

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that BONNIE AB & GREGORY JJTS REID

Located At 204 MAINE

Job ID: 2011-05-1079-ALTR

CBL: 406 - - B - 028 - 001 - - - -

has permission to add 3/4 bath open up kitchen & Dining rm
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

[Handwritten signature and date 5/24/11]

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close-in inspection required prior to insulating or drywalling.
 2. Final inspection required upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-05-1079-ALTR

Located At: 204 MAINE

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Conditions of Approval:

Zoning

1. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
2. This permit is being approved with the condition that all the work is within the existing footprint and that the footprint has been previously permitted.

Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process

Please supply beam specification at your framing inspection.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|---|---|---|
| Location/Address of Construction: <u>204 Maine Ave</u> | | |
| Total Square Footage of Proposed Structure/Area | Square Footage of Lot | Number of Stories |
| Tax Assessor's Chart, Block & Lot Chart# <u>406</u> Block# <u>B</u> Lot# <u>28</u> | Applicant * must be owner, Lessee or Buyer* Name <u>Greg + Bonnie Reid</u> Address <u>204 Maine Ave</u> City, State & Zip <u>Portland, Me 04103</u> | Telephone: <u>878-4553</u> |
| Lessee/DBA (If Applicable) | Owner (if different from Applicant) Name Address City, State & Zip | Cost Of Work: \$ <u>11,000</u> C of O Fee: \$ _____ Total Fee: \$ 130 <u>130</u> |
| Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>make existing mudroom into a 3/4 bathroom + open up kitchen to dining room.</u> | | |
| Contractor's name: <u>Jamie Header (Port City Carpentry)</u> Address: <u>110 Roaring Brook Rd.</u> City, State & Zip <u>Portland, ME 04103</u> Telephone: <u>207 878-4621</u> Who should we contact when the permit is ready: <u>Jamie Header</u> Telephone: <u>207 415-7011</u> Mailing address: <u>110 Roaring Brook Rd.</u> | | |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

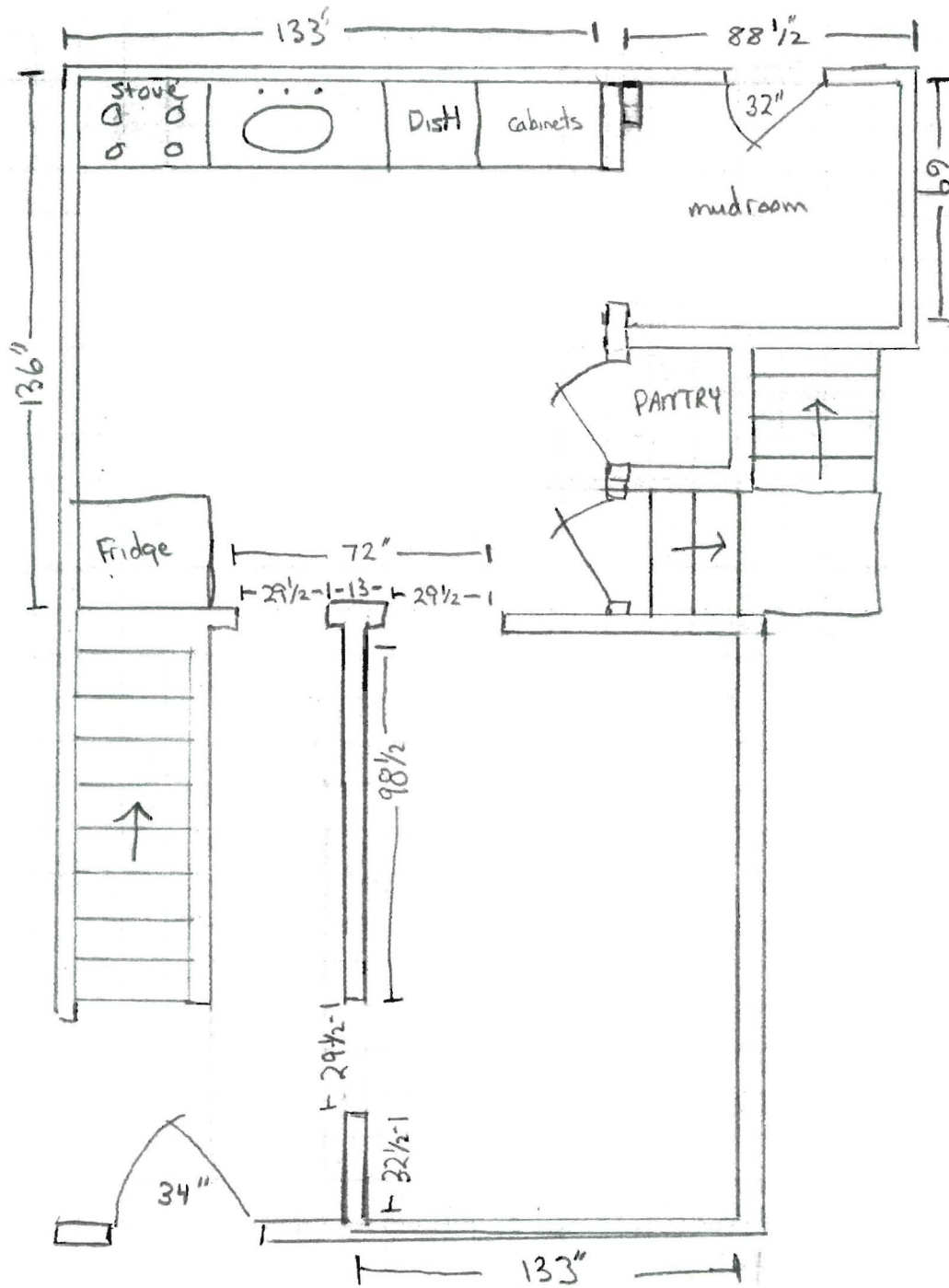
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

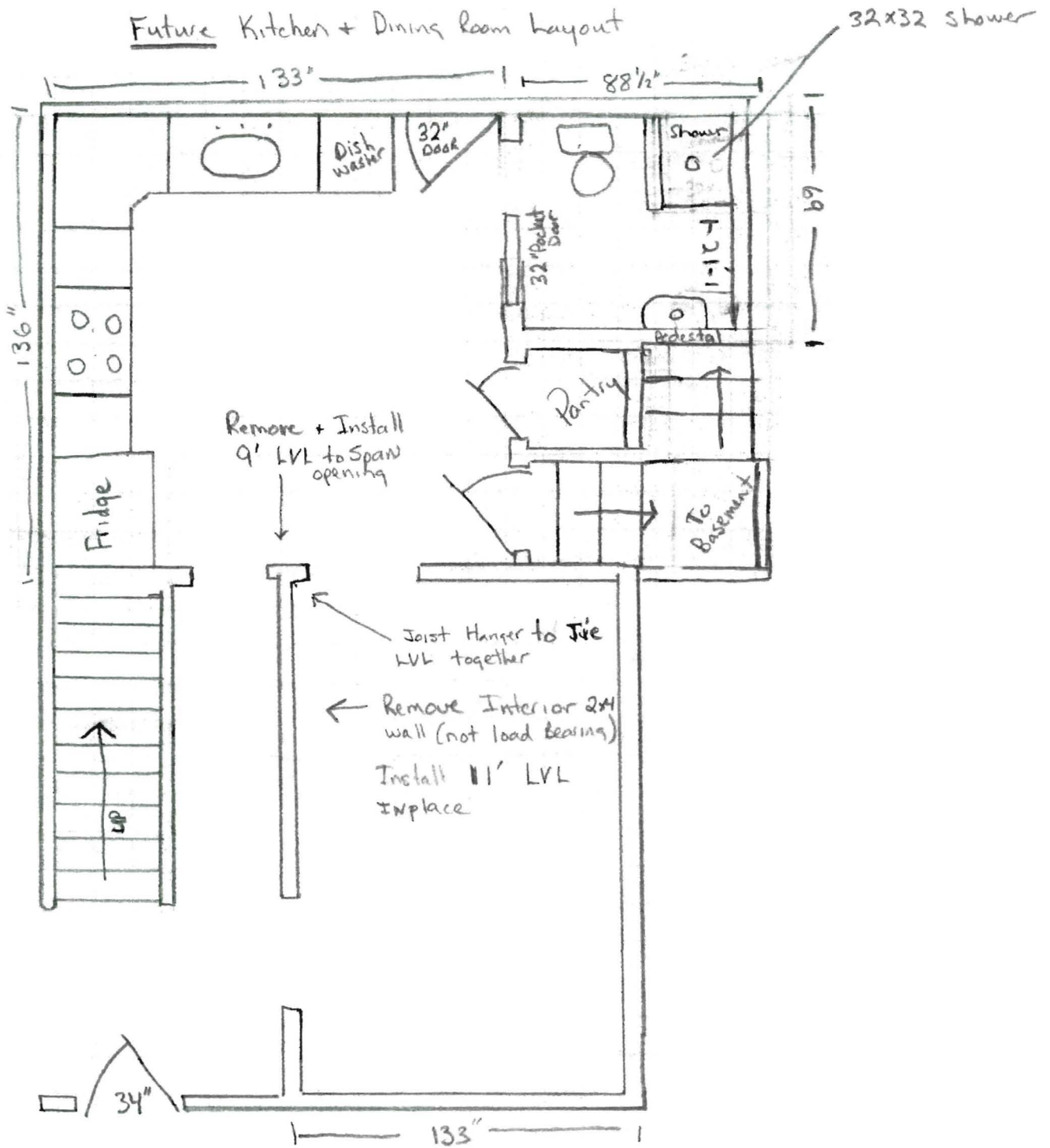
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 5/11/11

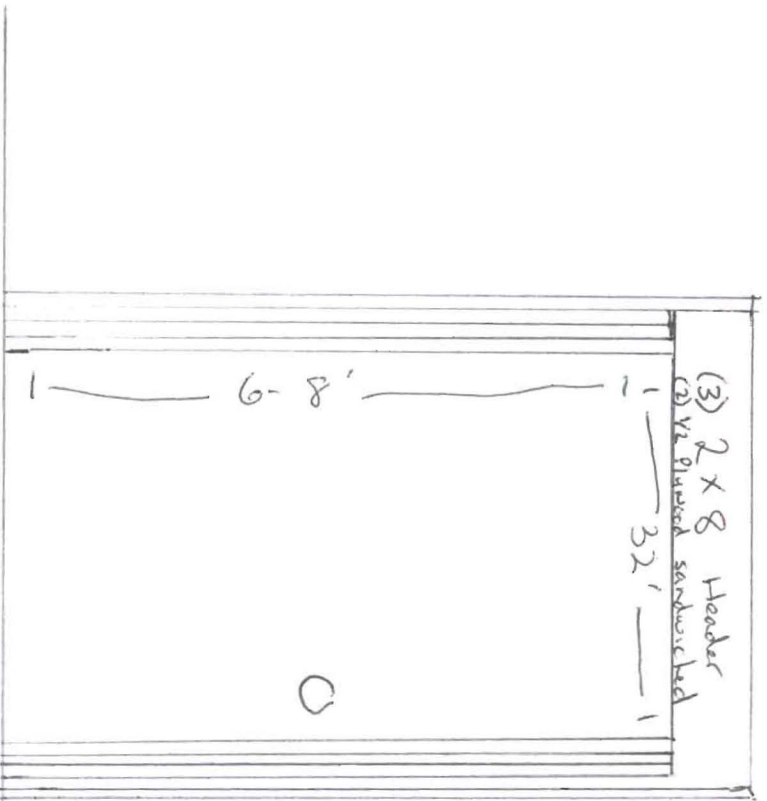
This is not a permit; you may not commence ANY work until the permit is issued

Existing Kitchen, Dining room, Pantry + mudroom





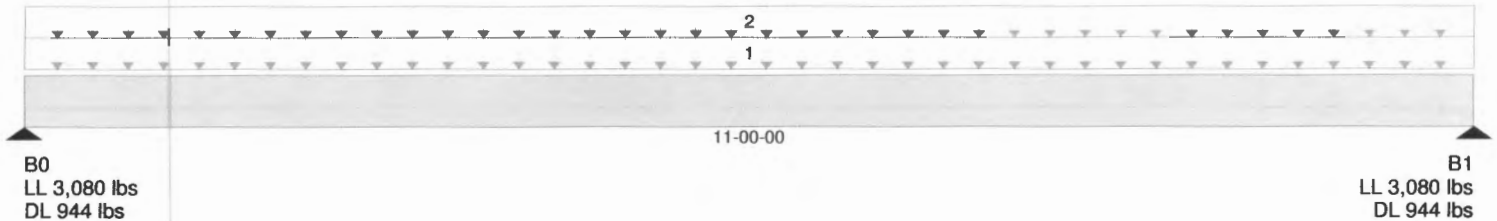
- Changes -
- Remove two Interior Partitions + span with LVL's.
 - Remove door in mudroom + relocate to Kitchen
 - Add window to New Bathroom
 - Remove one window in Kitchen
 - Add Pocket Door to Bathroom



2x6 wall studs on Exterior wall 16' o.c.
 2x4 Interior walls w/ lathes + Plaster

Job Name: Port City
Address:
City, State, Zip: Portland, ME
Customer: Eldredge Lumber
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB01
Specifier: Adam Pisano
Designer:
Company: Boise Building Solutions
Misc: Attn:



Total of Horizontal Design Spans = 11-00-00

| Load Summary | | | | | Live | Dead | Snow | Wind | Roof Live | Trib. (In.) | |
|--------------|---------------|-----------------|------|----------|----------|------|------|------|-----------|-------------|----------|
| Tag | Description | Load Type | Ref. | Start | End | 100% | 90% | 115% | 133% | 125% | |
| 1 | Standard Load | Unf. Area (psf) | L | 00-00-00 | 11-00-00 | 40 | 10 | | | | 08-00-00 |
| 2 | | Unf. Area (psf) | L | 00-00-00 | 11-00-00 | 30 | 10 | | | | 08-00-00 |

| Controls Summary | Value | % Allowable | Duration | Case | Span |
|------------------|----------------|-------------|----------|------|--------------|
| Pos. Moment | 11,067 ft-lbs | 52.0% | 100% | 1 | 1 - Internal |
| End Shear | 3,247 lbs | 41.1% | 100% | 1 | 1 - Left |
| Total Load Defl. | L/535 (0.247") | 44.9% | | 1 | 1 |
| Live Load Defl. | L/699 (0.189") | 51.5% | | 1 | 1 |
| Max Defl. | 0.247" | 24.7% | | 1 | 1 |
| Span / Depth | 11.1 | n/a | | | 1 |

Disclosure

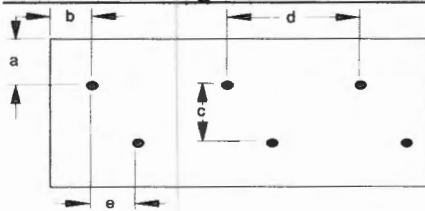
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCK®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Cascade, L.L.C.

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
Design meets Code minimum (L/360) Live load deflection criteria.
Design meets arbitrary (1") Maximum load deflection criteria.
Minimum bearing length for B0 is 1-1/2".
Minimum bearing length for B1 is 1-1/2".
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing
Fastener Manufacturer: TrussLok (tm)

Connection Diagram



a minimum = 2" c = 7-7/8"
b minimum = 4" d = 24"
e minimum = 1"

All TrussLok screws may be installed from one side of multiple ply VERSA-LAM beams.
All TrussLok screws may be installed from one side of multiply Versa-Lam beams.
Member has no side loads.
Connectors are: FMTSL338

6-20-11

- Plum ok
- Fire stop between joists
- Add small upstaves intercom
to basement + 1st flr.
- cle to close on N210