#### DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# **CITY OF PORTLAND**



# BUILDING PERMIT

This is to certify that **BONNIE AB & GREGORY JJTS REID** 

Located At 204 MAINE

Job ID: 2011-05-1079-ALTR

CBL: 406 - - B - 028 - 001 - - - - -

has permission to add 3/4 bath open up kitchen & Dining rm

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before his building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY PENALTY FOR REMOVING THIS CARD

## **BUILDING PERMIT INSPECTION PROCEDURES**

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months. If the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.
- 1. Close-in inspection required prior to insulating or drywalling.
- 2. Final inspection required upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life . www.portlandmaine.gov

Director of Planning and Urban Development Penny St. Louis

Job ID: <u>2011-05-1079-ALTR</u> Located At: <u>204 MAINE</u> CBL: <u>406 - - B - 028 - 001 - - - - -</u>

## **Conditions of Approval:**

### Zoning

- 1. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2. This permit is being approved with the condition that all the work is within the existing footprint and that the footprint has been previously permitted.

## Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process

Please supply beam specification at your framing inspection.

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

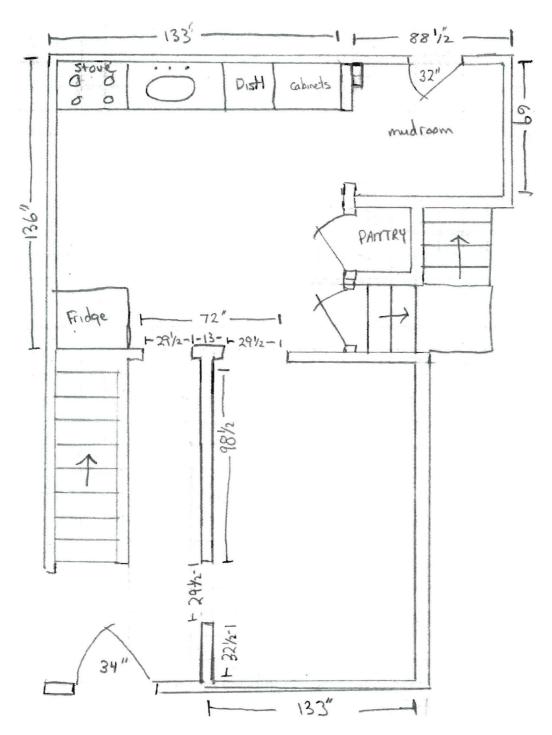
Job No: 2011-05-1079-ALTR	Date Applied: 5/11/2011		CBL: 406 B - 028 - 001			
Location of Construction: 204 MAINE AVE	Owner Name: BONNIE & GREGORY	REID	Owner Address: 204 MAINE AVE PORTLAND, ME	04103		Phone: 207-878-4553
Business Name:	Contractor Name: Jamie Header- Port C Carpentry	ity	Contractor Address	ess: ok Rd., Portland,	ME 04103	Phone: 207-878-4621
Lessee/Buyer's Name:	Phone:		Permit Type: BLDG - Building			Zone:
Past Use: Single Family	Proposed Use:  Single Family – converged mudroom to 3/4 bath & kitchen to dining room	open up	Cost of Work: 11000.00 Fire Dept:			Inspection: Use Group: Type. Signature
Proposed Project Description 204 Maine Ave – convert mudroon		dining room	Pedestrian Activ	ities District (P.A.	D.)	
Permit Taken By:				Zoning Appr	oval	
<ol> <li>This permit application d Applicant(s) from meetin Federal Rules.</li> <li>Building Permits do not is septic or electrial work.</li> <li>Building permits are voic within six (6) months of False informatin may investment and stop all work.</li> </ol>	nclude plumbing,  If if work is not started the date of issuance.  alidate a building	Shoreland Shoreland Stephand Subdivis Site Plan May Date: 511	s one ton	Zoning Appeal  Variance  Miscellaneous  Conditional Us  Interpretation  Approved  Denied  Date.	Not in Dis  Does not F  Requires F  Approved	t or Landmark Require Review

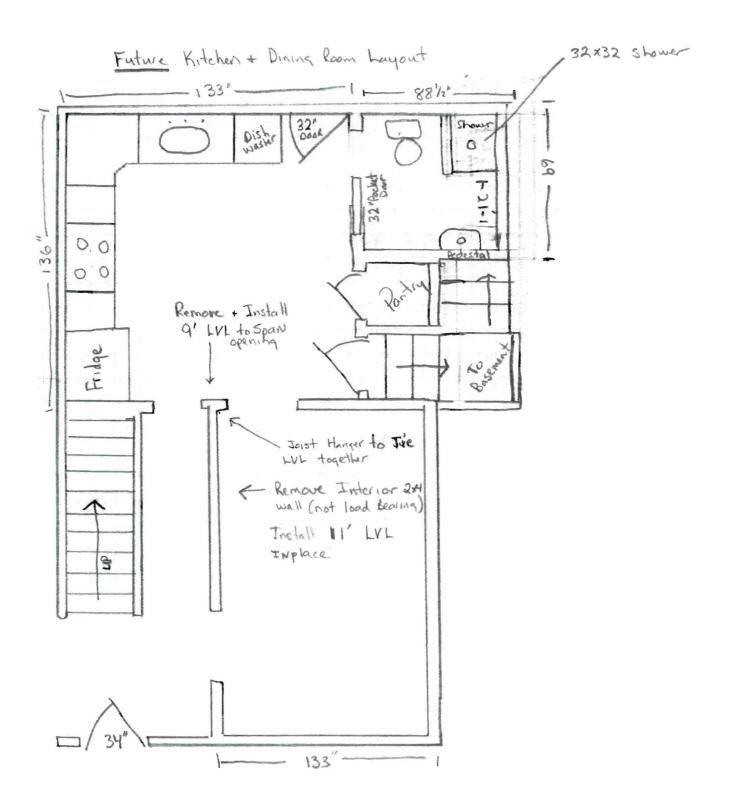
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure/Area  Square Footage of Lot  Number of Stories  Tax Assessor's Chart, Block & Lot  Chart# Block# Lot#  YOG Book Applicant "must be owner, Lessee or Buyer"  Name Greq + Bonnie Rend  Address 204 Maine Are  City, State & Zip Portland, Me 04103  Lessee/DBA (If Applicable)  Owner (if different from Applicant)  Name  Address  City, State & Zip  Current legal use (i.e. single family)  If vacant, what was the previous user  Proposed Specific use.  Is property part of a subdivision?  Project description:  Make Existing mudroon into a 3/4 batwoom topen up  Kilchen to during com.  Contractor's name: Jame Header (Bot Charles)  Address: 110 Roaring Brook Rd.  City, State & Zip Id Hand Me 04103  Telephone: 201813-4621  Who should we contact when the permit is ready. Jame Header Telephone: 267 415-7011  Mailing address: 110 hoaring brook Rd.  Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.  In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information are to do work and has form and other application visit the Inspections Division on-dice at www.portlandmann.east to not by the Inspections Division on-dice at www.portlandmann.east to not by the Inspections Division on-dice at www.portlandmann.east to not put the Inspections Division on-dice at www.portlandmann.east to not put the Inspections Division on-dice at www.portlandmann.east to not put the Inspections Division on-dice at www.portlandmann.east to not put the Inspections Division on-dice at www.portlandmann.east to not put the Inspections Division on-dice at www.portlandmann.east to not put the Inspections Division on-dice at www.portlandmann.east to not put the proposed work and hat I have been authorized by the owner to make this application as his/her authorized by the proposed work a	Location / Address of Construction 2 511	Maine Ave	
Tax Assessor's Chart, Block & Lot Chart? Block.# Lot# YUG Bock Lot Lot# YUG Bock Lot# Name Greq + Bonnie Rend Address 204 Maine Ave City, State & Zip Portland, Me 04103  Lessee/DBA (If Applicable)  Owner (if different from Applicant) Name Address Cof O Fee: \$ City, State & Zip  Current legal use (i.e. single family) If vacant, what was the previous use? Proposed Specific use. Is property part of a subdivision? No If yes, please name Project description.  Make Existing mudroom into a 3/4 bathroom t open up Kicken to diving com. Contractor's name: Jame Header (Bot City Capentry) Address: 110 Roofing Brook Rd. City, State & Zip Icthand Me. 04103  Telephone: 201813-1621  Who should we contact when the permit is ready. Jame Header Telephone: 261 415-7011 Mailing address: 110 houring brook Rd. Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.  In order to be sure the City fully understands the full scope of the project, the Planning and Development Department hay request additional information prior to the issuance of a permit. For further information are to do yours of his form and other applications visit the Inspections Division on-line at wave, portlandmanne and the proposed work and has I have been authorized by the owner or face that his applications issued, I certify that I are the Control of the permit of work described in this application, is based, I certify that the Coefe Official's undonzed representative shall have the authory to enter all areas covered by this permit at anythosonable hadrice the provisions of the aeder-applicable to this permit.			
Current legal use (i.e. single family)  Lessee/DBA (If Applicable)  Owner (if different from Applicant)  Name Address City, State & Zip  Current legal use (i.e. single family)  If vacant, what was the previous use?  Proposed Specific use:  Is property part of a subdivision?  No  If yes, please name  Project description:  Matchen to diving from  Address:  Il Couring Blook Rd.  City, State & Zip  Teiephone: 251 \$13-4621  Who should we contact when the permit is ready:  Mailing address:  Il O Loafing Blook Rd.  Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.  In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of his form and other applications visit the Inspections Division on-line at www.portandmanse.cot acrops the Information of the Survey of Applications of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of his form and other applications visit the Inspections Division on-line at www.portandmanse.cot acrops the proposed work and has I have been authorized by the owner to make this application as ins/her authorized region authorized the proposed work and has I have been authorized by the owner to make this application as ins/her authorized region authorized the proposed work and has I have been authorized by the owner to make this application as ins/her authorized region authorized the proposed work and has I have been authorized by the owner to make this application as ins/her authorized region authorized the proposed work and has I have been authorized by the owner to make this application as ins/her authorized region authorized the proposed work and has I have been authorized by the owner to make this application as	1 of all Square Pootage of Proposed Structure/A:	sea Square Footage o	Number of Stories
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Address: 110 koating brook kd.  City, State & Zip fortland ME. 04103 Telephone: 207 415-7011  Who should we contact when the permit is ready: Jamie Header Telephone: 267 415-7011  Mailing address: 110 koating brook kd.  Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.  In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of his form and other applications visit the Inspections Division on-line at www.portlandmaine.gov. or stop by the Inspections Division office, room 315 City Hall or call 874-8703.  Thereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and hat I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable aws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.	If vacant, what was the previous use?  Proposed Specific use:  Is property part of a subdivision?  Project description:  Make existing mudroon	If yes, please name	phroom + open up
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	provisions of the codes applicable to this permit.		" Suiding ad "
This is not a permit; you may not commence ANY work until the permit is issued	Signature: This is not a parmit; you may		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1





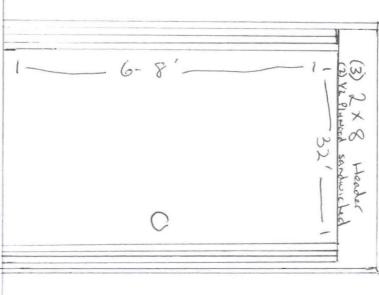
Changes - Remove two Interior Partions + Span with LVL's.

Remove door in mudroom + relocate to Kitchen

Add window to New Brithroom

Remove one window in Kitchen

Add Pocket Door to Bathroom



2x4 Interior walls w/ lathes + Plaster

,



# Double 1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP

#### Floor Beam\FB01

BC CALC® 3.0 Design Report - US

Build 440

1 span | No cantilevers | 0/12 slope

Tuesday, June 21, 2011

Job Name:

Port City

Description: FB01

Address: City, State, Zip: Portland, ME

Specifier: Adam Pisano

File Name: BC CALC Project

Customer: Code reports:

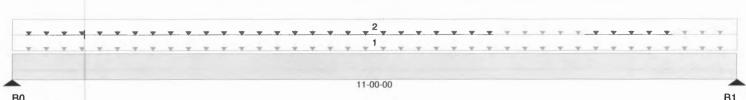
Eldredge Lumber ESR-1040

Designer:

Company: **Boise Building Solutions** 

Misc:

Attn:



LL 3,080 lbs DL 944 lbs

**B**1 LL 3,080 lbs DL 944 lbs

Total of Horizontal Design Spans = 11-00-00

					Live	Dead	Snow	Wind	Roof Live	Trib. (in.)
Load Summary										
Tag Description	Load Type	Ref.	Start	End	100%	90%	115%	133%	125%	
1 Standard Load	Unf. Area (psf)	L	00-00-00	11-00-00	40	10				08-00-00
2	Unf. Area (psf)	L	00-00-00	11-00-00	30	10				08-00-00

Value	% Allowable	Duration	Case	Span
11,067 ft-lbs	52.0%	100%	1	1 - Internal
3,247 lbs	41.1%	100%	1	1 - Left
L/535 (0.247")	44.9%		1	1
	51.5%		1	1
0.247"	24.7%		1	1
11.1	n/a			1
	11,067 ft-lbs 3,247 lbs L/535 (0.247") L/699 (0.189") 0.247"	11,067 ft-lbs 52.0% 3,247 lbs 41.1% L/535 (0.247") 44.9% L/699 (0.189") 51.5% 0.247" 24.7%	11,067 ft-lbs 52.0% 100% 3,247 lbs 41.1% 100% L/535 (0.247") 44.9% L/699 (0.189") 51.5% 0.247" 24.7%	11,067 ft-lbs 52.0% 100% 1 3,247 lbs 41.1% 100% 1 L/535 (0.247") 44.9% 1 L/699 (0.189") 51.5% 1 0.247" 24.7% 1

#### **Notes**

Design meets Code minimum (L/240) Total load deflection criteria. Design meets Code minimum (L/360) Live load deflection criteria. Design meets arbitrary (1") Maximum load deflection criteria.

Minimum bearing length for B0 is 1-1/2". Minimum bearing length for B1 is 1-1/2".

Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing +

1/2 intermediate bearing

Fastener Manufacturer: TrussLok (tm)

#### **Disclosure**

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™ ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Cascade, L.L.C.

#### **Connection Diagram**



a minimum = 2" c = 7-7/8" b minimum = 4"

d = 24"

e minimum = 1"

All TrussLok screws may be installed from one side of multiple ply VERSA-LAM beams. All TrussLok screws may be installed from one side of multiply Versa-Lam beams.

Member has no side loads. Connectors are: FMTSL338 -Plum okan
- Fire stup between granges
- Poop smalle upstones interend
to bosument & 118t fle.
- cle to close employer