

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that WILLIAM D KW VET FEENEY Located At 186 MAINE AVE

Job ID: 2012-05-4048-ALTR

CBL: 406- B-034-001

has permission to Install deck w/ramp; remove window; reinstall door
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspections:

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-05-4048-ALTR

Located At: 186 MAINE AVE

CBL: 406- B-034-001

Conditions of Approval:

Zoning

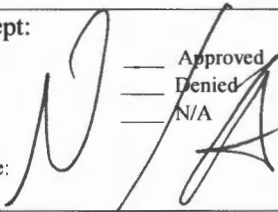
1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. The rear setback for the ramp is being approved using section 14-428 – corner lot.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
3. The guardrail must have balusters space a maximum 4"oc.
4. A graspable handrail shall be installed on all stairs and ramps.
5. All carrying beams shall be a minimum of 3-2"x8"-s.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

| | | | |
|--|--|--|---|
| Job No: 2012-05-4048-ALTR | Date Applied: 5/21/2012 | CBL: 406- B-034-001 | |
| Location of Construction: 186 MAINE AVE | Owner Name: WILLIAM D FEENEY | Owner Address: 186 MAINE AVE PORTLAND, ME 04103 | Phone: |
| Business Name: | Contractor Name: Peter Dunphey | Contractor Address: 33 Carter St., South Portland, ME 04106 | Phone: 207-799-3273 |
| Lessee/Buyer's Name: | Phone: | Permit Type: BLDG - Building | Zone: R-3 |
| Past Use: Single family | Proposed Use: Same - Single family - build a 12' x 17' deck with 4' wide ramp to driveway | Cost of Work: 8000.00 | CEO District: |
| | | Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A | Inspection: Use Group: R-3 Type: SB JRC09 |
| | | Signature:  | Signature:  |
| Proposed Project Description: Install new deck w/ramp | | Pedestrian Activities District (P.A.D.) | |
| Permit Taken By: Brad | | Zoning Approval | |

| | | | |
|---|--|--|--|
| <p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p> | <p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone <i>vs. inspection</i></p> <p><input type="checkbox"/> Subdivision <i>M-42P</i></p> <p><input type="checkbox"/> Site Plan <i>can reduce rear yard.</i></p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/ condition 5/29/12 ABM</i></p> | <p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p> | <p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABM</i></p> |
| | CERTIFICATION | | |

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

R-3

Entered 5/21/12 (15)



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012 - 05 - 448 - ALTR

| | | |
|---|---|--|
| Location/Address of Construction: #186 MAINE AVE, Portland, ME | | |
| Total Square Footage of Proposed Structure/Area 4000sf. | Square Footage of Lot 3000 sf. | Number of Stories 2 |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 406 B 34 | Applicant: (must be owner, lessee or buyer) Name Mr. & Mrs. Bill Feeney Address 186 MAINE AVE City, State & Zip Portland, ME | Telephone: Cell 807-0022 |
| Lessee/DBA: RECEIVED MAY 21 2012 Dept. of Building Inspections City of Portland Maine | Owner: (if different from applicant) Name Address City, State & Zip | Cost of Work: \$8000 C of O Fee: \$7,900.00 Historic Review: \$ Planning Amin.: \$ Total Fee: \$100.00 |
| Current legal use (i.e. <u>single family</u>) _____ Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Instal NEW PT Deck / steps / + 44 1/2' Handy cap Wheel chair Ramp + Remaining window + Install door in same location</u> | | |
| Contractor's name: <u>PETER DUNPHY CARPENTRY, LLC</u> Email: _____ Address: <u>#33 CARTER ST.</u> City, State & Zip: <u>South Portland, ME 04106</u> Telephone: <u>207-799-3273</u> Who should we contact when the permit is ready: <u>Peter Dunphy</u> Telephone: <u>207-210-4200</u> Mailing address: <u>SAME</u> | | |

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 5/21/2012

This is not a permit; you may not commence ANY work until the permit is issued



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Receipts Details:

Tender Information: Check , Check Number: 752

Tender Amount: 100.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 5/21/2012

Receipt Number: 44162

Receipt Details:

| | | | |
|--|--------|----------------|-----------|
| Referance ID: | 6601 | Fee Type: | BP-Constr |
| Receipt Number: | 0 | Payment Date: | |
| Transaction Amount: | 100.00 | Charge Amount: | 100.00 |
| Job ID: Job ID: 2012-05-4048-ALTR - Install new deck w/ramp: remove wind;replace w/dor | | | |
| Additional Comments: 186 Maine Ave. | | | |

Thank You for your Payment!

Sec. 14-428. Corner lots.

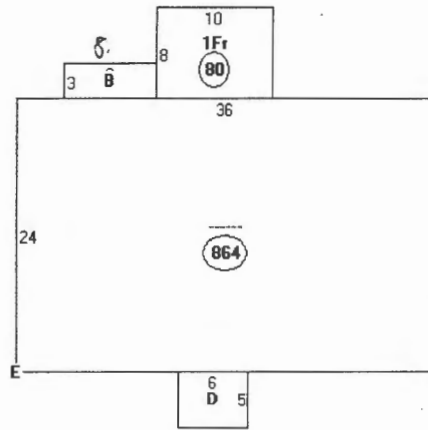
In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.

(Code 1968, § 602.19.G)

186 Maine Av.

| Existing facing long side- aggregate of yards | | Required setbacks if facing on short side | |
|---|---------|---|---------|
| Front yard | 19 feet | Front yard | 25 feet |
| Rear yard | 18 feet | Rear yard | 25 feet |
| Side yard -rt | 28 feet | Side yard -rt | 20 feet |
| Side yard -lft | 5 feet | Side yard -lft | 8 feet |

TOTALS 115 feet is greater than 78. feet



Descriptor/Area

- A: ----
864 sqft
- B: OP
24 sqft
- C: 1Fr
80 sqft
- D: OP
30 sqft
- E: RS1
108 sqft

1706

Peter Dunphy
 33 Carter Street
 South Portland, Maine 04106

NEW: Ramps
 P.T. 2x6 on 16" Centers
 Railing Starts After
 4' of Run.
 2"x3" Toe Board
 Continues to the
 End of Ramp.

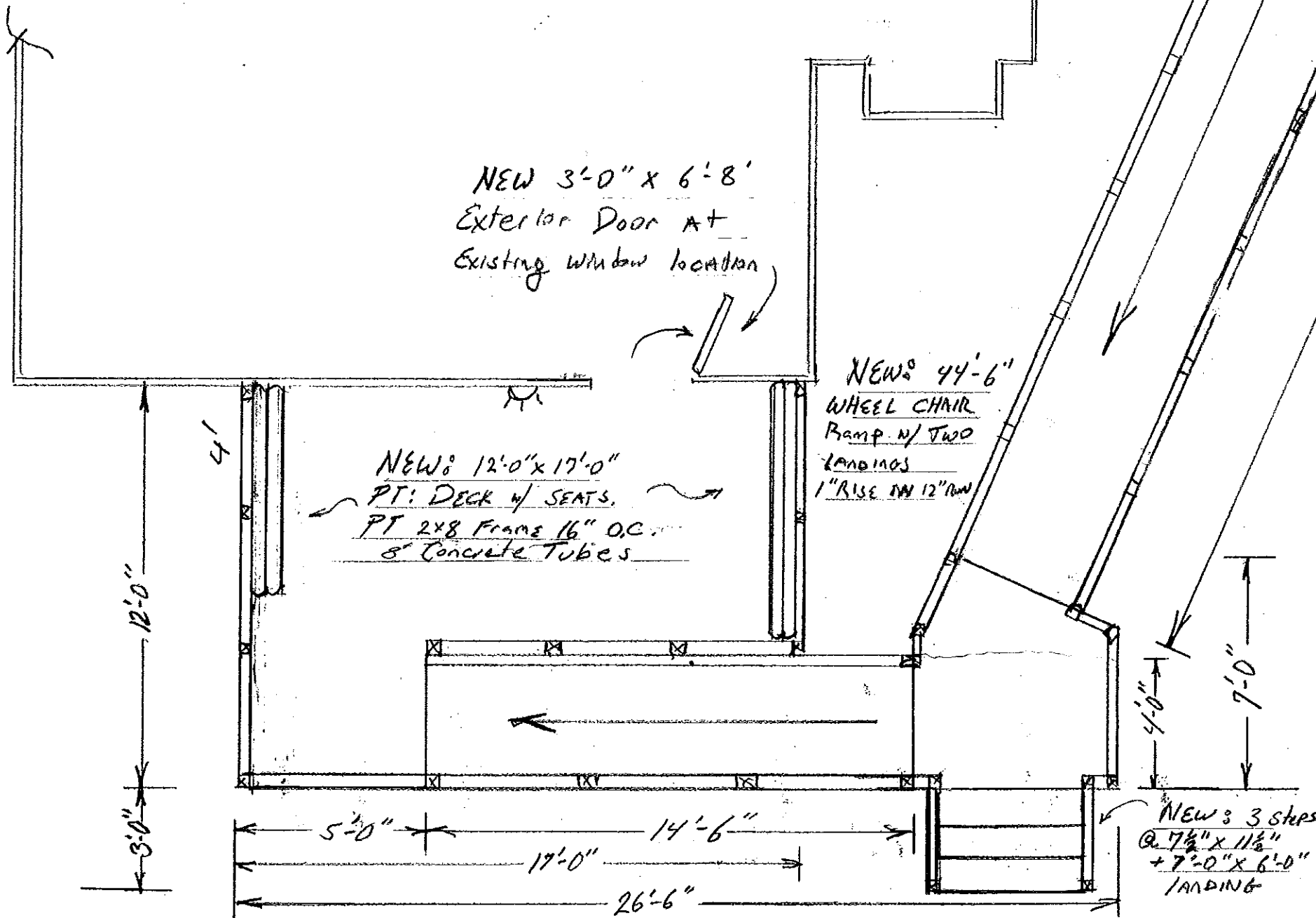
NEW 3'-0" x 6'-8"
 Exterior Door at
 Existing Window location

NEW 4'-6"
 WHEEL CHAIR
 RAMP w/ TWO
 LANDINGS
 1" RISE IN 12" RUN

NEW 12'-0" x 17'-0"
 PT: DECK w/ SEATS
 PT 2x8 Frame 16" O.C.
 8" Concrete Tubes

17x 12 = 204
 4x9.5 = 38
 30x42 = 120
 1/2(3x6) = 9
 6x3 = 15
 386

Drive Way

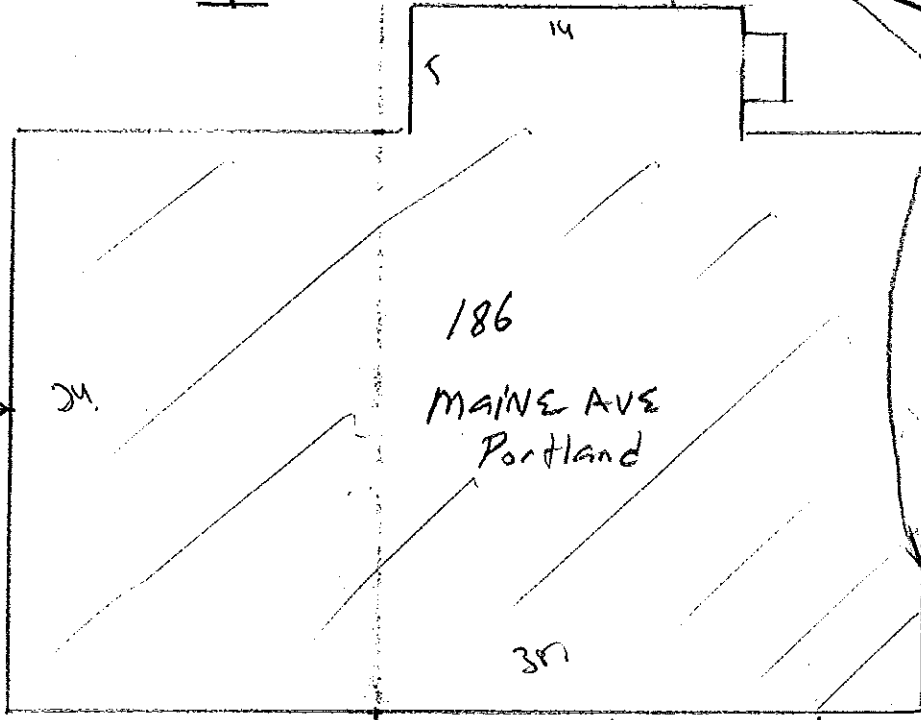


| | | |
|------------------------------|--------------|--------------------|
| 186 MAINE AVE. | | |
| SCALE: 1/4" = 1' | APPROVED BY: | DRAWN BY PD |
| DATE: 5-21-12 | | REVISED |
| MR + MRS Bill Feeney | | |
| NEW Porch + WHEEL CHAIR RAMP | | DRAWING NUMBER (7) |

Peter Dunphy
 33 Carter Street
 South Portland, Maine 04106

RAY ST

R-3
 lot size 11,317.
 front 25'-54" size (OK)
 side - 28' 3/4" & 1 story - 8' - 28' 6" size (OK)
 rear - 25' rear - 14' 6" rear
 OK using corner lot - 14-428.
 lot coverage - 35% = 3,960.95
 existing 1108
 prepared - 986
 1454 (OK)



AREA of Proposed
 NEW DECK
 + RAMP + STAIRS

28'±
 40'±
 To BACK
 Prop. line

29'±
 prop line

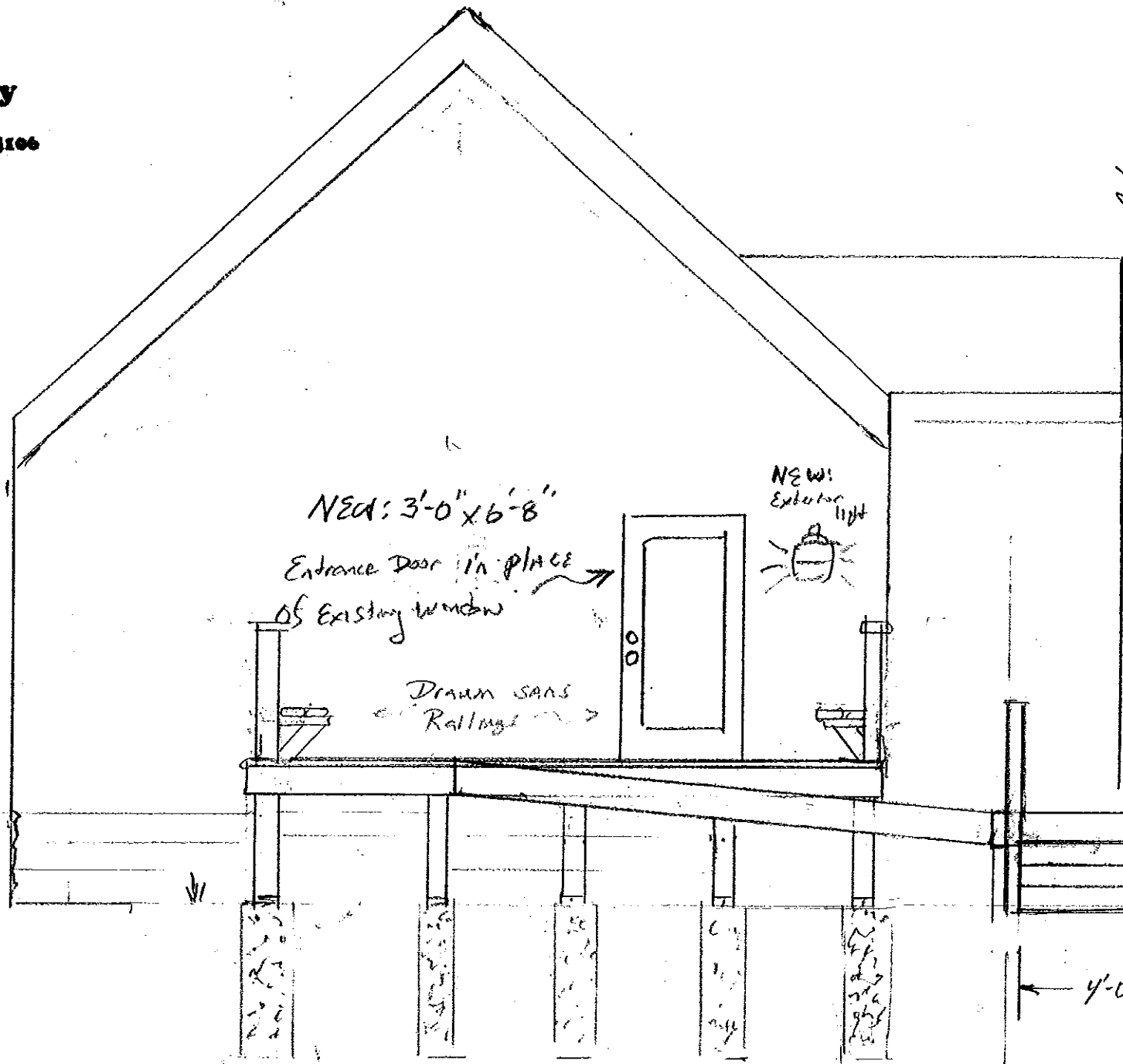
PLOT PLAN

186 MAINE AVE.

| | | |
|----------------------|--------------|-----------------------|
| SCALE: 1/8" = 1' | APPROVED BY: | DRAWN BY PD |
| DATE: 5-21-12 | | REVISED |
| MR + MRS BILL FEENEY | | |
| | | DRAWING NUMBER (9) |

MAINE AVE.

Peter Dunphy
 33 Carter Street
 South Portland, Maine 04106



NEED: 3'-0" x 6'-8"

Entrance Door in place
 of Existing Window

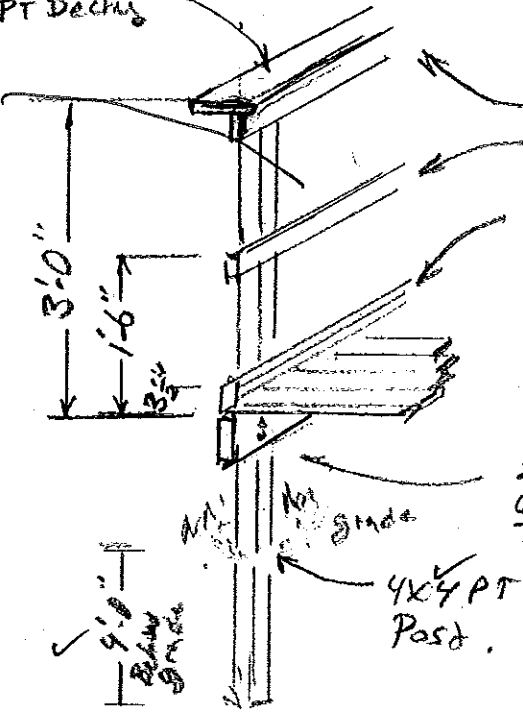
Drawn SANS
 Railing

NEW:
 Exterior light

Need
 Ballusters

5/4 x 6
 PT Decking

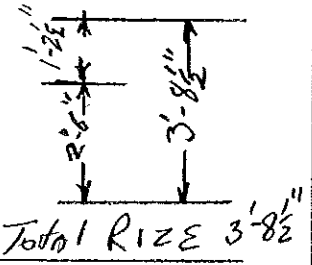
Railing Detail



2x4
 PT
 Rails
 +
 1/2" x 6"
 PT Decking
 Both Sides
 of Ramp + Landing

2x8 Frame ✓
 @ 16" Centers
 Thorough Bolted
 At Post Locations

4x4 PT
 Post



Total Rise 3'-8 1/2"
 Total Ramp Run 4'-0"

NEW: 3 steps
 @ 7 1/2" x 11 1/2" with
 HANDRAILS

Concrete Tubes on main deck
 w/ Post Base Kits

| | | |
|------------------------------|--------------|------------------|
| 186 MAINE AVE, PORTLAND ME | | |
| SCALE: 1/4" = 1' | APPROVED BY: | DRAWN BY PD |
| DATE: 5-21-12 | | REVISED |
| MR. & MRS. Bill Feeney | | |
| NEW Porch + Wheel CHAIR Ramp | | DRAWING NUMBER 8 |