

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 061136

This is to certify that FIELD PAUL A /property owner
has permission to permit existing bathroom, bedroom and attic space for the fact & permit an existing 7' x 17' deck an
AT 38 VERMONT AVE 406 A004001

PERMIT ISSUED
SEP - 5 2006
CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procedure before this building or part thereof is closed or service closed-in. 4 R NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas M. Moulton, 31 Aug 06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

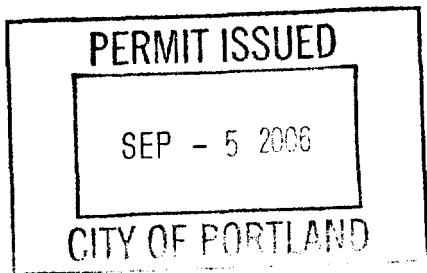
Permit No: 06-1136	Issue Date:	CBL: 406 A004001
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Location of Construction: 38 VERMONT AVE	Owner Name: FIELD PAUL A	Owner Address: 38 VERMONT AVE	Phone:
Business Name:	Contractor Name: properly owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	zone: R3
Past Use: Single Family	Proposed USE: Single Family - permit existng bathroom, bedroom and closet in attic space after the fact & permit an existing 7'x 17' deck after the fact.	Permit Fee: \$110.00	Cost of Work: \$9,000.00
Proposed Project Description: permit existng bathroom, bedroom and closet in attic space after the fact & permit an existing 7' x 17' deck after the fact.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB <i>JRC 2003</i> Signature: <i>Jm 8/31/06</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: dmartin	Date Applied For: 08/02/2006	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 8/14/06 <i>APU</i>	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure 550 sq.ft.		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 406 Block# A Lot# 084		Owner: Paul Field	Telephone: 878-0034 653-74
Lessee/Buyer's Name (If Applicable)		Applicant name, address & telephone: Paul Field 38 Vermont ave. 878-0035	cost of Work: \$ 9000 Fee: \$ 110 C of O Fee: \$ _____
Current Specific use: <u>none</u>			
If vacant, what was the previous use? _____			
Proposed Specific use: <u>Bedroom + bathroom upstairs</u>			
Project description: <u>Have a bathroom with shower upstairs and closet put in bedroom. All this is within existing unfinished space on second floor. Permitting after the fact - Deck (permitting existing)</u>			
Contractor's name, address & telephone:			
Who should we contact when the permit is ready: <u>Paul Field</u>			
Mailing address: <u>38 Vermont ave.</u> <u>Portland, ME</u> <u>04103</u>		Phone: <u>878-0034 / 653-7908 cell</u>	

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspecttons office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Paul G. Dahl
 Signature of applicant: Paul G. Dahl Date: 8/2/06

DEPT. OF PLANNING & DEVELOPMENT
 CITY OF PORTLAND, ME
 AUG 2 2006
 RECEIVED

This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1136	Date Applied For: 08/02/2006	CBL: 406 A004001
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Location of Construction: 38 VERMONT AVE	Owner Name: FIELD PAUL A	Owner Address: 38 VERMONT AVE	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Single Family - permit existing bathroom, bedroom and closet in attic space after the fact & permit an existing 7' x 17' deck after the	permit existing bathroom, bedroom and closet in attic space after the fact & permit an existing 7' x 17' deck after the fact.
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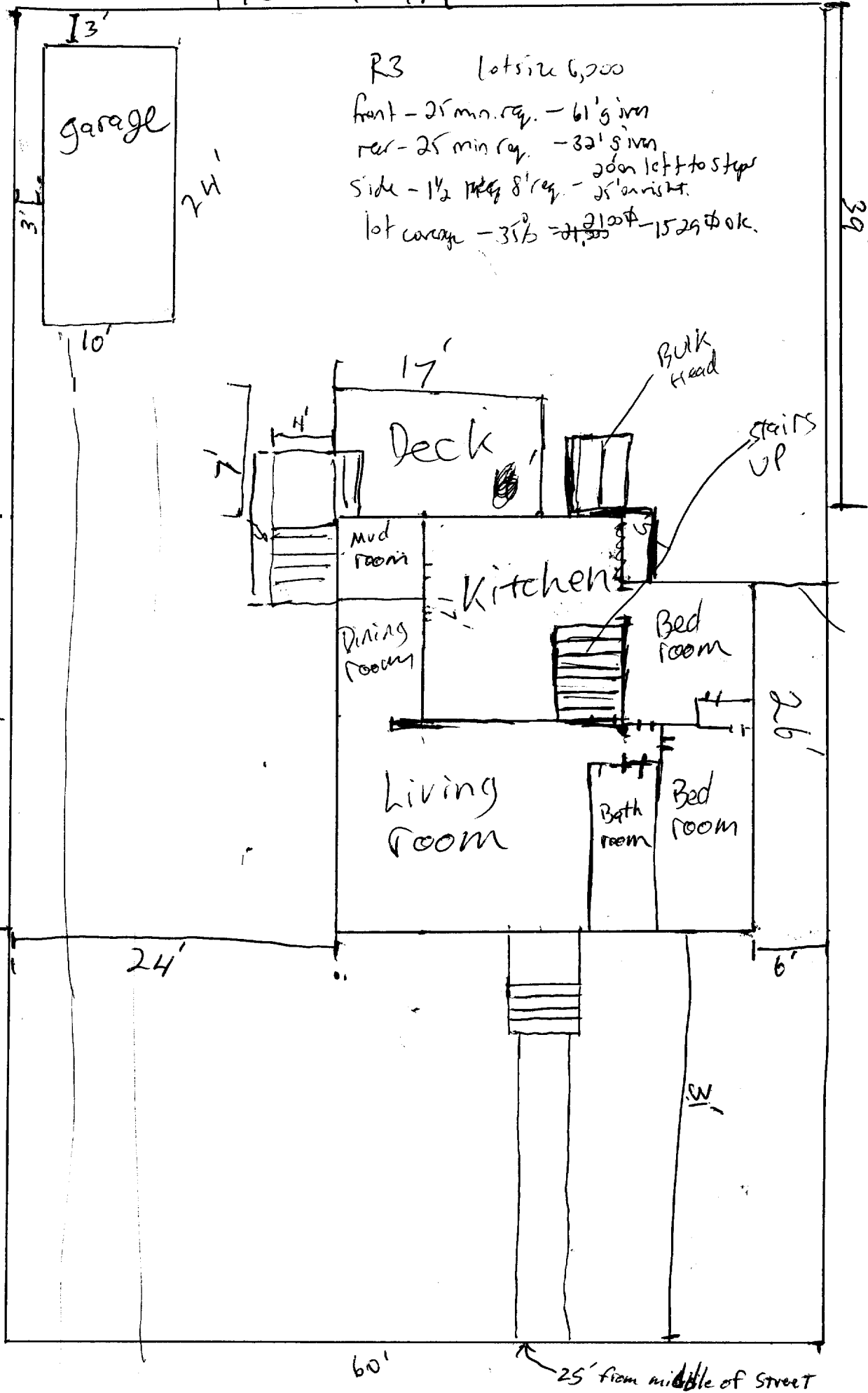
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 08/14/2006
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			

Dept: Building	Status: Approved	Reviewer: Tom Markley	Approval Date: 08/31/2006
Note: This is after fact permit and work has been completed.			Ok to Issue: <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			

Comments:
8/29/2006-tm: Called Paul Field and requested more info and to set up a time to look at existing work to issue permit.
8/9/2006-amachado: Left message with owner. Need a plot plan & need to find out what was in existing space where bathroom is going in.
8/14/2006-amachado: Paul Field came in. I showed him what a plot plan looks like and told him to bring one in ASAP.
8/14/2006-amachado: Owner brought in a plot plan.

Plot Plan

2nd garage
#2
1289
1529



100-
336'

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG 14 2006
RECEIVED

Bathroom
Door

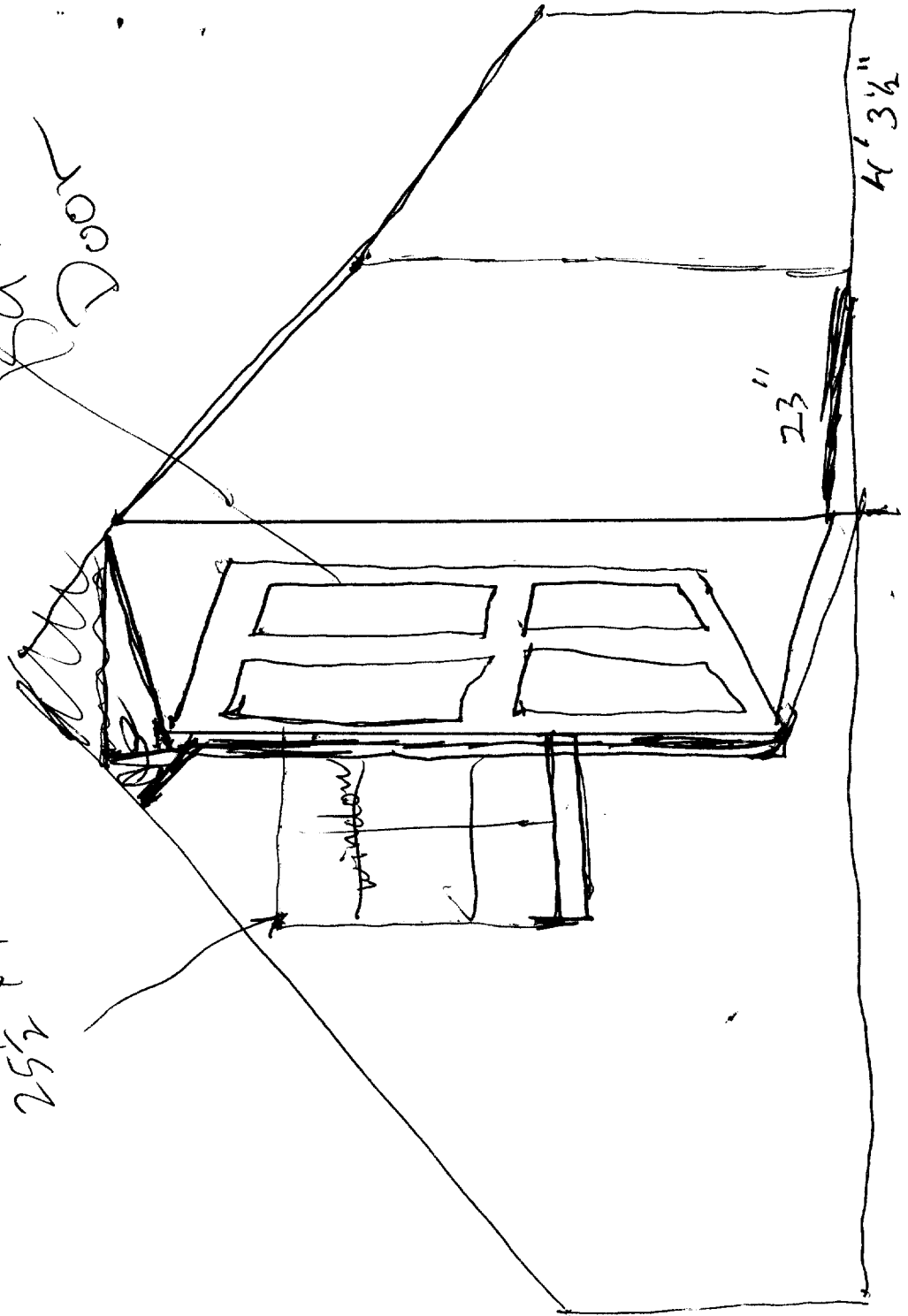
25 1/2

23"

4' 3 1/2"

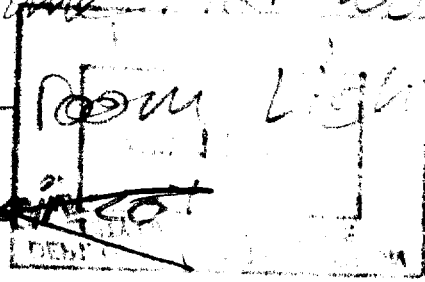
Window

Bathroom
Detail
over



Kitchen -
Windows - Paint - L. Hoyt

- Egress window - - Some tile work
- Tempered glass sashes - B-Room Light
- Trim UP stairs paint - ~~TRIM~~
- Railing
- Block in end of shelf



~~Call Lunt School~~

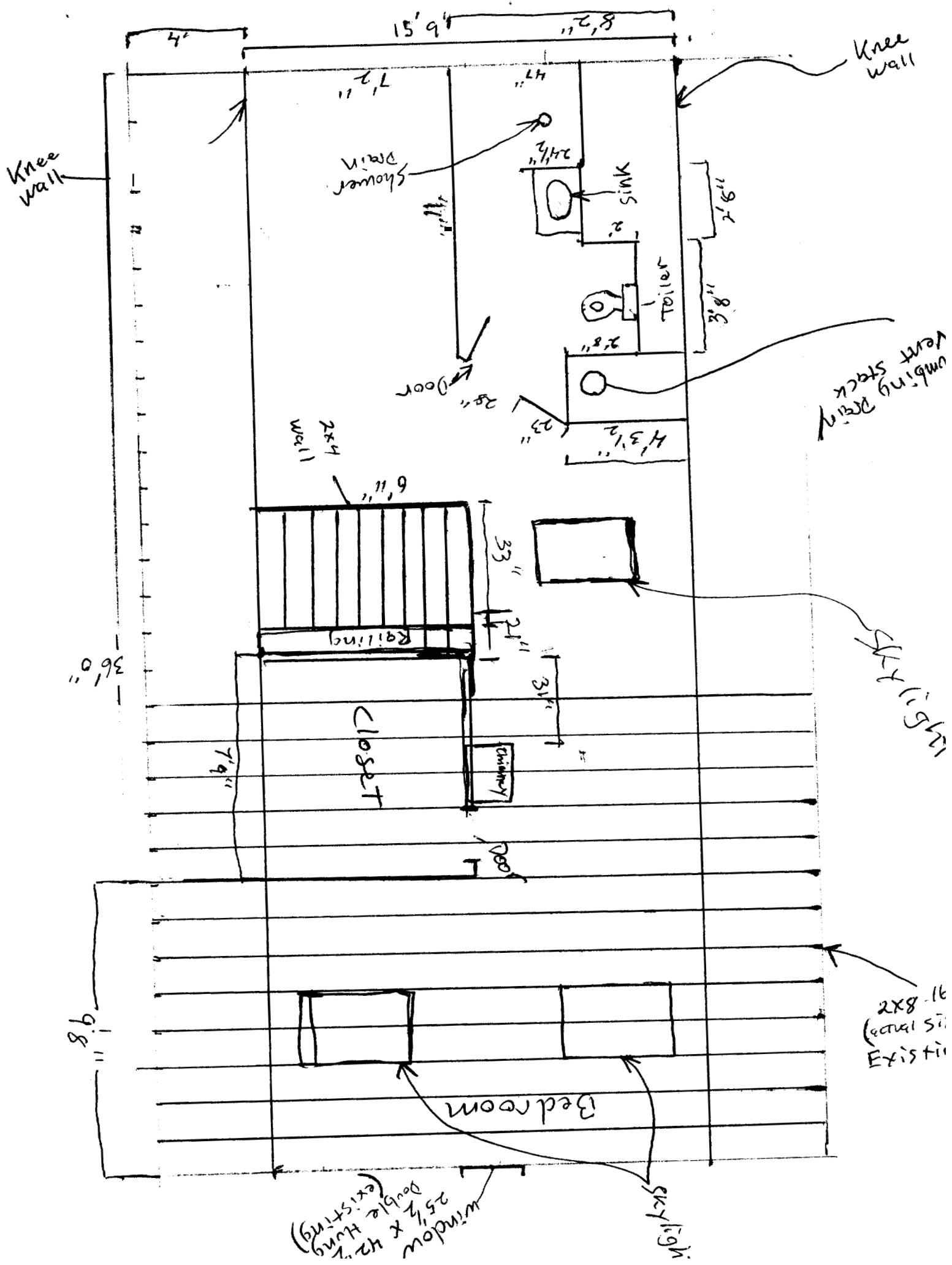
REAL

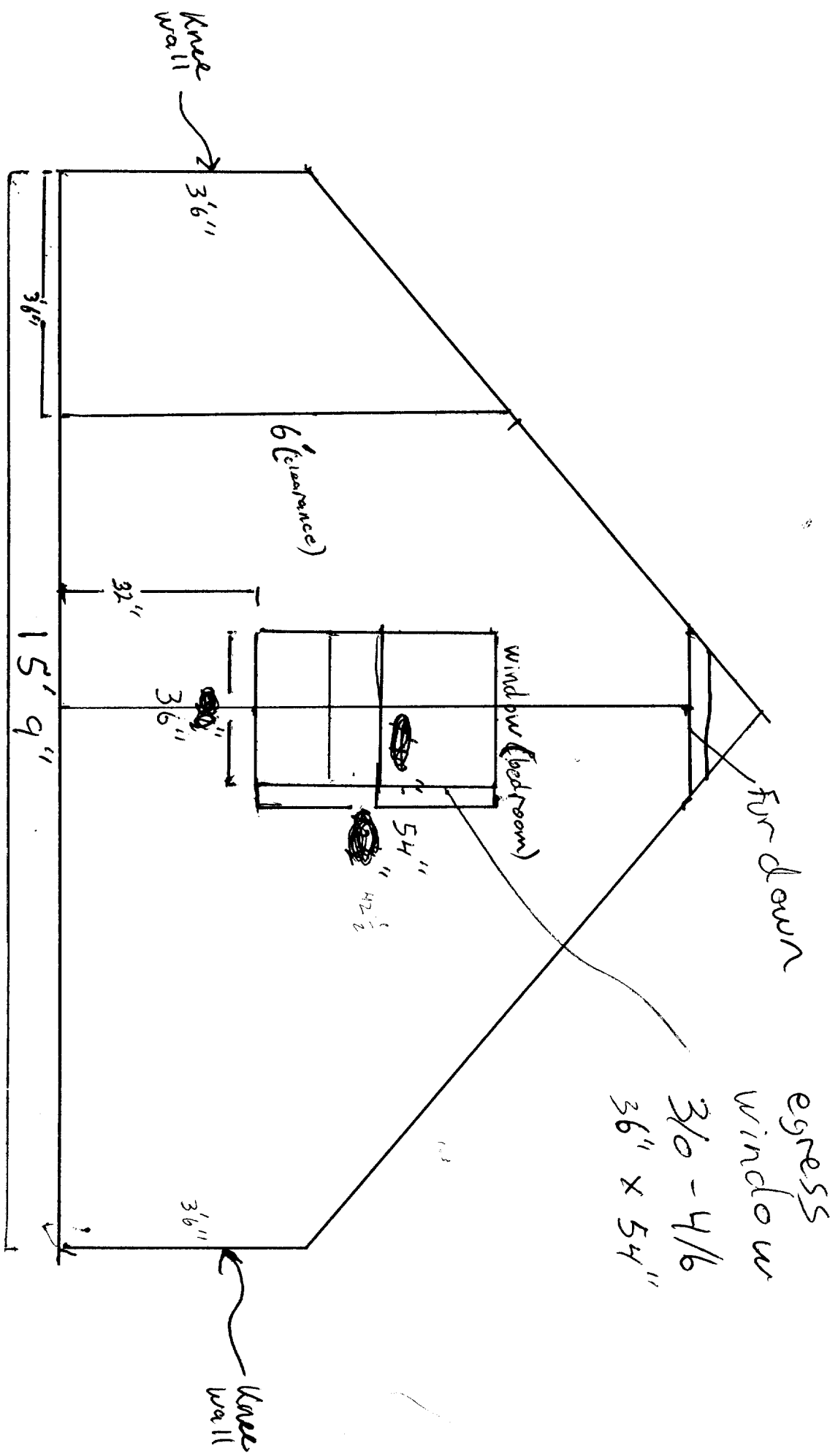
Mackworth

- when does school start?
- sch for lunch?
- Lunch payment?

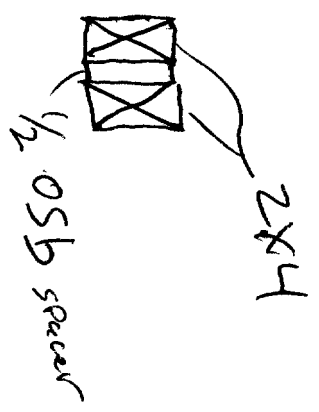
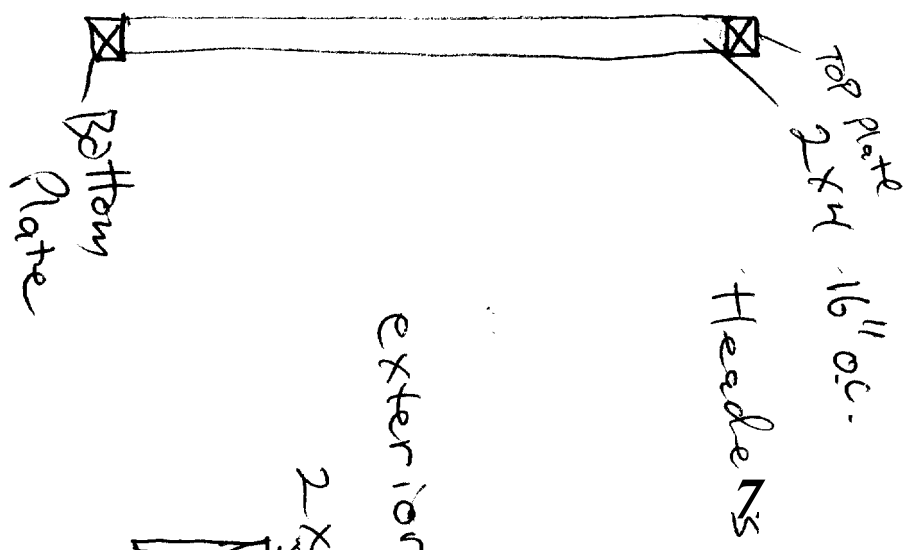
21st 8th

24th
7:30 - 11

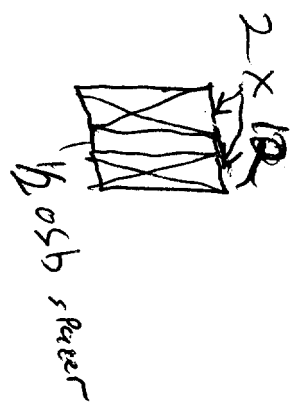




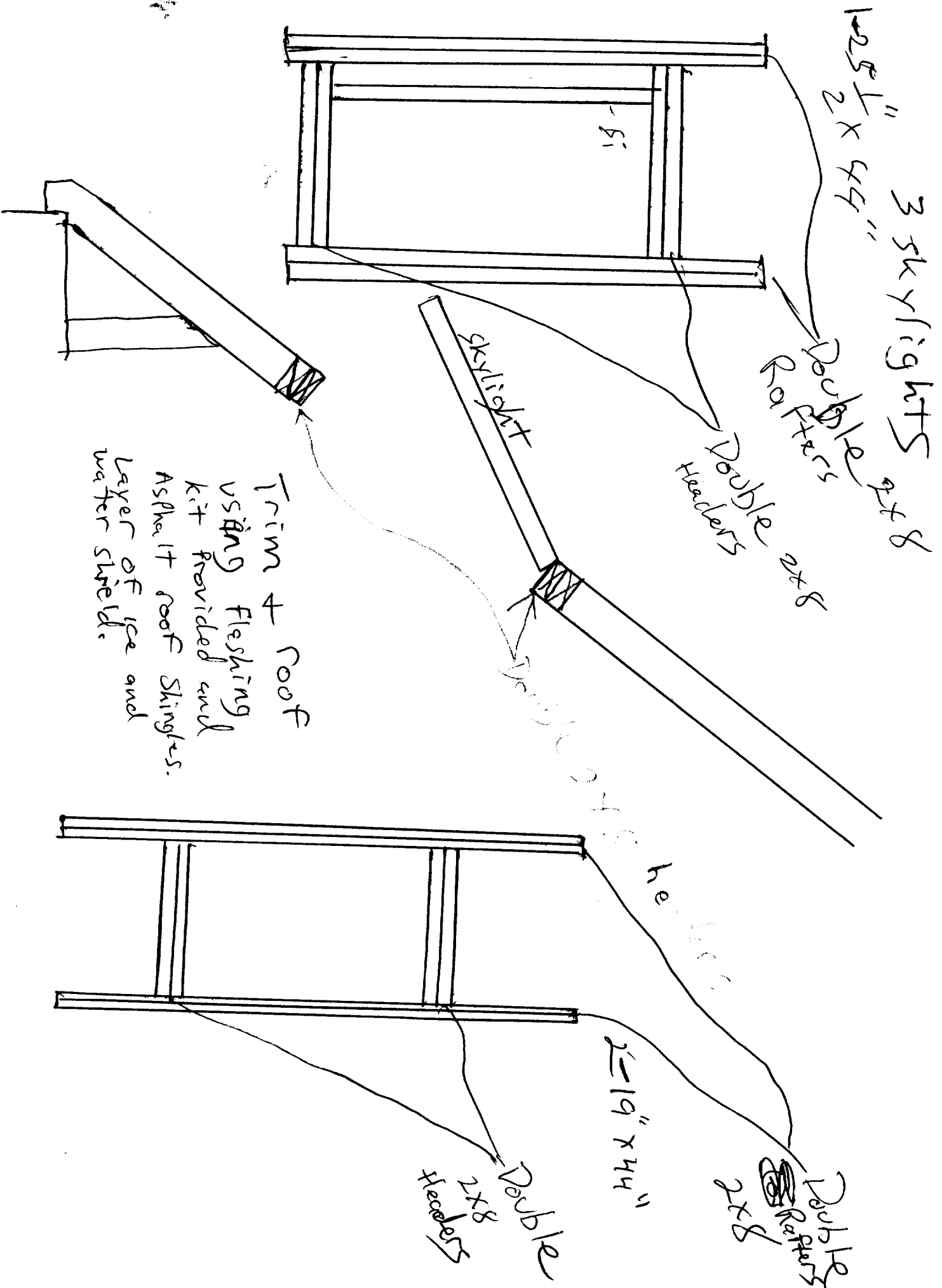
- All walls partition
no load bearing



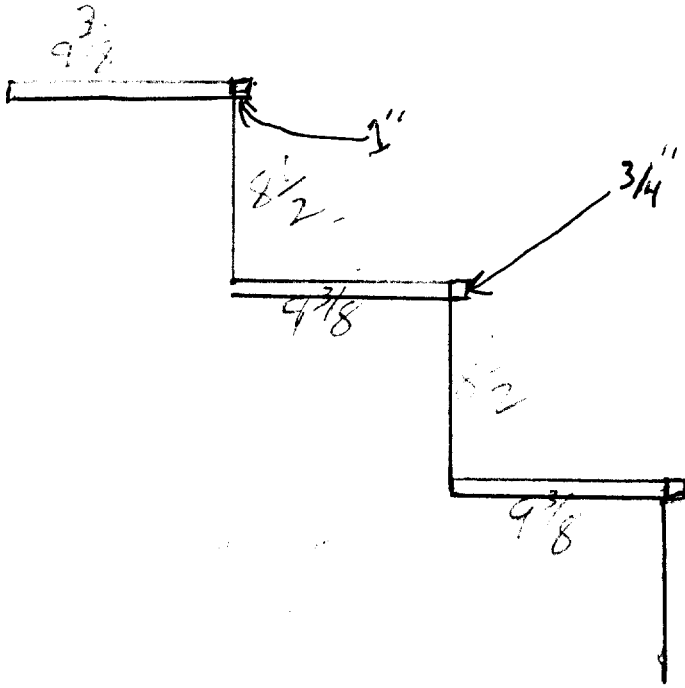
exterior Headers



Skylight Framing



Stairs (existing)



Rise $8\frac{1}{2}$ "
Run $9\frac{3}{8}$ "
Tread $3\frac{1}{4}$ "
Rise 1 "

This page contains a detailed description of the Parcel ID you selected. Press the New Search button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
parcel ID	406 A004001
Location	38 VERMONT AVE
Land Use	SINGLE FAMILY
Owner Address	FIELD PAUL A 38 VERMONT AVE PORTLAND ME 04103
Book/Page	16702/185
Legal	406-A-4-5 VERMONT AVE 38-40 6000 SF

Current Assessed Valuation

Land	Building	Total
\$64,500	\$108,200	\$172,700

Property Information

Year Built 1930	Style Old <i>Style</i>	Story Height 1	Sq. Ft. 992	Total Acres 0.138		
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 6	Attic Unfin	Basement Full	

Outbuildings

Type GARAGE-WD/CB	Quantity ,	Year Built 1979 <i>original permit 1945</i>	Size 10X24	Grade C	Condition A
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Sales Information

Date 09/04/2001	Type LAND & BLDING	Price \$134,127	Book/Page 16702-185
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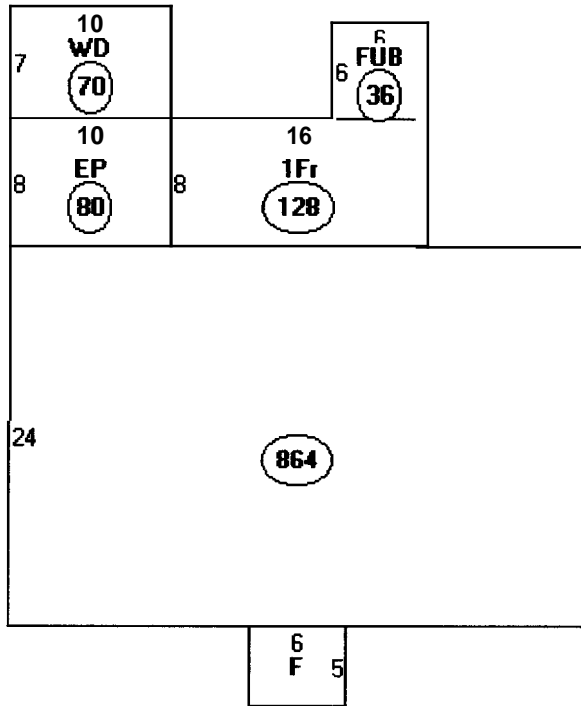
Picture and Sketch

Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Descriptor/Area

- A: UA/1Fr/B
864 sqft
- B: EP
80 sqft
- ~~C: WD~~
70 sqft
- D: 1 Fr
128 sqft
- E: FUB
36 sqft
- F: EP
30 sqft

1138
 119 7x17 deck
 32 8x4 steps

 1289

