

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 020768

Please Read Application And Notes, If Any, Attached

This is to certify that Gurney Diane L/American Properties  
has permission to Construct a 10' x 15' prefab aluminum storage room  
AT 266 Maine Ave 405A J031001

*Permit has been abandoned + expired 1/17/08*

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



pe



Prmt Text93 41826 Constr Type New Num1 20768

Permit Nbr 02-0768 Location of Construction 266 Maine Ave Appl. Date 07/10/2002  
Status [Redacted] Permit Type Additions - Dwellings Issue Date [Redacted]  
CBL 405A J031001 Territory Nbr 2 Estimated Cost \$14,000.00 Date Closed [Redacted]

Comment Date	Comment	Name	Follow Up Date	Completed
07/23/2002	Called Jesse Stahley @603-235-5691 and told him to submit legible building plans. He stated he would follow up this pm.	tm	07/30/2002	<input type="checkbox"/>
[Redacted]	[Redacted]	trmm	[Redacted]	<input type="checkbox"/>

CreatedBy jmy CreateDate 07/12/2002 ModBy tm ModDate 07/23/2002

Prmt

Text193

41826

Constr Type

New

Num1

20768

Permit Nbr 02-0768

Location of Construction 266 Maine Ave

Appl. Date 07/10/2002

Status Hold

Permit Type Additions - Dwellings

Issue Date

CBL 405A J031001

Territory Nbr 2 Estimated Cost \$14,000.00

Date Closed

Comment Date

Comment

07/23/2002

Called Jesse Stahley @603-235-5691 and told him to submit legible building plans. He stated he would follow up this pm.

Name im

Follow Up Date 07/30/2002

Completed

CreatedBy jmy

CreateDate 07/12/2002

ModBy im

ModDate 07/23/2002

Applicant:

Date:

Address:

C-B-I:

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-3

Interior or corner lot - Inter.

Proposed Use/Work - 10x15 Prefab sunroom

Sevage Disposal - Public

Lot Street Frontage -

Front Yard - N/A - 30' shown

Rear Yard - 60' shown - 25' Req. OK

Side Yard - 42' shown + 40' shown - 8' Req. - OK

Projections -

Width of Lot -

Height -

Lot Area - 6500 SF. Req. - 7500 SF

Lot Coverage/ Impervious Surface - ~~1000~~ 1008 SF House

Area per Family - 250/0 72 SF Deck - side

Off-street Parking - 1875 SF Allowed 150 SF - Sunroom

Loading Bays -

1230 SF - OK

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

02-0768

# All Purpose Building Permit Application

No fee or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

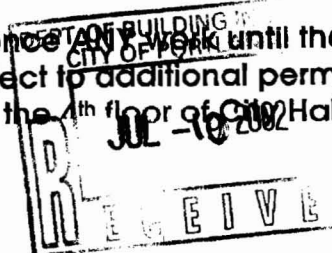
Location/Address of Construction: <u>266 Maine Ave</u>		
Total Square Footage of Proposed Structure <u>1500</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>405</u> Block# <u>A5</u> Lot# <u>031</u>	Owner: <u>Diane Gurney</u>	Telephone: <u>797-2689</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Jesse Stahley / American Profiles 603-235-5894 20 Blaine St Manchester NH 03102</u>	Cost Of Work: \$ <u>14,000.00</u> Permit Fee: <u>121.00</u>
Current use: <u>lawn</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Build a 10' x 15' 3 season Sun Room (pre Fab Alum Room)</u>		
Project description: _____		
Contractor's name, address & telephone: <u>American Profiles 20 Blaine St Manchester NH</u>		
Who should we contact when the permit is ready: <u>Jesse Stahley 1-603-235-5894</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>603-235-5894</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

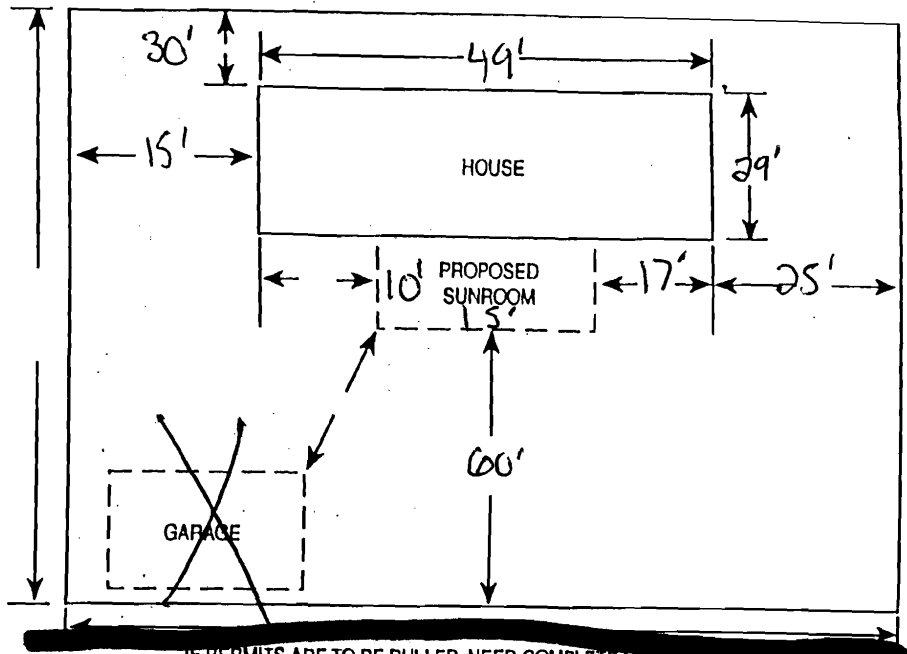
Signature of applicant: <u>[Signature]</u>	Date: <u>7-1-02</u>
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This is NOT a permit, you may not commence any work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



10/02  
34 Main

4. \*If no mortgage survey — all dimensions are required.

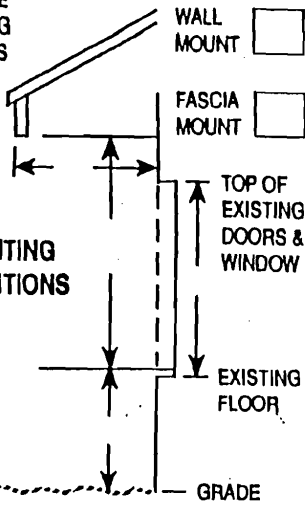


IF PERMITS ARE TO BE PULLED, NEED COMPLETE MEASUREMENTS. \*MORTGAGE SURVEYS ARE PREFERRED\*

266 maine ave  
 Corner Lot  Interior Lot

INDICATE TYPE OF SIDING ON HOUSE  
 FRAME  ALUMINUM  BRICK  STONE  
 IF STONE  ROUGH  SMOOTH

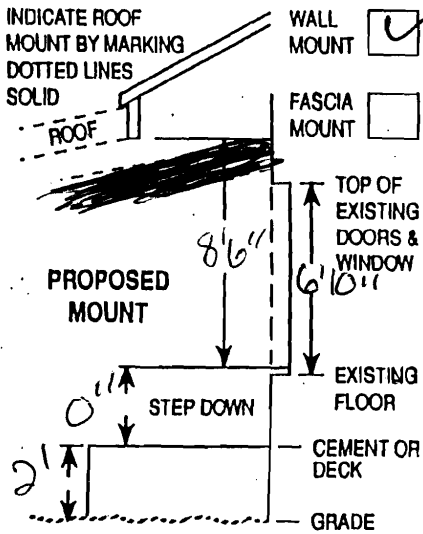
INDICATE EXISTING HEIGHTS



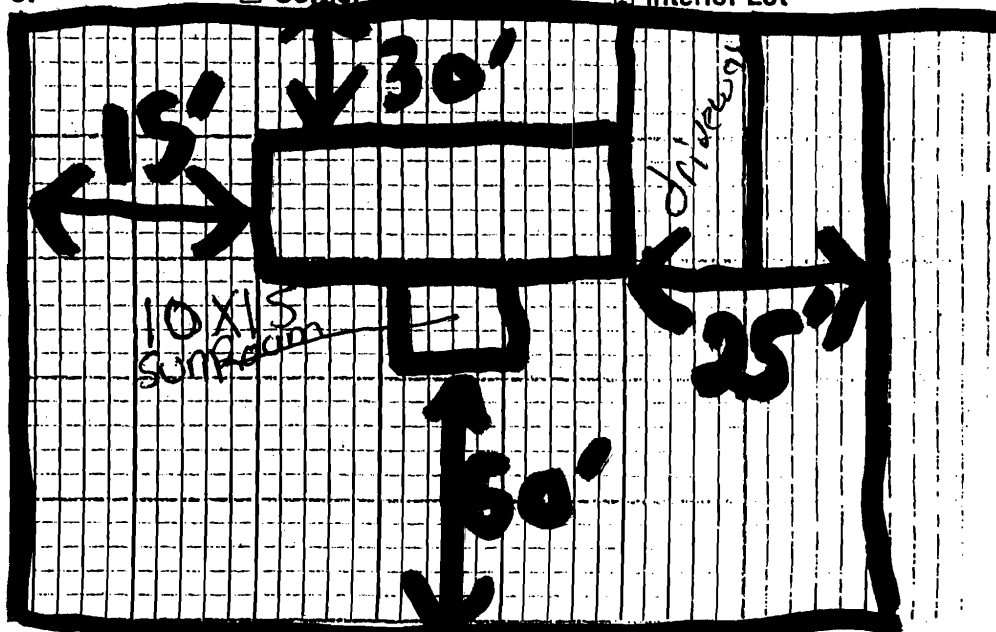
2.

INDICATE TYPE OF SIDING ON HOUSE  
 FRAME  ALUMINUM  BRICK  STONE  
 IF STONE  ROUGH  SMOOTH

INDICATE ROOF MOUNT BY MARKING DOTTED LINES  
 SOLID



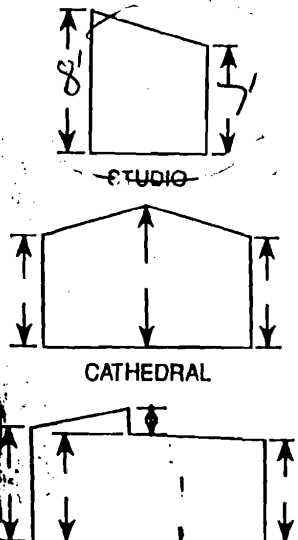
5.



Draw Layout of Room — Door Locations, Skylights, Spa Location

- Locate breakthrough and size
- Identify interior room being enclosed
- Dimension existing slabs, sidewalks and steps
- Locate existing pool

3.



6. SURVEY CHECKLIST

- Mortgage survey
- Existing footings
- Necessary photos for access into rear yard
- Photo of electric panel and meter
- Steps by:
  - Homeowner
  - Tony V's

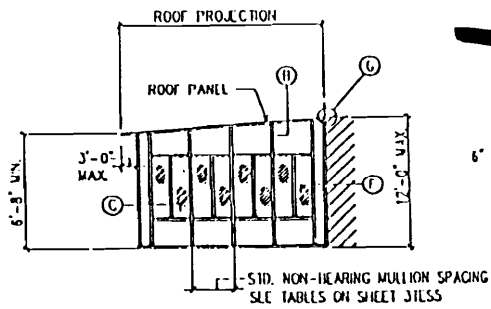
EXISTING CONDITIONS:

- Overhead lines
- H2O Splcket
- Dryer Vent
- A/C
- Septic Lines
- Lights
- Tree
- Sprinkler lines
- BBQ
- Cable
- Phone
- Existing Home  Slab  Crawl  Basement

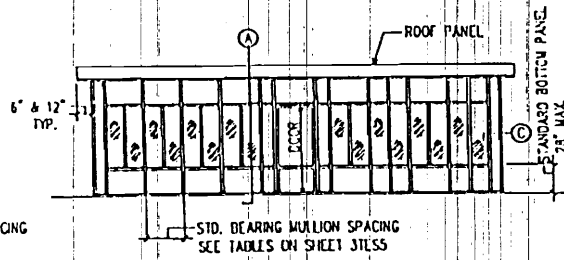
What condition is existing roof on home?

- Underground meter
- Move required

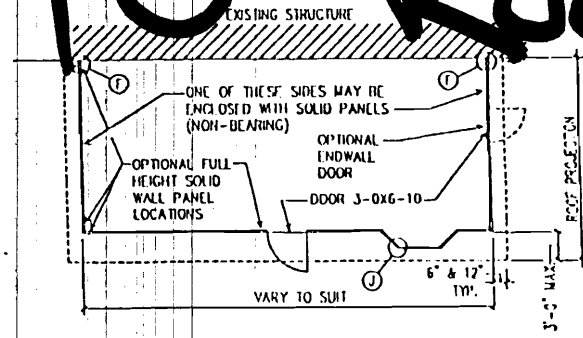
# Studio Roof



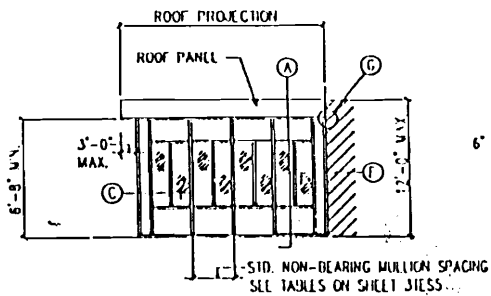
PATIO COVER END WALL ELEVATION



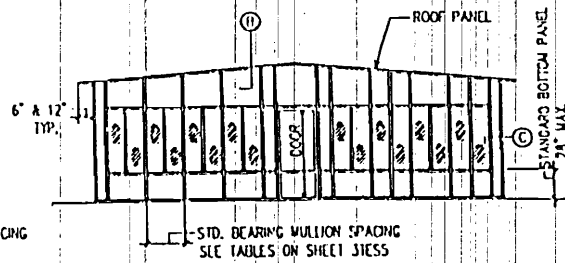
PATIO COVER FRONT WALL ELEVATION



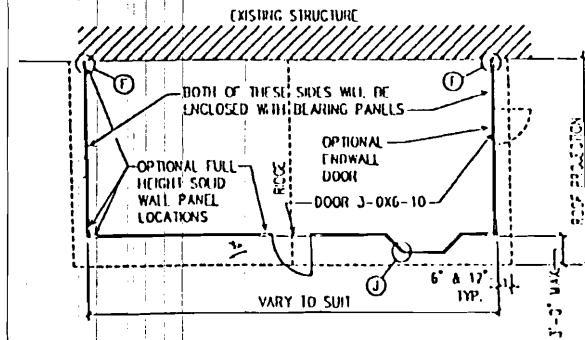
TYPICAL STUDIO ROOF PATIO COVER PLAN



PATIO COVER END WALL ELEVATION



PATIO COVER FRONT WALL ELEVATION

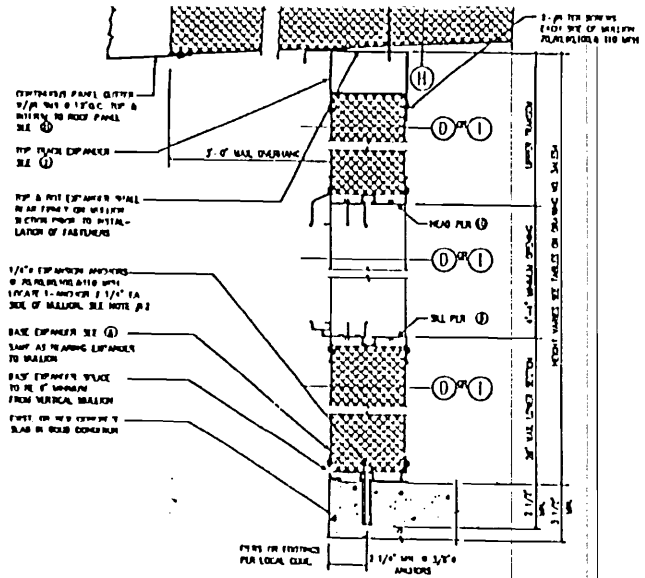


TYPICAL GABLE ROOF PATIO COVER PLAN

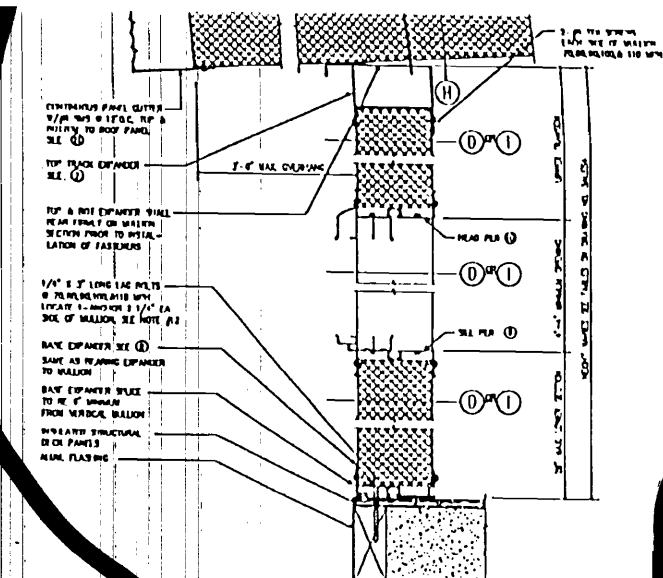
NOTE:  
ALL SECTIONS & DETAILS REFERENCED  
HERE ARE SHOWN ON SHEET J155.

FLOOR PLAN  
 Tann  
 ARCHITECTURE  
 1000 10th Street, Suite 100  
 San Francisco, CA 94103  
 (415) 774-1111  
 www.tannarchitect.com

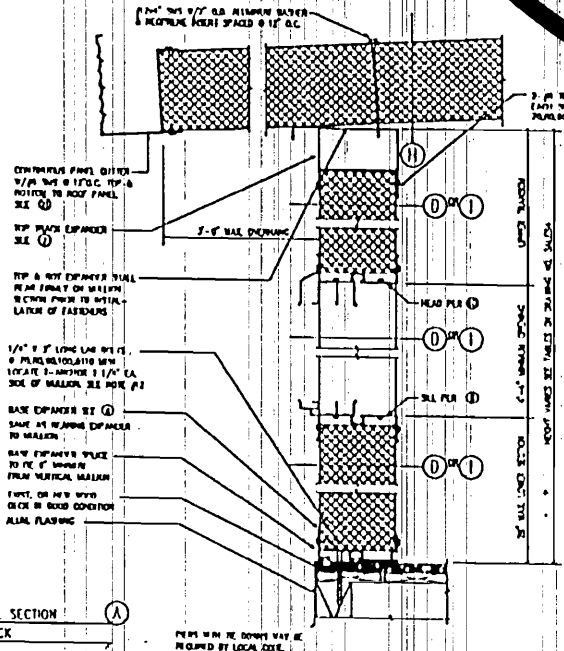




BEARING WALL SECTION ON CONCRETE SLAB (A)



BEARING WALL SECTION ON IEMO APPROVED DECK PANELS (A)



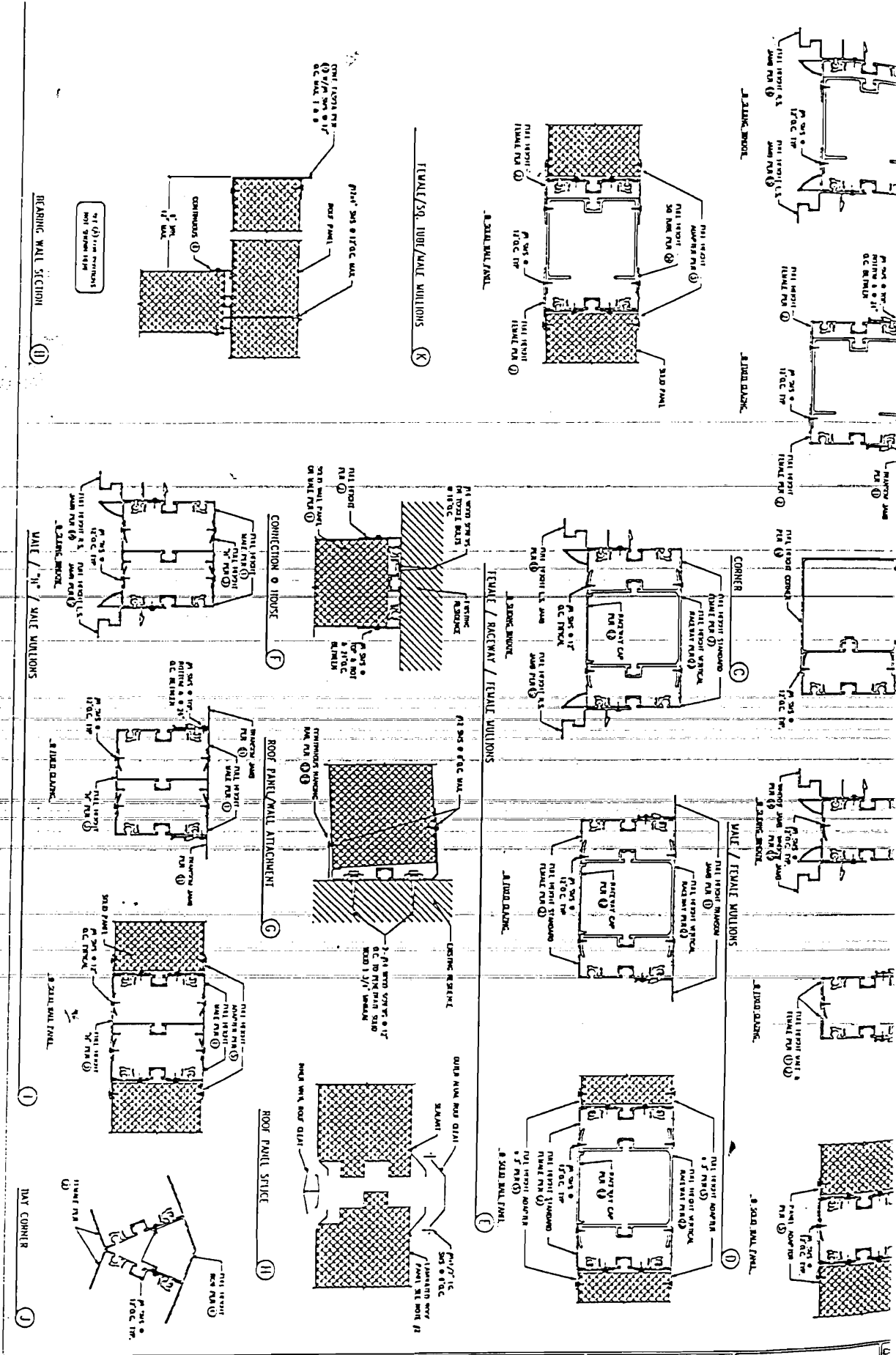
BEARING WALL SECTION ON WOOD DECK (A)

SEE OTHER SHEETS FOR DETAILS OF WALLS ON CONCRETE SLAB AND ON WOOD DECK. THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL AUTHORITIES.

**Temo Inc**

3" PATIO ENCLOSURE DECK AND SUB ATTACHMENT DETAILS

DATE: JANUARY 27, 1994  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: [Name]  
 SHEET: 3TES4



DATE: 11/11/03 DRAWN BY: J. STILES CHECKED BY: J. STILES PROJECT: 3.00' PATIO ENCLOSURE PLANS, SECTIONS & DETAILS	<b>Temo Inc</b> 2542 HALL ROAD • CLINTON TOWNSHIP • WOODBRIDGE, NJ 07095 856-254-2010 1-800-344-8266 FAX 856-254-5423		1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. 2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT. 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
	3.00' PATIO ENCLOSURE PLANS, SECTIONS & DETAILS		



ROOF SPAN CALCULATIONS

<b>RIOUX</b>			
SPAN (feet)	12.00		
LIVE LOAD (psf)	50.00		
DEAD LOAD (psf)	2.00		
TOTAL LOAD (psf)	52.00		
		One Pound Foam	Two Pound Foam
Foam Dimension - C (inches)	4.25		
Foam Density (pcf)	2.00		
E <sub>c</sub> (psi)	480	200	480
F <sub>v</sub> (psi)	35	20	35
G <sub>c</sub> (psi)	620	300	620
T1 (inches)	0.032		
T2 (inches)	0.032		
H (inches)	4.31		
A1 (inches) <sup>2</sup>	0.384		
A2 (inches) <sup>2</sup>	0.384		
E (psi)	10,100,000		
Aluminum Working Stress (psi)	11,818		
Y (inches)	2.16		
I (inches) <sup>4</sup>	3.52		
S (inches) <sup>3</sup>	1.63		
Bending Stress (psi)	6,882		
Shear Stress (psi)	6.07		
Skin Buckling (psi)	7,215		
Allowable Deflection (inches)	1.20		
Actual Deflection (inches)	1.03		

