

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 061426

This is to certify that KING CONSTRUCTION CORP / King Construction Corp

has permission to New Single Family Home w/ car gara

AT ¹⁷8 STEPPING STONE LN #3

406 F053001

PERMIT ISSUED

JAN 12 2007

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Oregon and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is rendered. FOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 01/12/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 06-1426 | Issue Date: | CBL: 406 F053001 |
|-----------------------|-------------|---------------------|

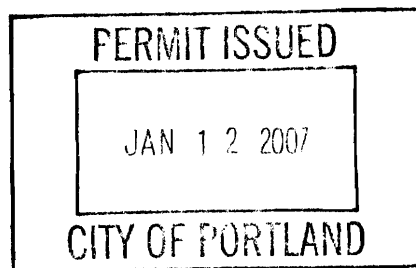
| | | | |
|---|--|-------------------------------------|---------------------|
| Location of Construction: STEPPING STONE LN #3 | Owner Name: KING CONSTRUCTION CORP | Owner Address: 198 SACO AVE | Phone: |
| Business Name: | Contractor Name: King Construction Corp | Contractor Address: 198 Saco OOB | Phone 2079347622 |
| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | Zone: R3 |

| | | | | |
|--|---|--|---|--------------------|
| Past Use: Vacant Land | Proposed Use: Single Family Home/ New Single Family Home w/ 2 car garage | Permit Fee: \$1,475.00 | Cost of Work: \$138,000.00 | CEO District: 4 |
| Proposed Project Description: New Single Family Home w/ 2 car garage | | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i> | INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i> | |
| | | Signature: <i>[Signature]</i> | | |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | | | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | | | | |
| Signature: _____ Date: _____ | | | | |

| | | | | |
|-----------------------------|---------------------------------|------------------------|--|--|
| Permit Taken By: Idobson | Date Applied For: 09/27/2006 | Zoning Approval | | |
|-----------------------------|---------------------------------|------------------------|--|--|

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

| Special Zone or Reviews | Zoning Appeal | Historic Preservation |
|--|--|---|
| <input type="checkbox"/> Shoreland <i>N/A</i> | <input type="checkbox"/> Variance | <input checked="" type="checkbox"/> Not in District or Landmark |
| <input type="checkbox"/> Wetland <i>N/A</i> | <input type="checkbox"/> Miscellaneous | <input type="checkbox"/> Does Not Require Review |
| <input type="checkbox"/> Flood Zone <i>panel 7 - 2006</i> | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Requires Review |
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Interpretation | <input type="checkbox"/> Approved |
| <input checked="" type="checkbox"/> Site Plan <i>2006 - 0911</i> | <input type="checkbox"/> Approved | <input type="checkbox"/> Approved w/Conditions |
| Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> | <input type="checkbox"/> Denied | <input type="checkbox"/> Denied <i>ABM</i> |
| Date: <i>12/10/06 ABM</i> | Date: _____ | Date: _____ |



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

CEO - Please use plans stamped. "Approved for construction by the City" Thank - T

Get print out for notes

7/20 Not Ready - Sch. Tues 24th ^{CSH}

7/24/07. checked framing/electrical/plumbing
for close-in - Tests on + OK - all others ok -
NO ISSUES - OK to close-in *JM*

12-15-08 Not ready - see list: 1. handrail near stairs 2. Washer drain + tray 3. Bath
room exist panel 4. holes in cabinets bath + kit 5. Bulkhead sealed 6. Fire
holes in garage ceiling. 7. ? on heating system in crawl space. *JM*

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 06-1426 | Date Applied For: 09/27/2006 | CBL: 406 F053001 |
|------------------------------|--|----------------------------|

| | | | |
|---|---|--|--------------------------------|
| Location of Construction: 17 STEPPING STONE LN #3 | Owner Name: KING CONSTRUCTION CORP | Owner Address: 198 SACO AVE | Phone: |
| Business Name: | Contractor Name: King Construction Corp | Contractor Address: 198 Saco OOB | Phone (207) 934-7622 |
| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | |

| | |
|--|--|
| Proposed Use: Single Family Home/ New Single Family Home w/ 2 car garage | Proposed Project Description: New Single Family Home w/ 2 car garage |
|--|--|

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/10/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 01/12/2007

Note: **Ok to Issue:**

- 1) As discussed, the rafters must be 2" x 10"s.
- 2) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 7) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 8) The attic scuttle opening must be 22" x 30".
- 9) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 10/31/2006

Note: **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

| | | | |
|---|---|--|--------------------------------|
| Location of Construction: 17 STEPPING STONE LN #3 | Owner Name: KING CONSTRUCTION CORP | Owner Address: 198 SACO AVE | Phone: |
| Business Name: | Contractor Name: King Construction Corp | Contractor Address: 198 Saco OOB | Phone (207) 934-7622 |
| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | |

- 4) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Comments:

10/4/2006-amachado: Elevation plans show a daylight basement in the rear, but the gradin on the site plan does not. Left message for King Weinstein to call me.

11/2/2006-tmm: Finished review of all permits - left message w/King - alot of info missing

11/16/2006-tmm: re-reviewed info submitted - plans still lack a large amount of info - called KRE

1/12/2007-tmm: rec'd additional info - ok to issue w/conditions.

Stepping Stone Lot 18 53
406-F-~~500~~

06-1427

CHESS BINS
934-7622

Lot #3 Lot #8

| ONE AND TWO FAMILY | PLAN REVIEW | CHECKLIST |
|--|---------------------------|-------------|
| Soil type/Presumptive Load Value (Table R401.4.1) | | |
| STRUCTURAL | | |
| ① Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1) | Not shown - no details | 8x20" |
| ② Foundation Drainage, Fabric, Damp proofing (Section R405 & R406) | | OK |
| Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY | | |
| ③ Anchor Bolts/Straps, spacing (Section R403.1.6) | | OK |
| ④ Lally Column Type (Section R407) | Not Required | |
| Girder & Header Spans (Table R 502.5(2)) | | |
| Built-Up Wood Center Girder Dimension/Type | no beam shown | |
| ⑤ Sill/Band Joist Type & Dimensions | NOT SHOWN | 2x6 PT #5A |
| First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2)) | 2x10's - 16" OC | OK |
| Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2)) | 2x10's - 16" OC | Noted FI |
| Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2)) | 2x8's - Note FI | |

06-1427

| | | |
|--|---|-----------------------|
| <p>46 Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter, Framing & Connections (Section R802.3 & R802.3.1)</p> | <p>2x8's note #1 - under sized</p> | |
| <p>67 Sheathing, Floor, Wall and roof (Table R503.2.1.1(1))</p> | <p>Roof 1/2" floors + walls? - OK WSA</p> | |
| <p>Fastener Schedule (Table R602.3(1) & (2))</p> | <p>Per IRC</p> | |
| <p>Private Garage (Section R309) Living Space? <i>yes</i> (Above or beside)</p> | <p><i>noted 5/8" walls + ceiling</i></p> | |
| <p>Fire separation (Section R309.2)</p> | <p>noted</p> | |
| <p>Opening Protection (Section R309.1)</p> | <p><i>Shows 1 hour noted</i></p> | |
| <p>Emergency Escape and Rescue Openings (Section R310)</p> | <p>not shown</p> | <p>COM</p> |
| <p>Roof Covering (Chapter 9)</p> | <p>not shown</p> | <p>- Asphalt - OK</p> |
| <p>10 Safety Glazing (Section R308)</p> | <p>need in Master</p> | <p>- OK</p> |
| <p>Attic Access (Section R807)</p> | <p>not shown in 2nd floor</p> | <p>RAT Print #6</p> |
| <p>Chimney Clearances/Fire Blocking (Chap. 10)</p> | <p>w/A</p> | |
| <p>11 Header Schedule (Section 502.5(1) & (2))</p> | <p>2-2x10's for windows Need LVL + Beam schedule for all carrying beams</p> | |
| <p>15 Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration</p> | <p>not shown</p> | |

Roof R-38
Walls - R-19
Floor - ?

U-value of windows?

06-1427

| | | |
|--|--|--|
| <p>47 Type of Heating System</p> | <p>Not shown</p> | |
| <p>Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 2</p> | | |
| <p>48 Treads and Risers (Section R311.5.3)</p> | <p>to CABO - need to IRC - opening size is not large enough</p> | |
| <p>Width (Section R311.5.1) 3'-2"</p> | | |
| <p>49 Headroom (Section R311.5.2)</p> | <p>not shown RRP Print #6 & #5</p> | |
| <p>50 Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)</p> | <p>not shown - RRP Print #5</p> | |
| <p>Smoke Detectors (Section R313) Location and type/Interconnected</p> | <p>noted</p> | |
| <p>Draftstopping (Section R502.12) and Fireblocking (Section R602.8)</p> | <p>need fire blocking for drop ceiling</p> | |
| <p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p> | <p>N/A</p> | |
| <p>48 Deck Construction (Section R502.2.1)</p> | <p>need deck framing detail for rear deck SCAB ON GRADE</p> | |

06-1424

Stepping Stone - Lot # 3

406-F 53

934-7622

| ONE AND TWO FAMILY | PLAN REVIEW | CHECKLIST | | |
|--|---------------------------|---------------|-----------|------|
| Soil type/Presumptive Load Value (Table R401.4.1) _____ | | | | |
| Component | Submitted Plan | Findings | Revisions | Date |
| STRUCTURAL | | | | |
| 1 Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)) | not shown - no details | 8x20 | Pg SA | |
| 2 Foundation Drainage, Fabric, Damp proofing (Section R405 & R406) | | - OK | | |
| Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY | | | | |
| 3 Anchor Bolts/Straps, spacing (Section R403.1.6) | | - OK | | |
| 4 Lally Column Type (Section R407) | | | | |
| Girder & Header Spans (Table R 502.5(2)) | | | | |
| Built-Up Wood Center Girder Dimension/Type | no beam shown | | | |
| 5 Sill/Band Joist Type & Dimensions | not shown | - 2x6 PT | Pg SA | |
| First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2)) | 2x10's - 16" OC | - OK | | |
| Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2)) | 2x10's - 16" OC | } Noted FI | | |
| Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2)) | 2x8's - Note FI | | | |

06-1426

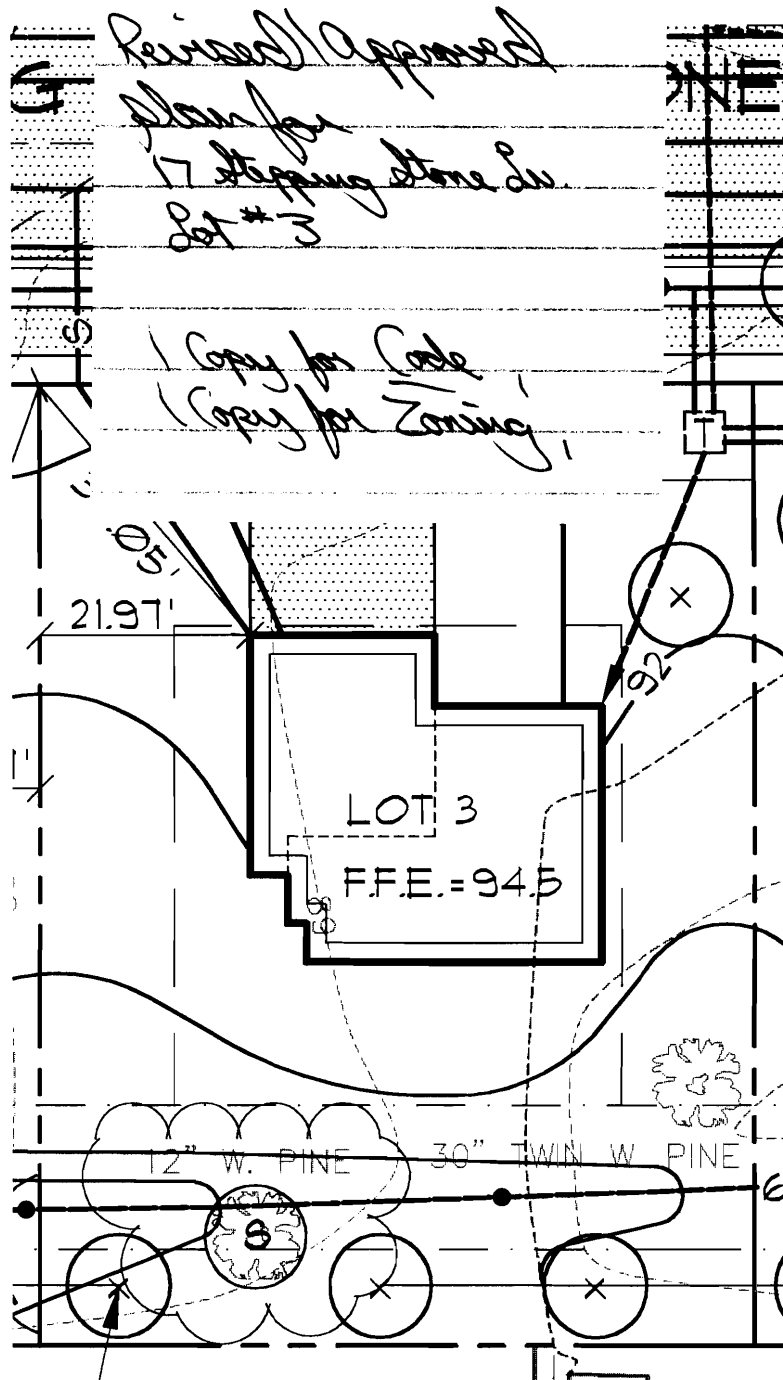
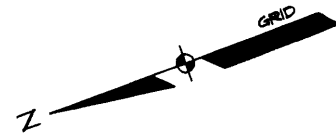
| | | | |
|----|---|--|---------------|
| 5 | Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1) | 2x8's note #1 - under sized | |
| 6 | Sheathing; Floor, Wall and roof (Table R503.2.1.1(1)) | Roof 1/2" floors + walls ? - OK pg 5A | |
| | Fastener Schedule (Table R602.3(1) & (2)) | Per IRC | |
| | Private Garage (Section R309) Living Space? <i>yes</i> (Above or beside) | | |
| | Fire separation (Section R309.2) | <i>noted 5/8" walls + ceiling</i> not shown | |
| | Opening Protection (Section R309.1) | <i>shows 1 hour noted</i> | |
| 8 | Emergency Escape and Rescue Openings (Section R310) | not shown | |
| 9 | Roof Covering (Chapter 9) | not shown | Asphalt pg 5A |
| 10 | Safety Glazing (Section R308) | need in Master | - OK |
| 11 | Attic Access (Section R807) | not shown in 2nd floor | |
| | Chimney Clearances/Fire Blocking (Chap. 10) | w/A | |
| 12 | Header Schedule (Section 502.5(1) & (2)) | 2-2x10's - for windows Need WL + Beam schedule for all carrying Beams | |
| 13 | Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration | not shown | |

Roof - R-38
Walls - R-19
Floor ?

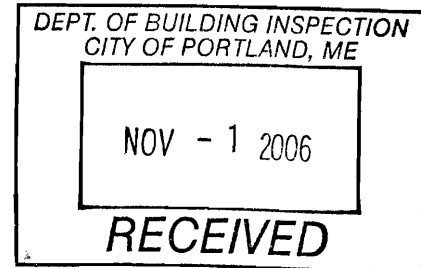
U-Value of windows ?

06-1426

| | | |
|---|--|--|
| 14) Type of Heating System | not shown | |
| Means of Egress (Sec R311 & R312) Basement / Number of Stairways / Interior / Exterior 2 | | |
| 15) Treads and Risers (Section R311.5.3) to CABO - need to IRC - opening size is not large enough Width (Section R311.5.1) 3-2" | | |
| 16) Headroom (Section R311.5.2) - not shown | | |
| 17) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) not shown | | |
| Smoke Detectors (Section R313) Location and type/Interconnected | noted | |
| Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207) | - need fire blocking for drop ceiling n/a | |
| 18) Deck Construction (Section R502.2.1) | need deck framing detail for rear deck | |



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-31-06



NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (R3) ZONE.
2. THE DIMENSIONAL REQUIREMENTS FOR THE R3 ZONE ARE AS FOLLOWS:
 MINIMUM LOT SIZE 6,500 SF.
 MINIMUM STREET FRONTAGE 50 FEET
 MINIMUM YARD DIMENSIONS: MIN. LOT WIDTH 25 FEET
 FRONT YARD 25 FEET
 REAR YARD (STRUCTURES GREATER THAN 100 SF.) 25 FEET
 SIDE YARD (1 STORY) 8 FEET
 (1 1/2 STORY) 8 FEET
 (2 STORY - SHOWN ON PLAN) 14 FEET
 (2 1/2 STORY) 16 FEET
 SIDE YARD (ON SIDE STREET) 20 FEET
3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1989 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CYP #25 POLE ON RAY STREET, ELEVATION 9133'.

Sebago Technics

Engineering Expertise You Can Build On
 One Chobot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277



LOT 3 - GRADING PLAN
 AUTUMN GLEN SUBDIVISION

LOCATION:
 RAY STREET
 PORTLAND, MAINE

FOR:
 KING REAL ESTATE
 OLD ORCHARD, ME

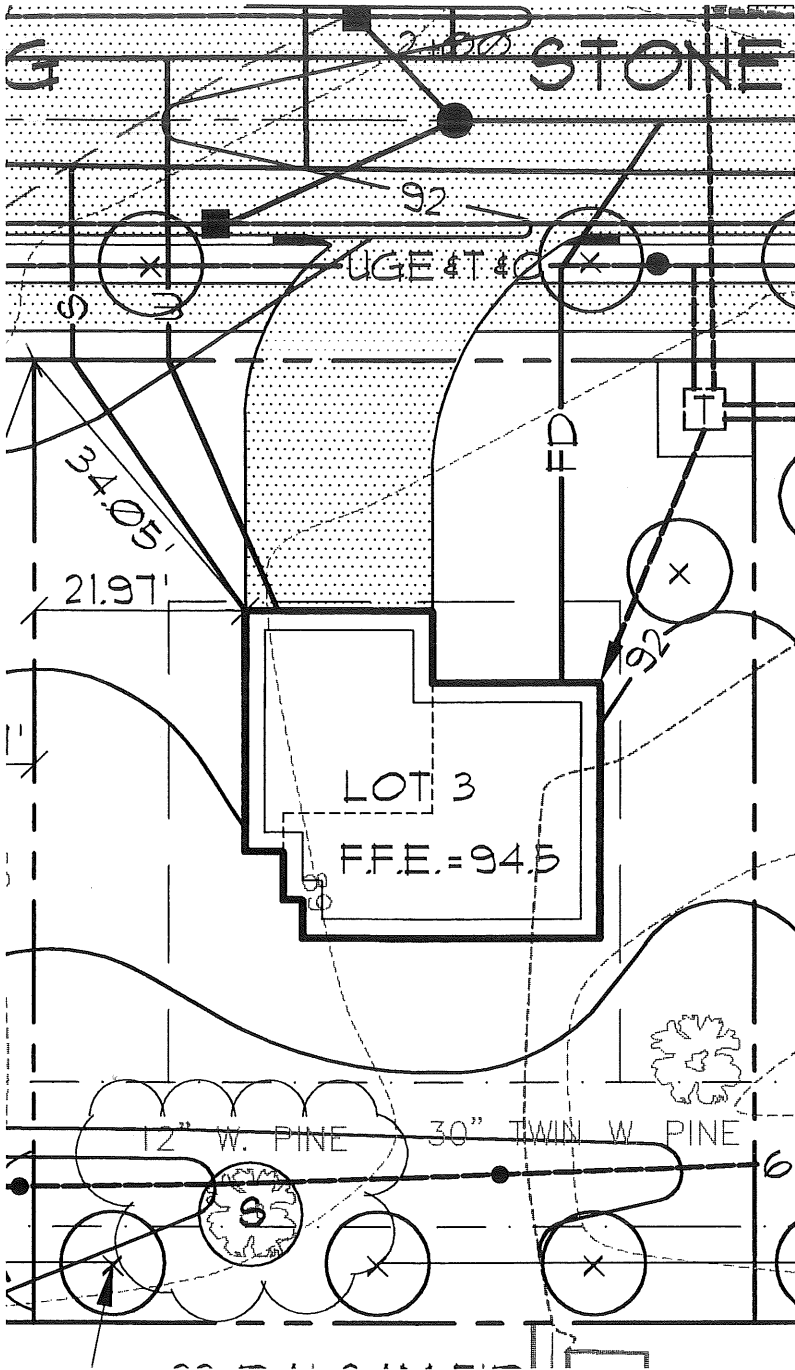
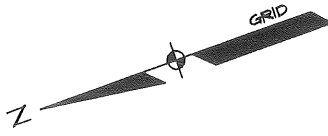
SCALE: 1"=20'

DATE: 10-17-06

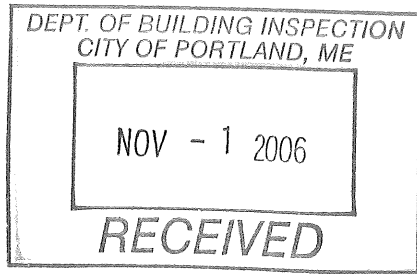
SHEET:
 1 OF 1

01259G.dwg, TAB: LOT

10/17/06, 11:47 AM



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-31-06



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5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1988 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CMP 925 POLE ON RAY STREET, ELEVATION 91.33'.

Sebago Technics

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 Westbrook, Me 04098-1339
 Tel (207) 856-0277



LOT 3 - GRADING PLAN
 AUTUMN GLEN SUBDIVISION

LOCATION:
 RAY STREET
 PORTLAND, MAINE

FOR:
 KING REAL ESTATE
 OLD ORCHARD, ME

SCALE: 1"=20'
 DATE: 10-17-06
 SHEET:
 1 OF 1

From: Jay Reynolds
To: Single Family Signoff
Date: 10/31/2006 12:27:33 PM
Subject: 17 Stepping Stone lane lot #3

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov



General Building Permit Application

#17

| | | |
|---|--|---|
| Location/Address of Construction: <u>STEPPING STONE STR: LANE LOT3</u> | | |
| Total Square Footage of Proposed Structure <u>2178</u> | | Square Footage of Lot <u>7300</u> |
| Tax Assessor's Chart, Block & Lot Chart# <u>406</u> Block# <u>F</u> Lot# <u>53</u> | Owner: <u>KWB CONSTRUCTION CORP</u> | Telephone: <u>207 934-7622</u> |
| Lessee/Buyer's Name (If Applicable) <u>N/A</u> | Applicant name, address & telephone: <u>KWB CONSTRUCTION CORP</u> <u>198 SACO AVENUE</u> <u>OLD ORCHARD BEACH, ME</u> <u>04064</u> | Cost Of Work: \$ <u>138,000</u> Fee: \$ <u>1,775</u> C of O Fee: \$ _____ |
| Current Specific use: <u>VACANT</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>RESIDENTIAL</u> | | |
| Project description: <u>CONSTRUCT SINGLE FAMILY HOME W/2 CAR GARAGE</u> | | |
| Contractor's name, address & telephone: <u>SAME</u> | | |
| Who should we contact when the permit is ready: <u>KWB WEINSTEIN</u> Mailing address: <u>198 SACO AVENUE</u> <u>OLD ORCHARD BEACH, ME 04064</u> Phone: <u>207 934-7622 x20</u> | | |

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information, please call the City of Portland at 207-876-8703, stop by the Building Inspections office, room 315 City Hall, 100 State Street, Portland, ME 04101.

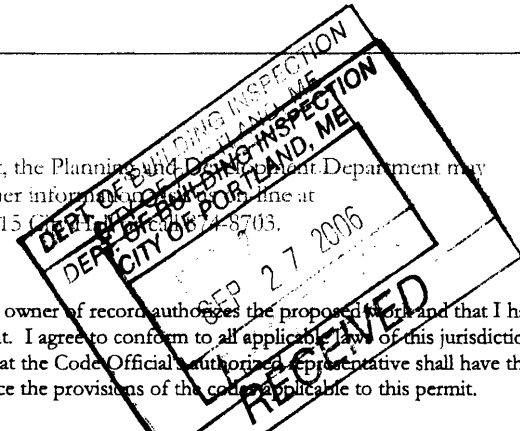
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

KWB Weinstein, President

Date:

9/26/06



This is not a permit; you may not commence ANY work until the permit is issued.

Applicant: King Construction Corp.

Date: Oct 3, 2006

Address: ~~XXXX~~ ~~XXXX~~ Stepping Stone Lane (lot 3)

C-B-L: 406-F-53
permit # 06-1421

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build 2 story w/ attached garage single family home

Sewage Disposal - City

Lot Street Frontage - 50' min. - 75' given.

Front Yard - 25' req. - 25.5' scaled

Rear Yard - 25' req. - 39.5' scaled

Side Yard - ~~1 1/2 stories~~ 8' 16' on right OK ~~needed~~
11' 22' on left.

Projections - ~~2 1/2~~ 16' daylight.

Width of Lot - 65' min. - 75' scaled.

Height - 35' max. - ~~31.5~~ 22.25' scaled.

Lot Area - 6,500 sq ft - 75,000 sq ft given.

Lot Coverage Impervious Surface - 35% = 2625 OK

30.5 x 26.5 = 808.25
6.5 x 17.5 = 113.75
7.5 x 20 = 150
2 x 5 = 10

Area per Family - 6500 sq ft

Off-street Parking - 2 spaces required. - 2 car garage 20' x 20'

1082

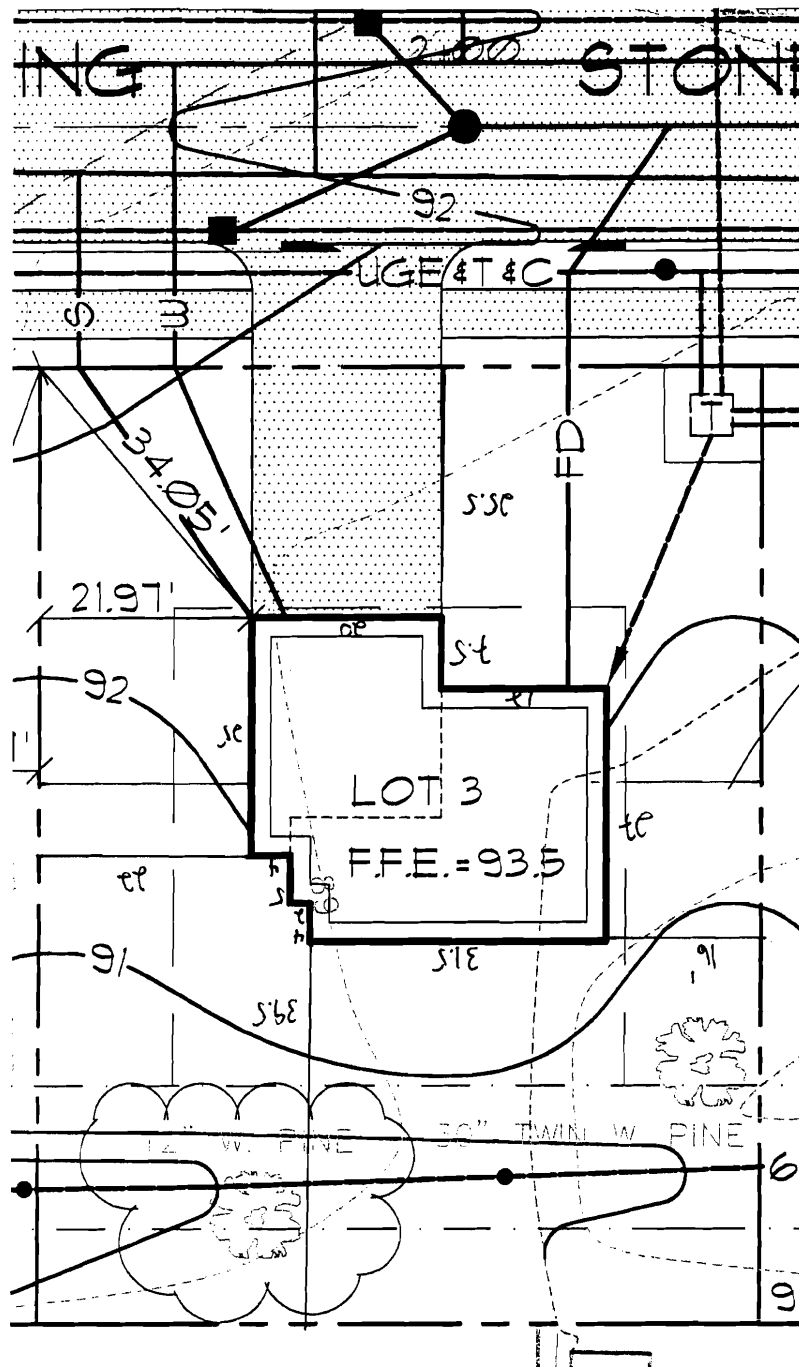
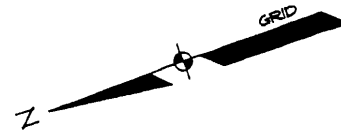
Loading Bays - N/A

Site Plan - minor / minor 2006-0191

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X

~~daylight basement~~



Used
for
Zoning

lot width 75'

NOTES:

1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RESIDENTIAL (R3) ZONE.
2. THE DIMENSIONAL REQUIREMENTS FOR THE R3 ZONE ARE AS FOLLOWS:

| | |
|--|-----------|
| MINIMUM LOT SIZE | 6,500 SF. |
| MINIMUM STREET FRONTAGE | 50 FEET |
| MINIMUM YARD DIMENSIONS: MIN. LOT WIDTH | 75 FEET |
| FRONT YARD | 25 FEET |
| REAR YARD (STRUCTURES GREATER THAN 100 SF) | 25 FEET |
| SIDE YARD (1 STORY) | 8 FEET |
| (1 1/2 STORY) | 8 FEET |
| (2 STORY - SHOWN ON PLAN) | 14 FEET |
| (2 1/2 STORY) | 16 FEET |
| SIDE YARD (ON SIDE STREET) | 20 FEET |
3. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
5. ALL TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. NOVEMBER 2001. ELEVATIONS ARE BASED ON THE NGVD 1988 VERTICAL DATUM. SITE BENCHMARK IS A SPIKE SET IN CMP #25 POLE ON RAY STREET, ELEVATION 91.33'.

Sebago Technics

Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277



LOT 3 - GRADING PLAN
AUTUMN GLEN SUBDIVISION

LOCATION:

RAY STREET
PORTLAND, MAINE

FOR:

KING REAL ESTATE
OLD ORCHARD, ME

SCALE: 1"=20'

DATE: 6-1-04

SHEET:

1 OF 1

012596 TAB: LOT3

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

Zoning Copy

2006-0191

Application I. D. Number

9/27/2006

Application Date

King Construction Corp

Applicant

198 Saco Ave, Portland, ME

Applicant's Mailing Address

King Weinstein

Consultant/Agent

Applicant Ph: (207) 934-7622 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

Stepping Stone Ln, Portland, Maine

Address of Proposed Site

406 F053001

Assessor's Reference: Chart-Block-Lot

Stepping Stone Lane Lot#3

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 10/2/2006

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
 Inspection Fee Paid _____ date _____ amount _____
 Building Permit Issue _____ date _____
 Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
 Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
 Final Inspection _____ date _____ signature _____
 Certificate Of Occupancy _____ date _____
 Performance Guarantee Released _____ date _____ signature _____
 Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
 Defect Guarantee Released _____ date _____ signature _____

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Made L. [Signature]
Signature of Applicant/Designee

1-19-07
Date

[Signature]
Signature of Inspections Official

1-19-07
Date

CBL: 406 F 53

Building Permit #: 06-1426

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation: PORTLAND
Street Subdivision Lot #: 17 STEPPING STONE LANE

PROPERTY OWNERS NAME

Last: KING REALTY First: _____

Applicant Name: CAHOON + WALTZ
Mailing Address of Owner/Applicant (If Different): 321 LINCOLN ST. SOUTH PORTLAND ME

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 6/28/07

2007-8165

PORTLAND PERMIT # 10315 TOWN COPY

Date Permit Issued: 6 28 07 \$ 96 If Double Fee Charged

L.P.I. # 0744

Local Plumbing Inspector Signature: [Signature]

406-F-33

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

| This Application is for | Type of Structure To Be Served: | Plumbing To Be Installed By: |
|---|--|--|
| 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING | 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____ | 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>1526</u> |

| Hook-Up & Piping Relocation Maximum of 1 Hook-Up | Number | Column 2 Type of Fixture | Number | Column 1 Type of Fixture |
|--|--------|--|--------|------------------------------|
| <input type="checkbox"/> HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR <input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system. | 2 | Hosebib / Sillcock | 2 | Bathtub (and Shower) |
| | | Floor Drain | | Shower (Separate) |
| <input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures. | | Urinal | 1 | Sink |
| | | Drinking Fountain | 4 | Wash Basin |
| | | Indirect Waste | 3 | Water Closet (Toilet) |
| | | Water Treatment Softener, Filter, etc. | 1 | Clothes Washer |
| | | Grease / Oil Separator | 1 | Dish Washer |
| | | Roof Drain | 1 | Garbage Disposal |
| OR <input type="checkbox"/> TRANSFER FEE [\$6.00] | | Bidet | | Laundry Tub |
| | | Other: _____ | | Water Heater |
| | | Fixtures (Subtotal) Column 2 | 13 | Fixtures (Subtotal) Column 1 |
| | | | 12 | Fixtures (Subtotal) Column 2 |
| | | | 15 | Total Fixtures |
| | | | | Fixture Fee |
| | | | | Transfer Fee |
| | | | | Hook-Up & Relocation Fee |
| | | | 96 | Permit Fee (Total) |

#25391 SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

96
10/100

ELECTRICAL PERMIT

City of Portland, Me.

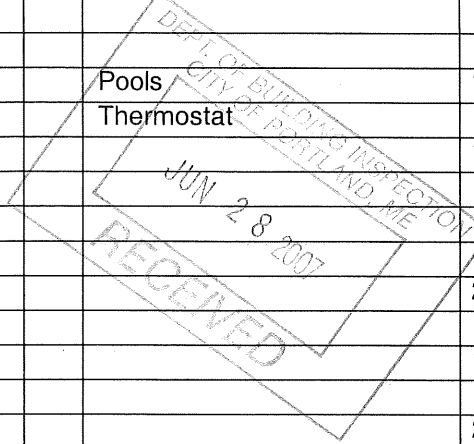


To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date June 28, 07
 Permit # 07-4482
 CBL# 406 F 053

LOCATION: 17 Stepping Stone Lane METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER King Realty
 TENANT New Home PHONE # _____

| | | | | | | | TOTAL EACH FEE | | | |
|------------------------------|----|------------------|----|---------------|---|-----------------|-------------------|-------|------|--|
| OUTLETS | 70 | Receptacles | 25 | Switches | 6 | Smoke Detector | .20 | 20.20 | | |
| FIXTURES | 24 | Incandescent | | Fluorescent | | Strips | .20 | 4.80 | | |
| SERVICES | 1 | Overhead | | Underground | | TTL AMPS <800 | 15.00 | 15.00 | | |
| | | Overhead | | Underground | | >800 | 25.00 | | | |
| Temporary Service | | Overhead | | Underground | | TTL AMPS | 25.00 | | | |
| | | | | | | | 25.00 | | | |
| METERS | | (number of) | | | | | 1.00 | | | |
| MOTORS | | (number of) | | | | | 2.00 | | | |
| RESID/COM | | Electric units | | | | | 1.00 | | | |
| HEATING | | oil/gas units | | Interior | | Exterior | 5.00 | | | |
| | | | | | | | | | | |
| APPLIANCES | 1 | Ranges | | Cook Tops | | Wall Ovens | 2.00 | 2.00 | | |
| | | Insta-Hot | | Water heaters | | Fans | 2.00 | | | |
| | 1 | Dryers | 1 | Disposals | 1 | Dishwasher | 2.00 | 6.00 | | |
| | | Compactors | | Spa | 1 | Washing Machine | 2.00 | 2.00 | | |
| | | Others (denote) | | | | | 2.00 | | | |
| MISC. (number of) | | Air Cond/win | | | | | 3.00 | | | |
| | | Air Cond/cent | | | | Pools | 10.00 | | | |
| | | HVAC | | EMS | | Thermostat | 5.00 | | | |
| | | Signs | | | | | 10.00 | | | |
| | | Alarms/res | | | | | 5.00 | | | |
| | | Alarms/com | | | | | 15.00 | | | |
| | | Heavy Duty(CRKT) | | | | | 2.00 | | | |
| | | Circus/Carnv | | | | | 25.00 | | | |
| | | Alterations | | | | | 5.00 | | | |
| | | Fire Repairs | | | | | 15.00 | | | |
| | | E Lights | | | | | 1.00 | | | |
| | | E Generators | | | | | 20.00 | | | |
| | | PANELS | | Service | | Remote | | Main | 4.00 | |
| | | | | | | | | | | |
| TRANSFORMER | | 0-25 Kva | | | | | 5.00 | | | |
| | | 25-200 Kva | | | | | 8.00 | | | |
| | | Over 200 Kva | | | | | 10.00 | | | |
| TOTAL AMOUNT DUE | | | | | | | | | | |
| MINIMUM FEE/COMMERCIAL 55.00 | | | | | | | MINIMUM FEE 45.00 | 50.00 | | |



CONTRACTORS NAME Caron and Waltz MASTER LIC. # mc60018750
 ADDRESS 321 Lincoln St. South Portland LIMITED LIC. # _____
 TELEPHONE 799-2228

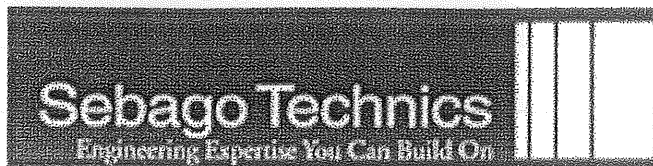
SIGNATURE OF CONTRACTOR [Signature]

City of Portland, Maine
Inspections Division
Inspection Schedule

Appointment Date Between 1/1/2006 And 6/29/2007

| Dist. # | Sch. Date: | ParcelNo: | Appl. Type | Schedule Type | Appl #: | Location |
|---------------------|-------------------|-------------|-----------------------------|---|---------|----------------------|
| Fire Insp. Contact: | | | Inspector | Comments | | |
| 4 | 05/02/2007 | 406 F053001 | Building Permit | Footings/Setbacks | 06-1426 | 17 STEPPING STONE LN |
| | KING CONSTRUCTION | | Tammy Munson Tom Markley | 423-4742 Gary - met w/Gary on site. No property lines strung out. Missing pins . Told him he had to ammend permit to change to a frost wall. He needs to submit a statement from a surveyor the footings are compliant w/setbacks. I requested the surveyor also verify the wall placement is compliant and the elevations. We told him not to pour the footings. | | |
| 4 | 05/11/2007 | 406 F053001 | Building Permit | Footings/Setbacks | 07-0474 | 17 STEPPING STONE LN |
| | KING CONSTRUCTION | | Tammy Munson Tom Markley | footings - ok rec'd letter from surveyor - will recheck wall placement and send letter /tmm | | |
| 4 | 05/31/2007 | 406 F053001 | Building Permit | Foundation/Backfill | 06-1426 | 17 STEPPING STONE LN |
| | KING CONSTRUCTION | | Tammy Munson | Gary @ 423-4742 - ok to backfill | | |

Total Listed: 3



Facsimile Cover Sheet

Project No. 01259

To: Amy Munson

Company: Portland Inspectors Office

Phone:

Fax: 874-8716

From: Matthew Ek

Date: 6/5/07

Pages including this
cover page: 3

Comments:

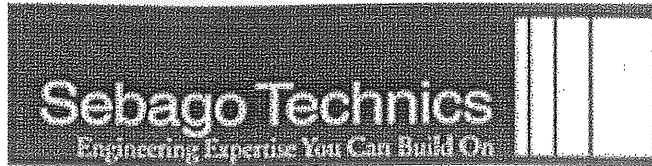
Here is the as-built letter requested on Lots 2&3 of Autumn Glen Subdivision, Stepping Stone Lane. Let me know if you have any questions.

Thanks, Matt

Reply Requested: Yes No

Original to go out in mail: Yes No

If you have any problems receiving this FAX, please contact Julie at:
(207) 856-0277
(207) 856-2206 FAX Number



Facsimile Cover Sheet

Project No. 01259

To: GARY

Company: Windsor Construction Company

Phone: 423-4742

Fax: 934-1566

From: Matthew Ek

Date: 6/5/07

Pages including this cover page: 3

Comments:

Here is the Letter going to the city. Let me know if you have any questions.

Thanks, Matt

Reply Requested: Yes No

Original to go out in mail: Yes No

If you have any problems receiving this FAX, please contact Julie at:
(207) 856-0277
(207) 856-2206 FAX Number

June 4, 2007
01259

Ms. Amy Munson
Code Enforcement Office
City of Portland
389 Congress Street
Portland, ME 04101

Via Facsimile: 207-874-8716

Lots 2 and 3, Autumn Glen Subdivision

Dear Amy:

This letter is to inform you that Sebago Technics, Inc. has survey located the constructed foundations on Lots 2 and 3 in the Autumn Glen Subdivision. Under my supervision, one of our survey crews completed this as-built location on June 1, 2007. The proposed house met all of the setbacks as shown on the Subdivision Plan of Autumn Glen as shown on the attached sketch.

If you have any further questions, please feel free to contact me.

Sincerely,

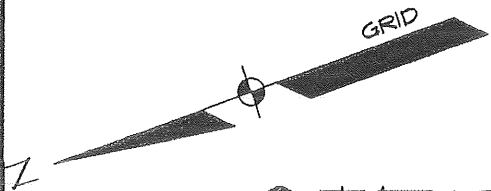
SEBAGO TECHNICS, INC.



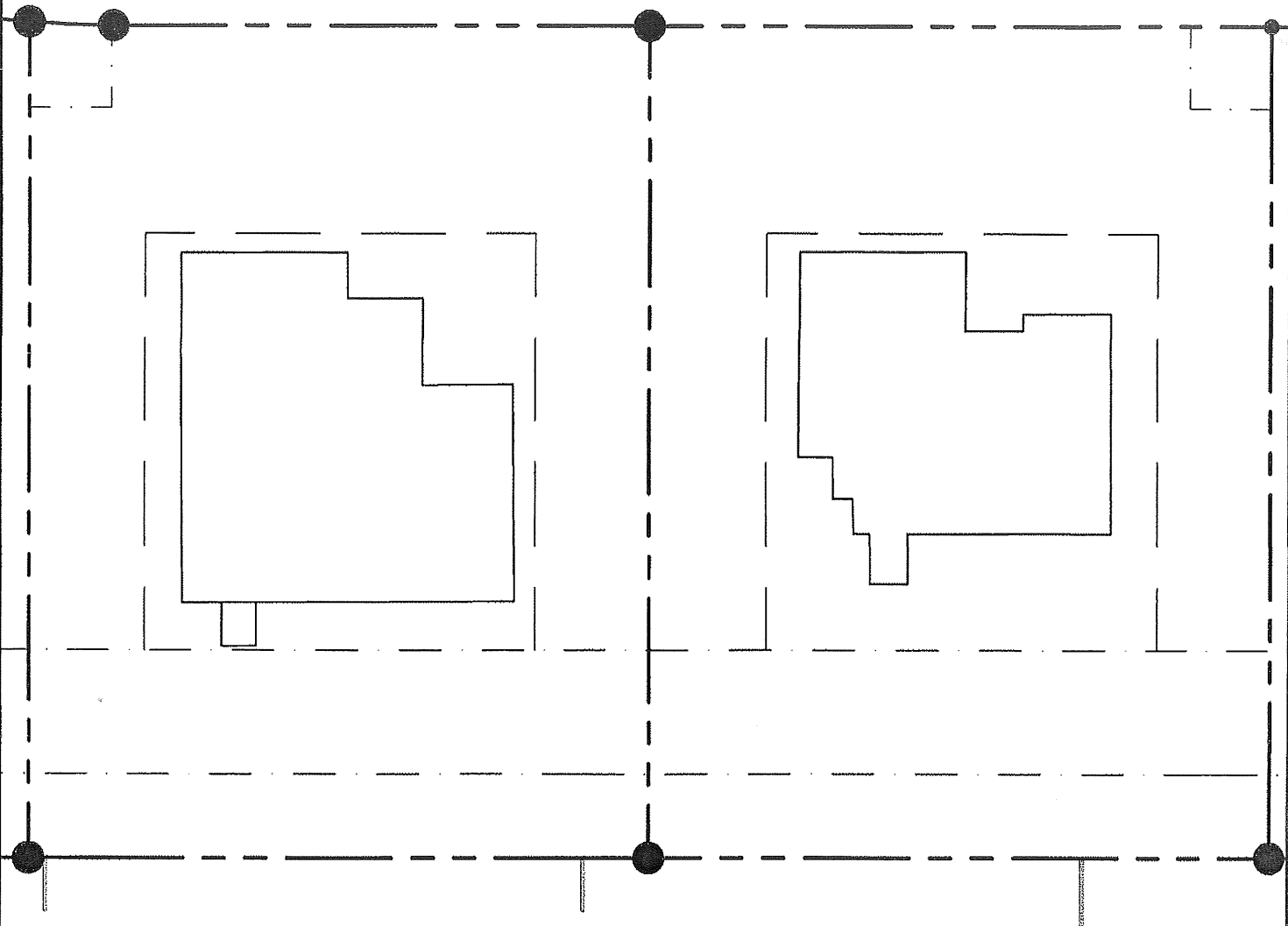
Matthew W. Ek, PLS
Project Surveyor

MWE:mwe/jc
Enc.





STEPPING STONE



Sebago Technics



Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

AS-BUILT WORKSHEET OF LOTS 2 & 3

LOCATION: AUTUMN GLEN
STEPPING STONE LANE
PORTLAND, MAINE

FOR: WINDSOR CONST. CO.
198 SACO AVE
OLD ORCHARD BEACH, ME

SCALE: 1"=20'

DATE: 6/1/07

SHEET:
1 OF 1