerns. In order to have the stop work order lifted, a remediation plan must be submitted to the Inspections Services Division. The Inspections Division can provide additional information on issues and next steps toward resolution.
2. All other lots within the subdivision. Prospective buyers/builders of other lots within the subdivision will need to apply for single-family house permits (also known as "minor-minor" site plan applications) in order to construct additional homes.
3. As with all subdivisions in the City of Portland, no City services, including rubbish/recycling pick up or snow plowing will be performed until the roadway is completed and accepted by the Portland City Council.

Attachments:

1. Approval Letter
2. Performance Guarantee Estimate Form

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT

Permit Number: 041346

This is to certify that Cole Dean / Windemere Home
has permission to 4 Bedroom, 2 car attached garage
AT 0 Stepping Stone Ln (Lot #4) 406 F054001

SEP 30 2004

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or enclosed-in-
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeannie Bonke 9/29/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1346	Issue Date:	CBL: 406 F054001
-----------------------	-------------	---------------------

Location of Construction: 0 Stepping Stone Ln (lot # 4)	Owner Name: Cole Dean	Owner Address: 21 C Great Falls Rd	Phone:
Business Name:	Contractor Name: Windemere Homes	Contractor Address: 14 Windemere Lane Saco	Phone: 2072284233
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Lot	Proposed Use: Single Family Home / 4 Bedroom, 2 car attached garage	Permit Fee: \$1,686.00	Cost of Work: \$185,000.00	CEO District: 4
-------------------------	--	---------------------------	-------------------------------	--------------------

Proposed Project Description: 4 Bedroom, 2 car attached garage	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 1999 Signature: JMB 9/29/04
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 09/08/2004	Zoning Approval
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>W/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2004-0185 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>with conditions</i> Date: <i>9/21/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
---	--	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1346	Issue Date:	CBL: 406 F054001
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Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Lot	Proposed Use: Single Family Home / 4 Bedroom, 2 car attached garage	Permit Fee: \$1,686.00	Cost of Work: \$185,000.00	CEO District: 4
Proposed Project Description: 4 Bedroom, 2 car attached garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: R3 SB BOCA 1999 Signature: JMB 9/29/04	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Idobson	Date Applied For: 09/08/2004	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>W/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2004-0185 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>sk with conditions</i> Date: <i>9/21/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
---	---	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1346	Date Applied For: 08/27/2004	CBL: 406 F054001
------------------------------	--	----------------------------

Location of Construction: 0 Stepping Stone Ln -lot #4	Owner Name: Cole Dean	Owner Address: 21 C Great Falls Rd	Phone:
Business Name:	Contractor Name: Windemere Homes	Contractor Address: 14 Windemere Lane Saco	Phone (207) 228-4233
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home / 4 Bedroom, 2 car attached garage	Proposed Project Description: 4 Bedroom, 2 car attached garage
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/21/2004

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. Only a rear stoop and step shown on rear - NO REAR DECKS are shown or approved. NO DAYLIGHT BASEMENT shown or approved
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Jeanine Bourke **Approval Date:** 09/29/2004

Note: 9/28/04 spoke w/Frank P. About additional information. He will submit tomorrow. **Ok to Issue:**

9/29 revised building plans submitted, ok to issue

- 1) Application approval based upon information provided by applicant and revised on 9/29/04. Any deviation from approved plans requires separate review and approval prior to work.
- 2) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 09/22/2004

Note: **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) Your new street address HAS NOT BEEN ASSIGNED TO DATE, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 09/22/2004

Note: **Ok to Issue:**

Stepping stone Lot # 4

04-1346

406-F-54

Soil type/Presumptive Load Value (Table 401.4.1)	Subdivision	
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	8x16" @ 8'	OK
Foundation Drainage Dampproofing (Section 406)	Asphalt, drains - both sides Fabric	OK
Ventilation (Section 409.1) Crawls Space ONLY	4 windows	OK
Anchor Bolts/Straps (Section 403.1.4)	1/2" @ 6' O.C.	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	#3 1/2 Solid Footer	OK
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	5 1/4 x 9 1/2	Need design spec. OK
Sill/Band Joist Type & Dimensions	2x6 PT BCF Rim	OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	9 1/2" 400 series I-joist 16 O.C.	OK
Second Floor Joist Species Dimensions and Spacing Table (503.3.1(1) & Table 503.3.2(1))	11 7/8" 520 series I-joist 16 O.C.	OK

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x10/60.C	OK
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2x10 16 0.C / 12:16 Ridge beam 3 1/2" x 11 7/8"	design spec. OK
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	3/4 + 4G	OK
Fastener Schedule (Table 602.3(1) & (2))	2000 IRC (7/16 OSB, 5/8) ↑	OK
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)		
Fire separation	5/8 walls/ceiling	OK
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	Door? 4 4"	revision OK
Egress Windows (Section 310)	W4 & W5	OK
Roof Covering (Chapter 9)	Authentic Rubber slate meets Class C Fire Rating	Spec sheet OK
Safety Glazing (Section 308)	master bath ? w-4	
Attic Access (BOCA 1211.1)	?	revision OK
Draft Stopping around chimney	2" to combustible/non-c. draftstop	OK

Header Schedule	OK schedule	OK
Type of Heating System	Boiler	OK
Stairs	5	
Number of Stairways	3	
Interior	2	
Exterior		
Treads and Risers (Section 314)	7 3/8" 10" 3/4 nosing	
Width	3' scaled	
Headroom	6' 11 1/4"	
Guardrails and Handrails (Section 315)	?	revision OK
Smoke Detectors Location and type/Interconnected	IN spec sheet ? garage - ? all levels	revision OK
Plan Reviewer Signature		

See Chimney Summary Checklist

Disclosure enclosed

**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS	
		Summary	See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1
		2-inch minimum thickness for hearth extension.	1003.9.2
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10
		12 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10
		20 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11
		12-inch minimum firebox depth for Rumford fireplaces.	
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5
Distance from top of opening to throat	G	8 inches minimum.	1003.7
Smoke chamber	H	Wall thickness 6 inches lined; 8 inches unlined.	1003.8
		Dimensions Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;
		1/2-inch grout or airspace between liner and wall.	1001.9
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12
Clearances	N	From chimney 2 inches interior, 1 inch exterior.	1001.15
		From fireplace 2 inches front, back or sides.	1003.12
		Combustible trim or materials 6 inches from opening.	1003.13
		Above roof 3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.6
Anchorage ^a	O	Strap 3/16 inch by 1 inch.	1003.4
		Number Two.	
		Embedment into chimney 12 inches hooked around outer bar with 6-inch extension.	
		Fasten to Four joists.	
		Bolts Two 1/2-inch diameter.	
Footing	P	Thickness 12-inch minimum.	1003.2
		Width 6 inches each side of fireplace wall.	

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

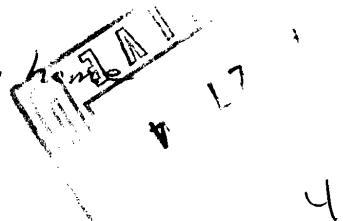
^a Required only in Seismic Zones 3 and 4.



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot 4, Stepping Stone Lane, Autumn Glen Subdivision</u>		
Total Square Footage of Proposed Structure <u>1598 S.F.</u>	Square Footage of Lot <u>7581 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>406 F 54</u>	Owner: <u>WINDEMERE HOMES LLC</u>	Telephone: <u>207-283-4233</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>WINDEMERE HOMES LLC 14 WINDEMERE LANE SACO ME 04072</u>	Cost Of Work: <u>\$ 185,000</u> Fee: <u>\$ 2061⁰⁵</u>
Current Specific use: <u>VACANT LOT</u>		
Proposed Specific use: <u>SINGLE FAMILY DWELLING</u>		
Project description: <u>CONSTRUCT 4 bedroom single family home with attached 2-car garage.</u>		
Contractor's name, address & telephone: <u>WINDEMERE HOMES 207-283-4233</u>		
Who should we contact when the permit is ready: <u>FRANK PURSER</u>		
Mailing address: <u>WINDEMERE HOMES 14 WINDEMERE LN SACO ME 04072</u>		Phone: <u>207-283-4233</u>



Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Frank Purser</u>	Date: <u>8/26/04</u>
---	----------------------

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Applicant: Dean Cole

Date: 9/21/04

Address: Stepping Stone Ln - lot #4 C-B-L: 406-F-54

CHECK-LIST AGAINST ZONING ORDINANCE

permit # 04-1346

Date - New Dev.

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - to construct single family with 2 car garage ^{28' x 56'}

Sevage Disposal - City

No rear Decks

Lot Street Frontage - 50' min 64.42' shown

No Daylight Basement

Front Yard - 25' req - 37' shown

Rear Yard - 25' req - 32' scaled

Side Yard - 8' min req - 9' & 13' shown

1 1/2 stories - see also below

Projections - rear stoop & stair

Width of Lot - 75 - 78.08' shown

Height - 35' MAX - 18' scaled

Lot Area - 6,500 sq ft min - 7,581 sq ft given

Lot Coverage/Impervious Surface - 25% MAX = 1895.25 sq ft MAX

Area per Family - 6,500 sq ft min

Off-street Parking - 2 pkg spaces req - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor 2004-0195

Shoreland Zoning/Stream Protection -

Flood Plains - PAVED 7 - Zone X

1st floor = 21 x 28 = 588

15 x 26 = 390

21 x 28 = 588

4 x 4 = 16

1582 sq ft x .66 = 1044.12 sq ft

2nd floor 11 x 13 = 143

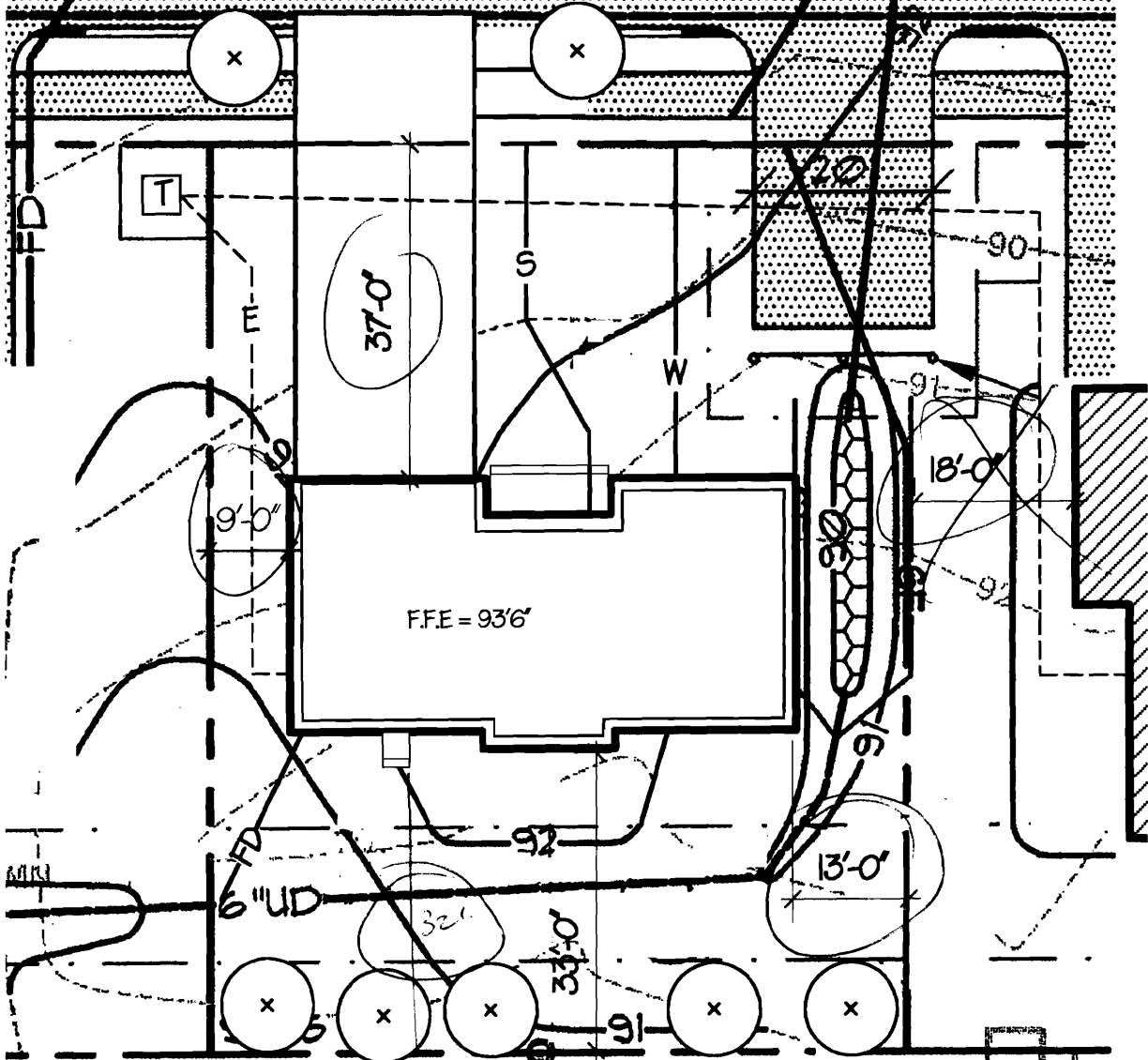
17 x 44 = 748

11 x 13 = 143

OK 1 1/2 stories 1034 sq ft

OK

STONE LANE 3-10-00



used for zoning 406 F 54

N/F THOMPSON
8522/238

N/F DAYLE & VICKI SMITH
4494/30

Windemere Homes

WILTSHIRE MANOR
LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

SITE PLAN

DATE 8/13/04
SCALE 1" = 20'

A-2

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy
Maize

2004-0185
Application I. D. Number
8/27/2004
Application Date
Stepping Lane
Project Name/Description

Cole Dean
Applicant
21 C Great Falls Rd , Gorham , ME 04038
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

Stepping Stone Ln , Portland, Maine
Address of Proposed Site
406 F054001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1568 _____ **.17** _____
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date **8/27/2004**

Zoning Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

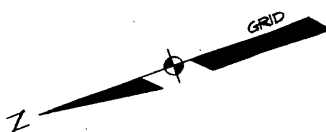
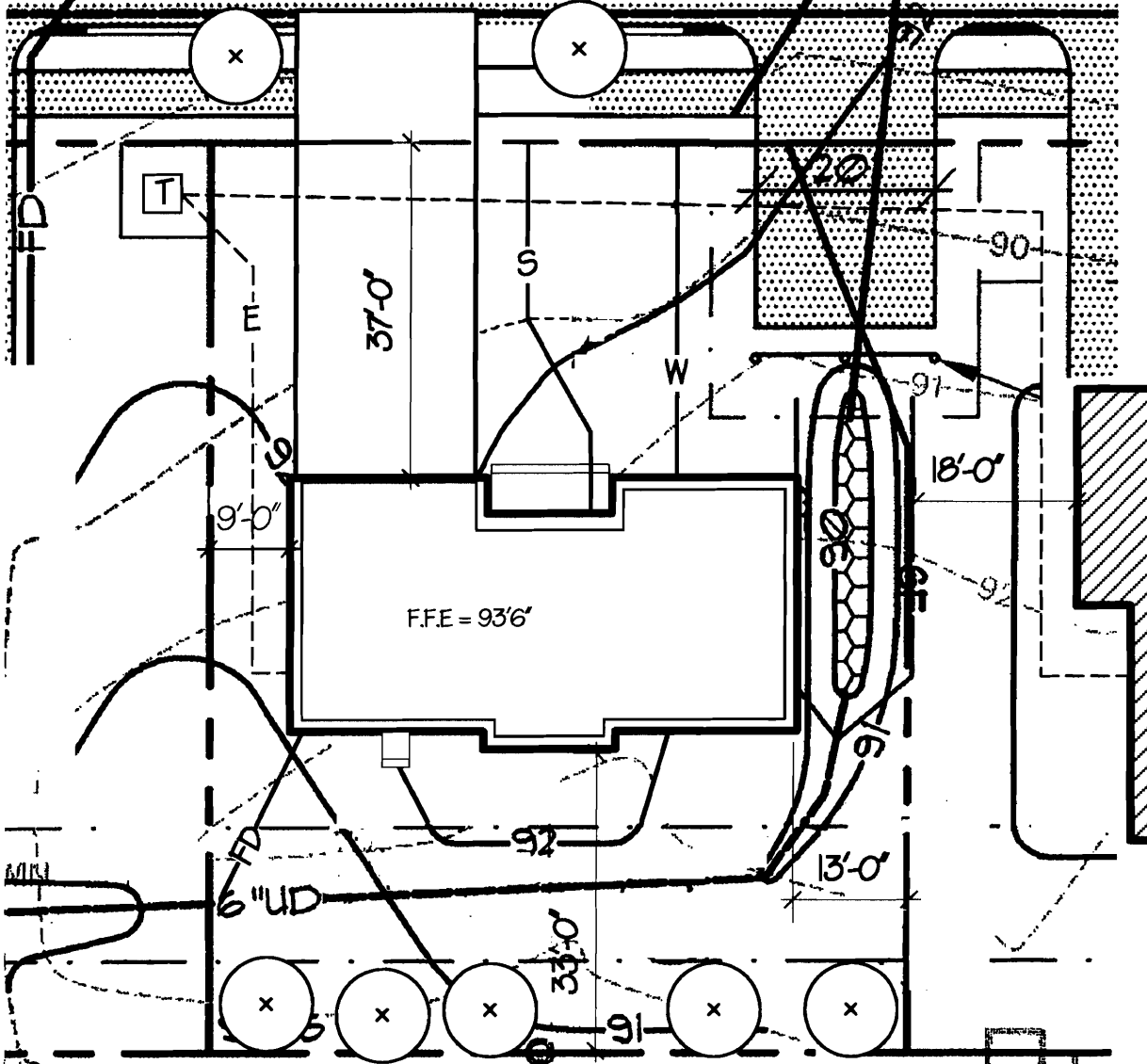
Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

STONE

LANE 3100



406 F 54

N/F
THOMPSON
8522/238

N/F
DAYLE & VICKI
SMITH
4494/30

Windemere
Homes

WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

SITE PLAN

DATE
8/13/04
SCALE
1" = 20'

A-2

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2004-0185
Application I. D. Number
8/27/2004
Application Date
Stepping Lane
Project Name/Description

Cole Dean
Applicant
21 C Great Falls Rd , Gorham , ME 04038
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

Stepping Stone Ln , Portland, Maine
Address of Proposed Site
406 F054001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1568 _____ **.17** _____
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date **8/27/2004**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied
- Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached
- Condition Compliance _____
signature _____ date _____

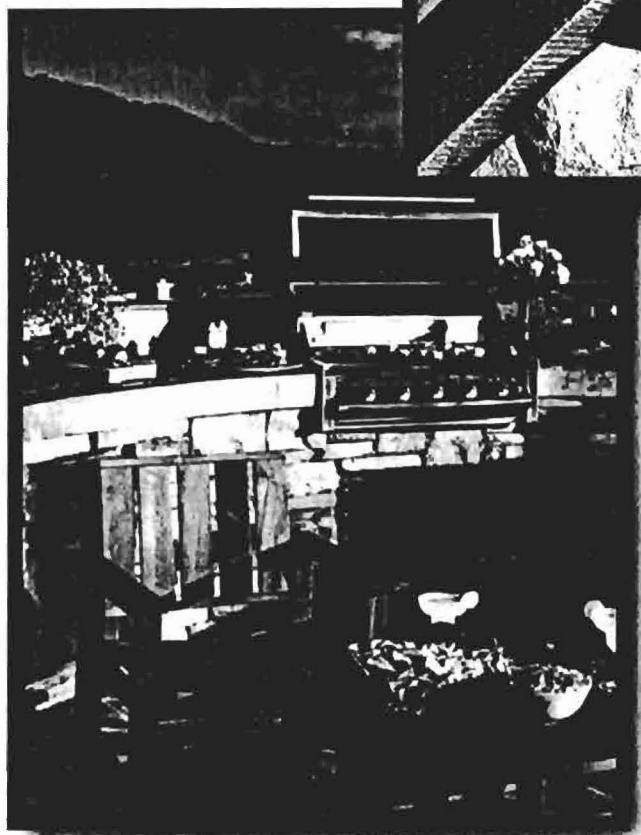
Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

CULTURED STONE[®]

Manufacturer's Installation Instructions



CULTURED STONE®

Manufacturer's Installation Instructions

Cultured Brick® Products Installation Instructions are available separately from your Dealer.

Building Code requirements vary from area to area. Check with local authorities for Building Code requirements in your area. Carefully read all Installation Instructions before proceeding with your Cultured Stone® products application. Observe safety precautions. Cultured Stone® products are covered by a 50-Year Limited Warranty when installed in accordance with the Manufacturer's Installation Instructions. See warranty on page 8.

Estimating Stone Required

Determine the amount of Cultured Stone® products needed by measuring the area to be covered. Measure the length times the height to arrive at the square footage of flat stone needed. Subtract square footage for window and door openings. Measure the linear feet of outside corners to determine the amount of corner pieces needed. One linear foot of corner pieces covers approximately 3/4 of a square foot of flat area. Subtract the flat area covered by the linear feet of corner pieces from the square footage of flat stone required. You may wish to obtain some extra stone to allow for cutting and trimming.

Tools Required

(Choose the tools required for your installation - see page 7 for illustrations and appropriate use.)

Hammer or Staple Gun • Wheelbarrow & Hoe • Hock & Trowel • Mason's Trowel • Margin Trowel • Masonry, Circular, Table Saw or Grinder with Carborundum or Diamond Blade • Wide Mouth Nippers or Hatchet • Safety Glasses/Dust Mask • Level • Metal Jointing Tool or Wood Stick • Grout Bag • Whisk Broom

Sundry Material Requirements

A. MORTAR COMPONENTS

1. Premixed: Type N premixed mortar, or mortar mixed as per Table #2 on page 3.
2. Mortar color: iron oxide color (if desired).

B. WEATHER-RESISTANT BARRIER

Depending on local building code requirements, barrier shall be equal to U.B.C. Standard No. 14-1 for Kraft waterproof building paper or asphalt saturated rag felt or ASTM D 226, Type 1, No. 15 felt. **Note: Weather-resistant barrier must be used on all exterior and interior mortar applications except for those over masonry, concrete or stucco.**

C. METAL LATH

1. Minimum 2.5 lb. expanded metal lath (diamond mesh) galvanized. Black metal lath (rust inhibitive) may be used on interior applications.
2. or 18 gauge galvanized woven wire mesh.
3. For metal buildings & open stud construction - minimum 3.4 lb. 3/8" rib expanded galvanized metal lath.
4. or other code accepted mesh or lath.

D. FASTENERS

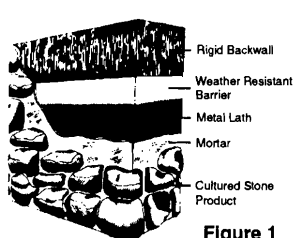
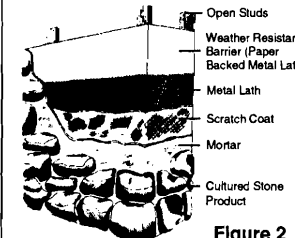
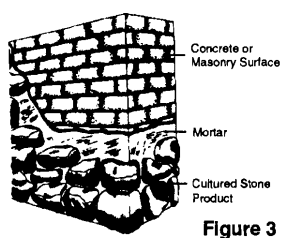
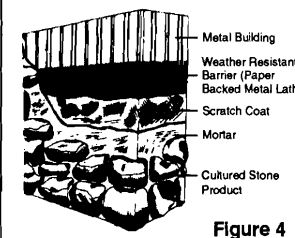
1. Galvanized nails, staples, concrete nails.
2. United States Gypsum Company's 1-1/4" type S-12 Pancake Head Super Tite screws. (Used for installation to metal surfaces.)

E. MASONRY SEALER

1. Silane based breather type sealer (if required).

Surface Preparation for Mortar Installations

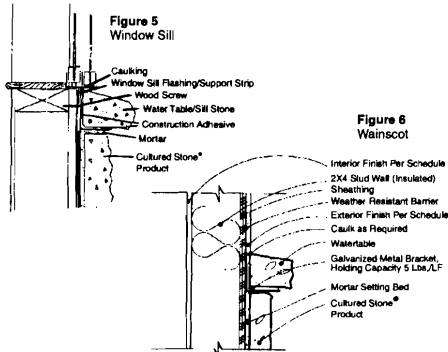
Using the chart below, determine the correct surface preparation for your installation.

TABLE 1	
WALL SURFACE	INTERIOR & EXTERIOR PREPARATION REQUIRED
Rigid Backwall Wallboard Plywood Paneling Wall Sheathing Concrete Board Polystyrene Insulation Board installed over a rigid backwall	Cover sheathing with a breather type weather resistant barrier, lap joints 4" shingle fashion. Then, in accordance with local building code, lap and install lath or mesh using galvanized nails or staples 6" on center vertically, penetrating studs a minimum of 1". Continuously wrap weather-resistant barrier and metal lath a minimum of 16" around all outside and inside corners. (Fig. 1).
Clean & Untreated Concrete Masonry Stucco	No preparation needed. Examine newly poured concrete closely to ensure that its finished surface contains no release agents (form oil). If it does contain form oil, etch surface with muriatic acid, rinse thoroughly and/or score with a wire brush (Fig.3).
Dirty, Painted or Sealed Concrete, Masonry or Stucco	Sandblast or waterblast to original surface (remove sandblasting dust by washing) or securely attach lath.
Metal Buildings	Lap and install paperbacked 3/8" rib expanded metal lath to metal cladding supports of 20 ga. to 12 ga. using United States Gypsum Company's 1-1/4" type S-12 Pancake Head Super Tite screws. Screws must penetrate 3/8" beyond the inside face of metal surface. Screws are to be installed on centers equal to 1 screw/sq. ft. and shall not exceed 6" on center in one direction. Apply 1/2" to 3/4" scratch coat and allow to dry 48 hours (Fig.4).
Open Studs Polystyrene Insulation Board Installed Over Open Studs	Lap and install paperbacked metal lath to studs using nails which penetrate a minimum of 1" at 4" on center. Apply 1/2" to 3/4" scratch coat and allow to dry 48 hours (Fig. 2).
 <p style="text-align: center;">Figure 1</p>	 <p style="text-align: center;">Figure 2</p>
 <p style="text-align: center;">Figure 3</p>	 <p style="text-align: center;">Figure 4</p>

Watertable/Sill Installations

Watertable/Sills provide a transition piece between a stone wainscot and other exterior finishes and for water runoff. They can also be used as a window sill.

Install using galvanized metal support brackets or support strip fastened with galvanized nails or screws penetrating studs 1" at a minimum of 16" O.C. Caulk and flash top of Watertable/Sill as required.

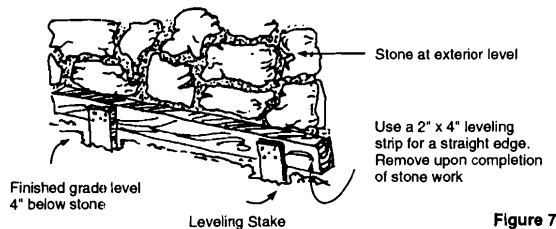


Installing Stone At Ground Level

Keep the finished edge of the Cultured Stone® product a minimum of 4" above grade. Use a 2" X 4" leveling strip (straight-edge) (Figure 7).

This will:

- Provide a means of drainage
- Avoid possible staining of the stone by soils containing alkali or other minerals
- Achieve the look of natural stone that has been installed on a footing or foundation



Prepare Your Work Area

Spread Cultured Stone® wall veneer out at the job site so you have a good variety of sizes, shapes, and colors to choose from. Plan for some variety and contrast in the overall design. Use small stones next to large ones, heavy-textured pieces next to smooth, thick stones next to thinner ones. Mixing Cultured Stone® wall veneer from different boxes during application will allow you to achieve a desirable balance of stones on your finished project.

Mortar

NOTE: WEATHER CONDITIONS

If stone is being applied in hot or dry weather, the back of each piece should be moistened with a fine spray of water or a wet brush to adequately prevent excessive absorption of moisture from the mortar. If being installed over concrete, masonry or scratch coat substrate, the substrate surface area should also be dampened before applying mortar.

Applications should be protected from temperatures below freezing as mortar will not set up properly under such conditions. Do not use antifreeze compounds to lower the freezing point of mortar.

A. MIXING MORTAR/GROUT

Using Premixed Type N mortar or components from Table 2, mix to a firm, moist consistency. Mortar that is too dry and crumbly will not provide proper bond. Mortar that is too wet will be weak and messy.

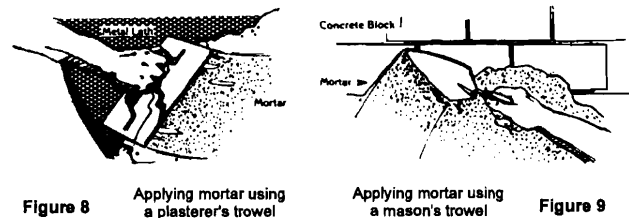
Mortar Type	Parts By Volume			
	Portland Cement or Blended Cement	Masonry Cement Type N	Hydrated Lime or Lime Putty	Aggregate
N	1	--	1	4-1/2 to 6
	--	1	--	2-1/4 to 3

B. MORTAR COLOR

Tinting mortar complements the color of the stone being installed. Example: use tan mortar with earthtone stones. This will greatly enhance the appearance of the finished installation. Regular mortars can be tinted to complement your Cultured Stone® product using iron oxide pigments available from your dealer.

C. APPLYING MORTAR TO PREPARED SURFACE AREA

Using a plasterer's or mason's trowel (Figures 8 and 9), apply mortar 1/2" to 3/4" thick to prepared surface area. Do not spread more than a workable area (5 to 10 sq. ft.) so that mortar will not "set up" before stone is applied.



Applying Cultured Stone® Products

See page 5 for additional instructions concerning Pro-Fit LedgeStone®, Carolina LedgeStone & European Castle Stone.

A. STARTING POINT

Apply mortar and stone working from the bottom up or most stones can also be applied from the top down. Working from the top down may help avoid splashing previously applied stone with dripping mortar. LedgeStone types should be installed from the bottom up.

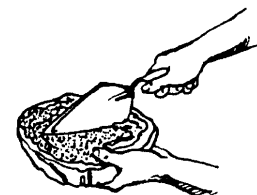
B. JOINT WIDTH

In order to obtain the most natural look, joints should be as narrow as possible, average should not exceed 1/2" in width. An attractive look can also be achieved by fitting stones tightly together if desired.

C. SETTING THE STONES

Press each stone into the mortar setting bed firmly enough to squeeze some mortar out around the stone's edges. Apply pressure to the stone to ensure a good bond. Ensure complete coverage between the mortar bed and back surface of the stone. Mortar may also be applied to the entire back of the stone (Figure 10).

Figure 10
Mortar applied to the entire back of the stone



Care must be taken to avoid smearing mortar on surface of stone. Accidental smears should be removed using a whisk broom only after mortar has become crumbly.

D. INSTALL CORNER PIECES FIRST

If your application requires corner pieces, apply these first. Notice that the corner pieces have a long and a short leg. Alternate these in opposite directions (Figure 11).



Figure 11
Applying corners -
alternating long and
short legs in the
opposite directions

E. INSTALL FLAT PIECES

After the corner pieces are in place, flat pieces are applied working toward the wall center (Figure 12).

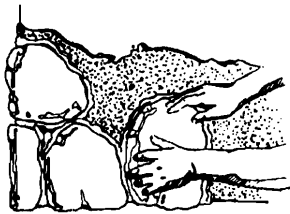


Figure 12
Applying flat pieces

F. KEEP YOUR MORTAR JOINTS CONSISTENT

Place the individual stones close together creating uniform joints between them. Cut and trim as required to achieve consistent width in the mortar joints. Then trim and fit small pieces into any remaining voids (Figure 13).

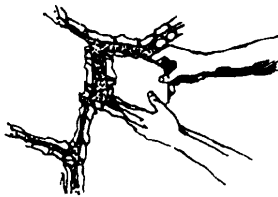


Figure 13
Position large pieces
first, then trim and fit
in smaller pieces

G. CUTTING AND TRIMMING

Stones can be cut and shaped for fit. Use wide mouth nippers or a hatchet (Figures 14 and 15). (Refer to page 2 - Tools Required). Some broken stones may be found in the box. These also may be used in filling gaps between large stones. For best finished appearance, coat cut or broken edges with mortar. If possible, position cut edges up when they are above eye level, down when below eye level. **Always use safety glasses when cutting and trimming.**



Figure 14
Trimming with wide
mouth nippers



Figure 15
Trimming with
a hatchet

NOTES:

LEVEL AND PLUMB JOINT LINES

When applying Cobblefield®, Castle Stone, Limestone or Ledgestone, endeavor to maintain level and plumb joint lines. Also, long rectangular pieces will look most natural if applied horizontally.

RIVER ROCK & STREAM STONE

When applying River Rock or Stream Stone, plan the placement of stones to minimize trimming and cutting to maintain the natural looking rounded shapes.

LEDGESTONE TYPES

When applying Ledgestone types keep joints as small as possible to maintain a natural look and install from the bottom up. Strike joints deeply being careful not to expose the back edge of stones.

See page 5 for additional instructions regarding Pro-Fit Ledgestone®, Carolina Ledgestone, and European Castle Stone.

Grouting and Finishing Joints

A. GROUTING JOINTS

If additional mortar is required, use a grout bag to fill in joints (Figure 16). Care must be taken to avoid smearing mortar on surface of stone. Accidental smears should be removed only after mortar has become crumbly using a whisk broom or dry bristle brush. Never use a wet brush or wire brush.

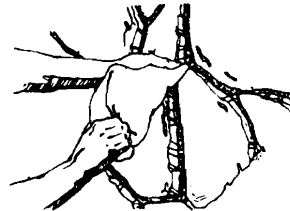


Figure 16
Grouting joints

B. FINISHING JOINTS

When the mortar joints have become firm or thumb-print dry (setting time will vary depending on wall surface and climatic conditions), they should be pointed up with a wood stick or metal jointing tool. Rake out excess mortar, compact and seal edges around stones (Figure 17). Careful attention to proper and even jointing will result in a professional looking finish.



Figure 17
Finishing the job

C. CLEANING FINISHED JOB

At the end of the work day, or when mortar is sufficiently set up, the finished job should be broomed or brushed to remove loose mortar and to clean the face of the stone. **A wet brush should never be used to treat the mortar joints** as this will cause staining that will be difficult, or impossible, to remove. **Do not use acid or acid base products.**

Additional Instructions For Pro-Fit LedgeStone®, Carolina LedgeStone, and European Castle Stone

FIT THE JOINTS TIGHTLY

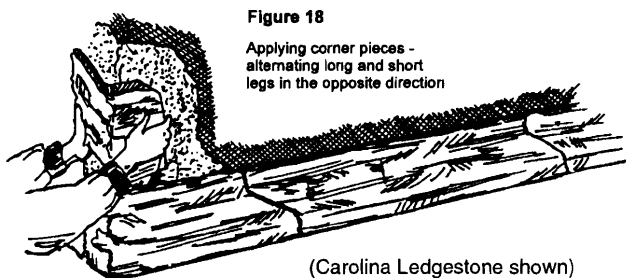
Install all these products with tight-fitted (mortarless) joints. Generally components should be placed butting each other and aligned for level and plumb. When installing with mortar, the backs of all these components must be wet. They should be noticeably damp, but free from surface water. Mortar must be tinted to match the color of the stone you are installing to help conceal the joint lines.

A. STARTING POINT

Products are applied starting from the bottom (first course) and working up. Start each course with the appropriate LedgeStone component or European Castle Stone. Continue horizontally and complete each course before starting the next. If required, cut the appropriate size component to fit at the end or top of the finish area (Figure 20). Frequently check the installation for level and alignment.

B. INSTALL CORNER PIECES FIRST

If your application requires corner pieces, start by installing a corner piece first followed by the adjoining flat pieces. Notice that the corner pieces have a long and short leg. Alternate these in opposite directions (Figure 18).

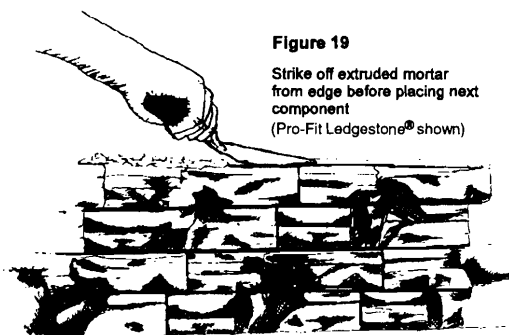


C. SETTING THE STONES

Press each stone into the mortar setting bed firmly enough to squeeze some mortar out around the mortar groove at the back edge of component. Apply pressure to the component to ensure a good bond. Check for level and plumb. Mortar may also be applied to the entire back of the stone.

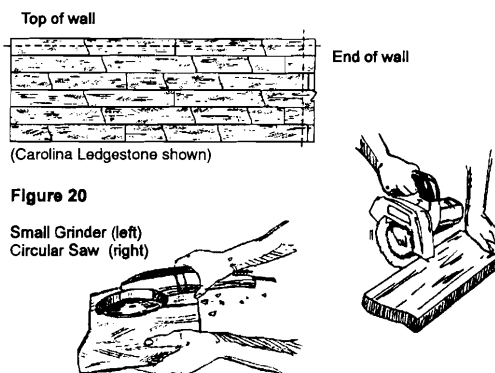
D. INSTALL FLAT PIECES

After the first corner piece is in place, the adjoining flat pieces of each course or pattern are applied. Using a trowel, strike off the excess mortar around the edges of the component prior to placing the next component. This will allow the next adjacent component to fit tightly (see Figure 19). **Choose the correct length component to ensure that vertical joints do not line up.**



G. CUTTING AND TRIMMING

Vertical or horizontal cuts can be made using a table saw, circular saw or small grinder equipped with a dry cutting diamond or carborundum blade (See Figure 20).



Cutting should be done outside as some dust will occur.

SAFETY GLASSES AND A DUST MASK SHOULD ALWAYS BE WORN WHEN CUTTING ANY CULTURED STONE® PRODUCTS. Stones can also be cut and shaped using wide-mouth nippers or a hatchet.

ADDITIONAL INFORMATION ON CUTTING AND FITTING

Finished Edges - Place finished edges at exposed areas.

Cut Edges - Place cut edges within courses.

FINISHING JOINTS

The design simplicity of Pro-Fit LedgeStone®, Carolina LedgeStone, and European Castle Stone allows for easy installation of components and provides a finished mortar-less joint between the stones. This reduces the time required for cutting, grouting and jointing.

SURFACE CLEANING

Care must be taken to avoid smearing mortar on the surface of components. Accidental smears should be removed with a whisk broom or dry bristle brush only after mortar has become crumbly. **Do not use a wet brush or a wire brush.** Careful attention to proper jointing will result in a professional looking finish. **Do not use acid or acid base products.**

Installing Hearthstones

Hearthstones are not recommended or warranted for exterior use or as a surface area subject to foot traffic. Terra Craft® Pavers are available from your dealer for patios, walkways, and driveways.

A. PLACE MORTAR

Place mortar 3/4" deep in 3-inch wide strips 1 inch apart on prepared surface (Figure 21).



Figure 21
Placing Mortar for
Hearthstone Installation

B. INSTALL HEARTHSTONES

Place the first Hearthstone on to the mortar bed and level (Figure 22). Place adjacent Hearthstones, aligning and leveling with the first piece.

If joints need additional mortar, fill joints using a grout bag. Tool and finish joints following previous instructions under "Grouting and Finishing Joints". Ensure Hearthstones are set in a complete bed of mortar.

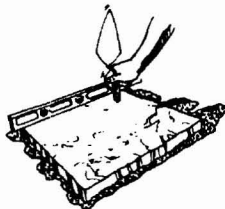


Figure 22
Placing Hearthstone

C. CUTTING AND TRIMMING HEARTHSTONES

Hearthstones can be cut as required using a circular saw fitted with a carborundum or diamond blade or using a mason's brick or tile saw. Place finished edges at exposed areas.

NOTES: HEARTHSTONE INSTALLATION

U.L. LISTED

Cultured Stone® and hearth products are made from noncombustible materials (U.L. Listing #209T). They are listed by Underwriters Laboratories, Inc. for use as floor protectors and wall shields with stoves and on fireplace hearths. If complying to U.L. Listing, mortar joints must not exceed 1/2" in width and the mortar must be even with the top of the hearth surface.

RAISED HEARTH

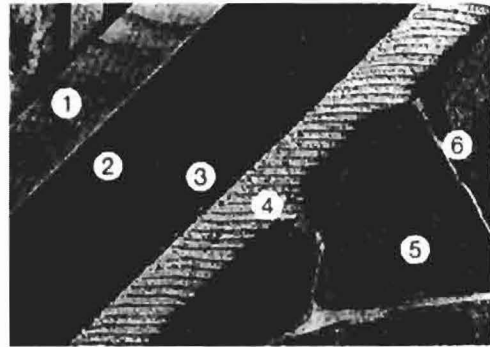
Do not cantilever or extend Hearthstones more than 1-1/2" beyond direct support. When grouting the extended portion of a cantilevered Hearthstone, bring the grout to the front edge. Push a long galvanized nail horizontally into the grout to add support, then cover the nail with mortar.

SEALING FIREPLACES/HEARTHES

If desired, sealing the Cultured Stone® facing or hearth of a fireplace installation will assist in the removal of smoke and soot stains should they occur.

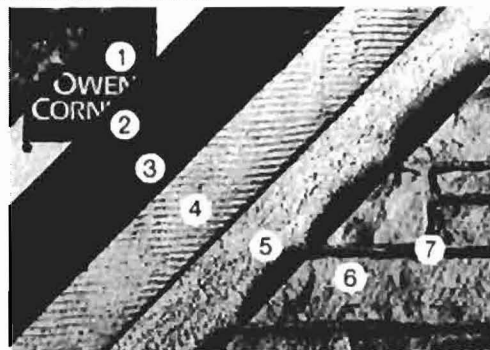
Typical Installations:

WOOD FRAME:



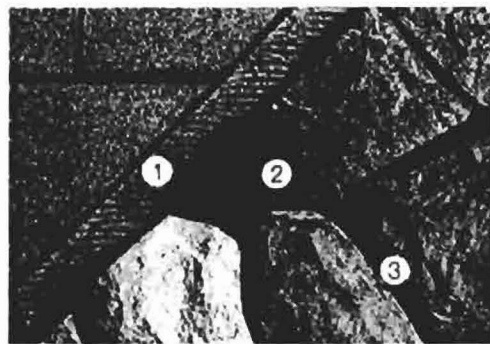
In sequence: (1) sheathing, (2) weather-resistant barrier, (3) galvanized metal lath, (4) mortar, (5) Cultured Stone, (6) mortar joint.

RIGID FOAM INSULATION:



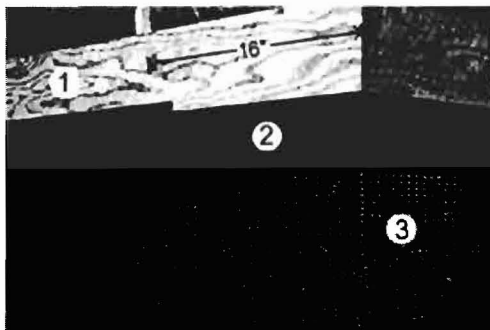
In sequence: (1) rigid foam insulation, (2) weather-resistant barrier, (3) metal lath, (4) scratch coat, (5) mortar setting bed, (6) Cultured Stone, (7) mortar joint.

MASONRY OR CONCRETE:



In sequence: (1) mortar applied directly to untreated, unpainted masonry, concrete or stucco, (2) Cultured Stone, (3) mortar joint.

CORNER PREPARATION:



Weather-resistant barrier and galvanized metal lath must continuously lap a minimum of 16" beyond outside and inside corners. Lap materials 4" on horizontal and vertical joints. (1) wall substrate, (2) weather-resistant barrier, (3) metal lath.

General Information

CLEANING

Dirt etc. may be removed by using a strong solution of granulated soap or detergent and water with a bristle brush. **Do not use a wire brush** as it will cause damage to the surface. Rinse immediately with fresh water. For help with serious cleaning problems, contact your local dealer. **Do not attempt to clean using acid or acid containing products. Do not clean with high pressure power washer.**

SALT AND DE-ICING CHEMICALS

Because all concrete and masonry is vulnerable to damage by salt, Cultured Stone® products are not warranted against damage incurred from salt or other chemicals used to remove snow or ice. Do not use de-icing chemicals on areas immediately adjacent to a Cultured Stone® application.

SCUFFING

Scuffing occurs on all natural stone. Occasionally some scuffing will occur on the surface of Cultured Stone® products. This can enhance the natural appearance of your Cultured Stone® installation. Some scuff marks can be removed by cleaning as described above.














EFFLORESCENCE

Efflorescence is a water-soluble salt that is deposited on the surface of stucco, concrete, brick and other masonry products by the evaporation of water that has penetrated the wall. On rare occasions efflorescence will occur on Cultured Stone® products. To remove efflorescence, allow the stone to dry thoroughly, then scrub vigorously with a stiff bristle brush and clean water. Rinse thoroughly - do not use a wire brush. For more difficult efflorescence problems, scrub thoroughly with a solution of 1 part white household vinegar to 5 parts water. Rinse thoroughly. For unusually difficult cleaning problems contact your local Cultured Stone® dealer.

SWIMMING POOLS

Cultured Stone® products should not be used below water level as in swimming pool liners. Chlorine and other chemicals may discolor the Cultured Stone® products and other masonry materials.

TOOLS REQUIRED

 <p>Hammer/Staple Gun (Applying weather resistant barrier and/or metal lath)</p>	 <p>Metal Jointing Tool/Wood Stick (Finishing joints)</p>	 <p>Masonry, Circular, Table Saw or Grinder with Carbonundum or Diamond Blade</p>	
 <p>Mason's Trowel (Applying mortar)</p>	 <p>Margin Trowel (Applying masonry adhesive)</p>	 <p>Safety Glasses (Use when cutting stones)</p>	 <p>Wide mouth Nippers/Hatchet (Trimming stone)</p>
 <p>Wheel Barrow and Hoe (Mixing mortar)</p>	 <p>Hock and Trowel</p>	 <p>Grout Bag</p>	
	 <p>Level</p>	 <p>Whisk Broom (Cleaning finished work)</p>	 <p>Dust Mask</p>

Incorporate Good Building Practices

BUILDING CODE REQUIREMENTS

Building Code requirements vary from area to area. Check with local authorities for Building Code requirements in your area. Carefully read all Installation Instructions before proceeding with your Cultured Stone® application.

EXTERIOR APPLICATIONS

Make sure that the application of Cultured Stone® products and the structure they are being applied to incorporate good building practices.

Rigid, corrosion-resistant flashing shall be installed at all wall penetrations. Flashing type and locations shall be in accordance with the requirements of the applicable building code. On exterior applications, the incorrect installation or absence of flashing, cant strips, gutters and downspouts may result in diversion of water run-off onto finished surface areas. Masonry and other building products subjected to these conditions may develop staining, and when combined with severe freeze-thaw conditions, may eventually cause surface damage. The application of Cultured Stone® products under these conditions is not recommended.

CAPPING OFF THE EXPOSED TOP OF EXTERIOR WALLS

To achieve a finished architectural look on horizontal or sloping top areas of exterior walls, piers, retaining walls, or other surfaces, the use of Cultured Stone® Capstones or a poured-in-place concrete cap must be used to provide adequate run-off protection to the wall areas. Caps should extend approximately 1" to 2" beyond the finished stone surface. **Cultured Stone® corner pieces or flat pieces must not be used to cap walls.**

RETAINING WALLS

All retaining walls must be water-proofed at the fill side. Wall construction should incorporate proper use of granular back fill and provisions for good drainage. A continuous longitudinal drain along the back of the wall set in drain rock is recommended.

CHIMNEY CAP

All chimney chases must be capped with a one-piece cap that extends 1" - 2" beyond the finished stone surface to prevent water from entering the wall system. Chimney or chase construction should incorporate proper flashing.

Code Acceptances, Reports And Listings

Tested or listed by Underwriters Laboratories, Inc., City of Los Angeles RR23744, HUD Materials Release No. 691c, Texas Dept. of Insurance Product Evaluation EC-21, ICBO Report ER-5749, National Evaluation Service NER-358 (showing acceptability to 2000 International Building Code, 2000 International Residential Code, BOCA National Building Code/1999, 1999 Standard Building Code and 1997 Uniform Building Code) and Ontario BMEC Authorization #01-04-256.

Trademarks and Patents

"Cultured Stone®," "Cultured Stone Veneer®," "Cultured Brick®," "Pro-Fit®," "Pro-Fit LedgeStone®," "Cobblefield®," "Desert Blend®," "Glacier®," "California Drift®," "C.S.V.®," "StoneCAD®," and Design Solutions™ are registered trademarks of Cultured Stone - A Division of Owens Corning.

Cultured Stone® 50-Year Limited Warranty

Cultured Stone® products are covered for a period of 50 years from the date of purchase when used on a structure which conforms to local building codes and when installed in accordance with the manufacturer's instructions. Cultured Stone - A Division of Owens Corning will repair or provide, free-of-charge, new materials to replace any determined to be defective. This warranty is limited to the original purchaser and may not be transferred to any subsequent owner.

This warranty does not cover damage resulting from:

- Settlement of the building or other wall movement.
- Contact with chemicals or paint.
- Discoloration due to airborne contaminants.
- Staining or oxidation.

This warranty covers only manufacturing defects in Cultured Stone® manufactured stone products. Cultured Stone - A Division of Owens Corning is not responsible for labor costs incurred in removal and replacement of defective products. Hearthstones are not warranted for use on the ground or as a surface area subject to foot traffic.

AUTHORIZED DEALER:

CULTURED STONE®

One Owens Corning Parkway, Toledo, OH 43659
Tel: 800-255-1727 Fax: 707-255-5572



E-Mail: cltrdstm@owenscorning.com
Or for additional information, visit our
website at <http://www.culturedstone.com>



Authentic Roof™

By Crowe Building Products Ltd.

From the people who invented it!

Made with Baljen TPO

Technical Specifications:

Colors: Bavarian Black, Virginia Dark Grey / Galveston Light Grey, Colorado Green, Paris Plum

Styles: Full Slate / Mitered Edge / Beaver Tail

Slate Size: #12-2000- Series Slates Length - 18" Width - 12" Weight - 1.2 to 1.54 Lbs. per Slate.

Thickness - 1/4" at the exposed end, tapering to 1/8" at the top.

#12-2000 - Hip & Ridge Cap Slates

Same Full slate with channel in back to allow it to bend to suit desired angle.

To figure hip & ridge cap:

Number of Feet of Hip & Ridge X 12" ~ exposure (6" to 7") = # of tile, round up to the nearest bundle of 25.

One bundle of R/C = 12.5 Feet @ 6" / 13.5 Feet @ 6 1/2" / 14.6 Feet @ 7" exposure.

Exposure: For Sloped Roof Installations, recommended roof pitch; 3/12 or 1/4 and up.

#12-2000 Series - 6" to 7":

3/12 to 6/12 - 6" exposure

Above 6/12 - expanding to maximum 7" exposure.

E.G.: 7/12 - 6 1/4", 8/12 - 6 1/2", 9/12 - 6 3/4", 10/12 - 7", 12/12 to 18/12 - 7"

Note: Vertical installations (Mansard) revert to 5" to maximum 6" exposure.

On a 3/12 installation, the roof deck should be covered with "Ice & Water Shield.

Number of slates per square	Maximum Weights per square	Per square foot
6" = 200	240 to 308 Lbs.	2.4 to 3.1 Lbs
6.5" = 185	222 to 285 Lbs.	2.22 to 2.85 Lbs.
7" = 172	206 to 265 Lbs.	2.06 to 2.65 Lbs.

Packaging:

Coverage per bundle

Bundles of 25

6" = 12.5 Square Feet / 6.5" = 13.5 Sq. Ft. / 7" = 14.6 Sq. Ft.

Per Skid

1,200 Slates max.

48 Bundles

Weight per skid

2,000 Lbs.

Weight Per bundle

30 to 38.5 Lbs.

Testing: Now Underwriters Laboratories Listed; UL790; Class A fire rated with DensDeck® underlayment, Class B

fire rated with G1 fiberglass base sheet (fiberglass felt), Class C fire rated with 30 pound tarpaper.

UL997; Wind Tunnel tested to velocities up to 110 MPH and carries a UL2218 Class 4 Hail Impact.

Authentic Roof™ roofing slate products have been tested by independent testing agencies as well as by ourselves to extreme limits so as to far surpass the highest standards in the industry. Research and development on this product is ongoing to find ways of improving the product and the materials that comprise it so as to stay number one. Authentic Roof is the original synthetic, polymer & rubber roofing slate and is the only one made with TPO (Thermal Poly Olifins). There is also an Ultra Violet protection package in the material to protect it from the sun's harmful UV rays so as to preserve the material and protect it from fade. For a more complete summary of the independent testing, please consult our brochure or www.authentic-roof.com

If it's not from Crowe, it's not Authentic!

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PRESS RELEASE - Underwriters Laboratories Listing #R21159

We are pleased to announce that Underwriters Laboratories Inc. has completed their tests and factory inspections. We are now listed for the following classifications:

UL790

Class A - prepared roof covering when laid over one layer of 1/4 in. thick G-P Gypsum Dens-Deck or 1/2 in thick gypsum board followed by one or more layers of type 30 underlayment either as an interply or as a base sheet alone.

Class B - prepared roof-covering limited to minimum 15/32 in. plywood or similar decks and one ply Type G1 Fiberglass felt base sheet.

Class C - for installation over minimum 15/32 in. plywood or similar decks when applied with type 30 underlayment either as an interply or as a base sheet alone.

UL997

For installation as wind resistant roof coverings when installed in accordance with manufacturer's installation instructions. These shingles may also bear the statement " Also evaluated at wind velocities up to 110 mph" .

UL2218

Class 4 Hail Impact Resistance.

"This investigation was initiated with a purpose to establish a program of Listing and Follow-up Service for the products involved in the construction of the test assemblies. Product Listing involves more than merely testing in accordance with a designated Standard. It also involves the implementation of an ongoing program of unannounced visits at the factory whereby Underwriters field representatives audit the quality control programs for factory output, which bears the UL Mark" .

To search out Anthentic Roof Listing on the Underwriters Laboratories web site:

Please go to: <http://www.ul.com>

ONLINE CERTIFICATIONS DIRECTORY - UL File Number

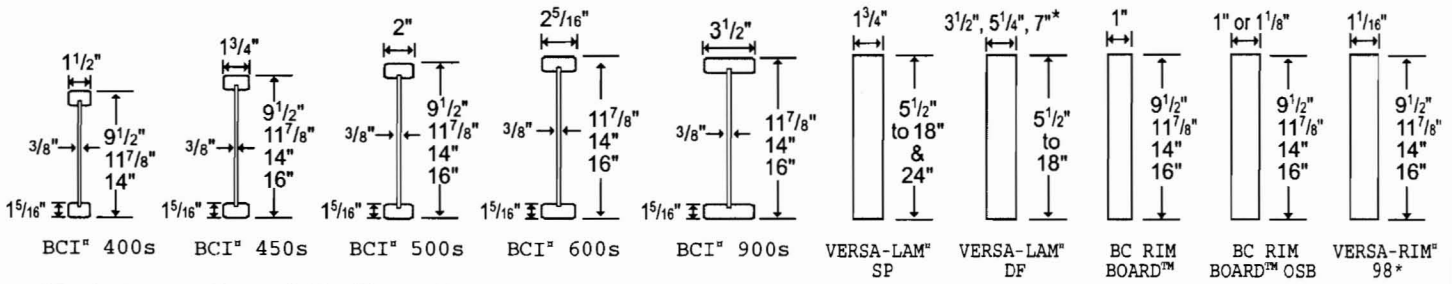
Enter: R21159

**This will take you to Two Listings for Crowe Building Products Ltd.
The first is for Fire and Wind, the second is for Hail Impact.**

For more information please call us at 905-529-6818

Thank you!

Authentic Sales Department



*Product may not be available. Check with supplier or Boise representative for availability.

Residential Floor Span Table

Joist Depth	BCI [®] Joist Series	★★★ THREE STAR ★★★					★★★★ FOUR STAR ★★★★★					CAUTION ★ MINIMUM STIFFNESS ALLOWED BY CODE ★ CAUTION				
		12" o. c.	16" o. c.	19.2" o. c.	24" o. c.	32" o. c.	12" o. c.	16" o. c.	19.2" o. c.	24" o. c.	32" o. c.	12" o. c.	16" o. c.	19.2" o. c.	24" o. c.	32" o. c.
9 1/2"	400s	17'-3"	15'-9"	14'-11"	13'-10"	12'-3"	11'-5"	11'-5"	11'-1"	10'-9"	9'-9"	19'-0"	17'-5"	16'-2"	14'-5"	12'-3"
	450s	17'-11"	16'-5"	15'-6"	14'-5"	13'-2"	11'-10"	11'-10"	11'-5"	11'-2"	10'-2"	19'-10"	18'-2"	17'-2"	15'-8"	13'-4"
	500s	18'-7"	17'-0"	16'-0"	14'-11"	13'-7"	12'-3"	12'-3"	11'-10"	11'-6"	10'-5"	20'-7"	18'-10"	17'-9"	16'-7"	14'-3"
11 7/8"	400s	20'-5"	18'-8"	17'-8"	16'-6"	14'-1"	14'-10"	14'-7"	13'-9"	12'-9"	11'-7"	22'-7"	20'-5"	18'-8"	16'-8"	14'-1"
	450s	21'-4"	19'-6"	18'-5"	17'-2"	15'-0"	15'-4"	15'-2"	14'-4"	13'-4"	12'-1"	23'-7"	21'-7"	20'-3"	18'-1"	15'-0"
	500s	22'-2"	20'-3"	19'-1"	17'-9"	15'-0"	15'-10"	15'-9"	14'-10"	13'-9"	12'-6"	24'-6"	22'-4"	21'-2"	19'-5"	15'-0"
	600s	23'-0"	21'-0"	19'-9"	18'-5"	16'-9"	17'-11"	16'-4"	15'-4"	14'-3"	12'-11"	25'-5"	23'-3"	21'-11"	20'-5"	17'-3"
	900s	26'-0"	23'-8"	22'-3"	20'-9"	18'-10"	20'-3"	18'-5"	17'-3"	16'-0"	14'-5"	28'-9"	26'-2"	24'-8"	23'-0"	19'-4"
14"	400s	23'-3"	21'-3"	20'-1"	18'-5"	14'-3"	18'-2"	16'-7"	15'-7"	14'-6"	13'-2"	25'-8"	22'-7"	20'-7"	18'-5"	14'-3"
	450s	24'-2"	22'-1"	20'-11"	19'-6"	15'-2"	18'-11"	17'-3"	16'-3"	15'-1"	13'-8"	26'-9"	24'-6"	22'-5"	20'-0"	15'-2"
	500s	25'-1"	22'-11"	21'-8"	20'-2"	15'-2"	19'-8"	17'-10"	16'-10"	15'-7"	14'-2"	27'-9"	25'-4"	23'-11"	20'-3"	15'-2"
	600s	26'-1"	23'-9"	22'-5"	20'-10"	17'-5"	20'-4"	18'-6"	17'-5"	16'-2"	14'-7"	28'-10"	26'-4"	24'-10"	23'-1"	17'-5"
	900s	29'-5"	26'-9"	25'-3"	23'-6"	19'-6"	23'-0"	20'-10"	19'-7"	18'-2"	16'-5"	32'-6"	29'-8"	28'-0"	26'-0"	19'-6"
16"	450s	26'-10"	24'-6"	23'-2"	20'-5"	15'-4"	21'-0"	19'-1"	18'-0"	16'-9"	15'-2"	29'-8"	26'-7"	24'-3"	20'-5"	15'-4"
	500s	27'-9"	25'-4"	23'-11"	20'-5"	15'-4"	21'-9"	19'-9"	18'-8"	17'-4"	15'-4"	30'-8"	28'-1"	25'-7"	20'-5"	15'-4"
	600s	28'-10"	26'-4"	24'-10"	23'-1"	17'-7"	22'-7"	20'-6"	19'-4"	17'-11"	16'-2"	31'-11"	29'-1"	27'-6"	23'-5"	17'-7"
	900s	32'-6"	29'-7"	27'-11"	25'-11"	19'-7"	25'-5"	23'-1"	21'-8"	20'-1"	18'-2"	36'-0"	32'-9"	30'-11"	26'-2"	19'-7"

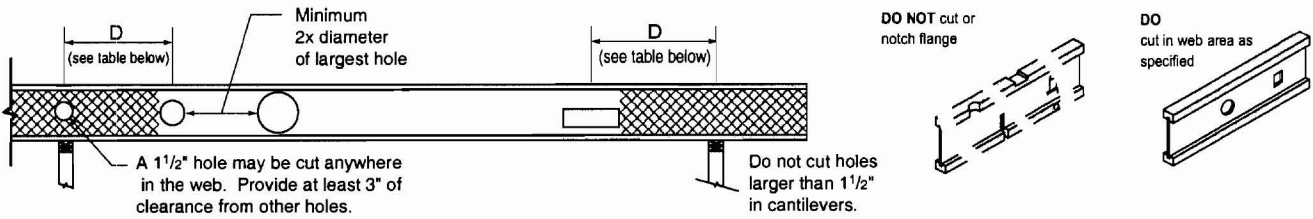
- Table values assume that 2 1/2" min. plywood/ OSB rated sheathing is glued and nailed to the joists.
- Table values represent the most restrictive of simple or multiple span applications.
- Table values are based on residential floor loads of 40 PSF live load and 10 PSF dead load.
- Table values are the maximum allowable clear distance between supports.
- Table values assume minimum bearing lengths without web stiffeners for joist depths of 16 inches and less.
- This table was designed to apply a broad range of applications. It may be possible to exceed the limitations of this table by analyzing a specific application with the BC CALC[®] software.
- ★★★ Live Load deflection limited to L/480.
- ★★★★ Live Load deflection limited to L/960 to provide a floor that is much stiffer for the more discriminating purchaser.
- ★ Live Load deflection limited to L/360 as allowed by the building code. (Shaded values do not satisfy the requirements of the North Carolina State Building Code. Refer to the THREE STAR table when spans exceed 20 feet.)

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BCI® Joist Hole Location & Sizing

BCI® Joists are manufactured with 1/2" round perforated knockouts in the web at approximately 12" on center



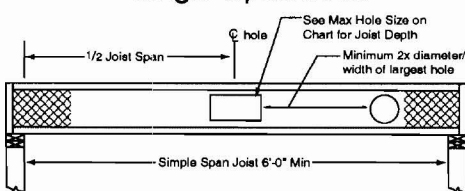
MINIMUM DISTANCE (D) FROM ANY SUPPORT TO THE CENTERLINE OF THE HOLE

Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	2	4	6	6	-	-	-	-	-	-	-	-		
Any 9 1/2" Joist	Span (ft)	8	1'-0"	1'-4"	2'-0"	2'-7"	3'-3"	3'-7"								
	12	1'-2"	2'-1"	3'-0"	3'-11"	4'-10"	5'-4"									
	16	1'-6"	2'-9"	4'-0"	5'-3"	6'-6"	7'-2"									
Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	-	2	3	4	5	7	8	-	-	-	-	-		
Any 11 7/8" Joist	Span (ft)	8	1'-0"	1'-2"	1'-7"	2'-0"	2'-6"	2'-8"	2'-11"	3'-4"	3'-8"					
	12	1'-1"	1'-9"	2'-5"	3'-1"	3'-9"	4'-0"	4'-4"	5'-0"	5'-7"						
	16	1'-6"	2'-5"	3'-3"	4'-1"	5'-0"	5'-5"	5'-10"	6'-8"	7'-5"						
	20	1'-11"	3'-0"	4'-1"	5'-2"	6'-3"	6'-9"	7'-3"	8'-4"	9'-4"						
Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	-	-	2	3	3	5	6	6	8	9	-	-		
Any 14" Joist	Span (ft)	8	1'-0"	1'-1"	1'-2"	1'-2"	1'-7"	1'-9"	2'-0"	2'-5"	2'-9"	2'-9"	3'-2"	3'-7"		
	12	1'-0"	1'-1"	1'-2"	1'-10"	2'-5"	2'-8"	3'-0"	3'-7"	4'-1"	4'-2"	4'-9"	5'-4"			
	16	1'-0"	1'-1"	1'-7"	2'-5"	3'-2"	3'-7"	4'-0"	4'-10"	5'-6"	5'-7"	6'-5"	7'-2"			
	20	1'-0"	1'-1"	2'-0"	3'-0"	4'-0"	4'-6"	5'-0"	6'-0"	6'-10"	7'-0"	8'-0"	9'-0"			
	24	1'-0"	1'-3"	2'-5"	3'-8"	4'-10"	5'-5"	6'-0"	7'-3"	8'-3"	8'-5"	9'-7"	10'-9"			
Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	-	-	-	-	2	3	5	5	6	8	9	10		
Any 16" Joist	Span (ft)	8	1'-0"	1'-1"	1'-2"	1'-2"	1'-3"	1'-3"	1'-5"	1'-9"	2'-1"	2'-1"	2'-6"	2'-10"	3'-2"	3'-6"
	12	1'-0"	1'-1"	1'-2"	1'-2"	1'-7"	1'-10"	2'-1"	2'-8"	3'-1"	3'-2"	3'-9"	4'-3"	4'-9"	5'-4"	
	16	1'-0"	1'-1"	1'-2"	1'-5"	2'-2"	2'-6"	2'-10"	3'-7"	4'-2"	4'-3"	5'-0"	5'-8"	6'-5"	7'-1"	
	20	1'-0"	1'-1"	1'-2"	1'-9"	2'-8"	3'-1"	3'-7"	4'-5"	5'-3"	5'-4"	6'-3"	7'-1"	8'-0"	8'-10"	
	24	1'-0"	1'-1"	1'-2"	2'-2"	3'-3"	3'-9"	4'-3"	5'-4"	6'-3"	6'-5"	7'-6"	8'-6"	9'-7"	10'-8"	

- Select a table row based on joist depth and the actual joist span rounded up to the nearest table span. Scan across the row to the column headed by the appropriate round hole diameter or rectangular hole side. Use the longest side of a rectangular hole. The table value is the closest that the centerline of the hole may be to the centerline of the nearest support.
- The entire web may be cut out. **DO NOT** cut the flanges. Holes apply to either single or multiple joists in repetitive member conditions.
- For multiple holes, the amount of uncut web between holes must equal at least twice the diameter (or longest side) of the largest hole.
- Holes may be positioned vertically anywhere in the web. The joist may be set with the 1/2" knockout holes turned either up or down.
- This table was designed to apply to the design conditions covered by tables elsewhere in this publication. Use the BC CALC® software to check other hole sizes or holes under other design conditions. **It may be possible to exceed the limitations of this table by analyzing a specific application with the BC CALC® software.**

Large Rectangular Holes in BCI® Joists

Single Span Joist

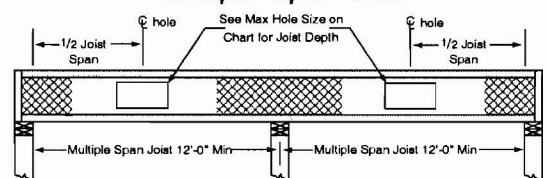


Notes:

Additional holes may be cut in the web provided they meet the specifications as shown in the hole distance chart shown above or as allowed using BC CALC® sizing software.

Joist Depth	Max Hole Size	
	Simple Span	Multiple Span
9 1/2"	6" x 14"	6" x 12"
11 1/8"	8" x 16"	8" x 13"
14"	9" x 18" 10" x 16"	8" x 16"
16"	11" x 18" 12" x 16"	10" x 14"

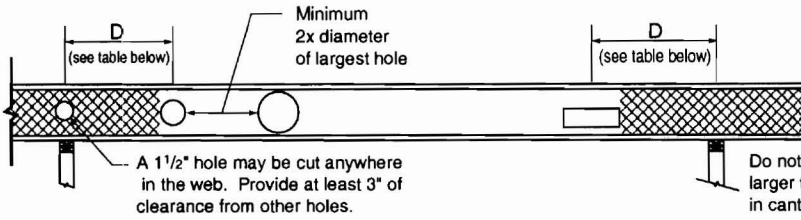
Multiple Span Joist



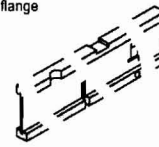
Larger holes may be possible for either Single or Multiple span joists; use BC CALC® sizing software for specific analysis.

BCI® Joist Hole Location & Sizing

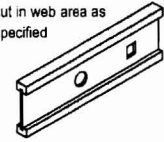
BCI® Joists are manufactured with 1/2" round perforated knockouts in the web at approximately 12" on center



DO NOT cut or notch flange



DO cut in web area as specified



Do not cut holes larger than 1 1/2" in cantilevers.

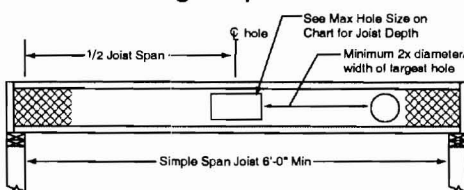
MINIMUM DISTANCE (D) FROM ANY SUPPORT TO THE CENTERLINE OF THE HOLE

Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	2	4	6	6	-	-	-	-	-	-	-	-		
Any 9 1/2" Joist	Span (ft)	8	1'-0"	1'-4"	2'-0"	2'-7"	3'-3"	3'-7"								
		12	1'-2"	2'-1"	3'-0"	3'-11"	4'-10"	5'-4"								
		16	1'-6"	2'-9"	4'-0"	5'-3"	6'-6"	7'-2"								
Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	-	2	3	4	5	7	8	-	-	-	-	-		
Any 11 7/8" Joist	Span (ft)	8	1'-0"	1'-2"	1'-7"	2'-0"	2'-6"	2'-8"	2'-11"	3'-4"	3'-8"					
		12	1'-1"	1'-9"	2'-5"	3'-1"	3'-9"	4'-0"	4'-4"	5'-0"	5'-7"					
		16	1'-6"	2'-5"	3'-3"	4'-1"	5'-0"	5'-5"	5'-10"	6'-8"	7'-5"					
		20	1'-11"	3'-0"	4'-1"	5'-2"	6'-3"	6'-9"	7'-3"	8'-4"	9'-4"					
Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	-	-	2	3	3	5	6	6	8	9	-	-		
Any 14" Joist	Span (ft)	8	1'-0"	1'-1"	1'-2"	1'-2"	1'-7"	1'-9"	2'-0"	2'-5"	2'-9"	2'-9"	3'-2"	3'-7"		
		12	1'-0"	1'-1"	1'-2"	1'-10"	2'-5"	2'-8"	3'-0"	3'-7"	4'-1"	4'-2"	4'-9"	5'-4"		
		16	1'-0"	1'-1"	1'-7"	2'-5"	3'-2"	3'-7"	4'-0"	4'-10"	5'-6"	5'-7"	6'-5"	7'-2"		
		20	1'-0"	1'-1"	2'-0"	3'-0"	4'-0"	4'-6"	5'-0"	6'-0"	6'-10"	7'-0"	8'-0"	9'-0"		
		24	1'-0"	1'-3"	2'-5"	3'-8"	4'-10"	5'-5"	6'-0"	7'-3"	8'-3"	8'-5"	9'-7"	10'-9"		
Round Hole Diameter (in)	2	3	4	5	6	6 1/2	7	8	8 7/8	9	10	11	12	13		
Rectangular Hole Side (in)	-	-	-	-	-	-	2	3	5	5	6	8	9	10		
Any 16" Joist	Span (ft)	8	1'-0"	1'-1"	1'-2"	1'-2"	1'-3"	1'-3"	1'-5"	1'-9"	2'-1"	2'-1"	2'-6"	2'-10"	3'-2"	3'-6"
		12	1'-0"	1'-1"	1'-2"	1'-2"	1'-7"	1'-10"	2'-1"	2'-8"	3'-1"	3'-2"	3'-9"	4'-3"	4'-9"	5'-4"
		16	1'-0"	1'-1"	1'-2"	1'-5"	2'-2"	2'-6"	2'-10"	3'-7"	4'-2"	4'-3"	5'-0"	5'-8"	6'-5"	7'-1"
		20	1'-0"	1'-1"	1'-2"	1'-9"	2'-8"	3'-1"	3'-7"	4'-5"	5'-3"	5'-4"	6'-3"	7'-1"	8'-0"	8'-10"
		24	1'-0"	1'-1"	1'-2"	2'-2"	3'-3"	3'-9"	4'-3"	5'-4"	6'-3"	6'-5"	7'-6"	8'-6"	9'-7"	10'-8"

- Select a table row based on joist depth and the actual joist span rounded up to the nearest table span. Scan across the row to the column headed by the appropriate round hole diameter or rectangular hole side. Use the longest side of a rectangular hole. The table value is the closest that the centerline of the hole may be to the centerline of the nearest support.
- The entire web may be cut out. **DO NOT** cut the flanges. Holes apply to either single or multiple joists in repetitive member conditions.
- For multiple holes, the amount of uncut web between holes must equal at least twice the diameter (or longest side) of the largest hole.
- Holes may be positioned vertically anywhere in the web. The joist may be set with the 1/2" knockout holes turned either up or down.
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Large Rectangular Holes in BCI® Joists

Single Span Joist

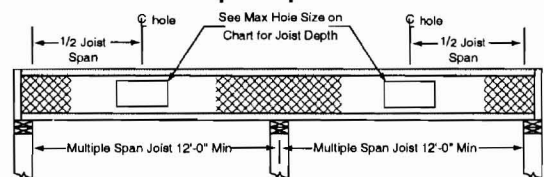


Notes:

Additional holes may be cut in the web provided they meet the specifications as shown in the hole distance chart shown above or as allowed using BC CALC® sizing software.

Joist Depth	Max Hole Size	
	Simple Span	Multiple Span
9 1/2"	6" x 14"	6" x 12"
11 7/8"	8" x 16"	8" x 13"
14"	9" x 18" 10" x 16"	8" x 16"
16"	11" x 18" 12" x 16"	10" x 14"

Multiple Span Joist

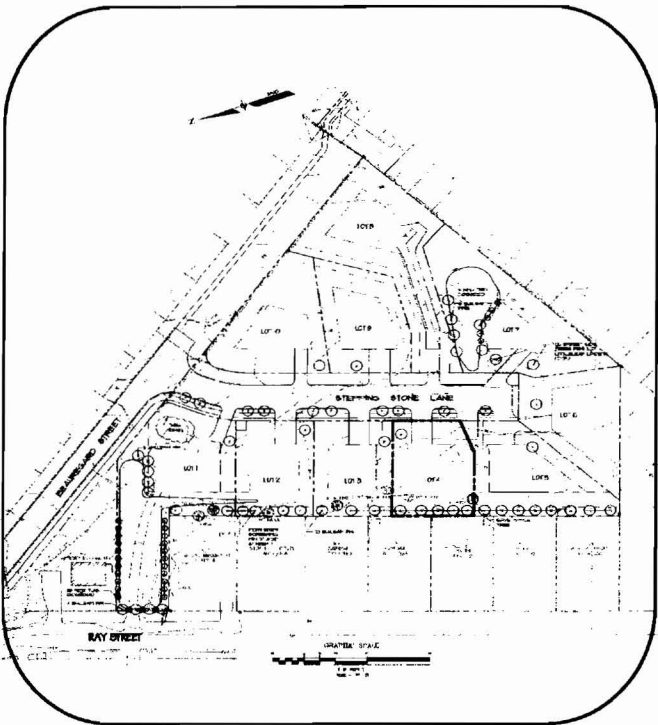


Larger holes may be possible for either Single or Multiple span joists; use BC CALC® sizing software for specific analysis.



Autumn Glen

At Stepping Stone Lane



SHEET SCHEDULE

- A-1 COVER SHEET
 - A-2 SITE PLAN
 - A-3 FLOOR PLANS
 - A-4 SCHEDULES
 - A-5 FRONT & REAR ELEVATIONS
 - A-6 SIDE ELEVATIONS
 - A-7 FOUNDATION & ROOF FRAMING PLANS
 - A-8 FRAMING PLANS
 - A-9 WALL SECTIONS
 - A-10 BUILDING SECTIONS
 - A-11 SPECIFICATIONS
 - A-12 SPECIFICATIONS
 - A-13 NAIL SCHEDULE
- 406FS

**Windemere
Homes**

WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

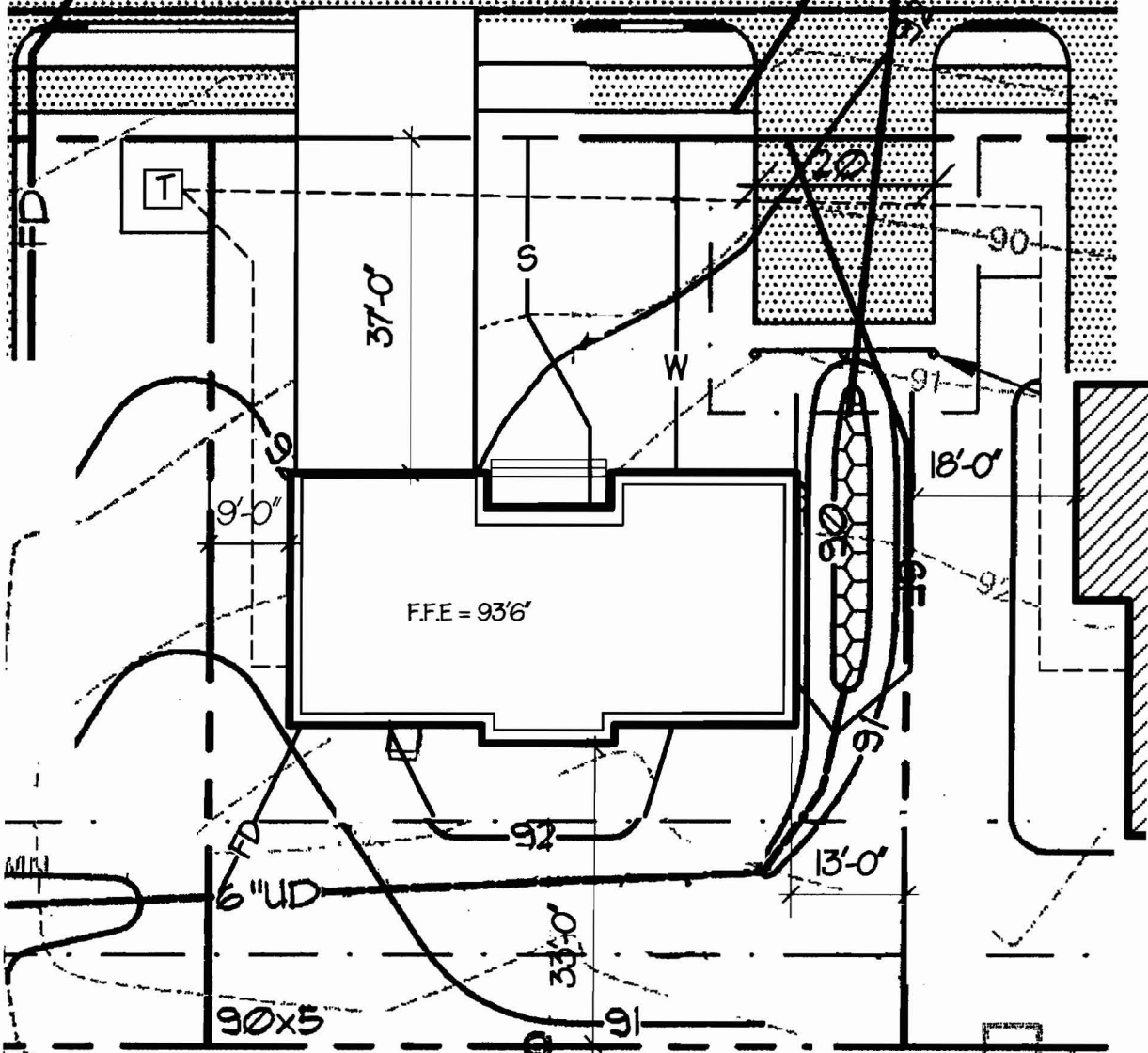
COVER SHEET

DATE
8/13/04

SCALE
NONE

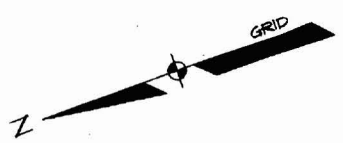
A-1

STONE LANE 3'-0"



FFE = 93'6"

90x5

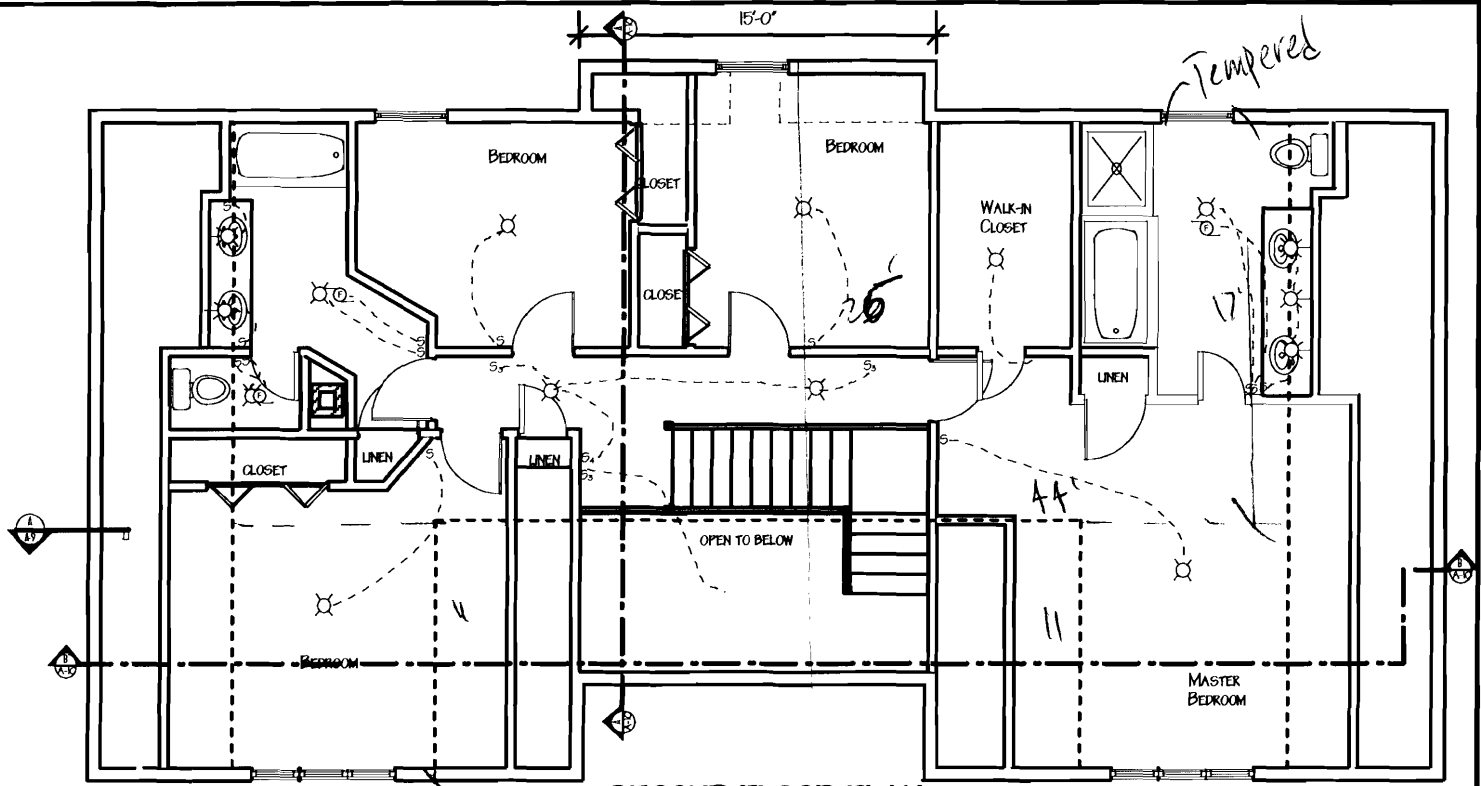


406 F54

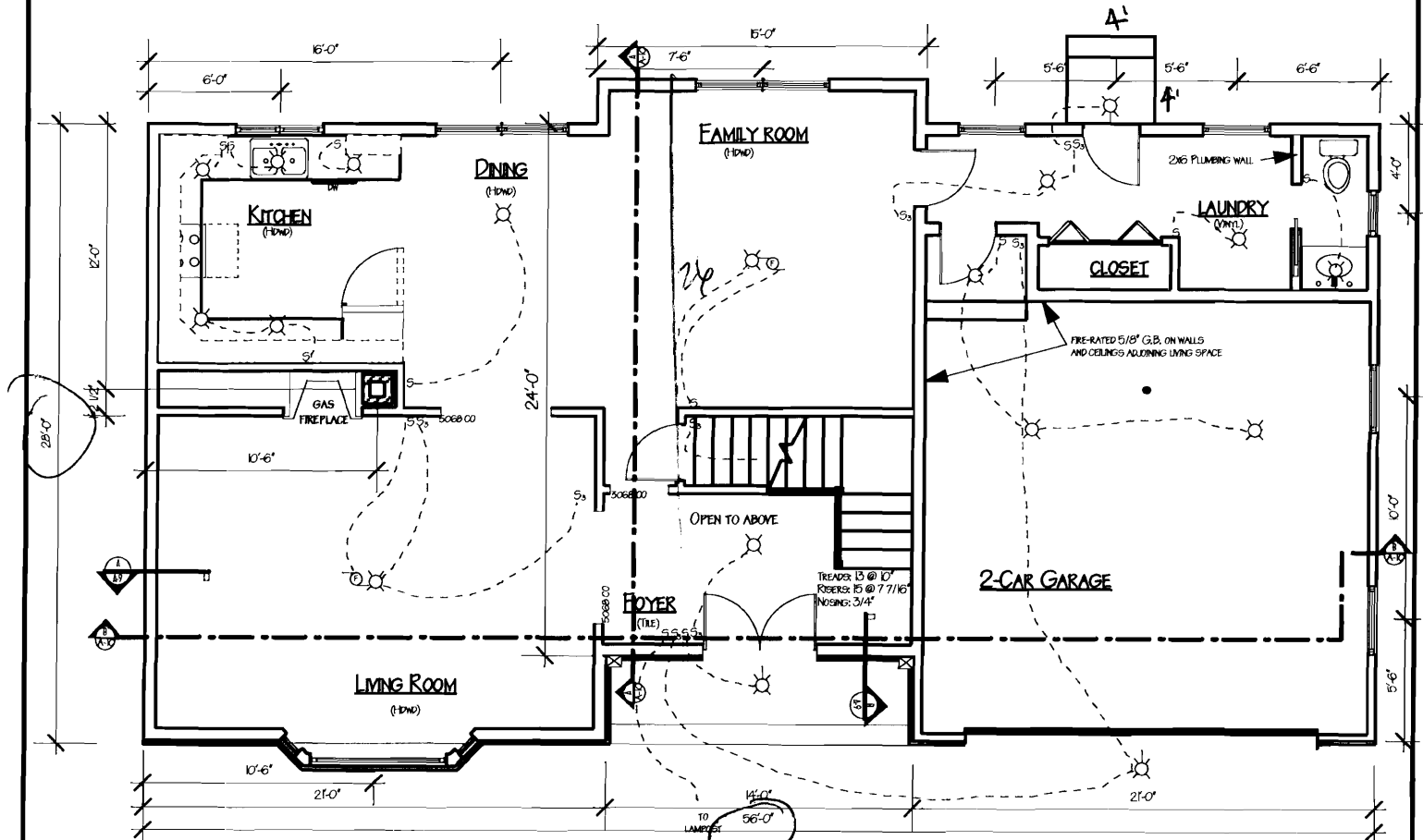
N/F
THOMPSON
8522/238

N/F
DAYLE & VICKI
SMITH
4494/30

	WILTSHIRE MANOR LOT 4 STEPPING STONE LANE AUTUMN GLEN SUBDIVISION PORTLAND, ME	SITE PLAN	DATE 8/13/04	A-2
			SCALE 1" = 20'	



SECOND FLOOR PLAN



FIRST FLOOR PLAN

**Windemere
Homes**

WILTSHIRE MANOR
 LOT 4 STEPPING STONE LANE
 AUTUMN GLEN SUBDIVISION
 PORTLAND, ME

FLOOR PLANS

DATE
 8/13/04
 SCALE
 1/8" = 1'-0"

A-3

WINDOW & DOOR SCHEDULE

NUMBER	MANUFACTURER	MODEL	ROUGH OPENING	HEADER SIZE
W-1	Andersen	45-6050-20	9'2 3/8" x 5' 1 7/8"	2-2X10
W-2	Andersen	CW23	4'9" x 3'0 1/2"	2-2X6
W-3	Andersen	244-DH-3050-2	6' x 5'	2-2X8
W-4	Andersen	244-DH-3050**	3' x 5'	2-2X4
W-5	Andersen	CW15-3**	6' x 5'0 3/8"	2-2X10
W-6	Andersen	244-DH-2432	2'6" x 3'5 1/4"	2-2X4
W-7			approx 6' x 3'	2-2X10
** Meets or exceeds Egress requirements				
D-1	Custom		approx 6' x 6'8"	2-2X10
D-2	Therma-Tru or App'd Equal		2'8" x 6'8"	2-2X4

ROOM FINISH SCHEDULE

ROOM	FLOOR	WALLS	CEILING	COMMENTS
Foyer	Tile	DW/Paint	DW/Paint	Stairs - Hdwd
Living Room	Hardwood	DW/Paint	DW/Paint	
Laundry Room	Tile	DW/Paint	DW/Paint	
Family Room	Hdwd	DW/Paint	DW/Paint	
Dining Room	Hdwd	DW/Paint	DW/Paint	
Kitchen	Hdwd	DW/Paint	DW/Paint	
MBR	Carpet	DW/Paint	DW/Paint	
Bedroom 1	Carpet	DW/Paint	DW/Paint	
Bath 1	Tile	DW/Paint	DW/Paint	
Master Bath	Tile	DW/Paint	DW/Paint	
2nd Flr Hall	Hdwd	DW/Paint	DW/Paint	
NOTES:				
Hardwood is 2 1/4" Red oak				
Tile is 12 inch square terracotta				

**Windemere
Homes**

WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

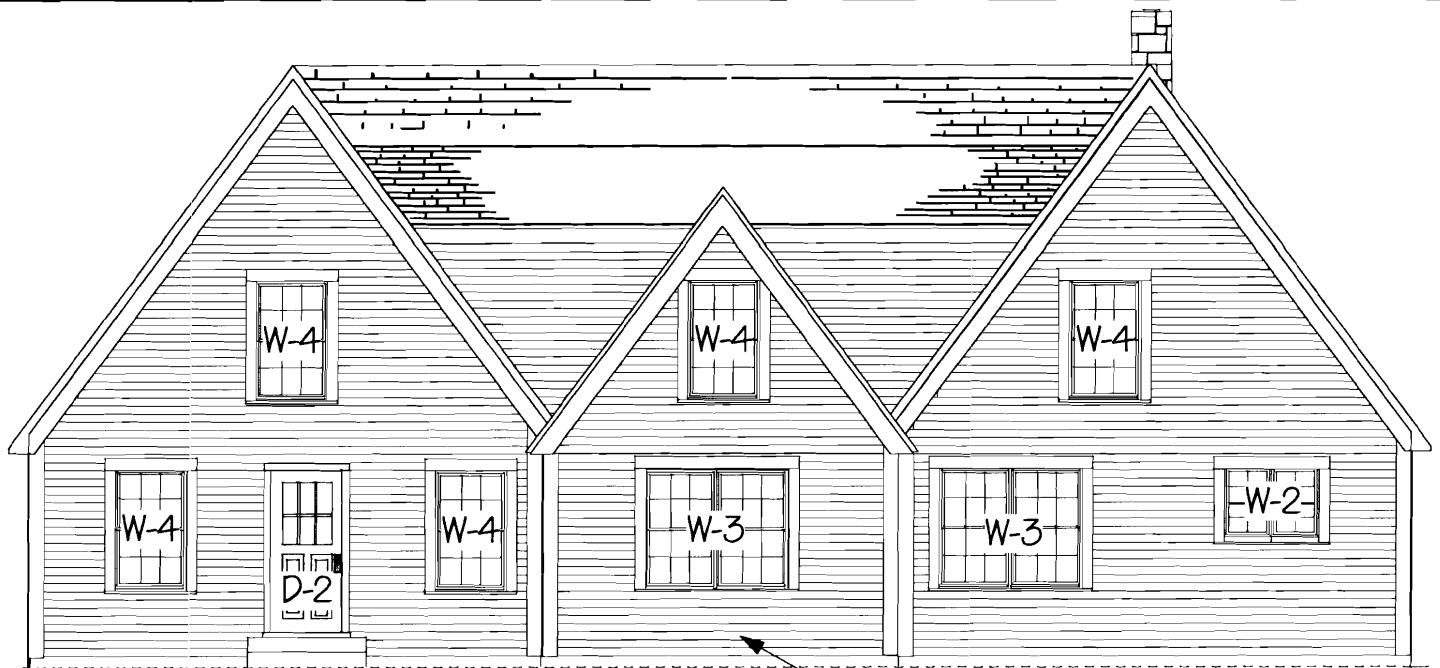
SCHEDULES

DATE

8/13/04

SCALE
NONE

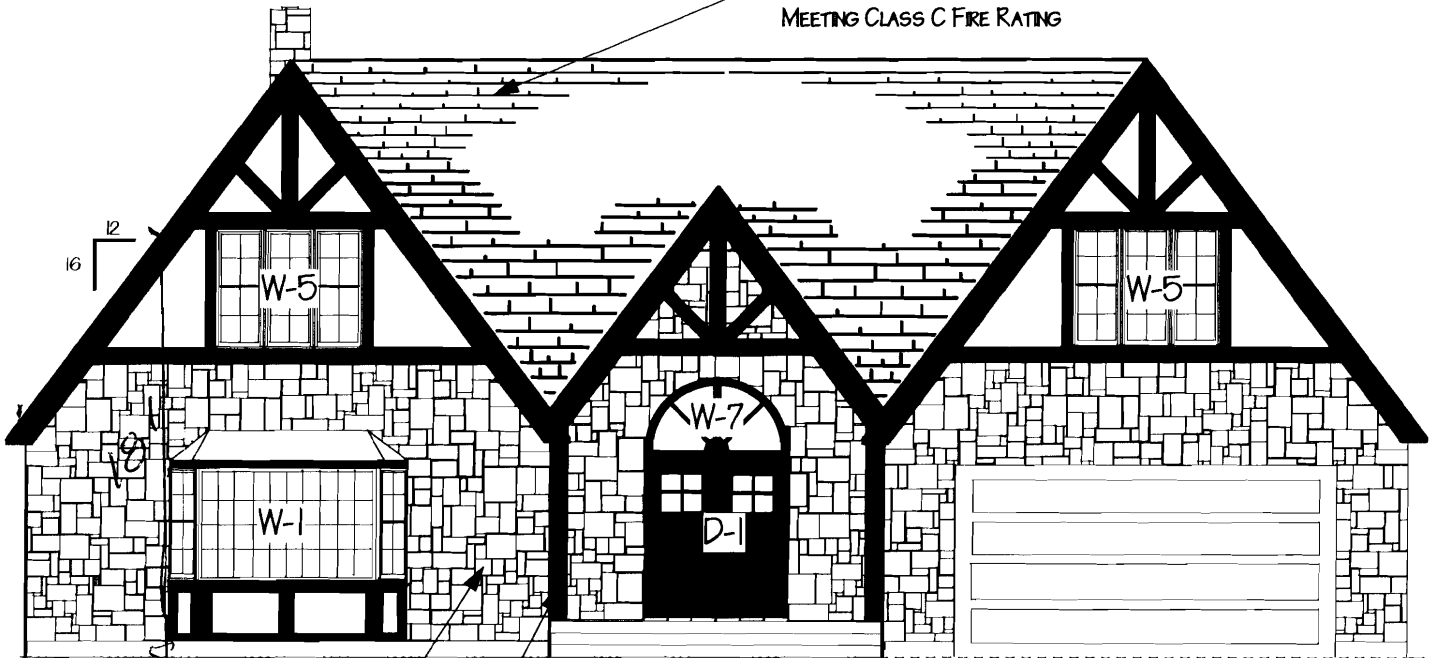
A-4



REAR ELEVATION

RUSTIC CEDAR SIDING

"AUTHENTIC" RUBBER SLATE RANDOM BLEND OF 25% DARK GRAY, 25% LIGHT GRAY, 25% GREEN, AND 25% PLUM
 INSTALLED OVER ASPHALT-SATURATED TYPE 30 FELT
 MEETING CLASS C FIRE RATING



CULTURED STONE VENEER
 TIMBERFRAME TRIM

FRONT ELEVATION

**Windemere
 Homes**

WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
 AUTUMN GLEN SUBDIVISION
 PORTLAND, ME

**FRONT & REAR
 ELEVATIONS**

DATE

8/13/04

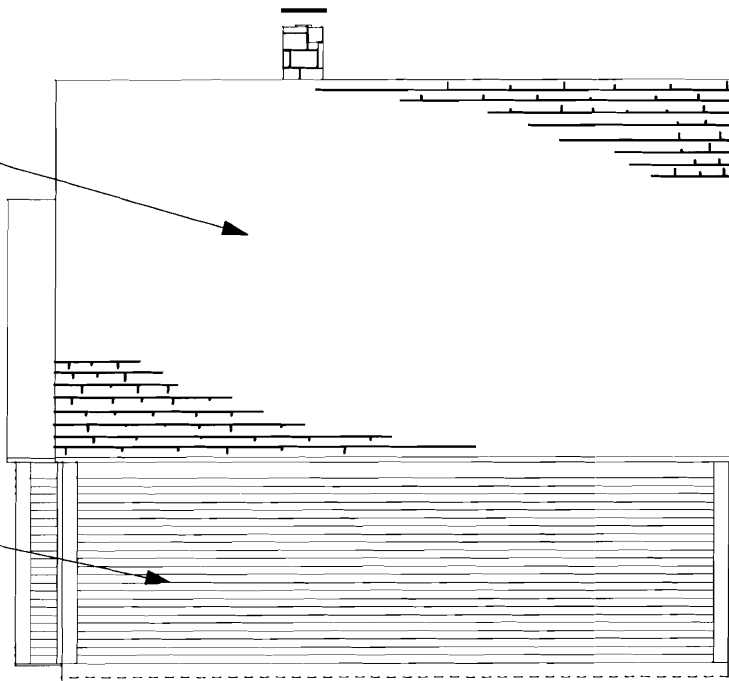
SCALE

1/8" = 1'-0"

A-5

"AUTHENTIC" RUBBER SLATE RANDOM BLEND OF 25% DARK GRAY, 25% LIGHT GRAY, 25% GREEN, AND 25% PLUM
 INSTALLED OVER ASPHALT-SATURATED TYPE 30 FELT MEETING CLASS C FIRE RATING

RUSTIC CEDAR SIDING



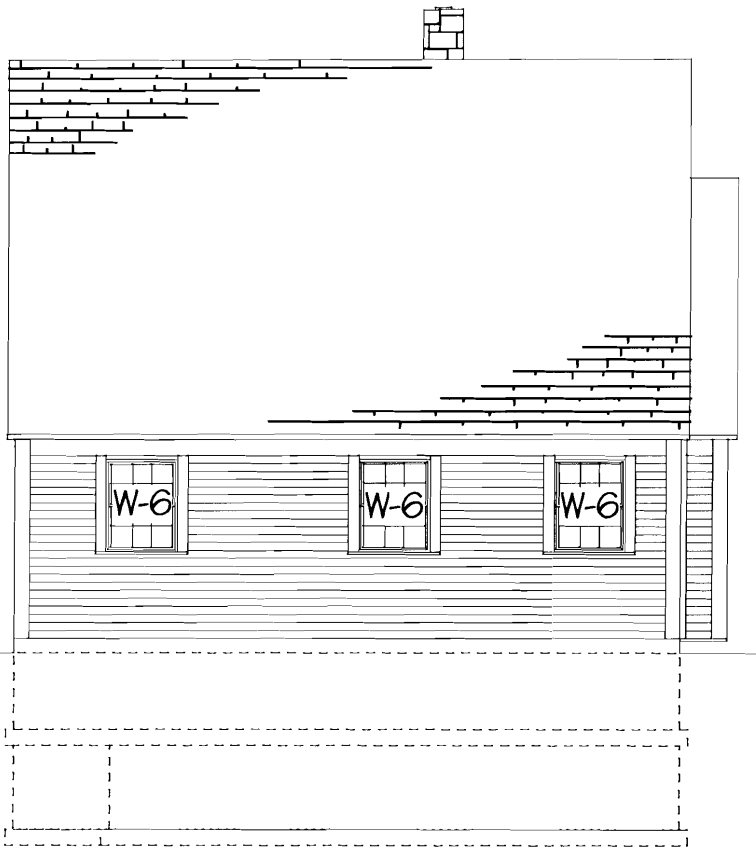
LEFT ELEVATION

TOP OF ROOF
 117' - 1"

TOP OF 2ND FLR. SUBFLOOR
 102' - 7 3/4"

TOP OF 1ST FLR. SUBFLOOR
 93' - 5 1/4"

BOTTOM OF FOOTING
 83' - 11 1/2"



RIGHT ELEVATION

**Windemere
 Homes**

WILTSHIRE MANOR

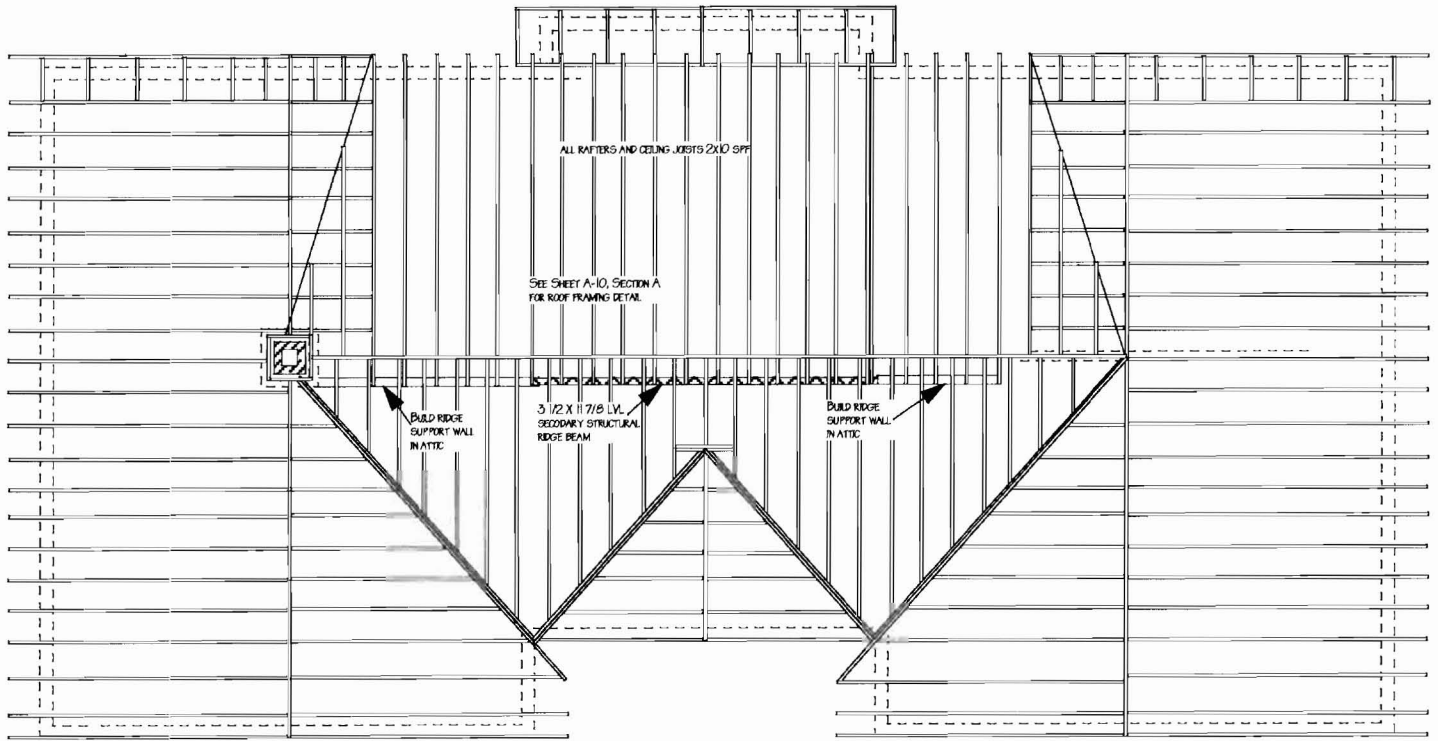
LOT 4 STEPPING STONE LANE
 AUTUMN GLEN SUBDIVISION
 PORTLAND, ME

**SIDE
 ELEVATIONS**

DATE
 8/13/04

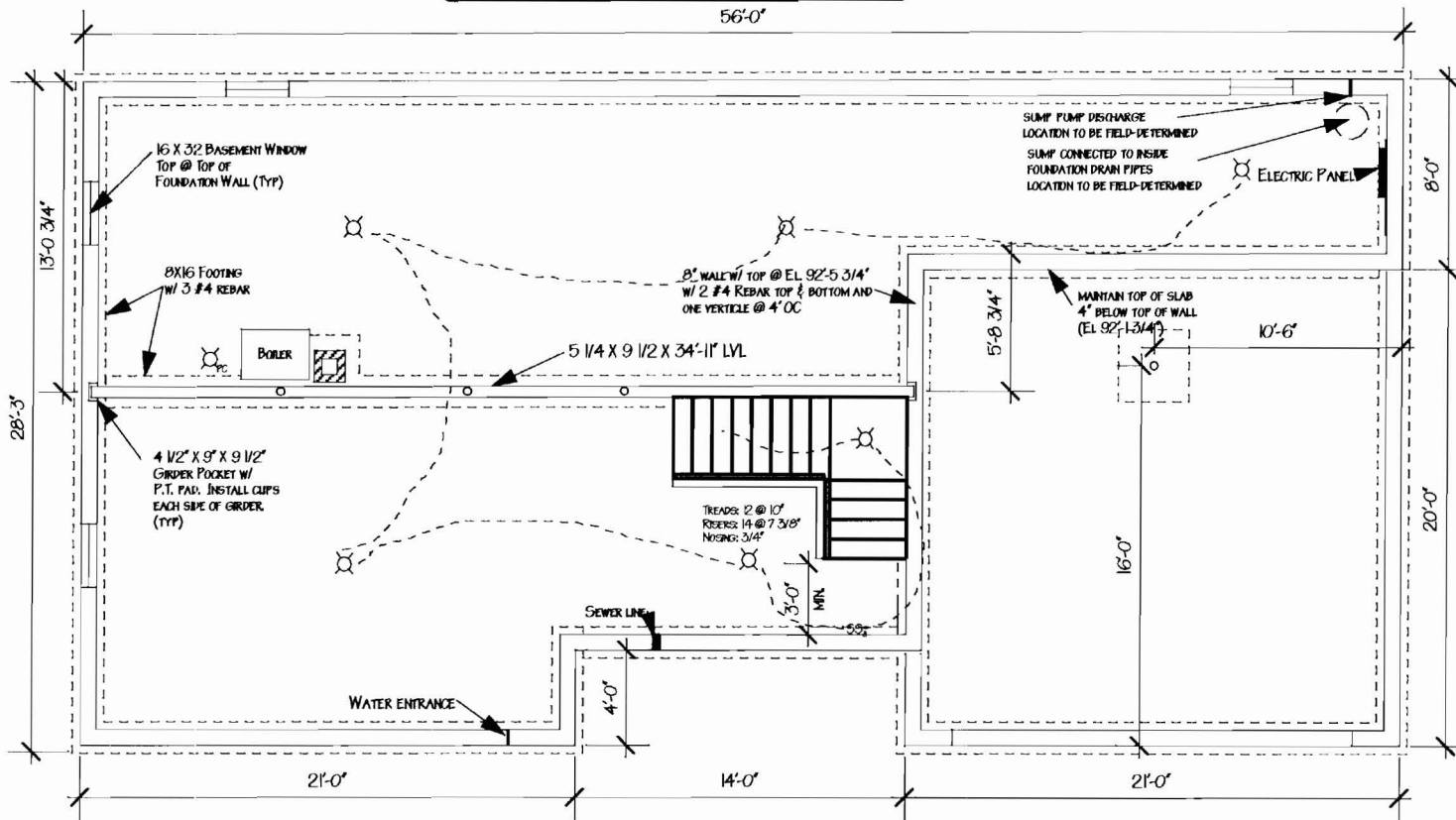
SCALE
 1/8" = 1'-0"

A-6



ROOF FRAMING PLAN

56'-0"



FOUNDATION PLAN

Windemere Homes

WILTSHIRE MANOR

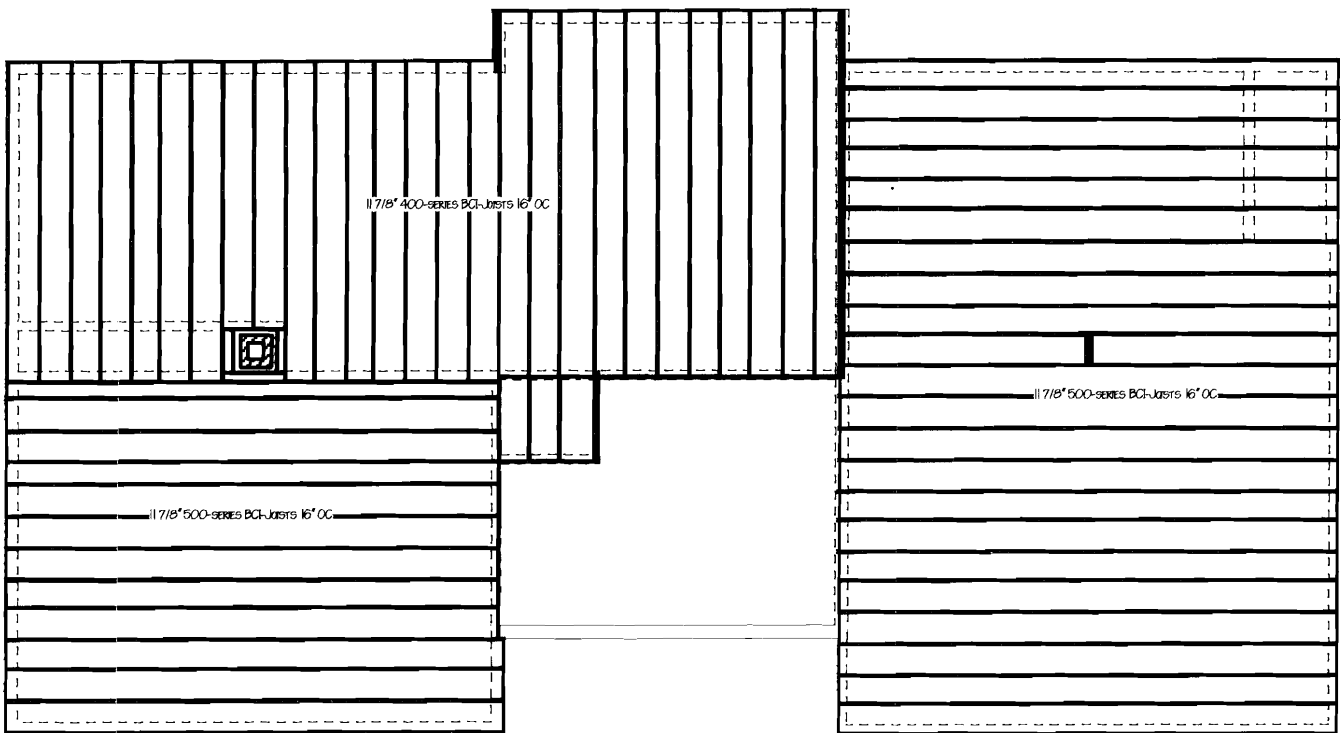
LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

**ROOF FRAMING &
FOUNDATION PLANS**

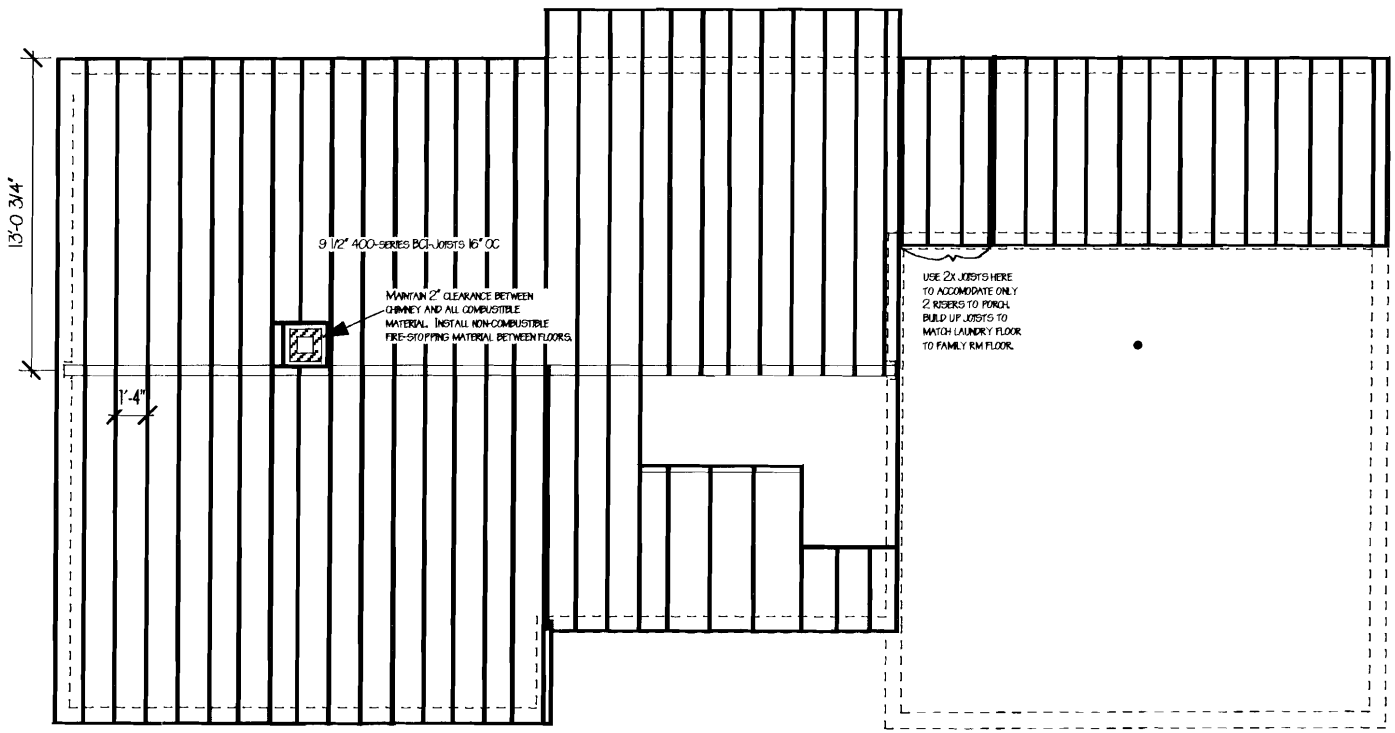
DATE
8/13/04

SCALE
1/8" = 1'-0"

A-7

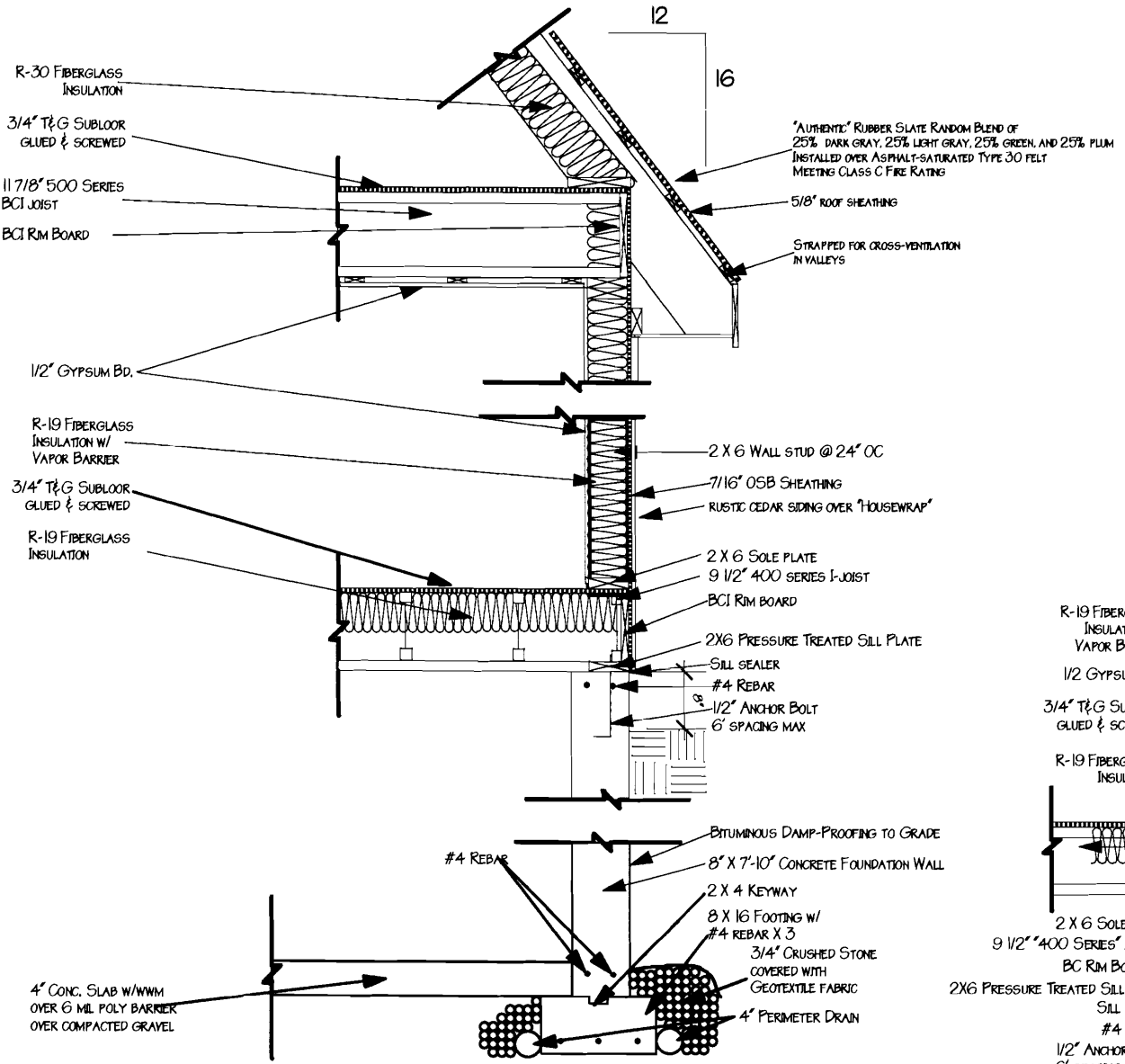


SECOND FLOOR FRAMING PLAN

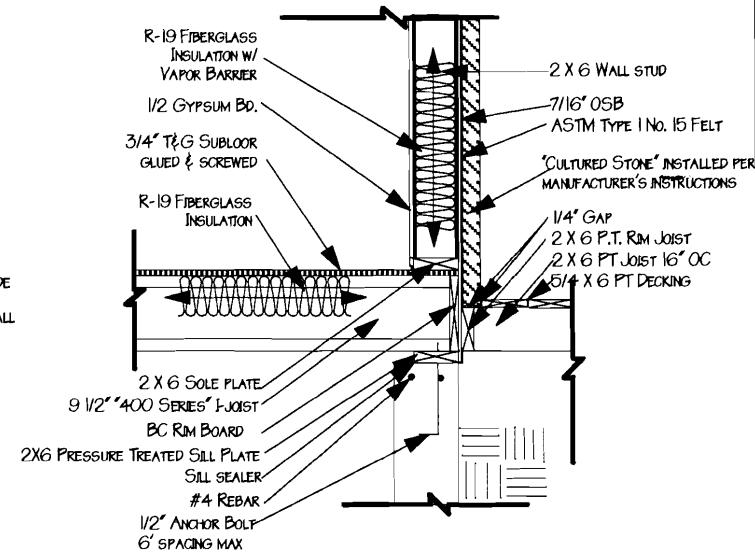


FIRST FLOOR FRAMING PLAN

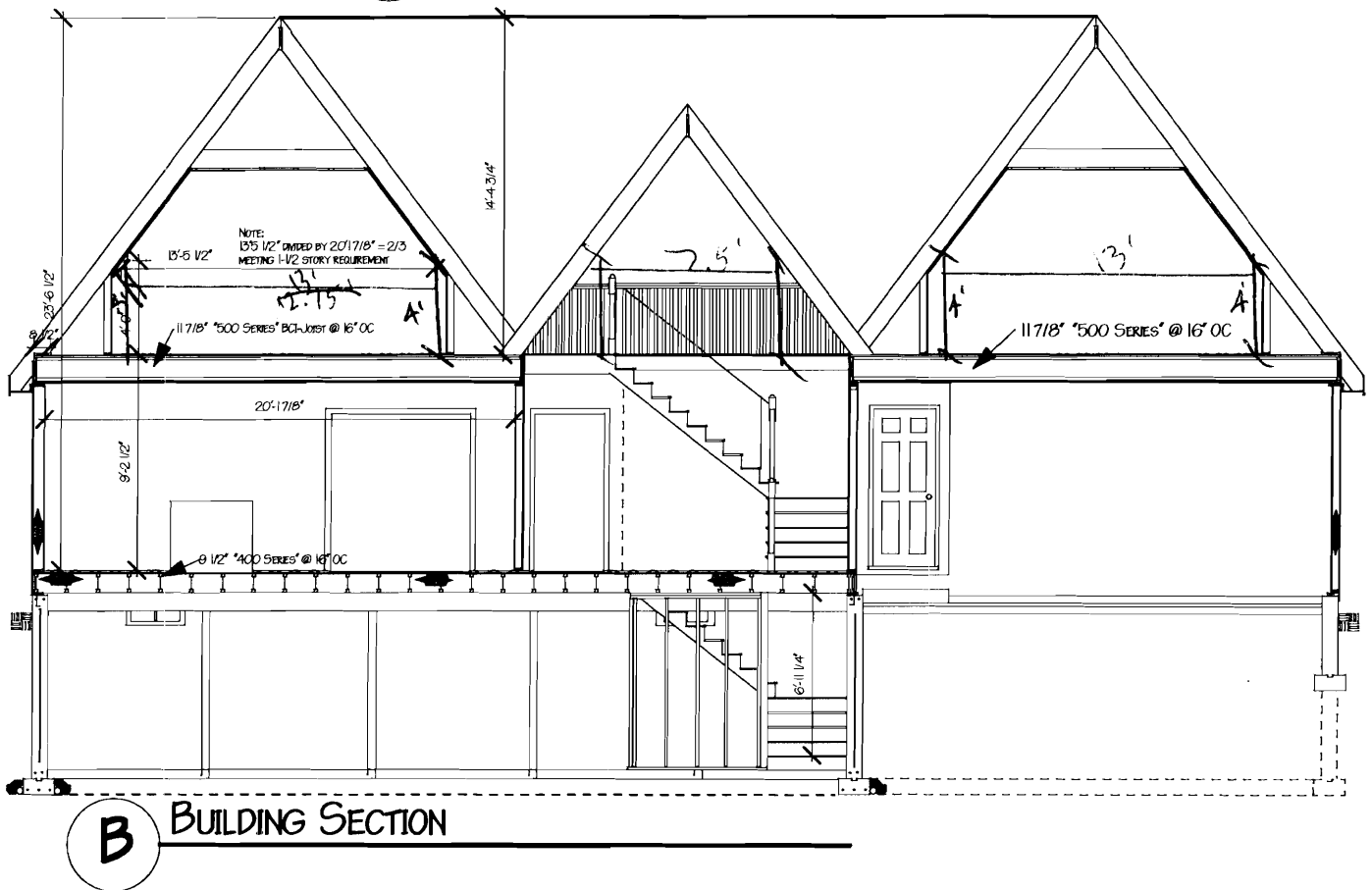
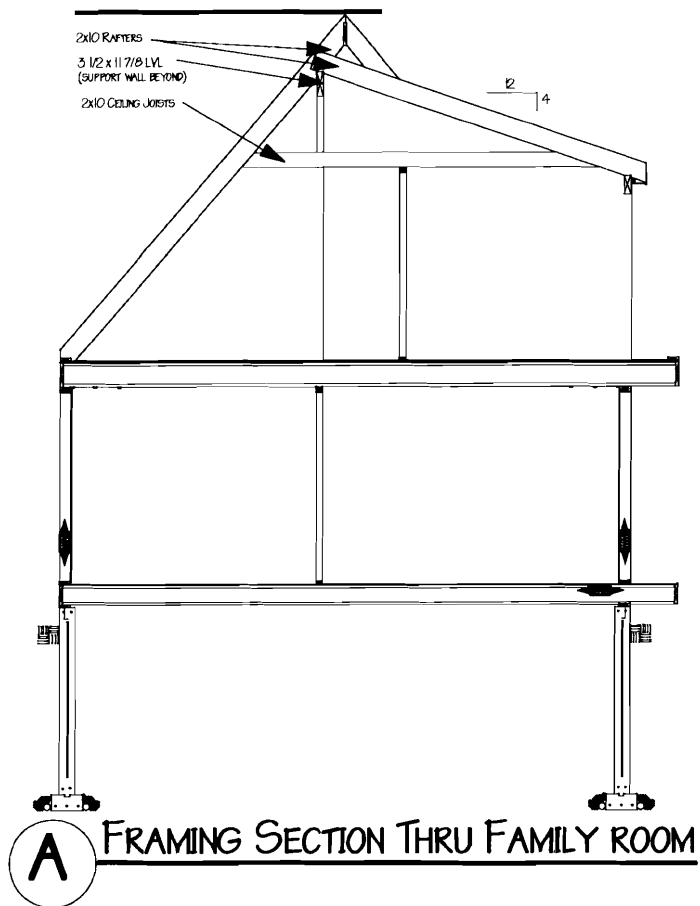
	WILTSHIRE MANOR LOT 4 STEPPING STONE LANE AUTUMN GLEN SUBDIVISION PORTLAND, ME	FLOOR FRAMING PLANS	DATE 8/13/04	A-8
			SCALE 1/8" = 1'-0"	



A TYPICAL WALL SECTION



B DETAIL AT FRONT SILL



**Windemere
 Homes**

WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
 AUTUMN GLEN SUBDIVISION
 PORTLAND, ME

**BUILDING
 SECTIONS**

DATE
 8/13/04

SCALE
 1/8" = 1'0"

A-10

EARTHWORK

1. Excavating: The subcontractor shall do all excavating as required on the drawings. Earth banks shall be braced against caving in the working area. The bottoms of all footing excavations shall be exactly level on solid undisturbed earth. Excavations are to be kept free of standing water. Contractor will be responsible for rough and finish grade.

- A. Excavate topsoil and stockpile in area designated on site.
- B. Excavate subsoil required for building foundations, construction operations and other work.
- C. In excavating for footings and foundations, take care not to disturb bottom of excavation. Excavate the entire area of the basement as shown on the drawings. Same to be made 18 inches larger than outside wall dimensions in every direction to allow for inspection, waterproofing, draitile, etc.
- D. Excavate and backfill in a manner and sequence that will provide proper drainage at all times. Drain pipe and trenching WILL be required. Drain pipe to be installed both inside and outside the foundation with the inside connected to sump and outside pipe connected to inside pipe. Subcontractor to provide drain pipe and sump.
- E. Protect active utility lines. If damaged, repair or replace at no additional cost to the owner. If existing utilities are found to interfere with the permanent facilities being constructed, immediately notify the owner and secure his instructions.
- F. Where rocks, boulders, granite or similar material is encountered, remove such material by means which will neither cause additional cost to the owner nor endanger buildings or structures on or off the site.

TRENCHES

- A. Dig trenches for foundation walls and footings to dimensions shown on the drawings. Sewer trench shall be pitched with a uniform fall and the trench backfilled upon completion of the installation and after proper inspection.
- B. Dig trench for utilities to standards required by utility companies. Backfill to same standards.

2. Backfilling: Backfill excavations as promptly as progress of the work permits, but not until completion of the following:
- A. Acceptance of construction below grade.
 - B. Removal of concrete formwork.
 - C. Inspecting, testing, and approving underground utilities.
 - D. Removing trash and debris.
 - E. Placement of horizontal bracing on horizontally supported walls.
 - F. Application of dampproofing

The contractor shall bring the rough grade to 12 inches below top of foundation wall with clean fill and stockpiled sub soil. Backfill to be well puddled and tamped.

G. Fill and backfill materials: Provide soil materials free from organic matter and deleterious substances, containing no rocks or lumps over 3 inches in greatest dimension.

3. Grading:

- A. The contractor shall bring the finish grade to 12" below the top of the foundation wall with stockpiled top soil. Backfill to be well puddled and tamped.
- B. grade the area to provide drainage away from the structures and to prevent ponding.
- C. Where and if shown on the Drawings or otherwise required, provide topsoil consisting of friable, fertile soil of loamy character, containing an amount of organic matter normal to the region, capable of sustaining healthy plant life, and reasonable free from subsoil, roots, heavy or stiff clay, stones larger than 2 inches in greatest dimension, noxious weeds, sticks, brush, litter and other deleterious matter.

DAMP-PROOFING

- 1. PROVIDE ASPHALT BITUMEN DAMPPROOFING AS SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
- 2. USE MATERIALS THAT COMPLY WITH THE FOLLOWING STANDARDS:
 - A. ASPHALT: ASTM D449, TYPE I.
 - B. ASPHALT PRIMER: ASTM D41, COMPATIBLE WITH SUBSTRATE.

GENERAL REQUIREMENTS

- 1. The Sub-Contractor shall maintain, at his own expense, full and complete insurance on its work until final approval of the work described in the contract. The Sub-Contractor shall not hold the Contractor liable from any and all costs, damages, fees and expenses from any claims arising on the project. Failure of the Sub-Contractor to maintain appropriate insurance coverage may deem a material breach allowing the Contractor to terminate this contract or to provide insurance at the Sub-Contractor's expense. Prior to the start of work, subcontractor shall provide to the contractor, a certificate of insurance showing, as applicable general liability and workmen's compensation coverage for each workman.
- 2. Prior to the start of work, subcontractor shall provide to the contractor a completed IRS form W-9..
- 3. Sub-Contractor understands and agrees that no change orders or contract additions will be made unless agreed to in writing by Contractor. If any additional work is performed and not covered in this contract, the Sub-Contractor proceeds at his own risk and expense. No alterations, additions, or small changes can be made in the work or method of the performance, without the written change order signed by the Contractor and Sub-Contractor.
- 4. Sub-Contractor will be responsible for cleaning up the job on a daily basis, including all generated construction debris, drink cans, food wrappers, and/or other trash. If it becomes necessary, the Sub-Contractor will be back charged for appropriate clean up by deducting clean up costs from payments.
- 5. Sub-Contractor shall warranty all labor, materials and equipment furnished on the project for one year against defects in workmanship or materials utilized. The manufacturers warranty will prevail.

CONCRETE

CONCRETE FORMWORK

- 1. PROVIDE FORMWORK FOR CAST-IN-PLACE CONCRETE FOR THE CONSTRUCTION SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
- 2. FOR FOUNDATIONS, USE WOOD, METAL OR FIBERGLAS FORMS SUBSTANTIALLY CONSTRUCTED TO PREVENT BOWING OR DISFIGUREMENT DURING CONCRETE PLACEMENT AND CURING.
- 3. CONSTRUCT FORMWORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF CORRECT SIZE, SHAPE ALIGNMENT, ELEVATION AND POSITION.
- 4. FOR FOOTINGS AND FOUNDATIONS, USE BOARDS OR PLANKS SECURED TO WOOD OR STEEL STAKES, SUBSTANTIALLY CONSTRUCTED TO SHAPES INDICATED AND TO SUPPORT THE REQUIRED LOADS.

CAST-IN-PLACE CONCRETE

- 1. PROVIDE CAST-IN-PLACE CONCRETE WHERE SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
- 2. CONCRETE:
 - A. PROVIDE A STANDARD BRAND OF PORTLAND CEMENT, TYPE I OR II.
 - B. FINE AGGREGATE: PROVIDE WASHED NATURAL SAND HAVING STRONG, HARD, DURABLE PARTICLES. GRADE FROM COARSE TO FINE.
 - C. COARSE AGGREGATE: USE COARSE AGGREGATE OF THE LARGEST PRACTICABLE SIZE FOR EACH CONDITION OF PLACEMENT.
 - D. USE ONLY CLEAN POTABLE WATER.
- 3. UNLESS OTHERWISE DIRECTED USE PORTLAND CEMENT TO ACHIEVE A WEIGHT OF NOT MORE THAN 110 PCF AND AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- 4. CONCRETE FLOORS TO BE 4" THICK WITH MONOLITHIC FINISH TROWELED TO A HARD SMOOTH SURFACE. PROVIDE 6" X 6" #8/8 WELDED WIRE MESH REINFORCING (OR EQUIVALENT) WHERE SHOWN ON DRAWINGS. INSTALL 6-MIL POLY BELOW SLABS AND OVERLAP SEAMS 12 INCHES.
- 5. CURING: PREVENT PREMATURE DRYING AND EXCESSIVE HOT OR COLD TEMPERATURES.



WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

**SUBCONTRACTOR
SPECIFICATIONS
SHEET 1**

DATE
8/13/04

SCALE
NONE

A-11

ELECTRICAL

- 1. Provide complete electric, telephone, ethernet (cat-5), and cable (coax) service as specified herein and as needed for a complete and proper installation.
- 2. Provide interior and exterior lighting as specified herein and as needed for a complete and proper installation.
 - A. Kitchen lighting to be recessed in ceiling.
 - B. Bathrooms: overhead general light, mirror light, exhaust fans.
 - C. Bedroom lights to be wired for paddle fans.
- 3. Use only new materials of the type and quality specified. Where Underwriters' Laboratories, Inc. have established standards for such materials, use only materials bearing the UL label.
- 4. Wiring
 - A. Nonmetallic sheathed cable, size 12 through 4 AWG: Copper conductor, 600-volt insulation, rated 60 degree C, type NM.
 - B. Service entrance cable: Copper conductors, 600-volt insulation, type SE.
- 5. Telephone & Cable
 - A. Provide service entrance equipment, outlets, terminal boards and other items required for a complete, approved, and operating telephone and cable service, except for such items as are provided by the serving company.
 - B. Provide telephone, cat-5, and coax outlets in Living Room, Family Room, and all bedrooms.
- 6. Main distribution panels: NEMA PB 1, circuit breaker type of 200-amp capacity.
 - A. Provide surface cabinet front with screw cover and hinged door.
 - B. Bus: Copper.
 - C. Ground bus: Copper.
 - D. Voltage: 120/208 volts.

7. Wiring Devices and Wall Plates

- A. Provide exterior receptacles at front and rear of residence.
- B. Wall switch: AC general use, quiet operating snap switch rated 20-amp and 120-277 volts AC, color and handle type as selected by the Owner.
- C. Receptacle: Type 5-20 R, plastic face, color selected by Owner. all receptacles to be spaced and installed to code.
- D. Wall dimmer: Linear slide/rotary dial type, color selected by Owner. Rated for 600 watts minimum, size to accommodate circuit shown on the Drawings.
- E. Weatherproof cover plate: Gasketed cast metal with hinged gasketed device covers.

8. Smoke Detectors

- A. Smoke detectors to be installed in the ceiling of each bedroom, upstairs hall, basement, and garage. Detectors to have battery backup and be interconnected.

INSULATION

- 1. Provide insulation as specified herein and as needed for a complete and proper installation.
- 2. insulation bats with an R-value not less than 19 shall be used in all living space exterior walls and sloped ceilings of the dwelling and 2nd story of the garage and in the floors over uninsulated spaces. insulation bats with an R-value not less than 11 shall be used in all exterior walls of the garage.
- 3. Blown-in insulation 12" thick shall be installed in all horizontal under-roof ceilings.
- 4. moisture barrier: Install poly vapor barrier on inside surface of all exterior walls and ceilings.
- 5. insulation shall meet the requirements of the maine state energy code and Maine law Title 10 Chapter 214.

GENERAL REQUIREMENTS

- 1. The Sub-Contractor shall maintain, at his own expense, full and complete insurance on its work until final approval of the work described in the contract. The Sub-Contractor shall not hold the Contractor liable from any and all costs, damages, fees and expenses from any claims arising on the project. Failure of the Sub-Contractor to maintain appropriate insurance coverage may deem a material breach allowing the Contractor to terminate this contract or to provide insurance at the Sub-Contractor's expense. Prior to the start of work, subcontractor shall provide to the contractor, a certificate of insurance showing, as applicable general liability and workmen's compensation coverage for each workman.
- 2. Prior to the start of work, subcontractor shall provide to the contractor a completed IRS form W-9..
- 3. Sub-Contractor understands and agrees that no change orders or contract additions will be made unless agreed to in writing by Contractor. If any additional work is performed and not covered in this contract, the Sub-Contractor proceeds at his own risk and expense. No alterations, additions, or small changes can be made in the work or method of the performance, without the written change order signed by the Contractor and Sub-Contractor.
- 4. Sub-Contractor will be responsible for cleaning up the job on a daily basis, including all generated construction debris, drink cans, food wrappers, and/or other trash. If it becomes necessary, the Sub-Contractor will be back charged for appropriate clean up by deducting clean up costs from payments.
- 5. Sub-Contractor shall warranty all labor, materials and equipment furnished on the project for one year against defects in workmanship or materials utilized. The manufacturers warranty will prevail.

PLUMBING & HEATING

- 1. Provide plumbing and heating as shown on the Drawings, as specified herein and as needed for a complete and proper installation including, but not limited to:
 - A. PEX tubing with copper headers domestic hot and cold water piping systems;
 - B. Drain, waste and vent systems;
 - C. Plumbing fixtures and trim as shown on the Drawings.
 - D. Oil piping & Tank
 - E. Sump pump and discharge piping
 - F. Cast iron oil-fired boiler w/ integral domestic water heater and 2-zone copper baseboard distribution system
- 2. The contractor shall obtain and pay for all permits and inspections as required by state and local codes and all work shall be in accordance therewith.
- 3. Provide frost-free hose bibs at front and rear of dwelling.
- 4. Provide shutoff valves at entrance of system, at fixtures and at hose bib branches.
- 5. Furnish and install all plumbing fixtures as indicated and selected by owner.
- 6. Before covering pipes, the entire water system shall be tested to 100 lbs. pressure and deficiencies corrected.



WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

**SUBCONTRACTOR
SPECIFICATIONS
SHEET 2**

DATE
8/13/04
SCALE
NONE

A-12

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS		NUMBER AND TYPE OF FASTENERS ^{a,b,c,d}	SPACING OF FASTENERS
Joist to sill or girder, toe nail		3-8d	—
1" x 6" subfloor or less to each joist, face nail		2-8d 2 staples, 1 ³ / ₄	—
2" subfloor to joist or girder, blind and face nail		2-16d	—
Sole plate to joist or blocking, face nail		16d	16" o.c.
Top or sole plate to stud, end nail		2-16d	—
Stud to sole plate, toe nail		3-8d or 2-16d	—
Double studs, face nail		10d	24" o.c.
Double top plates, face nail		10d	24" o.c.
Sole plate to joist or blocking at braced wall panels		3-16d	16" o.c.
Double top plates, minimum 48-inch offset of end joints, face nail in lapped area		8-16d	—
Blocking between joists or rafters to top plate, toe nail		3-8d	—
Rim joist to top plate, toe nail		8d	6" o.c.
Top plates, laps at corners and intersections, face nail		2-10d	—
Built-up header, two pieces with 1/2" spacer		16d	16" o.c. along each edge
Continued header, two pieces		16d	16" o.c. along each edge
Ceiling joists to plate, toe nail		3-8d	—
Continuous header to stud, toe nail		4-8d	—
Ceiling joist, laps over partitions, face nail		3-10d	—
Ceiling joist to parallel rafters, face nail		3-10d	—
Rafter to plate, toe nail		2-16d	—
1" brace to each stud and plate, face nail		2-8d 2 staples, 1 ³ / ₄	—
1" x 6" sheathing to each bearing, face nail		2-8d 2 staples, 1 ³ / ₄	—
1" x 8" sheathing to each bearing, face nail		2-8d 3 staples, 1 ³ / ₄	—
Wider than 1" x 8" sheathing to each bearing, face nail		3-8d 4 staples, 1 ³ / ₄	—
Built-up corner studs		10d	24" o.c.
Built-up girders and beams, 2-inch lumber layers		10d	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
2" planks		2-16d	At each bearing
Roof rafters to ridge, valley or hip rafters: toe nail		4-16d	—
face nail		3-16d	—
Rafter ties to rafters, face		3-8d	—
Wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing			
5/16-1/2	6d common nail (subfloor, wall) 8d common nail (roof) ^f	6	12 ^g
19/32-1	8d common nail	6	12 ^g
1 1/8-1 1/4	10d common nail or 8d deformed nail	6	12
Other wall sheathing^h			
1/2" regular cellulosic fiberboardsheathing	1 1/2 galvanized roofing nail 6d common nail staple 16 ga., 1 1/2 long	3	6
1/2 structural cellulosic fiberboard sheathing	1 1/2 galvanized roofing nail 8d common nail staple 16 ga., 1 1/2 long	3	6
25/32 structural cellulosic fiberboard sheathing	1 3/4 galvanized roofing nail 8d common nail staple 16 ga., 1 3/4 long	3	6
1/2 gypsum sheathing	1 1/2 galvanized roofing nail; 6d common nail; staple galvanized, 1 1/2 long; 1 1/4 screws, Type W or S	4	8
5/8 gypsum sheathing	1 3/4 galvanized roofing nail; 8d common nail; staple galvanized, 1 5/8 long; 1 5/8 screws, Type W or S	4	8
Wood structural panels, combination subfloor underlayment to framing			
3/4 and less	6d deformed nail or 8d common nail	6	12
7/8-1	8d common nail or 8d deformed nail	6	12
1 1/8-1 1/4	10d common nail or 8d deformed nail	6	12

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 1.609 km/h.

- All nails are smooth-common, box or deformed shanks except where otherwise stated.
- Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.
- Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
- Spacing of fasteners not included in this table shall be based on Table R602.3(1).
- For regions having basic wind speed of 110 mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.
- For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 80 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.
- Gypsum sheathing shall conform to ASTM C 79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AHA 194.1 or ASTM C 208.
- Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners or roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

**Windemere
Homes**

WILTSHIRE MANOR
LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

NAIL SCHEDULE
(EXCERPT FROM 2000
INTERNATIONAL RES. CODE)

DATE
8/13/04

SCALE
NONE

A-13

213 A 014



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

September 14, 2007

Mr. King Weinstein
King Construction Corp.
P.O.Box W
Old Orchard Beach, Maine 04064

406 F 51
406 F 59
406 F 53
406 F 54
406 F 58
406 F 57

RE: Autumn Glen, aka Newcomb Glen/Stepping Stone Lane
Job No. 2002-0178/ City # 710-0000-233.63-00

Dear Mr. Weinstein:

The City of Portland is informing you that it is calling the performance guarantee in the full amount of \$85,424.50 for the above development which the City maintains in an escrow account. This call on the funds results from the "developer's failure to satisfactorily complete by October 15, 2005 the work in the improvements contained within the Autumn Glen Subdivision approval, dated April 8, 2003."

Thank you for your attention to this matter.

Sincerely,

Lee Urban
Director of Planning and Urban Development

406 - F 55
406 F 56
406 F 060
406 F 52

Cc: Penny Littell
Barbara Barhydt
Alex Jaegerman
Nathan Smith

David Hirshon
Matthew Chamberlain
Jeanie Bourke ✓
Phil DiPierro
Todd Merkle
Michael Bobinsky
Mr. George Denney

DEPT. OF BUILDING REGULATION
CITY OF PORTLAND, ME
SEP 17 2007
RECORDED

Revised
Building
Plans



CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

SEP 23 2004

SUPERSEDES ALL
PRIOR DATED PLANS

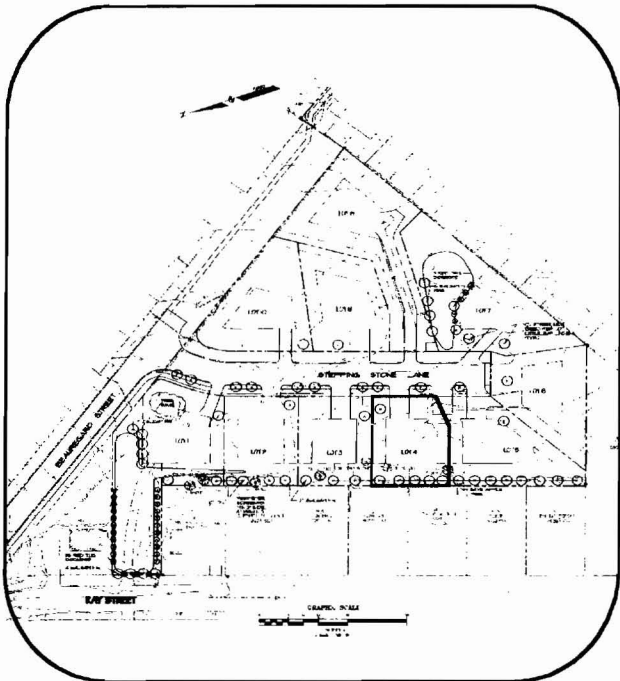
Autumn Glen

At Stepping Stone Lane

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

SEP 23 2004

SUPERSEDES ALL
PRIOR DATED PLANS



SHEET SCHEDULE

- A-1 COVER SHEET
- A-2 SITE PLAN
- A-3 FLOOR PLANS
- A-4 SCHEDULES
- A-5 FRONT & REAR ELEVATIONS
- A-6 SIDE ELEVATIONS
- A-7 FOUNDATION & ROOF FRAMING PLANS
- A-8 FRAMING PLANS
- A-9 WALL SECTIONS
- A-10 BUILDING SECTIONS
- A-11 SPECIFICATIONS
- A-12 SPECIFICATIONS
- A-13 NAIL SCHEDULE

Windemere
Homes

WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

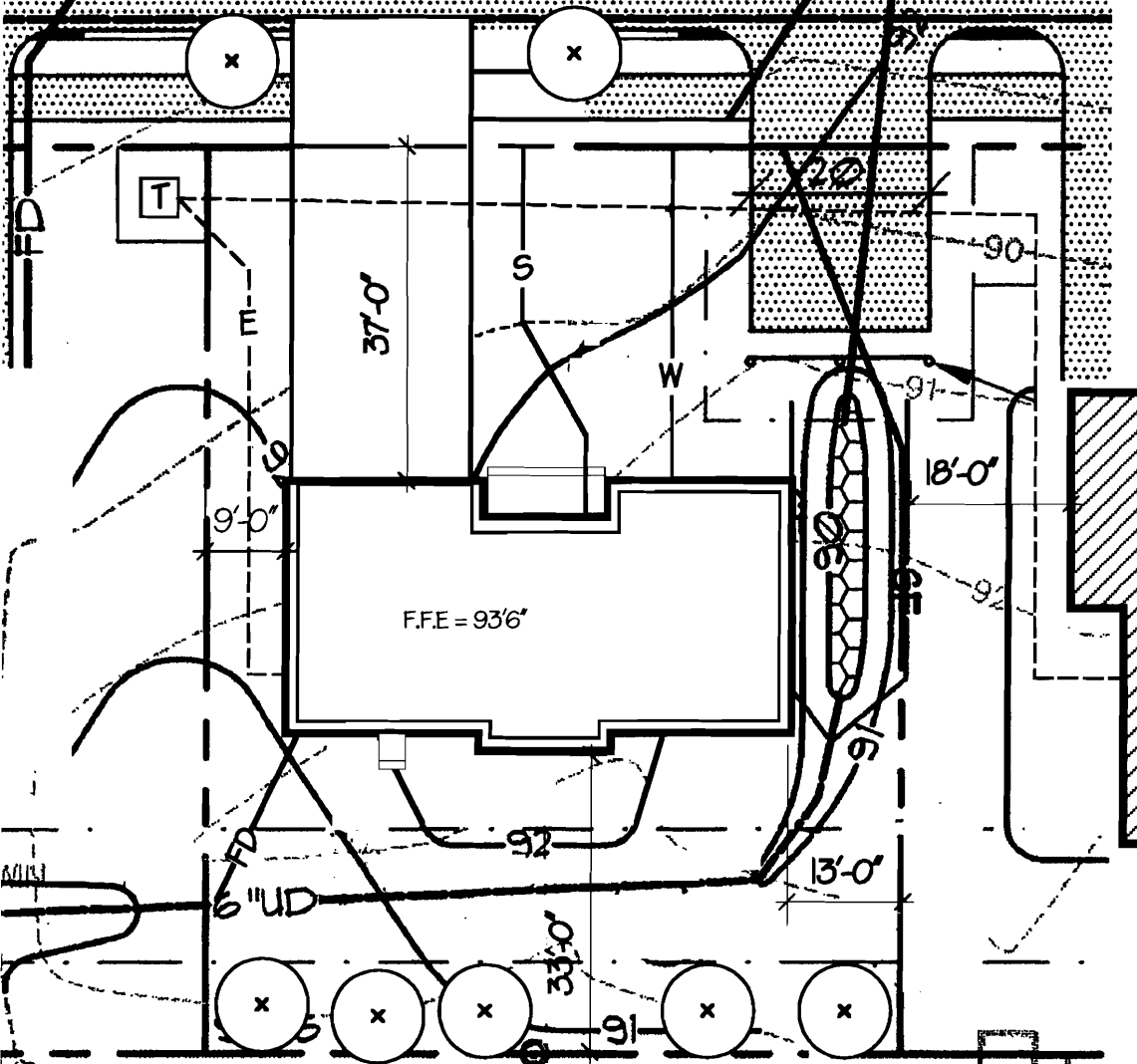
COVER SHEET

DATE
8/13/04

SCALE
NONE

A-1

STONE LANE 3-00



N/F
THOMPSON
8522/238

N/F
DAYLE & VICKI
SMITH
4494/30

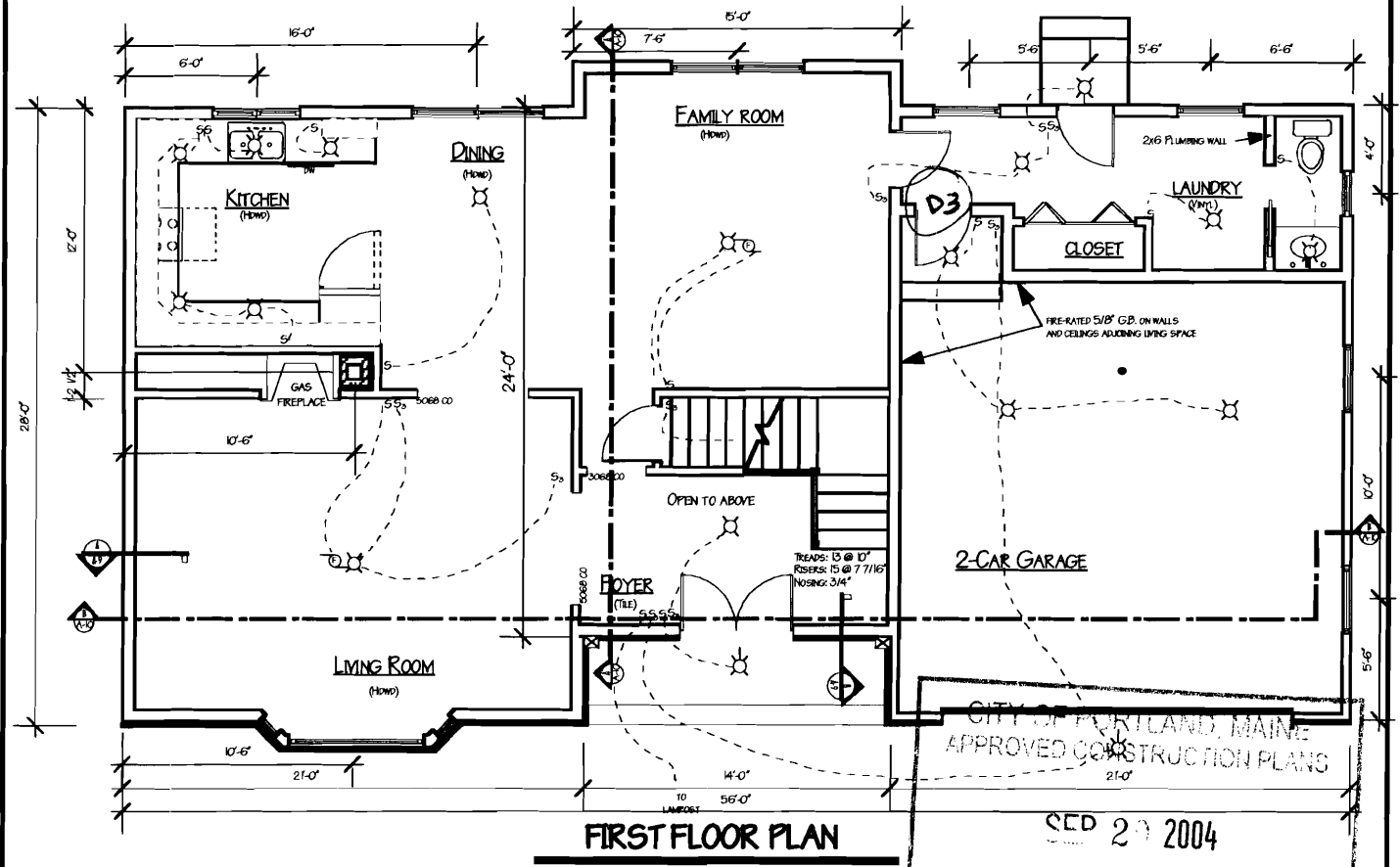
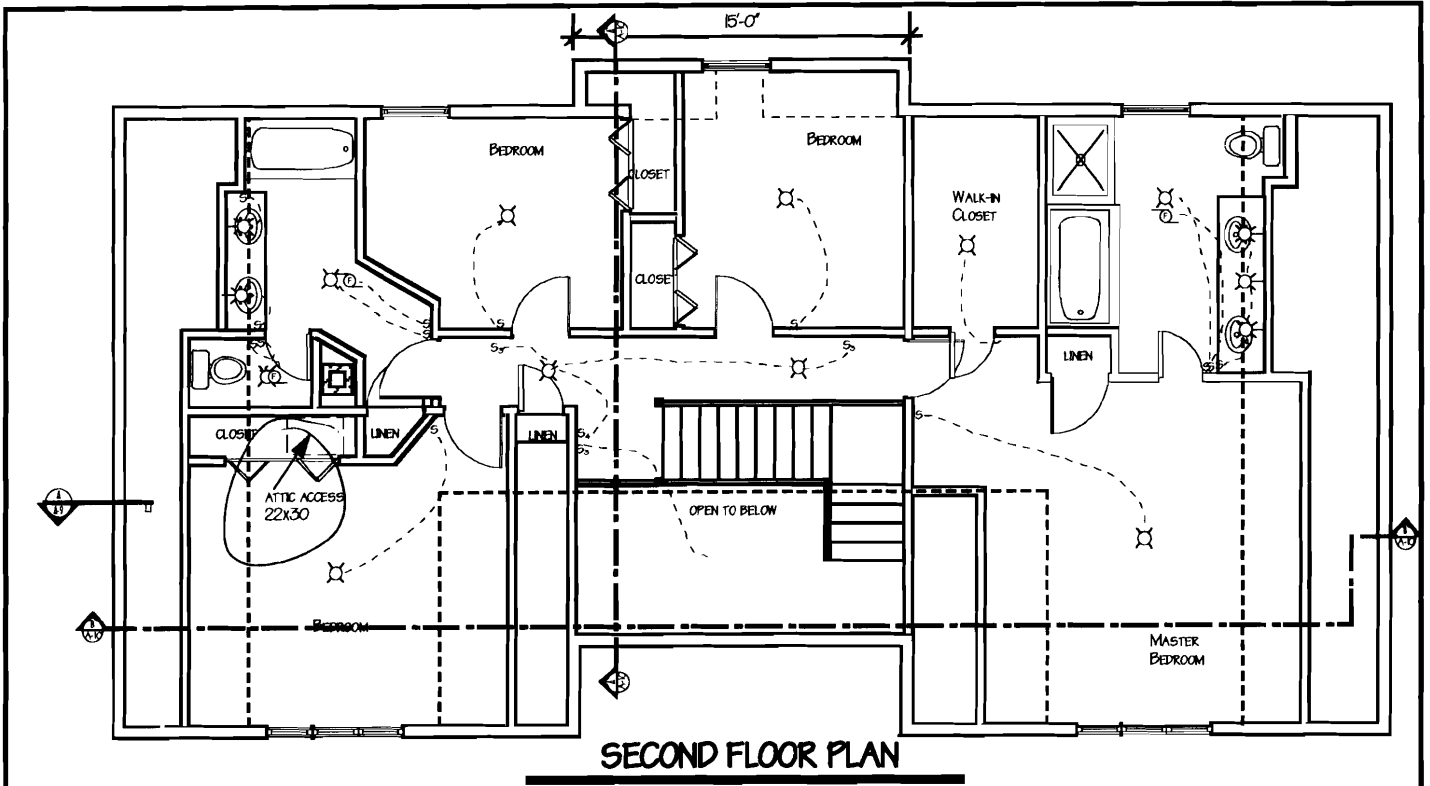
**Windemere
Homes**

WILTSHIRE MANOR
LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

SITE PLAN

DATE
8/13/04
SCALE
1" = 20'

A-2



<p>Windemere Homes</p>	<p>WILTSHIRE MANOR LOT 4 STEPPING STONE LANE AUTUMN GLEN SUBDIVISION PORTLAND, ME</p>	<p>FLOOR PLANS</p>	<p>DATE: 8/13/04 SUPERSEDES ALL PREVIOUS PLANS SCALE: 1/8" = 1'-0"</p>	<p>A-3</p>
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WINDOW & DOOR SCHEDULE


NUMBER	MANUFACTURER	MODEL	ROUGH OPENING	HEADER SIZE
W-1	Andersen	45-6050-20	9'2 3/8" x 5' 1 7/8"	2-2X10
W-2	Andersen	CW23	4'9" x 3'0 1/2"	2-2X6
W-3	Andersen	244-DH-3050-2	6' x 5'	2-2X8
W-4	Andersen	244-DH-3050*	3' x 5'	2-2X4
W-5	Andersen	CW15-3*	6' x 5'0 3/8"	2-2X10
W-6	Andersen	244-DH-2432	2'6" x 3'5 1/4"	2-2X4
W-7			approx 6' x 3'	2-2X10
W-8	Andersen	244-DH-3050**	3' x 5'	2-2X4
* Meets or exceeds Egress requirements				
** Tempered glass				
D-1	Custom		approx 6' x 6'8"	2-2X10
D-2	Therma-Tru or App'd Equal		2'8"x 6'8"	2-2X4

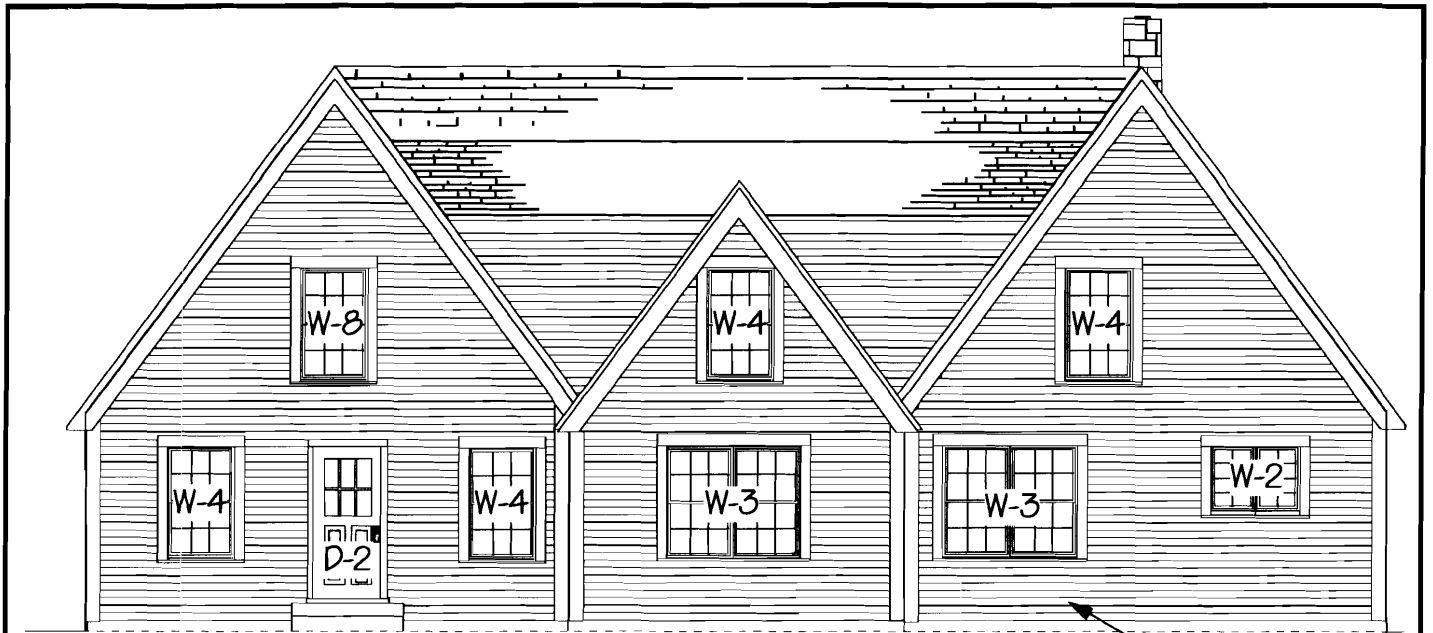
D3 45 minute minimum Fire Door

CITY OF PORTLAND MAINE
 APPROVED CONSTRUCTION PLANS
 SEP 20 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS

ROOM FINISH SCHEDULE

ROOM	FLOOR	WALLS	CEILING	COMMENTS
Foyer	Tile	DW/Paint	DW/Paint	Stairs - Hdwd
Living Room	Hardwood	DW/Paint	DW/Paint	
Laundry Room	Tile	DW/Paint	DW/Paint	
Family Room	Hdwd	DW/Paint	DW/Paint	
Dining Room	Hdwd	DW/Paint	DW/Paint	
Kitchen	Hdwd	DW/Paint	DW/Paint	
MBR	Carpet	DW/Paint	DW/Paint	
Bedroom 1	Carpet	DW/Paint	DW/Paint	
Bath 1	Tile	DW/Paint	DW/Paint	
Master Bath	Tile	DW/Paint	DW/Paint	
2nd Flr Hall	Hdwd	DW/Paint	DW/Paint	
NOTES:				
Hardwood is 2 1/4" Red oak				
Tile is 12 inch square terracotta				

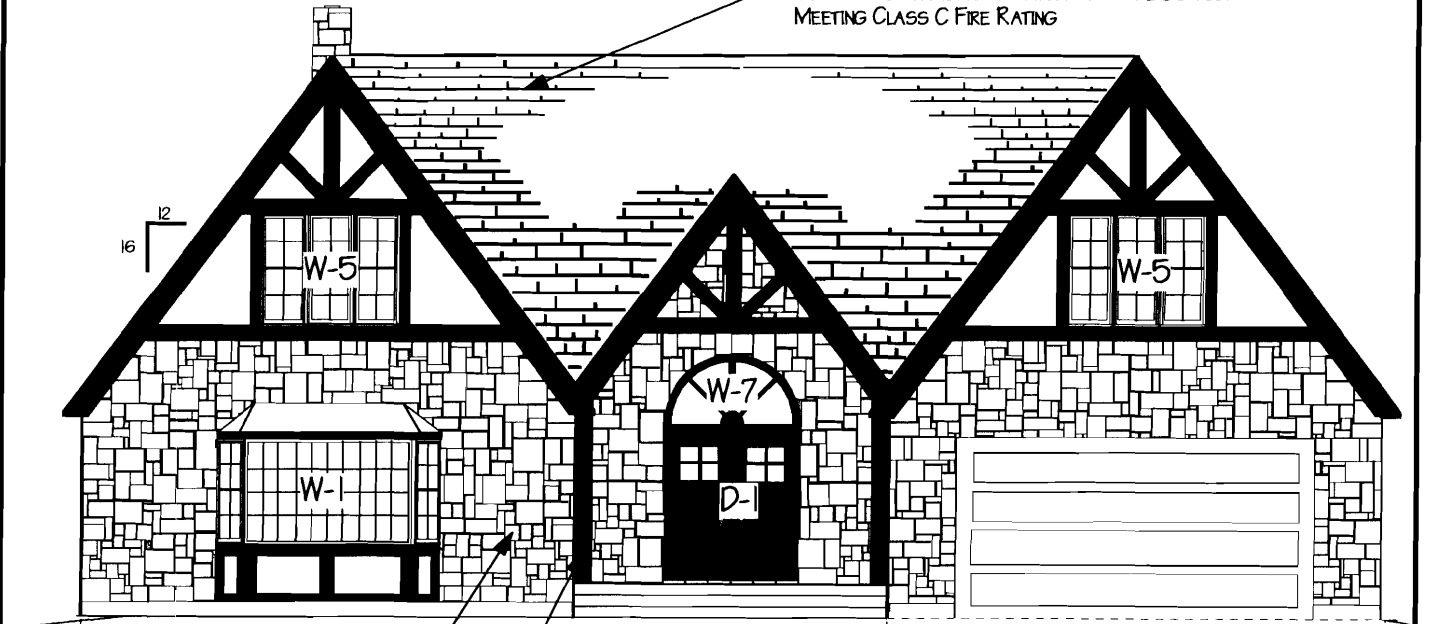
	WILTSHIRE MANOR LOT 4 STEPPING STONE LANE AUTUMN GLEN SUBDIVISION PORTLAND, ME	SCHEDULES	DATE 8/13/04	A-4
			SCALE NONE	



REAR ELEVATION

RUSTIC CEDAR SIDING

"AUTHENTIC" RUBBER SLATE RANDOM BLEND OF 25% DARK GRAY, 25% LIGHT GRAY, 25% GREEN, AND 25% PLUM
 INSTALLED OVER ASPHALT-SATURATED TYPE 30 FELT
 MEETING CLASS C FIRE RATING



CULTURED STONE VENEER
 TIMBERFRAME TRIM

FRONT ELEVATION

**Windemere
 Homes**

WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
 AUTUMN GLEN SUBDIVISION
 PORTLAND, ME

**FRONT & REAR
 ELEVATIONS**

DATE

8/13/04

SCALE

1/8" = 1'-0"

A-5

"AUTHENTIC" RUBBER SLATE RANDOM BLEND OF 25% DARK GRAY, 25% LIGHT GRAY, 25% GREEN, AND 25% PLUM
 INSTALLED OVER ASPHALT-SATURATED TYPE 30 FELT MEETING CLASS C FIRE RATING

RUSTIC CEDAR SIDING

LEFT ELEVATION

TOP OF ROOF
 117' - 1"

TOP OF 2ND FLR. SUBFLOOR
 102' - 7 3/4"

TOP OF 1ST FLR. SUBFLOOR
 93' - 5 1/4"

BOTTOM OF FOOTING
 83' - 11 1/2"

RIGHT ELEVATION

**Windemere
 Homes**

WILTSHIRE MANOR

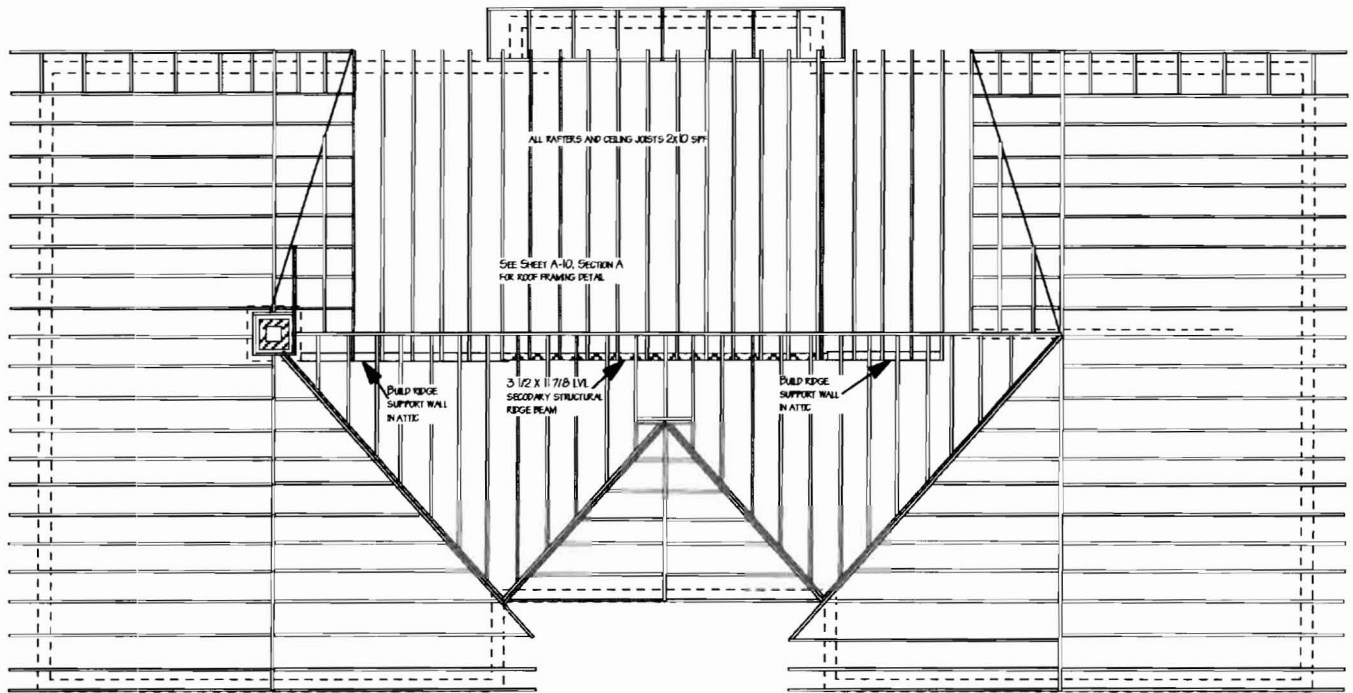
LOT 4 STEPPING STONE LANE
 AUTUMN GLEN SUBDIVISION
 PORTLAND, ME

**SIDE
 ELEVATIONS**

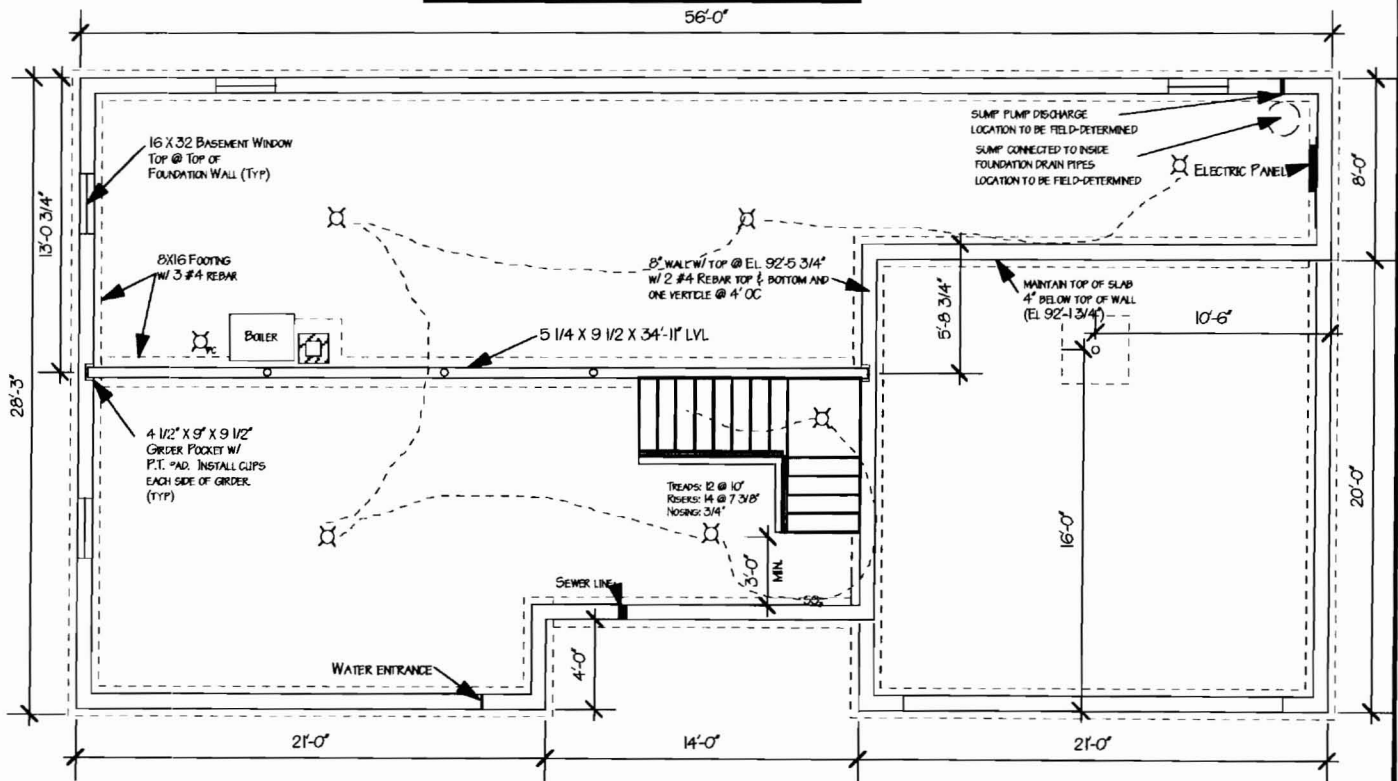
DATE
 8/13/04

SCALE
 1/8" = 1'-0"

A-6



ROOF FRAMING PLAN



FOUNDATION PLAN

Windemere Homes

WILTSHIRE MANOR

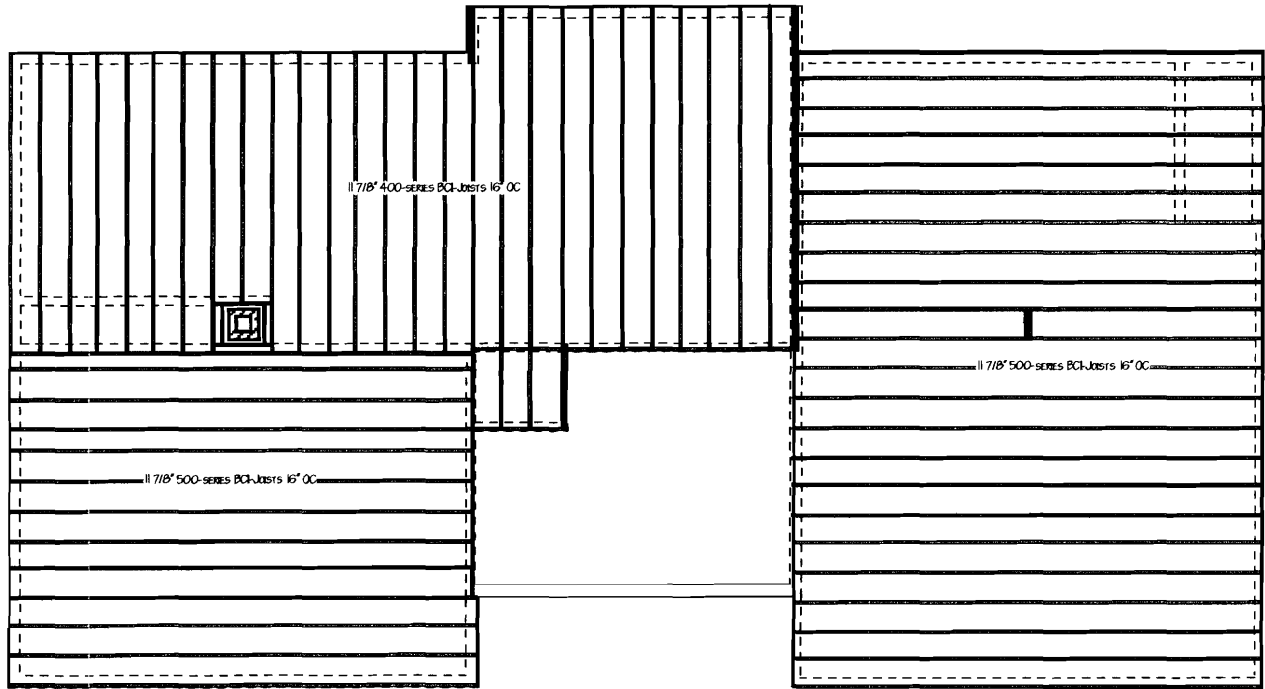
LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

**ROOF FRAMING &
FOUNDATION PLANS**

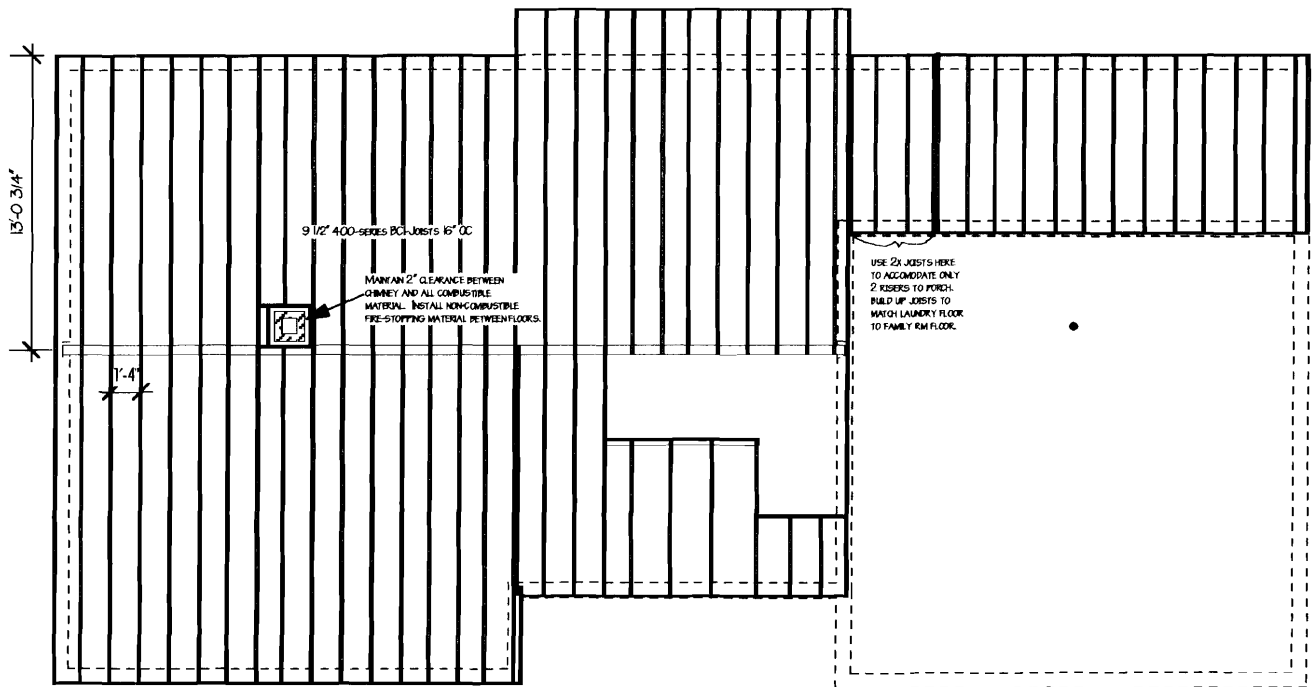
DATE
8/13/04

SCALE
1/8" = 1'-0"

A-7



SECOND FLOOR FRAMING PLAN



FIRST FLOOR FRAMING PLAN

	WILTSHIRE MANOR LOT 4 STEPPING STONE LANE AUTUMN GLEN SUBDIVISION PORTLAND, ME	FLOOR FRAMING PLANS	DATE 8/13/04	A-8
			SCALE 1/8" = 1'-0"	

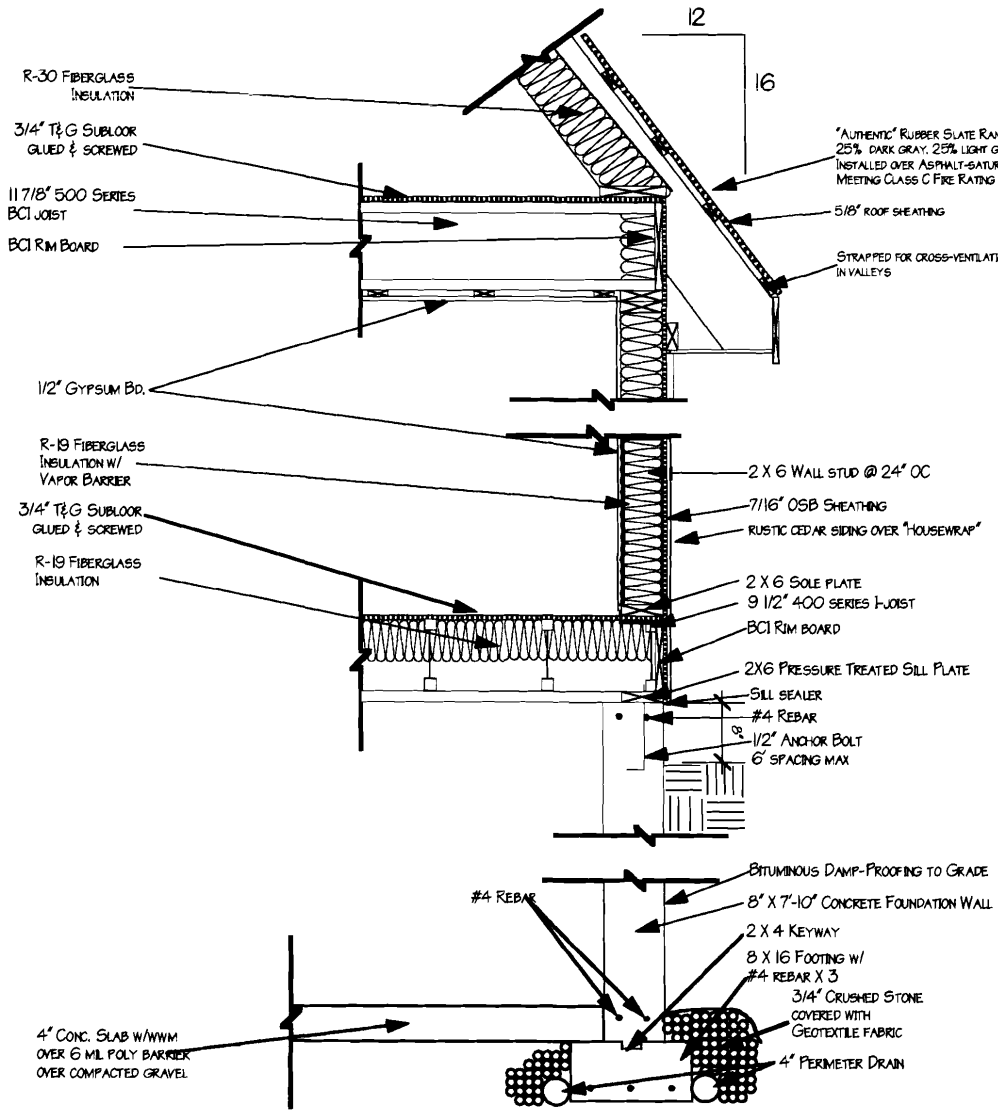
**Windemere
Homes**

WILTSHIRE MANOR
LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

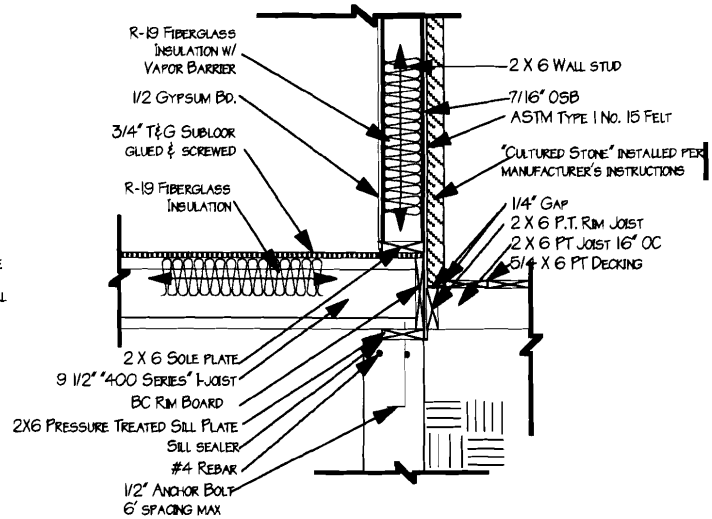
WALL SECTIONS

DATE
8/13/04
SCALE
1/2" = 1'-0"

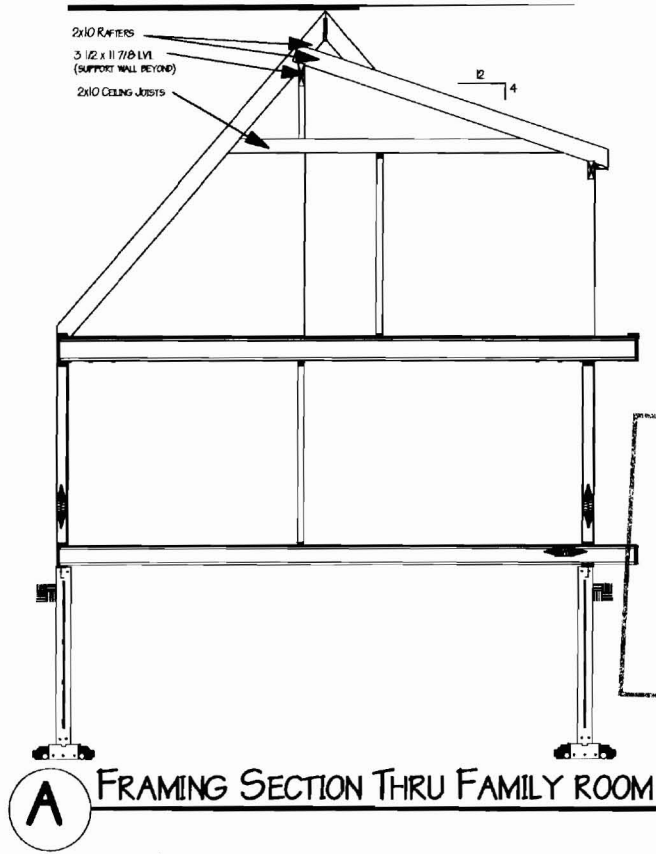
A-9



A TYPICAL WALL SECTION



B DETAIL AT FRONT SILL



CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS

SEP 20 2004

SUPERSEDES ALL
 PRIOR DATED PLANS



	WILTSHIRE MANOR LOT 4 STEPPING STONE LANE AUTUMN GLEN SUBDIVISION PORTLAND, ME	BUILDING SECTIONS	DATE 8/13/04	A-10
			SCALE 1/8" = 1'-0"	

EARTHWORK

1. Excavating: The subcontractor shall do all excavating as required on the drawings. Earth banks shall be braced against caving in the working area. The bottoms of all footing excavations shall be exactly level on solid undisturbed earth. Excavations are to be kept free of standing water. Contractor will be responsible for rough and finish grade.

- A. Excavate topsoil and stockpile in area designated on site.
- B. Excavate subsoil required for building foundations, construction operations and other work.
- C. In excavating for footings and foundations, take care not to disturb bottom of excavation. Excavate the entire area of the basement as shown on the drawings. Same to be made 18 inches larger than outside wall dimensions in every direction to allow for inspection, waterproofing, drain tile, etc.
- D. Excavate and backfill in a manner and sequence that will provide proper drainage at all times. Drain pipe and trenching WILL be required. Drain pipe to be installed both inside and outside the foundation with the inside connected to sump and outside pipe connected to inside pipe. Subcontractor to provide drain pipe and sump.
- E. Protect active utility lines. If damaged, repair or replace at no additional cost to the owner. If existing utilities are found to interfere with the permanent facilities being constructed, immediately notify the owner and secure his instructions.
- F. Where rocks, boulders, granite or similar material is encountered, remove such material by means which will neither cause additional cost to the owner nor endanger buildings or structures on or off the site.

TRENCHES

- A. Dig trenches for foundation walls and footings to dimensions shown on the drawings. Sewer trench shall be pitched with a uniform fall and the trench backfilled upon completion of the installation and after proper inspection.
- B. Dig trench for utilities to standards required by utility companies. Backfill to same standards.

2. Backfilling: Backfill excavations as promptly as progress of the work permits, but not until completion of the following:
- A. Acceptance of construction below grade.
 - B. Removal of concrete formwork.
 - C. Inspecting, testing, and approving underground utilities.
 - D. Removing trash and debris.
 - E. Placement of horizontal bracing on horizontally supported walls.
 - F. Application of dampproofing

The contractor shall bring the rough grade to 12 inches below top of foundation wall with clean fill and stockpiled sub soil. Backfill to be well puddled and tamped.

G. Fill and backfill materials: Provide soil materials free from organic matter and deleterious substances, containing no rocks or lumps over 3 inches in greatest dimension.

3. Grading:
- A. The contractor shall bring the finish grade to 12" below the top of the foundation wall with stockpiled top soil. Backfill to be well puddled and tamped.
 - B. grade the area to provide drainage away from the structures and to prevent ponding.
 - C. Where and if shown on the Drawings or otherwise required, provide topsoil consisting of friable, fertile soil of loamy character, containing an amount of organic matter normal to the region, capable of sustaining healthy plant life, and reasonable free from subsoil, roots, heavy or stiff clay, stones larger than 2 inches in greatest dimension, noxious weeds, sticks, brush, litter and other deleterious matter.

DAMP-PROOFING

1. PROVIDE ASPHALT BITUMEN DAMPPROOFING AS SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.

2. USE MATERIALS THAT COMPLY WITH THE FOLLOWING STANDARDS:

- A. ASPHALT: ASTM D449, TYPE I
- B. ASPHALT PRIMER: ASTM D41, COMPATIBLE WITH SUBSTRATE.

GENERAL REQUIREMENTS

1. The Sub-Contractor shall maintain, at his own expense, full and complete insurance on its work until final approval of the work described in the contract. The Sub-Contractor shall not hold the Contractor liable from any and all costs, damages, fees and expenses from any claims arising on the project. Failure of the Sub-Contractor to maintain appropriate insurance coverage may deem a material breach allowing the Contractor to terminate this contract or to provide insurance at the Sub-Contractor's expense. Prior to the start of work, subcontractor shall provide to the contractor, a certificate of insurance showing, as applicable general liability and workmen's compensation coverage for each workman.
2. Prior to the start of work, subcontractor shall provide to the contractor a completed IRS form W-9..
3. Sub-Contractor understands and agrees that no change orders or contract additions will be made unless agreed to in writing by Contractor. If any additional work is performed and not covered in this contract, the Sub-Contractor proceeds at his own risk and expense. No alterations, additions, or small changes can be made in the work or method of the performance, without the written change order signed by the Contractor and Sub-Contractor.
4. Sub-Contractor will be responsible for cleaning up the job on a daily basis, including all generated construction debris, drink cans, food wrappers, and/or other trash. If it becomes necessary, the Sub-Contractor will be back charged for appropriate clean up by deducting clean up costs from payments.
5. Sub-Contractor shall warranty all labor, materials and equipment furnished on the project for one year against defects in workmanship or materials utilized. The manufacturers warranty will prevail.

CONCRETE

CONCRETE FORMWORK

1. Provide formwork for cast-in-place concrete for the construction shown on the Drawings, as specified herein and as needed for a complete and proper installation.
2. For foundations, use wood, metal or fiberglass forms substantially constructed to prevent bowing or disfigurement during concrete placement and curing.
3. Construct formwork so concrete members and structures are of correct size, shape alignment, elevation and position.
4. For footings and foundations, use boards or planks secured to wood or steel stakes, substantially constructed to shapes indicated and to support the required loads.

CAST-IN-PLACE CONCRETE

1. Provide cast-in-place concrete where shown on the Drawings, as specified herein and as needed for a complete and proper installation.
2. Concrete:
 - A. Provide a standard brand of portland cement, Type I or II.
 - B. Fine aggregate: Provide washed natural sand having strong, hard, durable particles. Grade from coarse to fine.
 - C. Coarse aggregate: Use coarse aggregate of the largest practicable size for each condition of placement.
 - D. Use only clean potable water.
3. Unless otherwise directed use portland cement to achieve a weight of not more than 110 pcf and an ultimate compressive strength of 3000 psi at 28 days.
4. Concrete floors to be 4" thick with monolithic finish troweled to a hard smooth surface. Provide 6" X 6" #8/8 welded wire mesh reinforcing (or equivalent) where shown on drawings. Install 6-mil poly below slabs and overlap seams 12 inches.
5. Curing: Prevent premature drying and excessive hot or cold temperatures.



WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDMISION
PORTLAND, ME

SUBCONTRACTOR
SPECIFICATIONS
SHEET 1

DATE
8/13/04

SCALE
NONE

A-11

ELECTRICAL

1. Provide complete electric, telephone, ethernet (cat-5), and cable (coax) service as specified herein and as needed for a complete and proper installation.
2. Provide interior and exterior lighting as specified herein and as needed for a complete and proper installation.
 - A. Kitchen lighting to be recessed in ceiling.
 - B. Bathrooms: overhead general light, mirror light, exhaust fans.
 - C. Bedroom lights to be wired for paddle fans.
3. Use only new materials of the type and quality specified. Where Underwriters' Laboratories, Inc. have established standards for such materials, use only materials bearing the UL label.
4. Wiring
 - A. Nonmetallic sheathed cable, size 12 through 4 AWG: Copper conductor, 600-volt insulation, rated 60 degree C. type NM.
 - B. Service entrance cable: Copper conductors, 600-volt insulation, type SE.
5. Telephone & Cable
 - A. Provide service entrance equipment, outlets, terminal boards and other items required for a complete, approved, and operating telephone and cable service, except for such items as are provided by the serving company.
 - B. Provide telephone, cat-5, and coax outlets in Living Room, Family Room, and all bedrooms.
6. Main distribution panels: NEMA PB 1, circuit breaker type of 200-amp capacity.
 - A. Provide surface cabinet front with screw cover and hinged door.
 - B. Bus: Copper.
 - C. Ground bus: Copper.
 - D. Voltage: 120/208 volts.
7. Wiring Devices and Wall Plates
 - A. Provide exterior receptacles at front and rear of residence.
 - B. Wall switch: AC general use, quiet operating snap switch rated 20-amp and 120-277 volts AC, color and handle type as selected by the Owner.
 - C. Receptacle: Type 5-20 R, plastic face, color selected by Owner. all receptacles to be spaced and installed to code.
 - D. Wall dimmer: Linear slide/rotary dial type, color selected by Owner. Rated for 600 watts minimum, size to accommodate circuit shown on the Drawings.
 - E. Weatherproof cover plate: Gasketed cast metal with hinged gasketed device covers.
8. Smoke Detectors
 - A. Smoke detectors to be installed in the ceiling of each bedroom, upstairs hall, basement, and first level. Detectors to have battery backup and be interconnected.

INSULATION

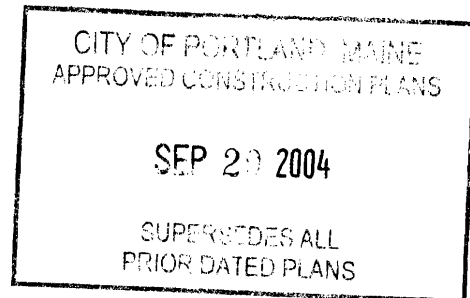
1. Provide insulation as specified herein and as needed for a complete and proper installation.
2. Insulation bats with an R-value not less than 19 shall be used in all living space exterior walls and sloped ceilings of the dwelling and 2nd story of the garage and in the floors over uninsulated spaces. Insulation bats with an R-value not less than 11 shall be used in all exterior walls of the garage.
3. Blown-in insulation 12" thick shall be installed in all horizontal under-roof ceilings.
4. Moisture barrier: Install poly vapor barrier on inside surface of all exterior walls and ceilings.
5. Insulation shall meet the requirements of the Maine state energy code and Maine law Title 10 Chapter 214.

GENERAL REQUIREMENTS

1. The Sub-Contractor shall maintain, at his own expense, full and complete insurance on its work until final approval of the work described in the contract. The Sub-Contractor shall not hold the Contractor liable from any and all costs, damages, fees and expenses from any claims arising on the project. Failure of the Sub-Contractor to maintain appropriate insurance coverage may deem a material breach allowing the Contractor to terminate this contract or to provide insurance at the Sub-Contractor's expense. Prior to the start of work, subcontractor shall provide to the contractor, a certificate of insurance showing, as applicable general liability and workmen's compensation coverage for each workman.
2. Prior to the start of work, subcontractor shall provide to the contractor a completed IRS form W-9.
3. Sub-Contractor understands and agrees that no change orders or contract additions will be made unless agreed to in writing by Contractor. If any additional work is performed and not covered in this contract, the Sub-Contractor proceeds at his own risk and expense. No alterations, additions, or small changes can be made in the work or method of the performance, without the written change order signed by the Contractor and Sub-Contractor.
4. Sub-Contractor will be responsible for cleaning up the job on a daily basis, including all generated construction debris, drink cans, food wrappers, and/or other trash. If it becomes necessary, the Sub-Contractor will be back charged for appropriate clean up by deducting clean up costs from payments.
5. Sub-Contractor shall warranty all labor, materials and equipment furnished on the project for one year against defects in workmanship or materials utilized. The manufacturers warranty will prevail.

PLUMBING & HEATING

1. Provide plumbing and heating as shown on the Drawings, as specified herein and as needed for a complete and proper installation including, but not limited to:
 - A. PEX tubing with copper headers domestic hot and cold water piping systems;
 - B. Drain, waste and vent systems;
 - C. Plumbing fixtures and trim as shown on the Drawings.
 - D. Oil piping & Tank
 - E. Sump pump and discharge piping
 - F. Cast iron oil-fired boiler w/ integral domestic water heater and 2-zone copper baseboard distribution system
2. The contractor shall obtain and pay for all permits and inspections as required by state and local codes and all work shall be in accordance therewith.
3. Provide frost-free hose bibs at front and rear of dwelling.
4. Provide shutoff valves at entrance of system, at fixtures and at hose bib branches.
5. Furnish and install all plumbing fixtures as indicated and selected by owner.
6. Before covering pipes, the entire water system shall be tested to 100 lbs. pressure and deficiencies corrected.



	WILTSHIRE MANOR LOT 4 STEPPING STONE LANE AUTUMN GLEN SUBDIVISION PORTLAND, ME	SUBCONTRACTOR SPECIFICATIONS SHEET 2	DATE 8/13/04 SCALE NONE	A-12

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS		NUMBER AND TYPE OF FASTENER ^{a,b,c,d}	SPACING OF FASTENERS
Joist to sill or girder, toe nail		3-8d	---
1" x 6" subfloor or less to each joist, face nail		2-8d 2 staples, 1 3/4"	---
2" subfloor to joist or girder, blind and face nail		2-16d	---
Sole plate to joist or blocking, face nail		16d	16" o.c.
Top or sole plate to stud, end nail		2-16d	---
Stud to sole plate, toe nail		3-8d or 2-16d	---
Double studs, face nail		10d	24" o.c.
Double top plates, face nail		10d	24" o.c.
Sole plate to joist or blocking at braced wall panels		3-16d	16" o.c.
Double top plates, minimum 48-inch offset of end joints, face nail in lapped area		8-16d	---
Blocking between joists or rafters to top plate, toe nail		3-8d	---
Rim joist to top plate, toe nail		8d	6" o.c.
Top plates, laps at corners and intersections, face nail		2-10d	---
Built-up header, two pieces with 1/2" spacer		16d	16" o.c. along each edge
Continued header, two pieces		16d	16" o.c. along each edge
Ceiling joists to plate, toe nail		3-8d	---
Continuous header to stud, toe nail		4-8d	---
Ceiling joist, laps over partitions, face nail		3-10d	---
Ceiling joist to parallel rafters, face nail		3-10d	---
Rafter to plate, toe nail		2-16d	---
1" brace to each stud and plate, face nail		2-8d 2 staples, 1 3/4"	---
1" x 6" sheathing to each bearing, face nail		2-8d 2 staples, 1 3/4"	---
1" x 8" sheathing to each bearing, face nail		2-8d 3 staples, 1 3/4"	---
Wider than 1" x 8" sheathing to each bearing, face nail		3-8d 4 staples, 1 3/4"	---
Built-up corner studs		10d	24" o.c.
Built-up girders and beams, 2-inch lumber layers		10d	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
2" planks		2-16d	At each bearing
Roof rafters to ridge, valley or hip rafters: toe nail		4-16d	---
face nail		3-16d	---
Rafter ties to rafters, face		3-8d	---
Wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing			
5/16-1/2	6d common nail (subfloor, wall) 8d common nail (roof) ^f	6	12 ^g
19/32-1	8d common nail	6	12 ^g
1 1/8-1 1/4	10d common nail or 8d deformed nail	6	12
Other wall sheathing^h			
1/2" regular cellululosic fiberboardsheathing	1 1/2 galvanized roofing nail 6d common nail staple 16 ga., 1 1/2 long	3	6
1/2 structural cellululosic fiberboard sheathing	1 1/2 galvanized roofing nail 8d common nail staple 16 ga., 1 1/2 long	3	6
25/32 structural cellululosic fiberboard sheathing	1 3/4 galvanized roofing nail 8d common nail staple 16 ga., 1 3/4 long	3	6
1/2 gypsum sheathing	1 1/2 galvanized roofing nail; 6d common nail; staple galvanized, 1 1/2 long; 1 1/4 screws, Type W or S	4	8
5/8 gypsum sheathing	1 3/4 galvanized roofing nail; 8d common nail; staple galvanized, 1 3/8 long; 1 5/8 screws, Type W or S	4	8
Wood structural panels, combination subfloor underlayment to framing			
3/4 and less	6d deformed nail or 8d common nail	6	12
7/8-1	8d common nail or 8d deformed nail	6	12
1 1/8-1 1/4	10d common nail or 8d deformed nail	6	12

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 1.609 km/h.

a. All nails are smooth-common, box or deformed shanks except where otherwise stated.

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on Table R602.3(1).

f. For regions having basic wind speed of 110 mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.

g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 80 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.

h. Gypsum sheathing shall conform to ASTM C 79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AHA 194.1 or ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners or roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.



WILTSHIRE MANOR

LOT 4 STEPPING STONE LANE
AUTUMN GLEN SUBDIVISION
PORTLAND, ME

NAIL SCHEDULE

(EXCERPT FROM 2000
INTERNATIONAL RES. CODE)

DATE
8/13/04

SCALE
NONE

A-13